ISSUE: Certificate of Appropriateness for alterations (Re-approval of previously

expired plans)

APPLICANT: Old Dominion Boat Club

LOCATION: Old and Historic Alexandria District

0 Prince Street, 200 Strand Street, & 204 Strand Street

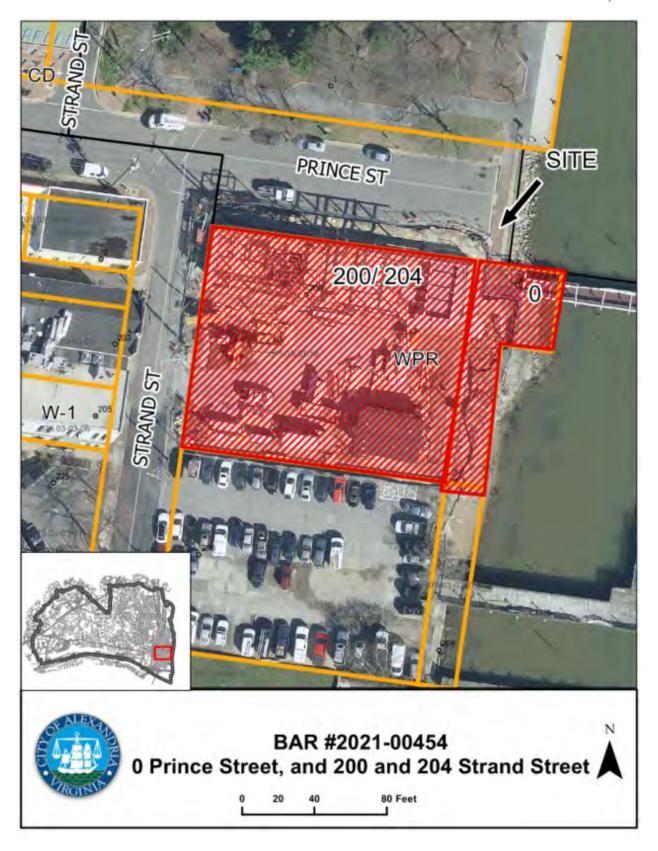
ZONE: WPR/Waterfront Park Recreation Zone

STAFF RECOMMENDATION

Staff recommends re-approval of the previously approved, expired plans for the addition of a rooftop canopy and trellis structure.

GENERAL NOTES TO THE APPLICANT

- 1. APPEAL OF DECISION: In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
- 2. COMPLIANCE WITH BAR POLICIES: All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
- 3. BUILDING PERMITS: Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (<u>including signs</u>). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
- 4. ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH: Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
- 5. EXPIRATION OF APPROVALS NOTE: In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
- 6. HISTORIC PROPERTY TAX CREDITS: Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the <u>Virginia Department of Historic Resources (VDHR)</u> prior to initiating any work to determine whether the proposed project may qualify for such credits.



UPDATE

On September 2, 2015, the BAR approved the Certificate of Appropriateness for BAR #2015-00249. The approval was for the construction of the Old Dominion Boat Club building. Included in the proposed design was a rooftop trellis with retractable canopy on the east side of the roof. This portion of the application was never constructed, and the approval of the overall project has expired. The applicant is returning for a re-approval of the proposed trellis and retractable canopy at this time.

I. <u>APPLICANT'S PROPOSAL</u>

The applicant requests a Certificate of Appropriateness to construct a 36'-7" x 20'-11" trellis with a retractable canopy on the east side of the roof at the Old Dominion Boat Club building. The trellis structure will be made up of six steel columns that are bolted to the roof, supporting horizontal steel channels set so that the top of the channels aligns with the top of the adjacent penthouse. The retractable canvas canopy will be mounted to the trellis structure such that when it is retracted, it folds up against the wall of the penthouse (Figure 1). Per the conditions of the approved DSUP, the trellis and canopy are to be removed on a seasonal basis.

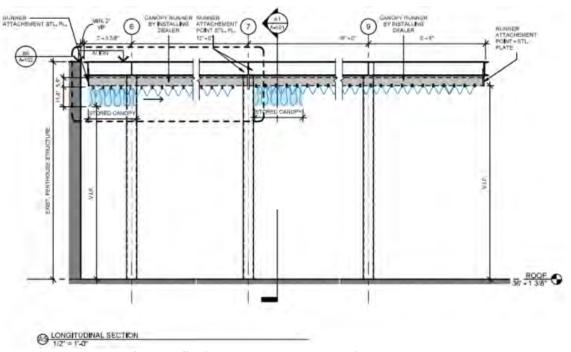


Figure 1: Section through proposed trellis and canopy

Site context

The building is located at the corner of Prince Street and Strand Street. The parking lot to the south of the building is private but allows for a view of all sides of the building from a public right of way. The proposed trellis will be located on the rooftop but will be visible from the nearby streets.

II. <u>HISTORY</u>

Prior to the construction of the Old Dominion Boat Club building, the site was home to a building known as the Beachcombers. The Beachcombers building was originally constructed in **1946** on concrete piers in the Potomac River with a three-sided open balcony at the second story and an outdoor dining terrace on the flat roof. By 1954, the restaurant closed, due to a large fire which damaged the first and part of the second floors of the building. After the fire, a new occupant, the International Armaments Corp. (Interarms), began to use the building for storage. By 1963, the property became home to various sporting-goods stores and Potomac Arms, the retail outlet of Interarms. In 1972, "The Dandy" dinner cruise ship began using the wood pier parking lot and the adjacent one-story, frame building as its launch site, parking lot, and offices. In 2006, the City acquired the property in order to expand public access to the Waterfront. In 2015, the Old Dominion Boat Club acquired the Beachcombers property and is the current owners.

The BAR approved BAR 2015-0248 which authorized the demolition of the Beachcombers building and BAR 2015-0249 for the construction of the building currently housing the Old Dominion Boat Club.

III. ANALYSIS

As noted previously, the proposed trellis and retractable canopy were originally included in the design for the building approved by the BAR. This proposal is returning to the BAR because the trellis and canopy were never built, and their approval has since expired. During the discussions regarding the previous approval the proposed trellis was found to be appropriate for the building and fit within the overall design of the penthouse (Figure 2).



Figure 2: North elevation of building showing proposed trellis and canopy

Docket #7 BAR #2021-00454 Old and Historic Alexandria District October 20, 2021

The *Design Guideline's* chapter on Awnings does not envision the shade structures of the 21st century as proposed here, but there are recommendations within the guidelines which can be applied here. Staff finds the proposal consistent with the following recommendations: "Awnings should not overwhelm or obscure the architecture and decorative features of historic buildings" and "Awnings should be made of a canvas type fabric."

The proposed trellis and canopy have been designed to be integral to the overall building design, satisfying the concern about obscuring the architecture. The proposed canvas canopy is similar to other recently approved canopies located on the waterfront and allows for minimal visibility when retracted. Per the DSUP conditions, the canopy is to be retracted when not in use and the trellis structure is to be removed on a seasonal basis. Consistent with the previous project approval, staff recommends re-approval of the previously approved, expired plans for the addition of a rooftop canopy and trellis structure.

STAFF

William Conkey, AIA, Historic Preservation Architect, Planning & Zoning Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Development

- F-1 The proposed canopy is consistent with DSUP #2014-00026
- F-2 The DSUP#2014-00026 conditions of approval were amended administratively on September 15, 2021 to provide clarity on the installation and demounting of the rooftop canopy. The amended Condition 15 states:
 - 15. The rooftop canopy and supporting structure shall be fully demountable and final design shall be subject to the approval by the Board of Architectural Review. In addition, the canopy shall be a seasonal element which is fully demounted between November 15th and February 15th and with the exception of a 24 hour period for the Scottish Walk to the satisfaction of the Director of Planning and Zoning. (P&Z)

Code Administration

F-1 No code comments

Transportation and Environmental Services

F-1 Comply with all requirements of DSUP #2014-00026 (T&ES)

Alexandria Archaeology

F-1 No archaeological oversight needed for this undertaking

Docket #7 BAR #2021-00454 Old and Historic Alexandria District October 20, 2021

V. <u>ATTACHMENTS</u>

- $1-Application\ Materials$
- 2 Supplemental Materials
- 3 Final staff report for previously approved BAR #2015-00248 & 2015-00249

	BAR Case #
ADDRESS OF PROJECT: 0 Prince Street, 200 Strand and p	part of 204 Strand
DISTRICT: Old & Historic Alexandria Parker – Gray [□100 Year Old Building
TAX MAP AND PARCEL: Lot 600 Parcel: 60031070	ZONING: WPR
APPLICATION FOR: (Please check all that apply)	
CERTIFICATE OF APPROPRIATENESS	
PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLI (Required if more than 25 square feet of a structure is to be demolished/impa	
WAIVER OF VISION CLEARANCE REQUIREMENT and/or Y CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinano	
WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT (Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)	Т
Applicant: Property Owner Business (Please provide bu	isiness name & contact person)
Name: Old Dominion Bout Club	_
Address: (0 Prince Street, 200 Strand and part of 204 Strand	
City: Alexandra State: VA Zip: 27	2314
Phone: 703-83 E-1900 E-mail: Tronsurer	OCH dominion boat Club, com
Authorized Agent (if applicable): Attorney Architect	
Name:	Phone:
E-mail:	
Legal Property Owner:	
Name: Old Dominian Boat Club	
O Prince Street, 200 Strand and part of 204 Strand	
City: Al Wandria State: WA Zip: 23	23141
4 -49 6 16	Olddommenbout Club. Con
Yes No Is there an historic preservation easement on this property Yes No If yes, has the easement holder agreed to the property Yes No Is there a homeowner's association for this property Yes No If yes, has the homeowner's association approved	posed alterations? ty?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

B	AR Case #
NATURE OF PROPOSED WORK: Please check all that apply	1000
NEW CONSTRUCTION EXTERIOR ALTERATION: Please check all that apply. awning fence, gate or garden wall HVAC ed doors windows siding lighting pergola/trellis painting other Canopy ADDITION DEMOLITION/ENCAPSULATION SIGNAGE	quipment
DESCRIPTION OF PROPOSED WORK: Please describe the probe attached).	pposed work in detail (Additional pages may
Addition of a canopy and trellis structure using existing base plat canopy are in-keeping with the previously approved Certificate of	
	ž.
SUBMITTAL REQUIREMENTS:	
Items listed below comprise the minimum supporting materials to request additional information during application review. Please ref <i>Design Guidelines</i> for further information on appropriate treatments	er to the relevant section of the
Applicants must use the checklist below to ensure the application is material that are necessary to thoroughly describe the project. Incodocketing of the application for review. Pre-application meetings are All applicants are encouraged to meet with staff prior to submission	mplete applications will delay the e required for all proposed additions.
Electronic copies of submission materials should be submitted whe	never possible.
Demolition/Encapsulation : All applicants requesting 25 square femust complete this section. Check N/A if an item in this section does not a	
N/A Survey plat showing the extent of the proposed demolition/ Existing elevation drawings clearly showing all elements pr Clear and labeled photographs of all elevations of the build to be demolished. Description of the reason for demolition/encapsulation. Description of the alternatives to demolition/encapsulation considered feasible.	roposed for demolition/encapsulation. ling if the entire structure is proposed

appr requ	oved este	ons & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless of by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be d by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item action does not apply to your project.
	N/A	Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted
		equipment. FAR & Open Space calculation form. Clear and labeled photographs of the site, surrounding properties and existing structures, if
		applicable. Existing elevations must be scaled and include dimensions. Proposed elevations must be scaled and include dimensions. Include the relationship to
		adjacent structures in plan and elevations. Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
		Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
Ш	Ц	For development site plan projects, a model showing mass relationships to adjacent properties and structures.
illum	inat	& Awnings: One sign per building under one square foot does not require BAR approval unless ed. All other signs including window signs require BAR approval. Check N/A if an item in this section does y to your project.
		Linear feet of building: Front:Secondary front (if corner lot): Square feet of existing signs to remain: Photograph of building showing existing conditions. Dimensioned drawings of proposed sign identifying materials, color, lettering style and text. Location of sign (show exact location on building including the height above sidewalk). Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable). Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.
Alte	erat	tions: Check N/A if an item in this section does not apply to your project.
X	N/A	Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
X		Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
		Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale. An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
		Historic elevations or photographs should accompany any request to return a structure to an

BAR Case #_

earlier appearance.

ALL	APPLICATIONS: Please read and check that you have read and understand the following items:
	I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
	I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
	I, the applicant, or an authorized representative will be present at the public hearing.
	I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

BAR Case # _

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

RUBERT TES

Signature:

Printed Name:

Date:

3/14/2021

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

Applicant. State the name, address and percent of ownership of any person or entity owning an

	Address	Percent of Ownership
· Old Dominion Boat Club, Inc.	200 Strand Street	100%
nless the entity is a corporation ercent. The term ownership inte	ddress and percent of ownership of a t 200 & 204 Strand and Prince Street or partnership, in which case identify e rest shall include any legal or equitable hich is the subject of the application.	ach owner of more than three
Name	Address	Percent of Ownership
Old Cominion Boat Club, Inc.	200 Strand Street	100 %
Business or Financial Relation	onships. Each person or entity indicaticant or in the subject property are received to 250 of the Zerian Oct.	uire to disclose any business or
ancial relationship, as defined plication, or within the 12-mont a Alexandria City Council, Plar chitectural Review. All fields relationships please indicated	h period prior to the submission of thi ning Commission, Board of Zoning A must be filled out completely. Do no each person or entity and "None" nmission and board members, as w	s application with any member of ppeals or either Boards of ot leave blank. (If there are no in the corresponding fields).

Date Printed Name

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that

the information provided above is true and correct. Bruce Catts, President

9/27/21







Product Code

DDA

367 Branch #

Individual Opening the Account:

008926294317

Account #

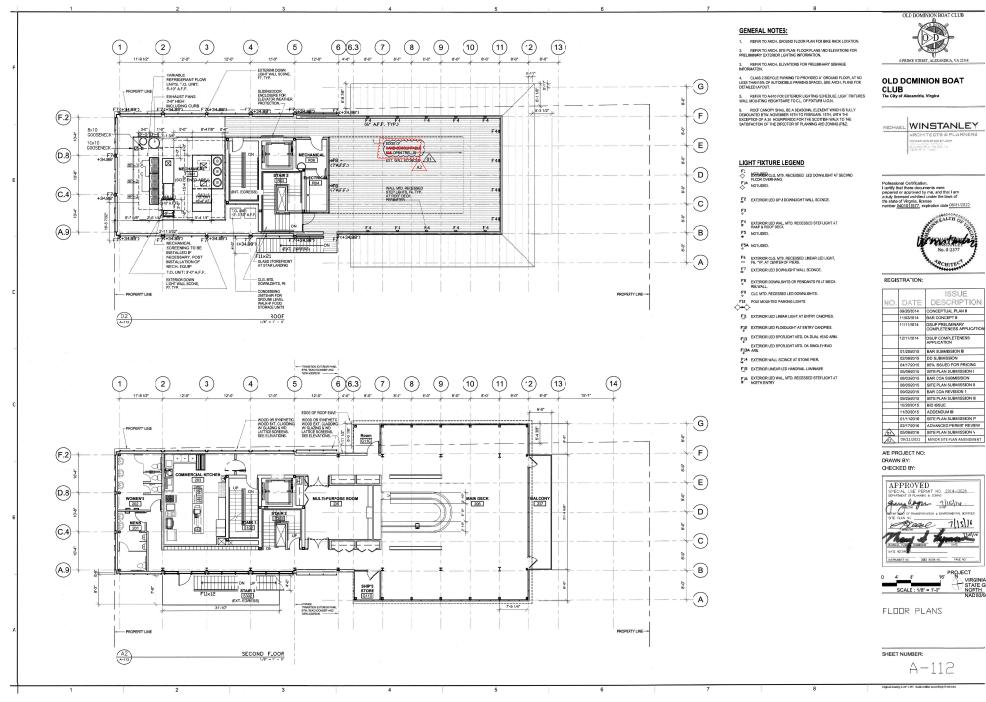
TIN

540324757

CERTIFICATION OF BENEFICIAL OWNER(S)

Individuals opening an account on behalf of a Legal Entity must provide the following information:

Name:	ROBERT TEST	;		,,,		
Business title:	MEMBER	Phone Number: (703) 836-1900				
Legal Entity for W	Legal Entity for Which the Account is Being Opened:					
Name:	*OLD DOMINION BOAT CLUB			TIN:	540324757	
Address:	200 STRAND ST			Country:	US	
City:	ALEXANDRIA		State: VA		ZIP: 22314	
SECTION A	rmation for each individual, if	any who directly or indi	roctly through =	ny contrac	t arrangement	understanding
relationship or oth	rmation for each moroudar, in a lerwise, owns 25% or more of t	he equity interest of the	legal Entity liste	d above:	c, an angement,	under standing,
K 7	al meets this definition	ing admits meanage or and	mogar arrors, nove			
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Address:		Country:			Percentage	
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Address:		Country:			Percentage	
City:		State:			Zip:	
	Passport#	Co	untry of Issuance		Exp. Date:	
SECTIONB	rmation for one individual with	significant responsibility	for managing th	ie Legal Ent	ity listed above,	such as:
 An executive 	officer or senior manager (e.g.,	chief executive officer, c	hief financial off	icer, chief o	perating officer	, managing
member, gen	eral partner, president, vice pre	esident, treasurer); or			8	
 Any other ind 	lividual who regularly performs in this Section B.)	similar functions. (If app	ropriate, an indiv	/idual listed	l under Section /	A above may
	RTJTEST	SSN:	229-66-0455		Date of Birth:	1/26/1948
	COVENTRY LN				Country:	US
	INDRIA	State:	VA		Zip:	22304
Business Title: A	/EMBER					
Non-US Persons	Passport #	Benefit Francis Co	untry of Issuance	en i	Exp. Date:	
I, ROBERT TEST		vidual opening account),				
		1		Date	12/09/2020	
Customer Signatu	ire:			Date.		· · · · · · · · · · · · · · · · · · ·
DISTRIBUTION Sand original to Co	Associate Name: STACY MART entral imaging, DAC18	TIN .	Branch No:	387	Use	r ID: 54059





(F.2) F (E) (D.8) D (C.4) C 12'-7" 80 % OFEN CANOPY 61 (A.9) B \mathbf{A} MECHANICAL PENTHOUSE

GENERAL NOTES:

- REFER TO ARCH, GROUND FLOOR PLAN FOR BIKE RACK LOCATION.
- REFER TO ARCH, SITE PLAN, FLOOR PLANS AND ELEVATIONS FOR PRELIMINARY EXTERIOR LIGHTING INFORMATION.
- 3. REFER TO ARCH, ELEVATIONS FOR PRELIMINARY SIGNAGE INFORMATION.

REFER TO A610 FOR EXTERIOR LIGHTING SCHEDULE. LIGHT FIXTURES WALL MOUNTING HEIGHTS ARE TO C.J., OF FIXTURE U.O.N.

6. ROOF CANOPY SHAIL BE A SEASONAL ELEMENT WHICH IS FULLY DEMOJUNTED BTW. NOVEMBER 15TH TO FEBRUAR; 15TH, WITH THE EXCEPTION OF A 24 HOURPERIOD FOR THE SCOTTISH WALK TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND ZONING (P&Z.

LIGHT FIXTURE LEGEND

- NOTUSED.
- NOTUSED.
- F2 EXTERIOR LED UP & DOWNLIGHT WALL SCENCE.
- F3 EXTERIOR CLG, MTB. RECESSED LED DOWNLIGHT AT SECOND FLCOR OVERHANG.
- F4 EXTERIOR LED WALL MTD. RECESSED STEF LIGHT AT RAMP & ROOF DECY.
- F5 NOTUSED.
- F5A NOTUSED.
- F6 EXTERIOR CLG, MTD, RECESSED LINEAR LED LIGHT, F6, "YP, AT DENTER OF PIERS."
- F7 EXTERIOR LED DOWNLIGHT WALL SCONCE.
- F8 EXTERIOR DOWNLIGHTS OR PENDANTS F8 AT MECH. RM. WALL.
- F9 CLG MTD. RECESSED LED DOWNLIGHTS.
- F10 POLE MOUNTED PARKING LIGHTS
- FIL EXTERIOR LED LINEAR LIGHT AT ENTRY CANOPIES.
- F12 EXTERIOR LED FLOODLIGHT AT ENTRY CANOPIES.
- F13 EXTERIOR LED SPOTLIGHT MTD. ON DUAL HEAD ARM. EXTERIOR LED SPOYLIGHT WITD, ON SINGLE HEAD
 F13A ARN.
- F14 EXTERIOR WALL SCONCE AT STONE PIER.
- F15 EXTERIOR LINEAR LED HANDRAIL LUMINAIFE
- F16 EXTERIOR LED WALL MTD. RECESSED STEF LIGHT AT NORTH ENTRY



0 PRINCE STREET, ALEXANDRIA, VA 22314 OLD DOMINION BOAT

CLUB The City of Alexandria, Virgina



Professional Cetification.

Learlify that these documents were pepared or approved by me, and that I am a duly licensed architect under the laws of the state of Virgnia, license number 040/1012577, expiration date 08/31/2022



REGISTRATION:

		ISSUE
NO.	DATE	DESCRIPTION
	09/26/2014	CONCEPTUAL PLAN II
	11/03/2014	BAR CONCEPT II
	11/11/2014	DSUP PRELIMINARY COMPLETENESS APPLICATION
	12/11/2014	DSUP COMPLETENESS APPLICATION
	01/20/2015	BAR SUBMISSION III
	02/06/2015	DD SUBMISSION
	04/17/2015	85% SSUED FOR PRICING
	05/08/2015	SITE PLAN SUBMISSION I
	08/03/2015	BAR COA SUBMISSION
	08/05/2015	SITE PLAN SUBMISSION II
	09/02/2015	BAR COA REVISION 1
	09/25/2015	SITE PLAN SUBMISSION II
	10/26/2015	BID ISSUE
	11/30/2015	ADDENDUM III
	01/11/2016	SITE PLAN SUBMISSION IV
	02/17/2016	ADVANCED PERMIT REVIEW
.01	05/06/2016	SITE PLAN SUBMISSION V
/02	09/22/2021	MINOR SITE PLAN AMENDMENT

WE PROJECT NO: DRAWN BY: CHECKED BY:

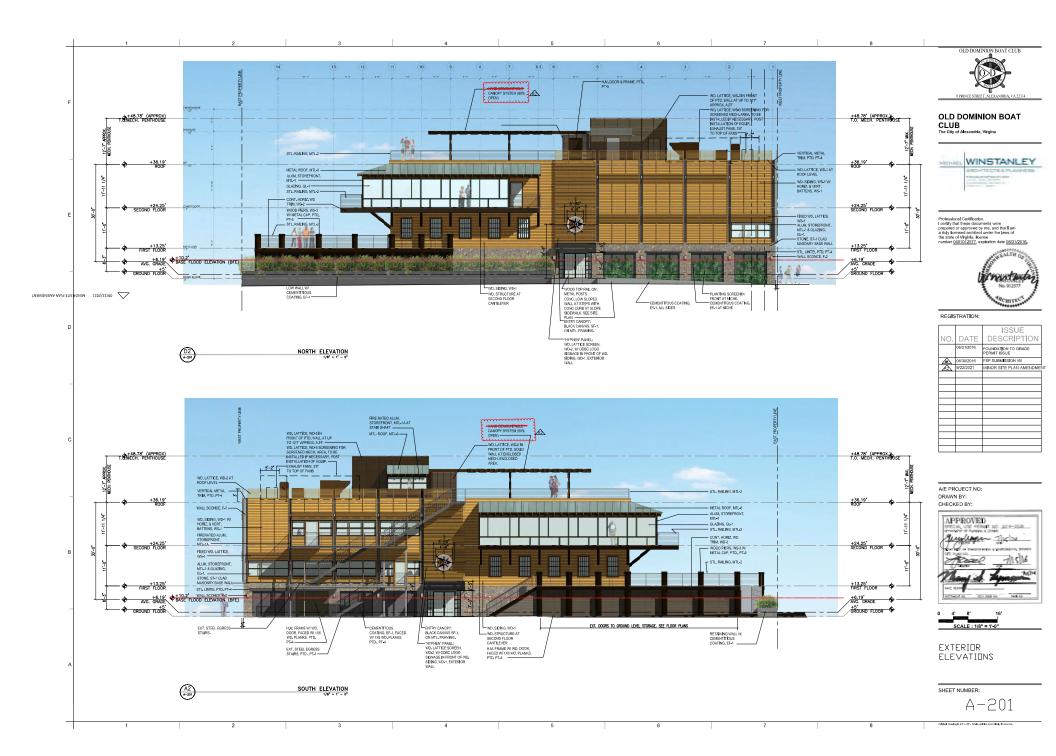


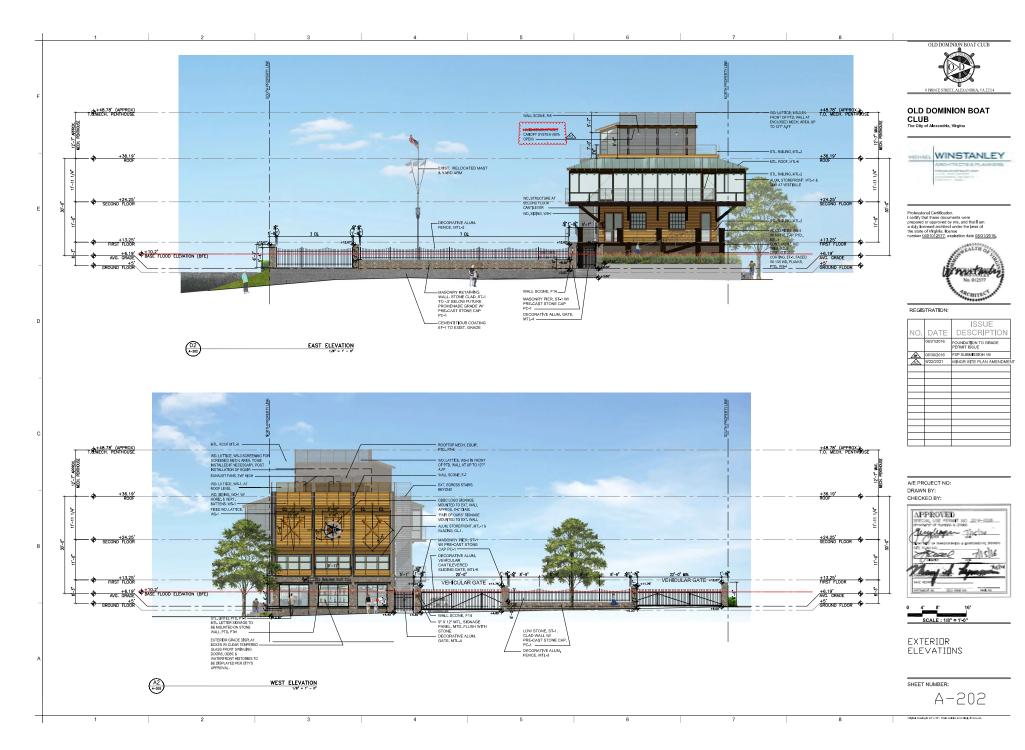


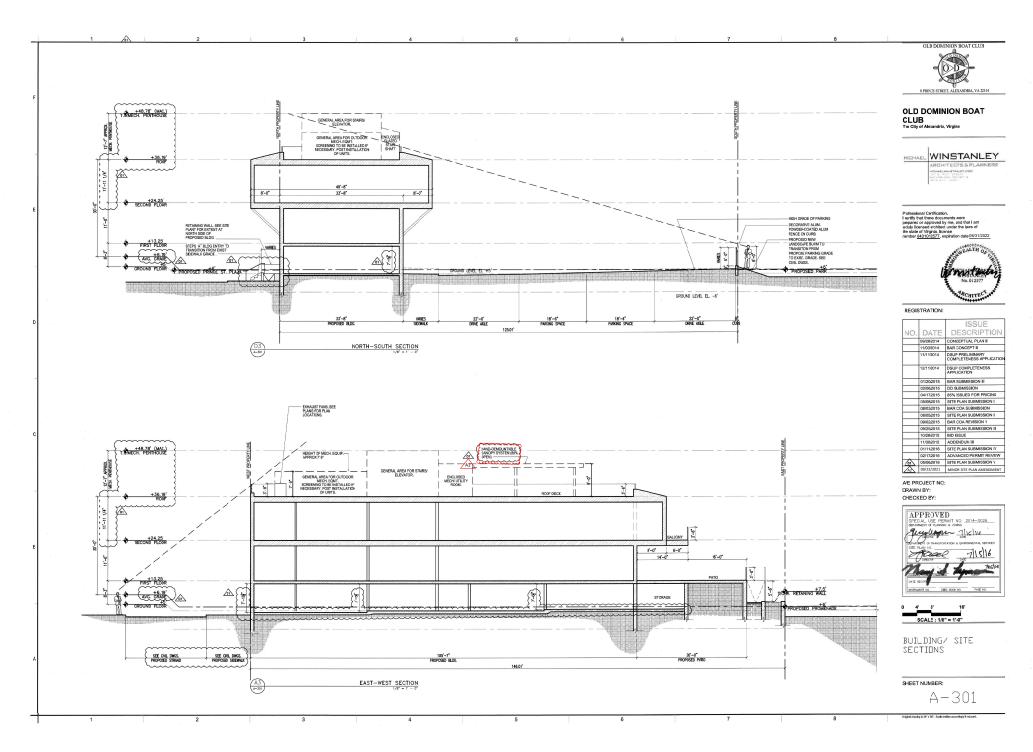
FLOOR PLAN

SHEET NUMBER:

A-113







EXAMPLE CANOPY IMAGES







PROJECT NAME

OLD DOMINION BOAT CLUB FINAL SITE PLAN

ZONING TABULATIONS: PER ZONE WPR

SITE LOCATION/ADDRESS #200 STRAND STREET EXISTING ZONE MPR

PROPOSED ZONE:

OLD TOWN AND WATERFRONT PLAN SMALL AREA PLAN DISTRICT:

FYISTING SITE AREA

075,03-03-18 - LOT 600 - 18,251 S.F. - 100\$ IMPERVIOUS 075,03-03-19 - LOT 601 - 3,843 S.F. - 100\$ IMPERVIOUS 075,03-03-20 - LOT 602 - 16,454 S.F. - 100\$ IMPERVIOUS 075,03-03-21 - LOT 603 - 2,546 S.F. - 100\$ IMPERVIOUS

PROPOSED SITE AREA LOT 600 - 18,251 S.F. OR 0.419 AC. LOT COVERAGE REQUIRED: C 30%

LOT COVERAGE PROVIDED: 4,975 S.F. OR 27% - SEE DIAGRAM ON C2.0

DEDICATED R.O.W. O SF OR O Ac. (ALL AREA PREVIOUSLY DEDICATED) EXISTING USE: EXISTING RESTAURANT (NOT IN USE) AND EXISTING PARKING LOT

BOAT CLUB - ASSEMBLY (A-2) PROPOSED USE

CONSTRUCTION TYPE:

MAXIMUM FLOOR AREA RATIO: NO REQUIREMENT PROPOSED FLOOR AREA RATIO: GROSS FLOOR AREA PROPOSED: NET FLOOR AREA PROPOSEDI 9.837 S.F. PROPOSED NUMBER OF UNITS: O DWELLING UNITS

REQUIRED: 25\$ x 18.251 = 4.562.75 SF OR 0.105 AC. OPEN SPACE REQUIRED:

OPEN SPACE PROVIDED: 731 SF OR 0.016 AC

MAXIMUM BUILDING HEIGHT: 30' FROM AVERAGE FINISHED GRADE PROPOSED BUILDING HEIGHT: 30' FROM AVERAGE FINISHED GRADE

AVERAGE FINISHED GRADE

FRONT YARD REQUIRED YARDS

0.0' (PRINCE STREET) 0.0' (STRAND STREET) FRONT YARD PROVIDED: FRONT YARD PROVIDED: SIDE YARD REQUIREDS SIDE YARD PROVIDED: SIDE YARD PROVIDED:

BASE FLOOD ELEVATION = 10.2' BASE FLOOD ELEVATION:

PARKING REQUIRED I SPACE PER 200 S.E. = 49.45: 50 SPACES PARKING PROVIDED IB STANDARD SPACES, AND 12 COMPACT SPACES PER CIVIC CLUB STANDARDS - SECTION 8-100(A)(7) - 2 HANDICAP PLUS 36 TANDEM SPACES

LOADING REQUIRED: I SPACES (I PER EACH 20,000 S.F. OF FLOOR AREA)

LOADING PROVIDED: 0 SPACES

BIKE STORAGE REQUIRED. =) IS\$ OF AUTOMOBILE SPACES = 50x0.IS = 7.5; 8 SPACES

BIKE STORAGE PROVIDED: 8 SPACES EXISTING TRIP GENERATION 0 VEHICLES

PROPOSED TRIP GENERATION: 90 VEHICLES (ASSUMING 30 BERTHS) - 15 PEAK HOUR TRIPS

TOTAL AREA OF DISTURBANCE DURING CONSTRUCTION 0.60 AC OR 26.213 SF

COMPLETE STREET CRITERIA:

	New	Upgraded
Crosswalks (number)		
Standard	0	0
High Visibility	0	0
Curb Ramps	0	0
Sidewalks (LF)	80	0
Bicycle Parking (num	ber of spaces)	
Public/Visitor	0	N/A
Private/Garage	8	N/A
Bicycle Paths (LF)	N/A	N/A
Pedestrian Signals	0	0

NORTH GRID 7 2 /IRGINIA



LOCATION MAP SCALE I"= 200'

TAX MAP # 075.03-03-12

SPECIAL USE PERMITS/ZONING MODIFICATIONS/WAIVERS

- REZONING REQUEST FROM W-I TO WPR DEVELOPMENT SITE PLAN AND SPECIAL USE PERMIT (6-203(C)) BOARD OF ARCHITECTURAL REVIEW APPROVAL PARKING REDUCTION FOR THE NUMBER OF SPACES BEING PROVIDED MODIFICATIONS TO THE MINITURY SETBACKS FOR FRONT BUILDING LINES
- 204 (A)) MODIFICATION TO THE OPEN AND USABLE SPACE TO BE PROVIDED
- MODIFICATION TO THE MINIMUM CROWN COVERAGE REQUIRED TO BE
- MODIFICATION TO THE MINIMUM CROWN COVERAGE REQUIRED TO BE VIVIDED ((1-400-(2014)). LANDSCAPE INSTALLATION FOR AND SCREENING THE PARKING ON-SITE (11-40 (CC)(6)(0)M(b)) HODIFICATION FOR WISION (LEARANCE ENCROACHMENT FOR STRUCTURES IN THE PUBLIC RIGHT-OF-MAY, MODIFICATION TO THE SIDE YARD REQUIREMENTS (6-204(B)))

NOTES

- THE CITY OF ALEXANDRIA DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES, DIVISION OF ENVIRONMENTAL GUALITY MUST BE NOTHIED IF UNUSUAL OR UNANTICIPATED OF CONTAMINATION OR UNDERGROUND STORAGE TANKS, DEURS AND CONTAMINATIONERS ARE ENCOUNTERED AT THE SITE. IF THERE IS ANY DOUBT ABOUT PUBLIC SAFETY OR A RELEASE TO THE ENVIRONMENT HE ALEXANDRIA RIFE DEFAMENTENT HISST BE CONTACTED INTEGRATED BY CALLING MID. THE TANK OR CANTAINER'S REPOORL, ITS CONTENTS, ANY SOIL CONTAMINATION AND RELEASE TO THE WINDOWS THE WILL BE HANDLED IN ACCORDANCE WITH PEOPERAL, STATE, AND CITY REGULATIONS.
- IF REQUIRED, ALL WELLS TO BE DEMOLISHED ON THIS PROJECT, INCLUDING MONITORING WELLS, MUST BE CLOSED IN ACCORDANCE WITH STATE WELL REGULATION. CONTACT JOE FIANDER AND CORDINATE WITH THE ALEXANDRIA HEALTH DEPARTMENT AT 703-746-4400 EAT, 265.
- 3. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE ALEXANDRIA NOISE CONTROL CODE TITLE II, CHAPTER 5, WHICH PERMITS CONSTRUCTION ACTIVITIES TO OCCUR BETWEEN THE FOLLOWING HOURS:

HONDAY THROUGH FRIDAY FROM TAM TO 6PM AND SATURDAYS FROM WAN TO BET SEP PERMITTED ON SUNDAYS, PHEE DRIVING IS FURTHER RESTRICTED TO THE FOLLOWING HOURS, MONDAY THROUGH FRIDAY FROM 9AM TO 6PM AND SATURDAYS FROM 10AM TO 4PM

3 ARCHITECT

WINSTANLEY

I, CONTRACT PURCHASERS

OLD DOMINION BOAT CLUB

I KING STRFFT ALEXANDRIA, VIRGINIA 22314 (703) 836-1900



2. PLAN PREPARED BY:

christopher consultants

engineering · surveying · land planning opher consultants. Itd. 9900 main street (fourth floor) tairfax va 22031-3907 703.273.6820 fax 703.273.7636

107 N. WEST STREET ALEXANDRIA, VIRGINIA 22314 (703) 519-8080

4. ATTORNEYS:

HART, CALLEY, GIBBS # KARP, P.C.

307 N. WASHINGTON STREET ALEXANDRIA, VA 22314 (703) 836–5757

AREA TABULATIONS

TOTAL EXISTING IMPERVIOUS AREA = 0.419 Ac. OR 18,251 SF

TOTAL PROPOSED IMPERVIOUS AREA = 0.40 Ac. OR 17.425 SE

ENVIRONMENTAL SITE ASSESSMENT

THESE HER FAMS, DILCOME AINS, MIND BUTTER ABELS SECOLATED WITH SHARES, STEMMS OR WETLANDS, LOCATED WITH SHARES, STEMMS OR WETLANDS, CHECK TREATER THERE ARE NOT THAN METLANDS, SHARES, TREATERNEY STREAMS CONNECTED METLANDS, SHARES WETLANDS, HIGHLY EROCHBLE PREVIOURLE SOULS SHORES, THE WAS ASSOCIATED WITH SHORES, STEMMS OR WETLANDS LOCATED ON THIS SITE. THESE SOULS CONTAININATED SOULS ON SITE FER THE PHASE II ESA DATED CATEBER 20, 2035. THE SOIL AND GROUNDMATE MANAGEMENT FLAN (CATED INCRETOR IS, 2035) AND HEALTH AND SHETT (DATED

PLAN SHEET KEY

SITE IS ON ONE SHEET

PROJECT DESCRIPTION NARRATIVE

THE SITE IS BORDERED TO THE NORTH BY PRINCE STREET: TO THE EAST BY THE POTOMAC THE SITE IS BORDERED TO THE MORTH BY PRINCE STREET, TO THE EAST BY THE PROTONIC PROBLEM THE PROTONIC PROBLEM THE PROTONIC PROBLEM THE SOURCE STREET, AND THE SOURCE STREET, AND THE SOURCE STREET, AND THE SOURCE STREET, AND THE SOURCE PROBLEM THE PROTONIC PARTY CRUBES, AND ASSOCIATED PARKING, THE OFFICES FOR THE PROTONIC PARTY CRUBES, AND ASSOCIATED PARKING, AND IS CURRENTLY ZORDE AS MATERIAL PROFORD THE DISTRICT FALLS WITHIN THE MOD-TEAR FLACORPORT THE SOURCE SOURCE SOURCE PROPERTY. THE PROPERTY THE DISTRICT FALLS WITHIN THE COURSE FLACOR FROM THE SOURCE FLACOR FROM THE COURSE THE PROPERTY.

SITE ACCESS: THE PRIMARY ACCESS TO THIS SITE WILL BE FROM STRAND STREET.

THIS PROJECT CONSISTS OF THE DEVELOPMENT OF A NOW BUILDING FOR THE CLU DEPHINON
BOAT CLUE, PROVING HE REPORTED BY PROVINCE PROVING LOTT THE PROJECT
BOAT CLUE, PROVING HE PROVING HE PROVINCE PROVING HE PROJECT
BOAT OF THE PROJECT HE PROVINCE PROVINCE PROVING HE PROJECT
BOAT SHOW SHOWES, THE PREST FLOOR BUILD CRUSST OF A SOCIAL ROOT AND KITCHEN
FOR PRIVATE USE, PRESENS BOATE ROOT, RESTROOTS, BLEATER LODGE AND OUTDOOR
PAIRO, THE SECOND FLOOR BUILD CONSIST OF A BUILT-PURPOSE ROOT, BOAT CLUE OFFICES, PREP KITCHEN, RESTROOMS, ELEVATOR LOBBY AND BALCONY. THE ROOF WILL CONSIS ELEVATOR LOBBY AND ROOF DECK. IT WILL ALSO HOUSE THE MECHANICAL EQUIPMENT.

SIVIL PLAN SHEET

COVER SHEET

NOTES AND TABULATIONS
ADA NOTES
STAFF REPORT
EXISTING CONDITIONS PLAN
DEMOLITION PLAN C1.0 C2.0-C2.1 C2.2-C2.3 C2.4-C2.9 CONTEXTUAL PLAN
SITE PLAN
SITE PLAN - ULTIMATE CONDITION SITE FLAN - ULTIMATE CONDITION SITE GRADING PLAN - ULTIMATE CONDITION C6.1

C70 DIMENSION PLAN FIRE SERVICE AND SIGNAGE PLAN TURNING MOVEMENTS

IUNINING PROVENENTS LANDSCAPE DETAILS LANDSCAPE DETAILS SITE DISTANCE PROFILE SITE DISTANCE PROFILE DRAINAGE DIVIDE MAP

SWM AND BMP COMPUTATIONS

CI2.0 CI2.1 CI3.0 SMIT AND BITE CONFUTATIONS WOLA EROSION AND SEDIMENT CONTROL PLAN -

PHASE I C13.1 PHASE II

MHASE II EROSION AND SEDIMENT CONTROL PLAN -NOTES AND DETAILS SOIL AND GROUNDWATER MANAGEMENT CI3 2-CI3 3

CI3,4-CI3,5

PLAN
MAINTENANCE OF TRAFFIC PLAN
SITE UTILITY PROFILES & COMPUTATIONS CI5.0-CI5.I

CIS.O-C.D.I SITE DETAILS
(CIG.O SITE DETAILS
ARCHITECTURAL SHEETS
A-101 ARCHITECTURAL SITE PLAN
A-101A ARCHITECTURAL SITE PLAN:FLOOD

SQUARE FOOTAGE TABULATIONS FLOOR PLANS A-103 A-111 - A-113 MECHANICAL SCHEDULE EXTERIOR ELEVATIONS

EXIENIOR ELEVATIONS
BUILDING/SITE SECTIONS
SITE DETAILS
DETAILS EXTERIOR SIGNAGE
SCHEDULE LIGHTING
PHOTOMETRIC STUDIES
SCHEDULE - FINISHES
BUILDING MASSING STUDY 4-301 A-501 - A-502 A-610 A-611

A-801 - A-804 RENDERING METHANE SHEETS

METHANE DEGASSING SYSTEM DIAGRAM

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APPROVED SPECIAL USE PERMIT NO. DSUP# 2014-0026 DEPARTMENT OF PLANNING & ZONING DIRECTOR DATE
DEPT, OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN No DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE DATE RECORDED INSTRUMENT NO. DEED BOOK NO.

SHEET: CI.O

File No. 102791 Tax Map No. #1075.09-08-12 ..lab No. 1410.4.001.00. Godd Dwa. FilesCLO. COVER



REZIFOH 6.0006, DISTROBLEDO.

DESCRIPTION 6.0006, DESCRIPTION 6.0006

PREZIFOH 6.0006, DESCRIPTION 6.0006

DESCRIPTION 6.0006, DESCRIPTION 6.0006

These issues relate to City staff's concern for the height of the wall proposed at the proposed parking lot's western property line and to the difference of opinion between the two parties regarding the structural support necessary for the eastern perimeter of the proposed parking lot.

CONDITIONS AMENDED BY THE PLANNING COMMISSION

- A All wells come from the design the property of the form and pulses and the profession of the property of the found of Architectual Review. The perimeter enthwall and the entered property of the found of Architectual Review of the perimeter features called to the following design.

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 A for each of the contraction of the following design.

 A for each of the contraction of the following design.

 A for each of the following the gate entereds and at corners). The applicant shall have the expendibility of entering the perimeter form the madeling particular as a growth as property and perimeter form as an admitted particular than the following and the following and the following and the following the

 - All the could property on the new preparate has the deposits on the contraction. It is a contraction of the contraction of th
 - sub-base that is permeable and allows for a minimum of

REZ#2014-0006, DSUP#2014-026 ENC#2014-013 0 Prince Street, 200 & 204 Strand Street



REZ #2014-0013, DSUP #2014-0026 0 Prince Street, 200 & 204 Strand Street REZ#2014-0006, DSUP#2014-0026 ENC#2014-0013 0 Prince Street, 200 & 204 Strand Street

The location of the transformer shall be described as the Total Star Marsh Start Sta

B. OPEN SPACE/LANDSCAPING:

- 4. Develop, provide, install and maintain an integrated Landscape Plan with the final
- Develop, persold, total and mantatian integrated Landscape Plant with the final set plan that is conceilated with other succeilated set conditions to the state plan that is conceilated with other succeilated law conditions to the Landscape Plant shall.

 A Provide are conceiled with a Contract Plant Co. At a minimum the American Contract Plant shall contract the contract plant plant

- whale trees, groundovers and premainh that are barcicularity bar dish-Arlatic and Walespace, DC Nisotana Capital accidentation the MacMattania and Walespace, DC Nisotana Capital Emerge positive desinage in all pistend senses. Provide datast, extens and plant devenings of tree wells showing proposed plantings and smockaned materials, subjects exchanges, and smockaned materials, subjects exchanges and smockaned materials, subjects of the contraction of the contractio

09/24/2021 STONAL ENGIN

SURMISSION

ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY OF ALEXANDRIA STANDARDS AND SPECIFICATIONS

DATE

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consi

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Christop engineering · survi 9900 main street (fourth 703,273,6820 · 16x 703

 \mathcal{C} VIRGINIA \perp

al site plan VION BOAT Alexandria, vir FINAL SITE F R CITY D 9

N/A

09/24/2021

REZ#2014-0006, DSUP#2014-0026 ENC//2014-4013 0 Prince Street, 200 & 204 Strand Street

- The Final Site shall be is substantial conformance with the preliminary plan dated 12/11/2014 and the charges indicated with revision clouds on the updated plan and architecture sheets dated 12/20/2015 for the BAR work sension submission and comply with the following conditions of approval.

A. PEDESTRIANSTREETSCAPE:

- Provide the following prdestrian improvements to the satisfaction of the Directors of P&Z, RP&CA and T&ES:

 - ena of the successit island between the drive aprons and shall be locate; as close as possible to the proposed street tree on the opposite side of the tree as shown in the Phase I Schematic Design.

REZ#2014-0006, DSUP#2014-0026 ENC#2014-0013 9 Prince Street, 200 & 204 Strand Street

- The on-site oper space area shall be per that shown on the tabulation on sheet A-102. (PAZ)(RP&CA)
- Provide a site irrigation and/or water management plan developed installed and maintained to the satisfaction of the Directors of RP&CA, P&Z and Cide Administration. inistration.

 Provide an exhibit that demonstrates that all parts of the site can be accessed by a combination of building mounted hose bibs and ground set
- necessed by a continuous or Publishing mounted hose this and ground 42 Provide chetrial water bost bits continuous an privatives of building-Provide at loast one accessible, extrand water hose bits on all building-Provide at assuming monged 490 for again. and 192% most hose bits does at a summing monged 490 for again. and 192% most hose bits for a summing of the summing of th

- Develop a polene of site furnishings in consultation with staff.
 Provide housins, and specifications, and details for site furnishings that the staff of the staf
- Provide material, finishes, and architectured details for all retaining walls, cert walls, decernive walls, and serior walls, decernive walls, and serior walls, decerned by our decernation of the property of the conditions. Decign and construction of an advantage is required to your decernations. Decign and construction of all CATS. The walls and handrals with the designed to be consistent with the entertiests and design of the broadings have, and shall be subject to approved by the Board of Architectural seriors. PREACS/PREACS [55]
- All wills, confi. Sence, piers, gate and lighting shall be subject to final approach
 by the Board of Architectural Review. The permoter earthwall and force around
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 the permoter forces will be to the following design:
 The permoter forces will be the following design:
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SPECIAL USE PERMIT NO. DEPARTMENT OF PLANNING & ZONING DIRECTOR DATE DATE DIRECTOR DATE

APPROVED DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES SITE PLAN NO. CHARNAN, PLANKING COMMISSION DATE RECORDED ____ INSTRUMENT NO. DEED BOOK NO. PAGE NO.

PROJECT NO.14104.001.00 SCALE: DATE: DESIGN: JLH DRAWN: JLH CHECKED: KMW SHEET No.

REZ#2014-0006-DSUP#2014-022 ENC#2014-0213 0 Prince Street, 200 & 204 Strand Street

ADMINISTRATIVE ACTION, SEPTEMBER 15, 2021: Staff has amended the following kondition to provide clarification on the installation of the rooftop canopy:

15. The reoftup carepy and supporting structure shall be fully demountable without the use of noise and final design shall be subject to the approval by the Board of Architectural Review, is addition, the canepy add be a seasoned element which is fully demounted between November 15th and Forwary 15th and with the exception of a 24 hour period for the Socialit Mode to the studietion of the Boxton of Planning and Zoning, (PAZ)

CITY COLN'EL ACTION. MARIE 18. 2815: Cay Council approved the Plasmeg Corraisons recommendation, with the associad verbine of Condition 25 stating. The contention of the land places of Lett 16 state 8. the expensional for the application for the places of Lett 16 state. The expensional for the application for TASE's (1) The surface treatment graphs shall be a had surface, so-naistenance material, which can adoptately rote incension by floridge or sea crison. The design anglong at this location shall relate the previous state of the three contents of the surface of the content of the surface of the content of the c

PLANNING COMMISSION ACTION, MARCH 3, 2015: On a motion by Vice Chairsan Dunn, seconded by Commissioner Macek, the Planning Commission voted to recommend approxal of Rezoning #2014-0013 subject to the proffer and all applicable codes, ordinances, and staff recommendations. The motion carried on a vote of 6 to 0 with Commissioner Lyle absent

By unanimous consent, the Planning Commission voted to amend condition 8th Development, Special Use Permit 2014-00003 to refeet the language in the 33/15 memo from the Director of Planning and Zimigs, to amend condition 81 and dature condition FARES C 8 (both Development, Special Use Permit F0014-0000) as set out in the 3/3/15 memo from the Director of Transportation and Fortermental Services.

The Planning Commission additionally directed staff and the applicant to continue to wark towards a resolution to condition #8 (sae discussion below).

On a motion by Vice Chairman Dans, seconded by Commissioner Macek, the Planning Commission voted to geometrical approval of Development Special Use Pennit #2014-0026 ac amended, and Enerouedharent #2014-0473 subject to all applicable codes, ordinances, and saff recommendation. The motion carried on a vote of the or with Commissioner Lyls absent.

<u>Discussions</u>:

The Commission agreed with the stall analysis, and was supportive of the project as a key clement which allows for the implementation of the Waterfront Plan, and as providing for a rew location and building for the Old Domission Bost Club.

REZ#2014-0006, DSUP#2014-0026 ENC#2014-0013

BEZESONI-4000, INSUPPONI-4000.

BEZESONI-4000, INSUPPONI-4000.

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81. All exterior building-mounted loadspeakers shall be prohibited, except as located on the dockside for the purpose of communicating with the excepants of hosts decked at the dipt and two amplified seams death to audition or the property-line. Notic levels at the property line shall comply with the limits in the Notice Chalmace, (TakS3).

T&US C-8 In compliance with Tale-6-Transportation and Environmental Services, Sertion-6-1-21-20 of the City-Charter and Code, the City-of-Alexandria-shall privide solid water collection sorvices to the condominant summanume portion of the development. All ordinar-recycling exceptacies shall be placed at the City Right of Way-(+&ES)

e Gibbs and Michael Winstanley, both representing the applicant, spoke

VIII. STAFF RECOMMENDATIONS

Note: where conditions relate to the City Council approved Phase I Schenaric Dosign for the Wateribut Landscape and Flood Minganion Dosign Project, the project is referred to as the Phase I Schenaric Design bereinafter, and shall include any updated version of the plan.

- - a. Complete all potentrian improvements prior to the issuance of a certificate
- Complete all potentian imprevenements ports to the issuance of a certificate of company permit.

 All materials has the right-develop shall be constructed in home of macrical.

 All materials have been a constructed in the construction of the property of the construction of the Primer I Schemeist Design and the "Construct Elements" patter being developed by the Cryst and and the Cryst design consultant. These materials shall include the substant the construction of the Cryst and the Cryst design consultant. These materials was to the fast and the considerable of the Cryst and the system of the Cryst and Cryst a

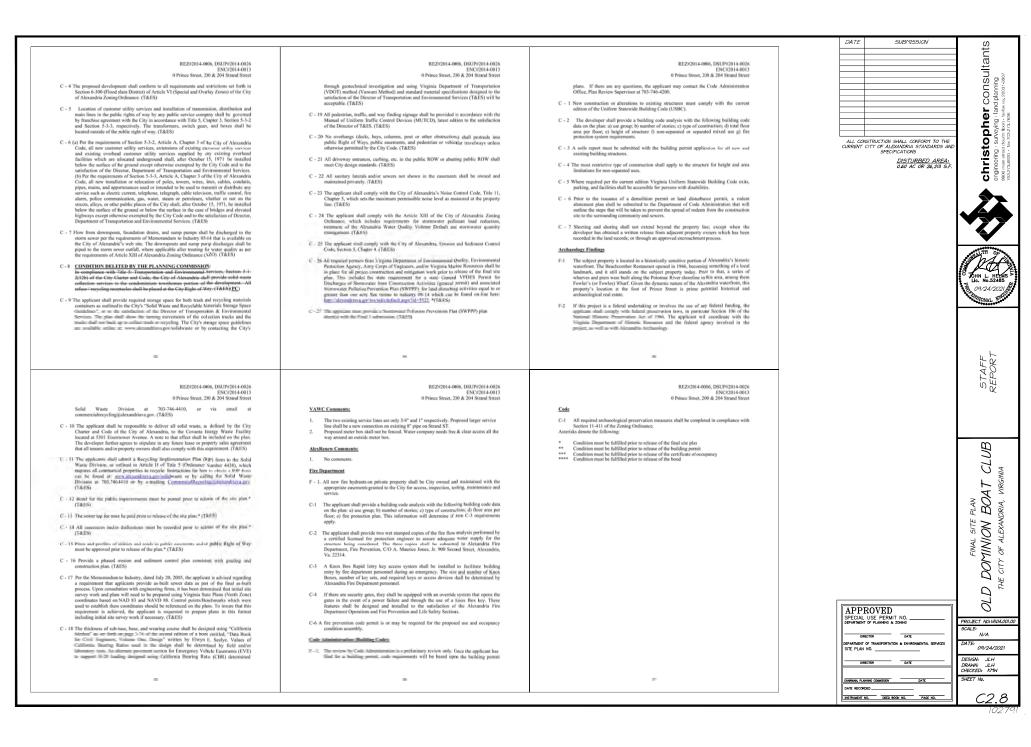
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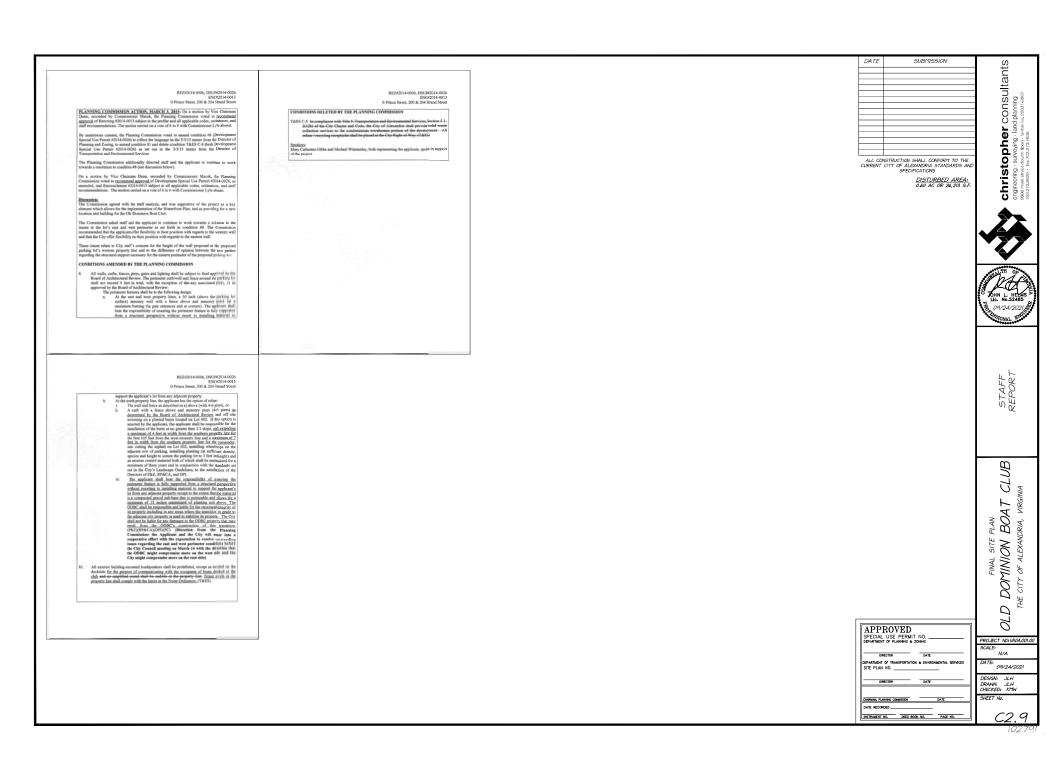
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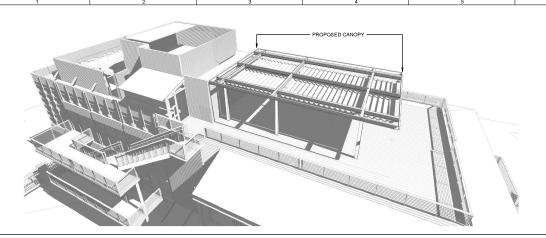


C2.6

24







CODE ANALYSIS

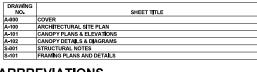
PROJECT ADDRESS: 0 PRINCE STREET ALEXANDRIA, VA 22314

PROJECT DESCRIPTION: ADDITION OF A SELF-SUPPORTING DEMOUNTABLE CANOPY AND TRELLES STRUCTURE ON EXISTING ROOF TERRACE OF THE EXISTING OLD DOMINON BOAT CLUB (ODDE) BUILDING

APPLICABLE CODES:
INTERNATIONAL BUILDING CODE (IBC) 2018
LOCAL CODE AMENDMENTS: 2018 VIRGINIA CONSTRUCTION CODE

SPECIFICATIONS & SHOP DRAWINGS

- 1. GENERAL CONTRACTOR TO PROVIDE ERECTOR SET FOR CANOPY STRUCTURE
- 2. ALL STRUCTURAL MEMBERS TO BE WELDED WITH MATCH NUMBERS
- 3. ALL STEEL TO BE PRIMED WITH TWO COATS OF RED OXIDE PRIMER AND PAINTED TO MATCH EXISTING DECORATIVE STEEL ON THE BASE BUILDING
- 4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND/OR CALCULATIONS TO THE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION. THE LIST OF REQUIRED SHOP DRAWINGS AND SUBMITTALS INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:
- FABRIC CANOPY SHOP DRAWINGS
 FABRIC SUBMITTAL
 STRUCTURAL STEEL SHOP DRAWINGS
 PAINT SUBMITTAL



ABBREVIATIONS

L	ANGLE	F.D.	FLOOR DRAIN	PRCST.	PRECAST
o .	AT	FDN.	FOUNDATION	PL.	PLATE
Æ.	CENTERLINE	F.E.	FIRE EXTINGUISHER	PLAM.	PLASTIC LAMINATE
Ø	DIAMETER	F.E.C.	FIRE EXTINGUISHER CAR.	PLAS.	PLASTER
1	PERPENDICULAR	FHC	FIRE HOSE CABINET	DIMMD	PLYWOOD
_	CHANNEL			PR.	PAIR
_		FIN.	FINISH	PT.	POINT
	POUND or NUMBER	FL.	FLOOR		
(E)	EXISTING		FLASHING	P.T.D.	PAPER TOWEL DISPENSER
AB	AIR BARRIER (ALSO WRB)	FLUOR.	FLUORESCENT	Q.T.	QUARRY TILE
ACOUS.	ACOUST CAL	F.O.C.	FACE of CONCRETE	R	RELOCATE
A.D.	AREA DRAIN	F.O.F.	FACE of FINISH	RAD.	RADIUS
ADJ.	ADJUSTABLE	F.O.M.	FACE of MASONRY	R.D.	ROOF DRAIN
AFF	ABOVE FINISH FLOOR	F.O.S.	FACE of STUDS	REF.	REFERENCE
	AGGREGATE			REF	REFRIGERATOR
AL.	ALUMINUM	FP.	FIREPROOF	REG.	REGISTER
APPROX	APPROXIMATE	F.S.	FULL SIZE		
ARCH.	ARCHITECTURAL	FT.	FOOT or FEET		REINFORCED
ASB.	ASBESTOS	F.T.	FIRE TREATED	REQ'D.	
ASPH.	ASPHALT	FTG.	FOOTING	RESL	RESILIENT
BD.	BOARD	FURR.	FURR I NG	RM.	ROOM
	BITUMINOUS	F&I.	FINISH and INSTALL	R.O.	ROUGH OPENING
		FUT.	FUTURE	RWD.	REDWOOD
BLDG.	BUILDING			R.W.L.	RAÍN WATER LEADER
BLK.	BLOCK		FABRIC WRAPPED PANEL	s.	SOUTH
BLKG.	BLOCKING	GA.	GAUGE	s.c.	SOLID CORE
BM.	BEAM	GALV.	GALVANIZED	SCD	SEAT COVER DISPENSER
вот.	воттом	G.B.	GRAB BAR		SCHEDULE
B.T.B.	BACK TO BACK	G.C.	GENERAL CONTRACTOR		
CAB.	CABINET	GL.	GLASS/GLAZING	S.D.	SOAP DISPENSER
				SECT.	SECTION
C.B.	CATCH BASIN	GR.	GROUND	SH.	SHELF
CEM.	CEMENT	G.	GRADE	SHR.	SHOWER
CER.	CERAMIC	GYP.	GYPSUM	SHT.	SHEET
C.L	CAST IRON	GWB	GYPSUM WALL BOARD	SIM.	SMILAR
CLG.	CEILING	нв	HOME BID		
CLO.	CLOSET	H.C.	HOSE CABINET	S.N.D.	SANITARY NAPKIN DISPENSER
GLR.	CLEAR		HARDWOOD	SNR	SANITARY NAPKIN
					RECEPTACLE
COL.	COLUMN	HDW.	HARDWARE	SLNT.	SEALANT
CONC.	CONCRETE	HDW.	HARDWARE HOLLOW METAL	SLNT. SPEC.	SEALANT SPECIFICATION
CONC.		нм.		SPEC.	SPECIFICATION
CONC.	CONCRETE	нм.	HOLLOW METAL	SPEC.	SPECIFICATION SQUARE
CONC. CONSTR	CONCRETE	H.M. HORIZ	HOLLOW METAL HOR I ZONTAL	SPEC SQ S.S.	SPECIFICATION SQUARE STAINLESS STEEL
CONC CONSTR CONT CORR	CONCRETE CONSTRUCTION CONTINUOUS	H M HORIZ HR HT	HOLLOW METAL HORIZONTAL HOUR HEIGHT	SPEC SQ S.S. S.SK	SPECIFICATION SQUARE STAINLESS STEEL SERVICE SINK
CONC CONSTR CONT CORR CTSK	CONCRETE CONSTRUCTION CONTINUOUS CORRIDOR COUNTERSUNK	H M HORIZ HR HT	HOLLOW METAL HORIZONTAL HOUR HEIGHT INSIDE DIAMETER (CM.)	SPEC SQ S.S. S.SK STA	SPECIFICATION SQUARE STAINLESS STEEL SERVICE SINK STATION
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CONC. CONSTR. CONT. CORR. CTSK. CNTR. CTR. DBL. DEPT. D.F.	CONCRETE CONTRUCTION CONTRUCTION CONTRUCUS CORRIDOR COUNTERSUNK COUNTER CENTER DOUBLE DEPARTMENT DRINKING FOUNTAIN	H M HORIZ HR HT LD INSUL INT JAN	HOLLOW METAL HORIZONTAL HOUR HEIGHT NISIDE DIAMETER (DM.) NYERIOR JANITOR	SPEC. SQ. S.S. S.SK. STA. STD. STL. STOR	SPECIFICATION SQUARE STAINLESS STEEL SERVICE SINK STAITON STANDARD STEEL
CONC. CONSTR. CONT. CORR. CTSK. CNTR. CTR. DBL. DEPT.	CONCRETE CONSTRUCTION CONTINUOUS CORRIDOR COUNTERSUNK COUNTER CENTER DOUBLE DEPARTMENT	HM. HORIZ HR. HT. LD. INSUL INT. JAN. JT.	HOLLOW METAL HORIZONTAL HOUR HEIGHT INSIDE CLAMETER (DM.) INSULATION INTERIOR JANITOR JOINT	SPEC. SQ. S.S. S.SK. STA. STD. STL. STOR. STRL. SUSP.	SPECIFICATION SOLUARE STAINLESS STEEL SERVICE SHIK STATION STATION STREEL STORAGE STRUCTURAL SUSPENDED
CONC. CONSTR. CONT. CORR. CTSK. CNTR. CTR. DBL. DEPT. D.F.	CONCRETE CONTRUCTION CONTRUCTION CONTRUCUS CORRIDOR COUNTERSUNK COUNTER CENTER DOUBLE DEPARTMENT DRINKING FOUNTAIN	H.M. HORIZ. HR. HT. LD. INSUL. INT. JAN. JT. KIT. LAB.	HOLLOW METAL HORIZONTAL HOUR HEIGHT NISION DIAMETER (DIM.) INTERIOR JANITOR JOINT KITCHEN	SPEC. SQ. S.S. S.SK. STA. STD. STIL. STOR. STRL SUSP. SYM.	SPECIFICATION SOLUME STAINLESS STEEL SERVICE SHIK STATION STAIDON STAIDON STEEL STOCKAGE STRUCTURAL SUMPERVICAL
CONC CONSTR CONT CORR CTSK CNTR CTR DBL DEPT DF	CONCRETE CONTRUCTION CONTRUCTION CONTRUCTS CORREDOR COUNTERSUNK COUNTER CENTER DOUBLE DEPARTMENT DEPARTMENT DEPARTMENT DEPKING FOUNTAIN	H.M. HORIZ. HR. HT. LD. INSUL. INT. JAN. JT. KIT. LAB.	HOLLOW METAL HORIZONTAL HOUR HEIGHT INSIDE DIAMETER (DM.) INSULATION INTERIOR JOINT INTOHION INTERIOR JOINT INTOHION	SPEC. SG. S.S. S.SK. STA. STD. STL. STOR. STRL. SUSP. SYM. TRD.	SPECHEATON SOUNKE STAINLESS STEEL SERVICE SHK STATON STAIDARD STAIDARD STRUCTURAL SUSPENSED SYMMETHÜAL TREAD
CONC CONSTR CONT CONT CORR CTSK CNTR CTR DBL DEPT DF DET DIA	CONCRETE CONTRIUCTION CONTRIUCTION CONTRIUCUS CORRIDOR COUNTERSUNK COUNTER CENTER DOUBLE DEPARTMENT DENING FOUNTAIN DENING FOUNTAIN DENING DEMALTER	H M. HORIZ. HR. HT. LD. INSUL. INT. JAN. JT. KIT. LAB. LAM. LAV.	HOLLOW METAL HOBEOSTAL HOUR HEIGHT HABIOE EAMETER (DM-) HOTERIOR JOHNT HTTCHEN LABORATORY LABORATORY LABORATORY	SPEC. SG. SS. S.SK. STA. STD. STL. STOR STRL SUSP. SYM. TRD. T.B.	SPECIFICATION SOLIANE STAINLESS STEEL SERVICES SHK STATION STANDARD STEEL STORAGE STRUCTURAL SUSPENDED SYMMETRICAL TIREAD TOWEL BAR
CONC CONSTR CONT CORR CTSK CNTR CTR DBL DEPT DF DET DIA DIM	CONCRETE CONSTRUCTION CONTINUOUS CORRIDOR COUNTERSUNK COUNTER CENTER DEPARTMENT DEPARTMENT DEPARTMENT DETAIL DAMETER	H M. HORIZ. HR. HT. LD. INSUL. INT. JAN. JT. KIT. LAB. LAM. LAV. LKR.	HOLLOW METAL HOBEONTAL HOUR HEIGHT HEIGHT HEIGHT HOUR HOUSE	SPEC. SQ. SS. SSK. STA. STD. STL. STOR. STRL. SUSP. SYM. TRD. T.B. T.C.	SPECHECATION SOLIARE STAINLESS STEEL SERVICE SHIK STATION STAIDARD STAIDARD STRUCTURAL SUSPENDED SYMMETRICAL TURAL
CONC CONSTR CONT CORR CTSK CNTR CTR DBL DEPT DF DET DIA DIM DISP	CONCRETE CONSTRUCTION CONTINUOUS CORRIDOR COUNTERSUNK COUNTER CENTER DOUBLE DEPARTMENT DENNING FOUNTAIN DETAIL DEMARTER DEMARTER DEMARTER DEMARTER DEMARTER	H.M. HORIZ. HR. HT. LD. INSUL. INT. JAN. JT. KIT. LAB. LAM. LAV. LKR. LT.	HOLLOW METAL HOBEONTAL HOUR HEISHT HEISHT HISHER HOUSE HOUSETH	SPEC. SQ. SS. SSK. STA. STD. STL. STOR. STRL SUSP. SYM. TRD. T.B. T.C. TEL.	SPECIFICATION SOLIANE STAINLESS STEEL SERVICE SHIK STATION STAIDAN STAIDAN STAIDAN STAUDARD STEEL STORAGE STRUCTURAL SUSPENDED SYMMETRIDAL TREAD TOWER LEAR TOP OF QUIRB TELEPHONE
CONC CONSTR CONT CORR CTSK CNTR CTR DBL DEPT DF DET DIA DIM DISP DN DO	CONCRETE CONTRINCTION CONTRINCTION CONTRINCTION CONTRINCTION COUNTER CENTER DOUBLE DEPARTMENT DEPARTMENT DETAIL DIMETER DIMETER DIMETER DIMETER DOME DEPARTMENT DEPARTMENT DETAIL DEPARTMENT DEPARTMEN	H.M. HORIZ. HR. HT. LD. INSUL. INT. JAN. JT. KIT. LAB. LAM. LAV. LKR. LT. MAX.	HOLLOWMETAL HORIZONTAL HOUR HEIGHT HEIGHT HOUSE	SPEC. SQ. SS. SSK. STA. STD. STL. STOR. STRL. SUSP. SYM. TRD. T.B. T.C.	SPECHECATION SOLIARE STAINLESS STEEL SERVICE SHIK STATION STAIDARD STAIDARD STRUCTURAL SUSPENDED SYMMETRICAL TURAL
CONC CONSTR CONT CORR CTSK CNTR CTR DBL DEFT DFT DET DIA DIM DISP DN DO DR	CONGRETE CONSTRUCTION CONTINUOUS CORRIDOR COUNTERSUNK COUNTER CENTER DOUBLE DEPARTMENT DEPARTMENT DEPARTMENT DEFAR DEFAR DEPARTMENT DEFAR DEPARTMENT DEFAR DEPARTMENT	H M HORIZ. HR. HT. LD. INSUL. INT. JAN. JT. KIT. LAB. LAM. LAV. LKR. LT. MAX. M.C.	HOLLOW METAL HOMEONTAL HOUR HEISHT HEISHT HOUSE	SPEC. SQ. SS. SSK. STA. STD. STL. STOR. STRL SUSP. SYM. TRD. T.B. T.C. TEL.	SPECIFICATION SOLIANE STAINLESS STEEL SERVICE SHIK STATION STAIDAN STAIDAN STAIDAN STAUDARD STEEL STORAGE STRUCTURAL SUSPENDED SYMMETRIDAL TREAD TOWER LEAR TOP OF QUIRB TELEPHONE
CONC CONSTR CONT CORR CTSK CNTR DBL DEPT DF DET DIA DIM DISP DN DO DR DS	CONCRETE CONTRICTION CONTRICTI	H M HORIZ. HR. HT. LD. INSUL. INT. JAN. JT. KIT. LAB. LAW. LKR. LT. MAX. M.C. MECH.	HOLLOW METAL HOBEONTAL HOUR HEIGHT HEIGHT INSULATION INTERIOR JOINT HOTHOR LABORATORY LAWINTE LABORATORY LAWINTE MOMPHUM MEDICINE CARNET	SPEC SQ. S.S. S.SK. STA. STD. STL. STOR. STRL. SUSP. SYM. TRD. T.B. T.C. TEL. TER.	SPECIFICATION SOLIANE STAINLESS STEEL SERVICE SHIK STAITON STAITON STAIDAN STORAGE STRUCTURAL SUSPENDED SYMMETRICAL TREAD TOWEL BAR TOP OF QUUBB TELEPHONE TELEPHONE
CONC CONSTR CONT CORR CTSK CNTR CTR DBL DEPT DF DET DIA DIM DISP DN DR DR DS DS DS DS DS P	CONGRETE CONSTRUCTION CONTINUOUS CORRIDOR COUNTERSINK COUNTER CENTER DOUBLE DEPARTMENT D	H.M. HORIZ. HR. HT. LD. INSUL. INT. JAN. JT. KIT. LAB. LAW. LAV. LKR. LLT. MAX. M.C. MECH. MEMB.	HOLLOW METAL HONDONTAL HOUR HEIGHT HEIGHT HOUSE HEIGHT HOUSE	SPEC SQ. S.S. S.SK. STA. STD. STL. STOR. STRL. SUSP. SYM. TRD. T.S. T.C. TEL. TER. T.A.G.	SPECIFICATION SOLIANE STAINLESS STEEL SERVICE SHIK STATION STAINLON STAINLON STAINLON STAINLON STAINLON STAINLON STAINLON STAINLON STAINLON STRUCTURAL SUSPENDED SYMMETRICAL TORONE TREAD TOWEL BAR TOP OF CLUB TELEPHONE TELEPHONE TERRAZZO TORONEO T
CONC CONSTR CONT CORR CTSK CNTR DBL DEPT DF DET DIA DIM DISP DN DO DR DS	CONCRETE CONTRICTION CONTRICTI	H M HORIZ. HR. HT. LD. INSUL. INT. JAN. JT. KIT. LAB. LAW. LKR. LT. MAX. M.C. MECH.	HOLLOW METAL HOBEONTAL HOUR HEIGHT HEIGHT INSULATION INTERIOR JOINT HOTHOR LABORATORY LAWINTE LABORATORY LAWINTE MOMPHUM MEDICINE CARNET	SPEC. SQ. S.S. S.SK. STA. STD. STL. STOR. STRL SUSP. SYM. TRD. TEL. TEL. TER. TAG. THK. T.P.	SPECIFICATION SOLIANE STAINLESS STEEL SERVICE SHIK STATION STAIDAN STAIDAND STAIDAND STAIDAND STAIDAND STRUCTURAL SUSPENDED SYMMETRICAL TORAGE TOWEL BAR TOP OF CUBB TELEPHONE TERRAZZO TOMOUE AND GROOVE THICKNESS TOP OF PAYMEMENT
CONC. CONSTR. CONT. CORR. CTSK. CTR. DBL. DEPT. D.F. DET. DIA. DIM. DISP. DN. D.O. DR. DS. D.S.P. DWG.	CONGRETE CONSTRUCTION CONTINUOUS CORREDOR COUNTERSINK COUNTER CENTER DOUBLE DEPARTMENT DOWN DOOR DEPARTMENT DOWN DOOR DOOR DOWNSPOUT DEPARTMENT	H.M. HORIZ. HR. HT. LD. INSUL. INT. JAN. JT. KIT. LAB. LAW. LAV. LKR. LLT. MAX. M.C. MECH. MEMB.	HOLLOW METAL HONDONTAL HOUR HEIGHT HEIGHT HOUSE HEIGHT HOUSE	SPEC. SG. S.S. S.SK. STA. STD. STD. STRL SUSP. SYM. TRD. T.B. T.C. TEL. TER. T.A.G. THK. T.P. T.P.D.	SPECIFICATION SOLIAME STAINLESS STEEL SERVICES SHK STATION STAIDAN STAIDAN STEADAN STERL STORAGE STRUCTURAL SUSPENDED SYMMETRICAL TREAD TOWNE BAR TOP OF CURB TELEPHONE TERLEPHONE TERRAZZO TOROUE AND GROCVE THORNESS THORNESS THORNESS THORNESS THORNESS TOROUE SAINLESS TOR
CONC. CONSTR. CONT. CORR. CTSK. CNTR. DBL. DEPT. D.F. DET. DIA. DIM. DISP. DN. D.O. DR. DS. D.S.P. DWG.	CONGREE COUNTRIBUTION CONTINUOUS CONTINUOUS CONTINUOUS CONTINUOUS CONTINUOUS CONTINUOUS COUNTER CENTER DOUBLE CONTINUOUS COUNTER DEPARTMENT DOWNSTOUT DEPARTMENT DOWNSTOUT DEPARTMENT DEPAR	HM. HORIZ. HR. HT. LD. INSUL INT. JAN. JT. LAB. LAM. LAV. LKR. LT. MAX. M.C. MECH. MEMB. MTL.	HOLLOW METAL HOBEONTAL HOUR HEIGHT HEIGHT HOUSE	SPEC. SO. S.S. S.S.K. STA. STD. STL. STOR. STRIL. STOR. STRIL. T.C. TEL. TER. T.A.G. T.H.K. T.P.D. T.V.	SPECIFICATION SOLIANE STAINLESS STEEL SERVICE SHIK STATION STAIDAN STAIDAND STAIDAND STAIDAND STEEL STORAGE STRUCTURAL SUSPENDED SYMMETHICAL THEAD TOWEL BAR TOP OF CUBB TELEPHONE TERRAZZO TONGUE AND GROOVE THICKNESS TOP OF PUBBERT TOO OF PUBBERT THICKNESS TOP OF PUBBERT TOO OF PUBBERT TOO OF PUBBERT TOO OF PUBBERT TOO OF PUBBERT TOLLET PAPER DISPENSER
CONC. CONSTR. CONT. CORR. CTSK. CTR. DBL. DEPT. DIF. DET. DIA. DIM. DISP. DN. D.O. DR. DS. D.S.P. DWG. E EA.	CONGRETE CONSTRUCTION CONTINUOUS CORRIDOR COUNTERSUNK COUNTER CENTER DOUBLE DEPARTMENT D	H.M. HORIZ. HR. HT. LD. INSUL JAN. JT. KIT. LAB. LAW. LLW. LLW. M.C. MECH. MECH. MECH. MERR. MH.	HOLLOW METAL HONDONTAL HOUR HEISHT HEISHT HOUR HOUR HOUR HOUR HOUR HOUR HOUR HOUR	SPEC. SO. S.S. S.S. S.S. S.S. S.S. STA. STD. STD. STD. STD. STRL SUSP. SYM TRD. T.C. TEL. TER. T.A. T.A. T.A. T.P. T.A. T.P. T.P.D. T.V. T.W.	SPECIFICATION SOLIANE STAINLESS STEEL SERVICES SHIK STATION STAIDAN STAIDAN STEEL STRUCTURAL SUSPENDED STRUCTURAL SUSPENDED STMMETRICAL TREAD TOWEL BAR TOP OF QUIBS TELEPHONE TERRAZZO TOROUGE AND ORCOVE THOCKNESS TOP OF FPAMERIT TOLET PAPER FOISPENSER TELEPHONE TERRAZZO TOROUGE AND ORCOVE THOCKNESS TOP OF FPAMERIT TOLET PAPER FOISPENSER TELEPHONE TOP OF PAMERIT TOLET PAPER FOISPENSER TELEPHONE TOP OF PAMERIT TOLET PAPER FOISPENSER
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CONC. CONSTR CONT. CORR. CORR. CTSK. CNTR. DBI. DEPT. DIA. DISP. DN. DC. DR. DR. DS. DS.P. DWG. E EA.	CONGRETE CONSTRUCTION CONTINUOUS CORRIDOR COUNTERSUNK COUNTER CENTER DOUBLE DEPARTMENT DOWNS DOOR OPENING DOONS DOONS DOWNSOUT DEMY STANDPPE DRAWNINGS EAST EACH EXPANSION JOINT EX	H.M. HORIZ. HR. HT. LD. INSUL INT. JAN. JT. KIT. LAB. LAV. LKR. LT. MAX. MECH. MEMB. MTL. MER. MN. MR.	HOLLOW METAL HOURDONTAL HOUR HEIGHT HEIGHT HOUR HEIGHT HOUR HOUR HOUR HOUR HOUR HOUR HOUR HOUR	SPEC. SO. S.S. S.SK. STA. STD. STD. STD. STD. STD. STD. STD. TRD. T.B. T.C. TEL. TER. T.C. T.E. T.C. T.E. T.C. T.E. T.C. T.F. T.P. T.P. T.P. T.P. T.P. T.P. T.P	SPECIFICATION SOLIANE STAINLESS STEEL SERVICE SHIK STATION STAINLOAD STAINLOAD STAINLOAD STAINLOAD STAINLOAD STAINLOAD STRUCTURAL SUSPENDED SYMMETRICAL TORNEL BAR TORNEL BAR TORNEL BAR TORNEL BAR TELEPHONE TERRAZZO TORNOLE AND GROOVE THICKNESS TOP OF PAWEMENT TOILET PAPER DISPENSER TELEVISION TOR OF WALL TYPICAL UNIPHISHEED
CONC. CONSTR. CONT. CORR. CTSK. CNTR. DBL. DEPT. DF. DET. DIM. DISP. DN. D.O. DR. DS. DS. DS. DS. DS. DS. DS. DS. DS. DS	CONCRETE CONSTRUCTION CONTINUOUS CONTINUOUS CONTINUOUS CONTINUOUS CONTINUOUS CONTINUOUS COUNTER CENTER DOUBLE CENTER DOUBLE DEPARTMENT DENINGER DOUBLE DETAIL DEMETER DEMETER DOWN DEPENDR DOWN DOWN DOWN DOWN DOWN DOWN DOWN DOWN	H.M. HORIZ, HR. HT. LD. INSUL. INT. JAN. JT. KIT. LAB. LAW. LAV. KIT. MAX. M.G. MECH. MFR. MH. MN. MR. MBC. MBC. MBC. MBC. MBC. MBC. MBC. MBC	HOLLOWMETAL HORIZONTAL HOUR HEIGHT HEIGHT HOUSE EAMETER (DM-) HISULATION HISULATION JOINT HTMENDR JOINT HTMON LABORATORY LONGHATE LUNATORY LOCKER LUNATORY LOCKER LUNATORY MEDICHNE CARMET MECHANICAL MEMBRANE METAL MANIPUM METAL MEMBRANE METAL MANIPUM METAL MANIPUM METAL MEMBRANE METAL MANIPUM METAL MANIPUM METAL MANIPUM METAL MEMBRANE METAL MANIPUM METAL MEMBRANE METAL MANIPUM METAL MEMBRANE MEMB	SPEC. SO. SS. SS. SSK. STA. STD. STL. STOR STRL TRD. T.B. T.G. T.B. T.G. T.B. T.B. T.B. T.B	SPECHEATON SOLIARE STAINLESS STEEL SERVICE SHK STAINLESS STEEL STATON STAINLAND STAINLAND STAINLAND STAINLAND STORAGE STRUCTURAL SUSPENDED SYMMETPICAL TOPOGE SYMMETPICAL TOPOGE TOPOGE TOPOGE TERRAZZO TOPOGE TOPOG
CONC. CONSTR CONT. CORR. CORR. CTSK. CNTR. DBI. DEPT. DIA. DISP. DN. DC. DR. DR. DS. DS.P. DWG. E EA.	CONGRETE CONSTRUCTION CONTINUOUS CORRIDOR COUNTERSUNK COUNTER CENTER DOUBLE DEPARTMENT DOWNS DOOR OPENING DOONS DOONS DOWNSOUT DEMY STANDPPE DRAWNINGS EAST EACH EXPANSION JOINT EX	H.M. HORIZ. HR. HT. LD. INSUL. INT. JAN. JT. KIT. LAB. LAM. LAV. LKR. MECH. MEGH. MERR. MH. MN. MR. MR. MR. MR. MR. MR. MR. MR. MR. MR	HOLLOW METAL HOURD HOUR HEIGHT HEIGHT HISIGHT HOUR HISIGHT HOUR JANITOR JOHN HOLLOW HOUR LABORATORY LABORATORY LABORATORY LABORATORY LABORATORY LABORATORY LABORATORY MANAPORY MEDICHE CABINET MECHANICAL METAL METAL METAL METAL METAL METAL METAL METAL METAL MENDAL MERORY MEROR	SPEC. SO. SS. SS. SSK. STA. STD. STL. STOR STRL TRD. T.B. T.G. T.B. T.G. T.B. T.B. T.B. T.B	SPECIFICATION SOLIANE STAINLESS STEEL SERVICE SHIK STATION STAINLOAD STAINLOAD STAINLOAD STAINLOAD STAINLOAD STAINLOAD STRUCTURAL SUSPENDED SYMMETRICAL TORNEL BAR TORNEL BAR TORNEL BAR TORNEL BAR TELEPHONE TERRAZZO TORNOLE AND GROOVE THICKNESS TOP OF PAWEMENT TOILET PAPER DISPENSER TELEVISION TOR OF WALL TYPICAL UNIPHISHEED
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CONC. CONSTR. CONT. CONT. CONT. CONT. CONT. CONT. DET. DET. DIA. DIM. DO. DR. DS. D.S. D.S.P. DWG. E. EA. E.J. ELLC. ELLEV.	CONGRETE CONSTRUCTION CONTINUOUS CORRIDOR CONTRIBUNK COUNTER CENTER DOUBLE DEPARTMENT DRIVING POUNTAIN DETAIL DEMASSION DEMASSION DOWNSPOUT DOWNSPOUT DRAWNOS EAST EACH EACH EACH EACH EACH EACH EACH EACH	H.M. HORIZ. HR. HT. LD. INSUL. INT. JAN. JT. KIT. LAB. LAM. LAV. LKR. MECH. MEGH. MERR. MH. MN. MR. MR. MR. MR. MR. MR. MR. MR. MR. MR	HOLLOW METAL HOBEONTAL HOUR HEIGHT INSULATION NEULATION NEULATION NETERIOR JOHN KITCHEN LABORATORY LOCKER LAWATORY LOCKER LAWATORY LOCKER LAWATORY LOCKER LEHT MACHINUM MEDICHE CABINET MECHANICAL MEDICHE CABINET MECHANICAL MANIFOLE METAL MANIFOLE MEMBRANE METAL MANIFOLE METAL METAL MANIFOLE METAL MANIFOLE METAL METAL METAL MANIFOLE METAL METAL METAL METAL METAL MANIFOLE METAL MET	SPEC. SO. S.S. S.SK. STD. STD. STD. STRI. SUSP. SYM. TRD. TRD. TRD. TRD. T.V. T.P. T.V. T.P. T.V. T.V. T.V. T.V	SPECIFICATION SOLIANE STAINLESS STEEL SERVICE SHIK STATION STAINLOAD STAINLOAD STAINLOAD STAINLOAD STAINLOAD STAINLOAD STORAGE STRUCTURAL SUSPENDED SYMMETRICAL TORAGE STRUCTURAL SUSPENDED SYMMETRICAL TORAGE TORAG
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OFF. OFFICE OPNG OPENING

OPP OPPOSITE

O.C. ON CENTER

O.D. OUTSIDE DIAMETER (DIM.)

W/O WITHOUT

WP: WATERPROOF WRB WEATHER RES

WSCT. WAINSCOT

WT. WEIGHT

WEATHER RESISTIVE BARRIER (ALSO AB)

EXP. EXPOSED

EXP. EXPANSION

EXT. EXTERIOR

F.A. FIRE ALARM

F.B. FLAT BAR



OLD DOMINION BOAT CLUB, CANOPY ADDITION

The City of Alexandria, Virgina





REGISTRATION:

NO.		SSUE DESCRIPTION
	6/28/2021	PRELIMINARY PRICING
	8/05/2021	PROGRESS
	8/17/2021	BAR Submission
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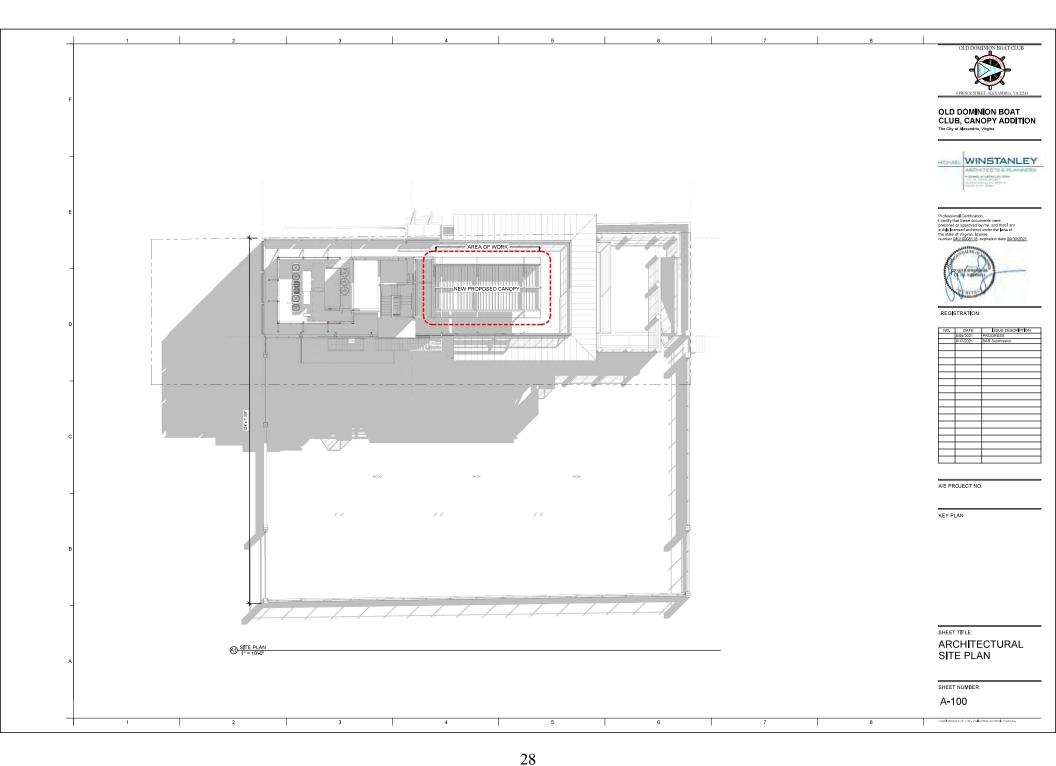
A/E PROJECT NO:

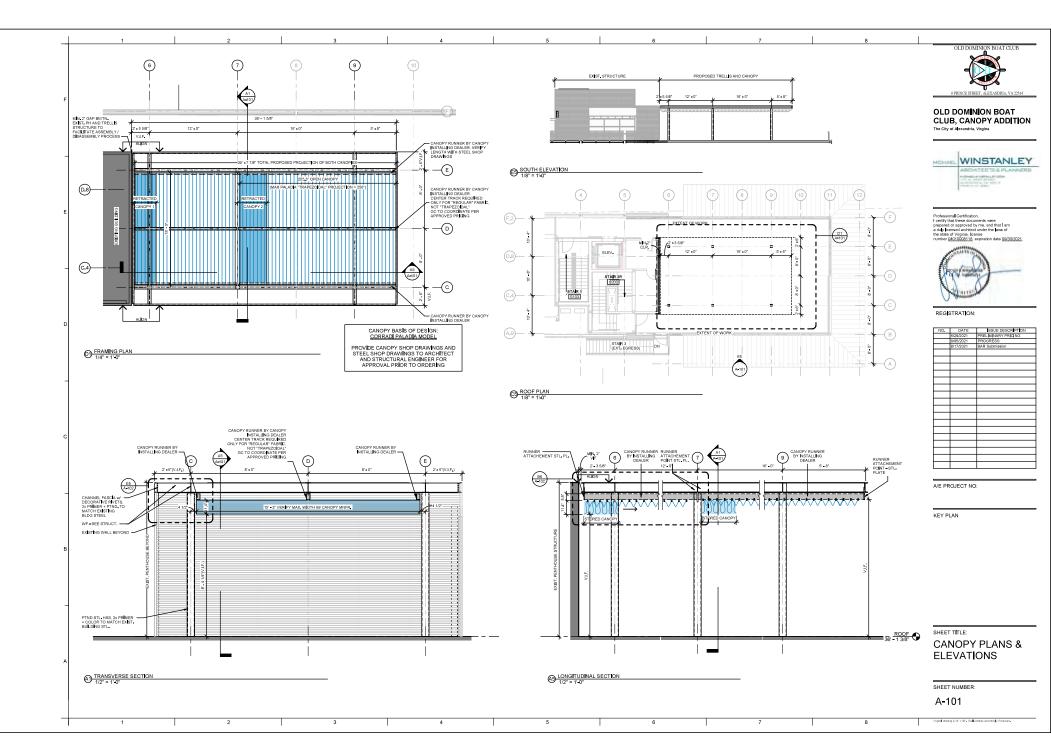
KEY PLAN

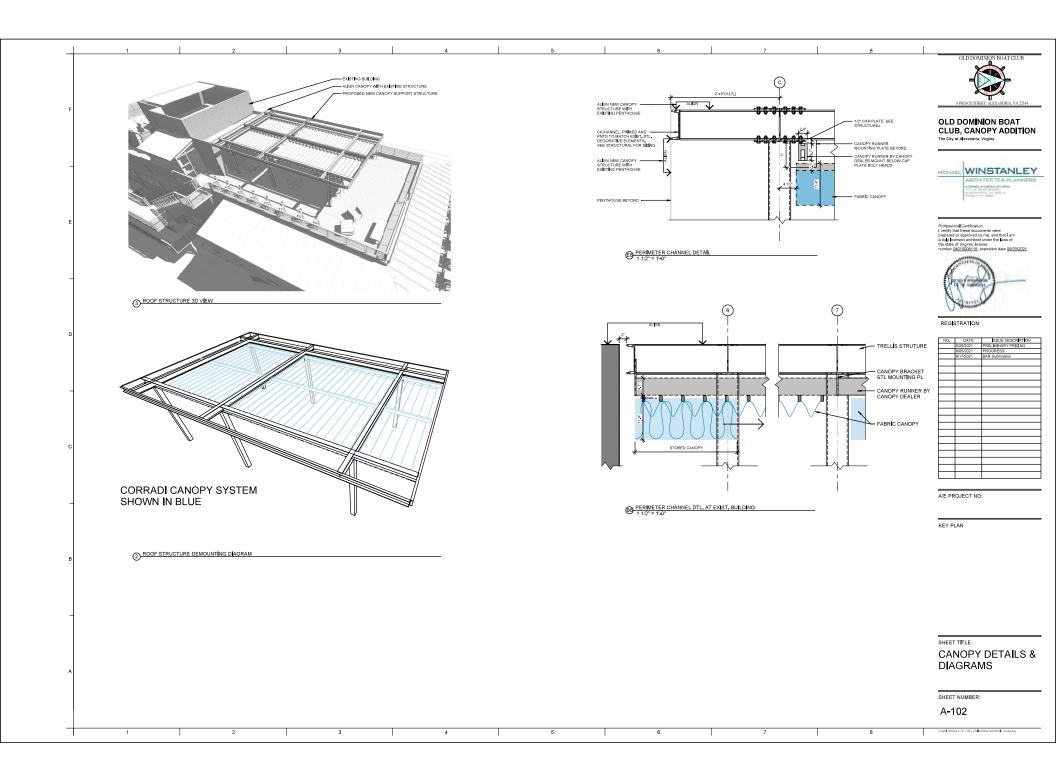
SHEET TITLE: COVER

SHEET NUMBER: A-000

GENERAL/ CONST	RUCTION	GENERAL CONSTRUCTION NOTES
SYMBOL DESCRIPTION AT NOKATES SECTION NUMBER NOKATES SHEET NUMBER	SYMBOL DESCRIPTION DENOTES PARTITION TYPE SEE PARTITION TYPE SHEET, NDEATES NEW PARTITION PT TP. (UCAN)	1. GENERAL NOTES APPLY TO ALL DRAWNIGS 2. DO NOT SCALE THE ORAMNOS, STATED AND WRITTEN DIMENSIONS GOVERN, THE GENERAL CONTRACTOR SHALL VEREYALL DIMENSIONS IN THE FELL AND BE RESOURCE FOR THE ACCURACY, IN DETITAL CHARGE OR COMPRISATION SHALL BE ALLOWED BECAUSE OF EFFERENCE BETWEEN ACTUAL BESIDES. THE CONTRACT OF THE CONTRACT OF THE CONTRACT OF THE CONTRACT OF THE PROPERTY OF THE STATES. 4. ALL VOCO TO SET THE RETERANT CONTRACT OF THE PROPERTY OF THE PROPERT
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ALISN DENOTES ALIGNMENT OF NOICATED SURFACES		RESOLREMENTS. I. WHERE DEPICE OF ARTH DAS, COLUME ENCLOSURES AND/OR CELLING WERE AFFECTED BY CAMOPY CONSTRUCT DIV. PREPARE SURFACES TO RECEIVE 13. CONTRACTOR BE EXPECTED TO CARRY ALL WASTE AND TRASH OFF THE JOS SEE AND TO MAINTAIN A CLEAN AND SAYE SITE AT ALL THES, INCLUDIO REMOVAL AND CLEANUP OF THE AREA OF POWER AT THE SOLO SEE AND TO MAINTAIN A CLEAN AND SAYE SITE AT ALL THES, INCLUDIO REMOVAL AND CLEANUP OF THE AREA OF POWER AT THE SOLO SEE AND TO MAINTAIN A CLEAN AND SAYE SITE AT ALL THES, INCLUDIO REMOVAL AND CLEANUP OF THE AREA OF POWER AT THE SOLO SEE AND THE SOLO SEE







STRUCTURAL NOTES: BUILDING CODE
INTERNATIONAL BUILDING CODE (IBC) 2018
LOCAL CODE AMENDMENTS: 2018 VIRGINIA CONSTRUCTION CODE LIVE LOADS YARDS AND TERRACES, PEDESTRIANS: 100 PSF AWNINGS AND CANOPIES: 5 PSF OLD DOMINION BOAT WIND LOAD CRITERIA CLUB, CANOPY ADDITION ULTIMATE WIND SPEED V: RISK CATEGORY II, 115MPH EXPOSURE CATEGORY: D GCpi: +/-0.18 GONDAY.

J. THE STRUCTURE IS DESCRIBED TO BE SELF-SUPPORTING AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES TO BOUGHT STRUCTURE AFTER THE BUILDING OF SHEETING.
PROCEDURES AND SEQUENCES TO BOUGHT STRUCTURE AFTER THE BUILDING CONTRICTION. THE STRUCTURE AND THE ADDITION OF SHEETING.
ADJACET STRUCTURES ACKNOWLED ACKNOWLED AS THE THEORY THE ADDITION OF SHEETING SHALL PROVIDE AND ADJACET STRUCTURES ACKNOWLED AND ADJACET STRUCTURES. WINSTANLEY STRUCTURAL DOCUMENTS SHALL BE LISED WITH OTHER CONSTRUCTION DOCUMENTS, INCLUDING ABOHTECTURAL M/E/P, AND STE DOCUMENTS CORRINATE
WITH HESE DOCUMENTS, ALL FLOOR AND ROCF OPENINGS, DEPRESSIONS, DIMENSIONS, AND SLOPES, ETC. ANY DISCREPANCY SHALL BE BROUGHT TO THE
ATTENTION OF IT REASERIECT. 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LIMITING CONSTRUCTION LOADS SUCH THAT THESE LOADS DO NOT EXCEED THE DESIGN LIVE LOADS NOTED ABOVE. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AS REQUIRED DURING CONSTRUCTION TO SUPPORT CONSTRUCTION LOADS UNTIL SUCH TIME THAT THE STRUCTURE IS ABLE TO SUPPORT THE DESIGN UNE LOADS NOTED. SECTIONS AND DETAILS SHOWN ON THE STRUCTURAL DOCUMENTS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS THAT DO NOT HAVE A SPECIFIC SECTION INDICATED. structura S. TYPICAL DETAILS APPLY AT ALL APPROPRIATE LOCATIONS AND ARE NOT GENERALLY CUT ON PLANS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL TYPICAL DETAIL APPLICATIONS. 6. FOR INCOMSISTENCIES BETWEEN GENERAL NOTES, SPECIFICATIONS AND CONSTRUCTION DOCUMENTS, THE STRICTER REQUIREMENT SHALL APPLY, AND ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. PROVIDE ALL LABOR, MATERIAL, EQUIPMENT AND MISCELLANEOUS ITEMS INCLUDING BUT NOT LIMITED TO CLIPS, INSERTS, TIES, ANCHOR STRAPS, HANGERS, BOLTS, AND OTHER FASTENERS REQUIRED TO COMPLETE THE WORK. DISSINE, CONDITIONS.

THE READWORD MAY RELIEF IN FORMATION PROVIDED BY OTHERS AND THE RESTING CONDITIONS THAT HAVE BEEN SUITEVED AND/OR DOCUMENTED TO THE GREAT TO SHEELE DETRIFF BUT HOT VERRIED. IT SHALL BY HE CENTRACION SEPROMEIUM TO FULLY CONDITIONATE THE WORK, POLICIONIS, BUT NOT CRESSARED LIVER TO THE VERSION SEPROMEIUM SEPROMEIU 2. MEANS AND METHODS OF CONSTRUCTION AND TEMPORARY SHORMS AND BRACKING OF THE ENSTING STRUCTURES) ARE THE SOLE RESPONSBULTY OF THE CONTRACTOR. THE BRIGHER MAY INCLUDE PHASINE, SEQUENCING, SHORMS REQUIREMENTS, F.E. IN THE CONSTRUCTION DECINIENTS TO ALBIET, ASSEST, OF INTERVIEW EXCITATE PROCEIDURAL REQUIREMENTS THAT MAY BE REASSEST FOR PORPER'S MEMBERNET THE STRUCTURE PORTION OF THE WOOD KET HAT MAY BE REQUIRED TO BROKE BUILDING STRUCTIVE, HOWEVER, THE CONTRACTOR SHALL PROPRETS CORDINATE THESE REQUIREMENTS AND SHALL REMAIN COMMETER AND SHELL RESPONSES FOR EXECUTION THE AUTHOR THAT WITH A PROTECTION THE SHALL DISTRICTURE AS A SHELL PRANCH THE SHALL PROVIDE THE SHALL PRESENT AND SHALL REMAIN COMMETER AND SHELL RESPONSES FOR EXECUTION THE AUGUST AND SHALL REMAIN COMMETER AND SHELL RESPONSES FOR EXECUTION THE AUGUST AND SHALL PRESENT REGISTRATION: ISSUE NO DATE DESCRIPTION 3. UNLESS NOTED OTHERWISE, IT HAS BEEN ASSUMED THAT THE EXISTING STRUCTURE(S) ARE IN SERVICEABLE CONDITION. THE CONTRACTOR SHALL IMMEDIATELY MOTIFY THE ENGINEER OF AM AND ALL AREAS OF STRUCTURAL DISTRESS (INCLUDING, BUT NOT UNITED TO, CRACKS, SPALLING, ETC.) NOT INDICATED IN THE STRUCTURAL DISTRACTOR SHALL NOT ROCCEDD WITH WORSE IN SUCH AREAS WITHOUT DIRECTION FROM THE RESIDENCE STRUCTURAL DISTRACTOR SHALL NOT ROCCEDD WITH WORSE IN SUCH AREAS WITHOUT DIRECTION FROM THE RESIDENCE. 06/28/2021 PRELIMINARY PRICING PROGRESS 08/05/2021 STRUCTURAL STELL

1. STRUCTURAL STELL FABRICATION, ERECTION AND CONNECTION DESIGN SHALL CONFORM TO AISC'S STELL CONSTRUCTION MANUAL (14TH EDITION) 8/17/2021 BAR Submission STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING STANDARDS:

 A STRUCTURAL STEEL WAND WT SHAPES. ASTM A992
 PLATES, CHAINELS, ANGLES AND BARS: ASTM A36
 C. HSS RECTANGULAR/SQUARE STRUCTURAL TUBRIC; ASTM A500, GRADE B - 46 KSI

 D. HSS ROUND STRUCTURAL TUBING: ASTM A500, GRADE B - 42 KSI 3. BOLIED CONNECTIONS SHALL CONFORM TO RCSCS "SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM AZES OR AISO BOLTS." BOLTS SHALL BE A MINIMUM 3/4 IN. COMMETCR AND SHALL CONFORM TO THE FOLLOWING STANDARDS:
A HIGH STRENDEN FOR TO. STATIM AZES
B. HEAV-HER UNITS. ASTM AZES
C. WASSERS, STATI #426 A WELFORM, WELFORD ELECTRODES, MICH. DURSES SHALL CONFIGURE TO JUNE OIL 1 STRUCTURE A WELFORM COLD. STEEL: "WELFO SHALL BE STRUCTURE OF WELFORM COLD. STEEL: "WELFO SHALL BE STREAM OF WELFORM COLD. STEEL: "WELFORM COLD. STEEL: "WELFORM COLD. STRUCTURE OF WELFORD SHALL AND A MEMBRICAN STEEL OF THE WELFORM COLD. STEEL STRUCTURE OF THE WELFORM COLD. 5. SPLICING AND PENETRATIONS OF STRUCTURAL STEEL MEMBERS IS NOT PERMITTED WITHOUT THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER. 6. PROVIDE COLUMN CAP PLATES AS FOLLOWS, UNLESS NOTED OTHERWISE:

A FOR DECE BEARING: 1/4" THICK (PROVIDE WHERE BEARS DO NOT FRAME INTO BOTH SIDES OF WEB)

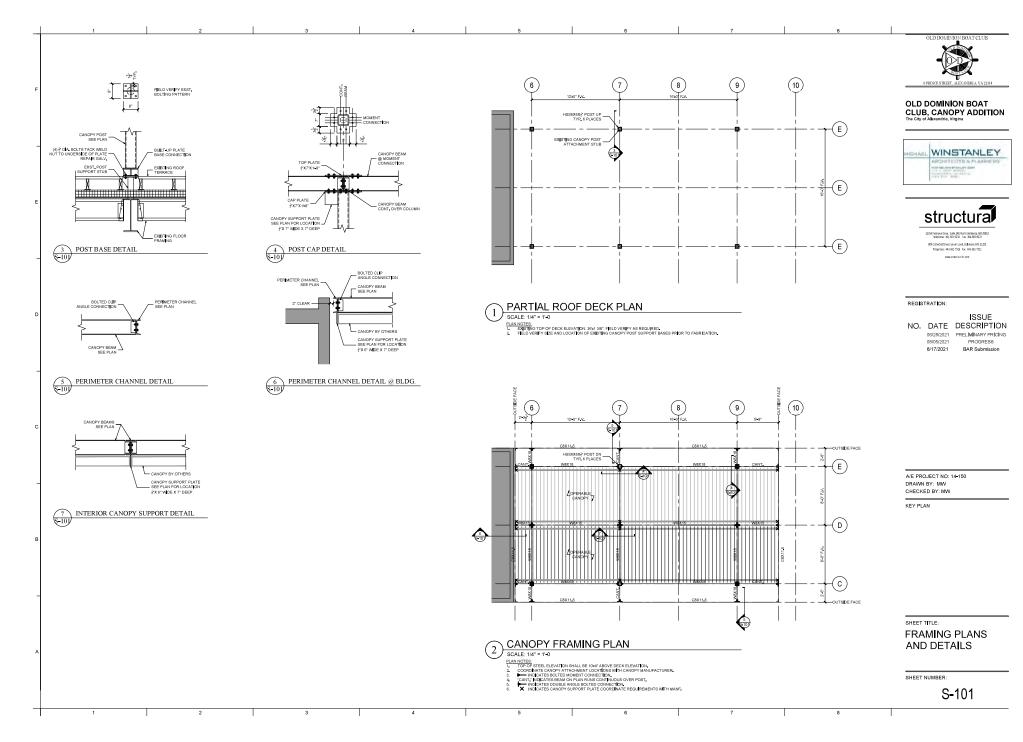
B. FOR ADDE BEARING: 2"THICK AT KERSES, 505%; 3/4" THICK AT LIF & C.H.J.1051S, AND 1" THICK AT JOHT GRODES

C. FOR BEAR BEARING: SEE THICK, OLTRINS, 3/4" THICK ATIL.

M. MOMBET COMMETTIONS SEE THICK, CET AT THICK ATIL.

M. MOMBET COMMETTIONS SEE THICK, CET AT THICK ATIL. A/E PROJECT NO: 14-150 DRAWN BY: MW CHECKED BY: MW KEY PLAN THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND/OR CALCULATIONS TO THE ENGINEER OF RECORD FOR REVIEW PRIOR TO CONSTRUCTION. THE LIST OF
REQUIRED SHOP DRAWING SUBMITTALS INCLUDES, BUT IS NOT UMITED TO, THE FOLLOWING: A. FABRIC CANOPY SHOP DRAWINGS B. STRUCTURAL STEEL SHOP DRAWINGS 2. THE ENGINEER'S RESPONSIBILITIES RELATIVE TO SHOP DRAWING REVIEW ARE LIMITED TO REVIEW FOR DESIGN CONCEPT OF THE PROJECT AND INFORMATION PROVIDED IN THE CONTRACT DOCUMENTS, SPECIFICALLY THE STRUCTURAL DRAWINGS AND THE STRUCTURAL PORTIONS OF THE PROJECT SPECIFICATIONS. THE ENGINEER WILL NOT REVIEW FOR OMERSHOOK, QUANTITIES, ETC. 3. SHOP DRAWING REVIEW NOTATIONS ARE DEFINED AS FOLLOWS SHEET TITLE: E. "REVIEWED FOR INFORMATION": INDICATES THAT THE SUBMITTAL HAS BEEN RECEIVED BY THE ENGINEER FOR FILE ONLY; NO ADDITIONAL ACTION WILL BE TAYED BY THE ENGINEER **STRUCTURAL** TAKIN BY THE DIGHER.

PRE-BORRERED BY SYMMS SUBMITTAL, INDICATS THAT THE SUBMITTAL HAS BEEN REVIEWED FOR GENERAL CONFORMITY WITH THE DESIGN INTENT AND
GENERAL COMPLIANCE WITH THE INTRODUCTION FRANCE OF THE CONTINCE POLICIAISTIC COMMENTS AND CONTINUOUS MAKE OF THE SUBMITTAL BY
THE PERSON HITTER OF THE CONTINUOUS AND CONCENTS. THIS CONTINUOUS POLICIAISTIC SANDLES AND CONTINUOUS SANDLES AND CONTINUOUS POLICIAISTIC SANDLES AND CONTINUOUS SANDLES SANDLES AND CONTINUOUS SANDLES NOTES SHEET NUMBER: S-001





ODBC Roof Canopy BAR Certificate of Appropriateness List of Product Cut Sheets

1) Canopy:

a) Manufacturer: Corradi

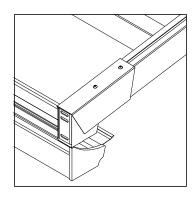
Series: Iridium (Previously Palladia)

Fabric: Standard or Trapezoidal white or grey (see physical sample)

2) Canopy Example Images:

- a) BARCA Canopy
- b) Canopy with dark steel structure

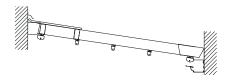
IRIDIUM WALL TO WALL



Pergotenda® Iridium Wall to Wall is a retractable cover system, custom made to protect against sun and rain (not suitable to support snow), affixed to a supporting wall. It consists of an aluminum structure and a folding canvas. The Iridium Wall to Wall has guaranteed wind resistance of grade 6 on the Beaufort scale for pitched and flat version. The canvas, made from exclusive Corradi Eclissi*—a laminated PVC blackout fabric (available in white, grey, and ivory) that has a surface embossed with a weft effect. The fabric is supported by intermediate supporting tubes (section: 1.6 x 2 inches) and terminal bars (section: 3.2 x 2 inches) set parallel to one another every 24 inches approximately on pitched version and every 20 inches approximately on flat

version. It slides on runners with built-in splashguard (section 2.4 x 4.8 inches) on carriers with 6 asymmetrical wheels with a capacity of about 1000 lbs each. The toothed transmission belt has stainless steel cables and resists a saline environment; the tensile strength is of 2000 lbs at break; the transmission belt is inserted in each runner, controlled by the drive pulley and a single drive shaft that guarantees the smooth movement of the canvas. The Iridium Wall to Wall system is set in motion by a radio-controlled motor. The standard frame colors that allow for a 4 to 6 week lead time are Urban Bronze, White Quartz, Carbon, Anthracite & Corten. Special frame finishes available that call for a 6 to 8 week lead time minimum are Glacier, Granite, Dune & Beach Sand. The support tubes come in: White, Ivory, and Grey to match with the Eclissi fabric. The aluminum extrusions are painted with certified Qualicoat cycle epoxy powders. Hardware is in AISI 304 stainless steel and 10/10 aluminum protective covers in: brown, anthracite & white.

PITCHED **Version**



FLAT **Version**



MAXIMUM DIMENSIONS inches

	Width	Projection
2 runner	197	256
3 runner	354	256
4 runner	512	256
5 runner*	512	256

MAXIMUM DIMENSIONS inches standard slack

	Width	Projection
2 runner	138	236
3 runner	276	236
4 runner	413	236
	-	

*available pitched only

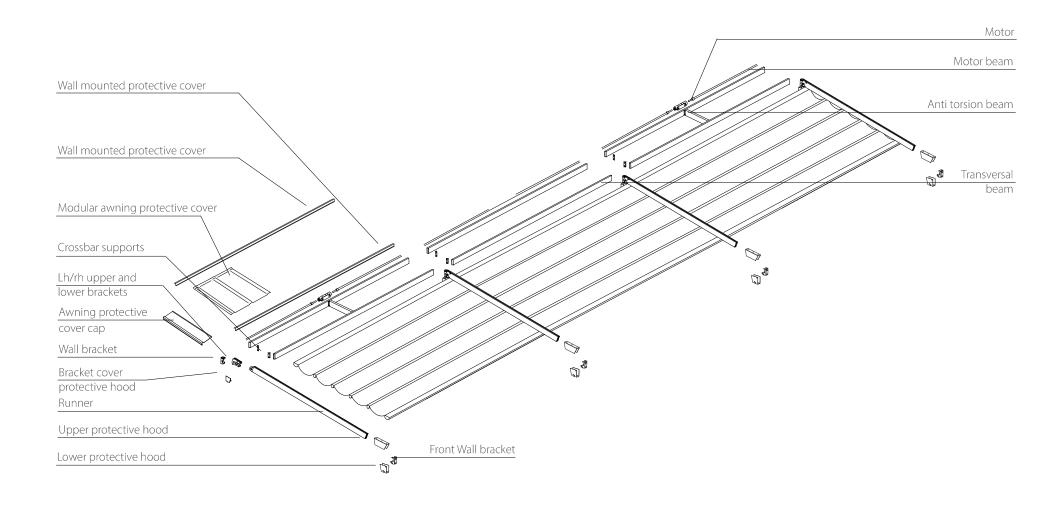
When pitched and has 4 to 5 runners, system will require a type 3 motor—which consists of one control board and 2 motors.

MAXIMUM DIMENSIONS inches

TRAPEZOIDAL slack

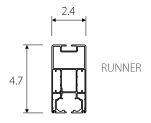
	Width	Projection
2 runner	197	276
3 runner	315	276
4 runner	472	276

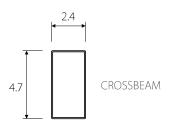
IRIDIUM WALL TO WALL 4 RUNNER

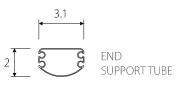


IRIDIUM WALL TO WALL DIMENSIONS

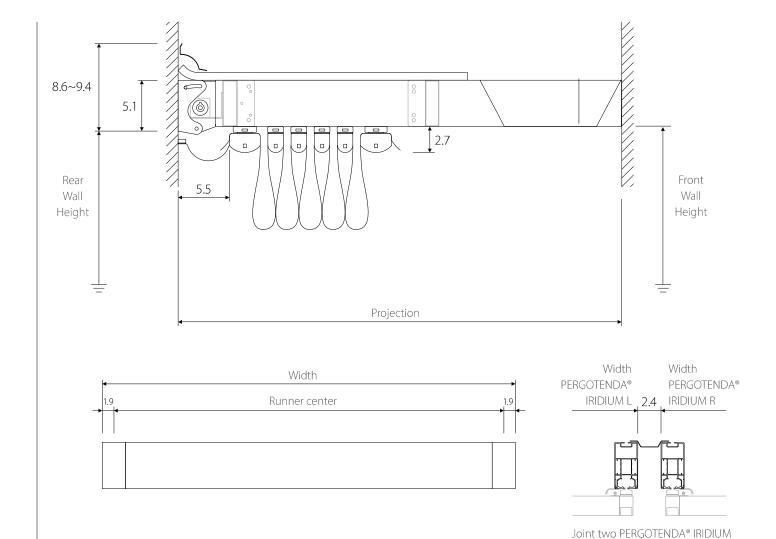
PROFILE SECTION







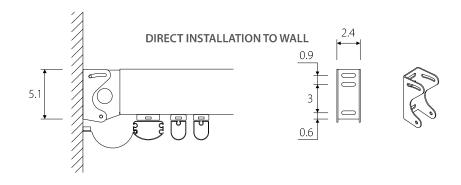


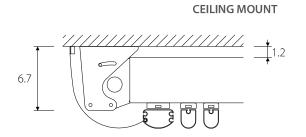


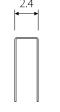
All measurements are given in inches.

side by side (separate canvases)

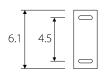
IRIDIUM WALL TO WALL MOUNTING



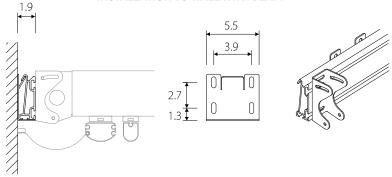


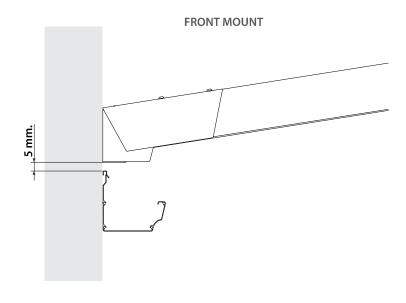


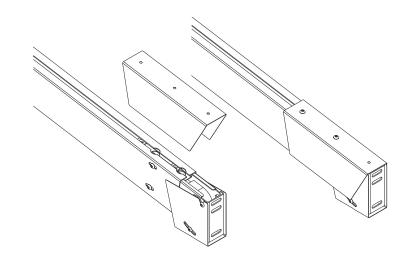




INSTALLATION TO WALL WITH BEAM





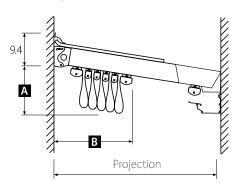


All measurements are given in inches

IRIDIUM WALL TO WALL STACKED CANVAS DIMENSIONS

Pitched

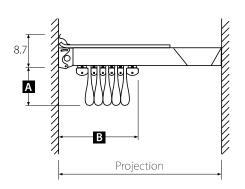
Minimum values of the encumbrance of the folded awning for the pitched version. The figures written in bold type refer to the canvas encumbrance with standard support tubes and the following refer to the use of additional tubes. Maximum pitch 20°.



	SUPPORT TUBES TOTAL NUMBER									
	4	5	6	7	8	9	10	11	12	13
89	12.2	9.4	8.3							
112		12.6	10.6	9.4						
136			13	11.4	10.2					
<u>S</u> 159				13.4	11.8	11				
159 – 183 –					13.8	12.6	11.8			
206						14.2	13	12.6		
230							14.6	13.8	13	
232 <u>-</u> 256 -								13.8	13.4	12.6
至 256 <u> </u>									13.8	13.4
_	14	16	19	21	23	26	28	30	32	35

Flat

Minimum values of the encumbrance of the folded awning for the flat version. The figures written in bold type refer to the canvas encumbrance with standard support tubes with a deflection of 6.7 inches.

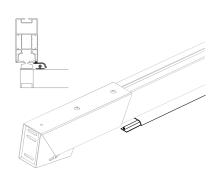


All measurements are given in inches.

SUPPORT TUBES TOTAL NUMBER 10 11.4 11.4 117 11.4 137 11.4 PROJECTION inches 157 176 11.4 196 11.4 216 11.4 235 11.4 236 11.4 11.4 31 39 42 44 47

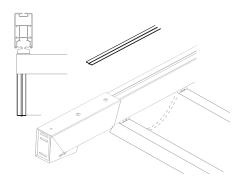
IRIDIUM WALL TO WALL FEATURES & OPTIONS

FTR — Feature (included)
OPT — Option (incurs additional charge)



Antidrop System + Antispray Profile (pitched versions only)

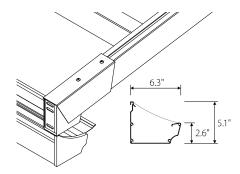
FTR — Electric weldable PVC profile on the upper part of the canvas for lateral rainwater prevention complete with antispray profile PERGOTENDA® IRIDIUM WALL/WALL preassembled on runners.



Underside Drip-Collection Rim

(flat versions only)

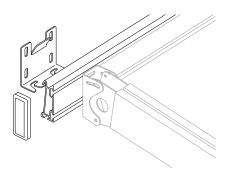
FTR — Electric welded PVC profile on the underside of the canvas. Solely for canvases packed slack. *Not available with trapezoidal fabrics*.



Front Gutter

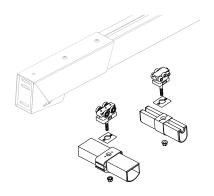
(pitched versions only)

OPT — Extruded aluminium profile for rainwater collection. Down pipes (1 about every 236 in.) and accessories included.



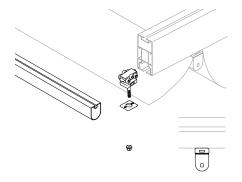
Wall Beam

OPT — Aluminium profile for uneven walls, where standard fastening to supports is awkward; or otherwise to deal with minor bumps.



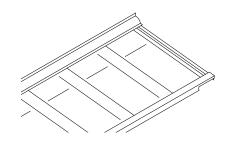
Add-on Runner

OPT — PERGOTENDA® IRIDIUM WALL/WALL runner complete with pillar 2.4"x4.7", stainless steel supports, sliders, support tube joints, central transmission shaft with bushes.



Add-on Intermediate Support Tube

OPT — Complete intermediate support tube with stoppers, joints (where present) and intermediate sliders.



Awning Protective Cover Deduction

OPT — Option to deduct modular awning protective cover. Support cross bars (1.6" x 4.7" sec.) must be kept for structural reasons.



Lights

OPT — LED light system integrated into canvas-holding tubes.