

ISSUE: Certificate of Appropriateness for alterations (Re-approval of previously expired plans)

APPLICANT: Old Dominion Boat Club

LOCATION: Old and Historic Alexandria District
0 Prince Street, 200 Strand Street, & 204 Strand Street

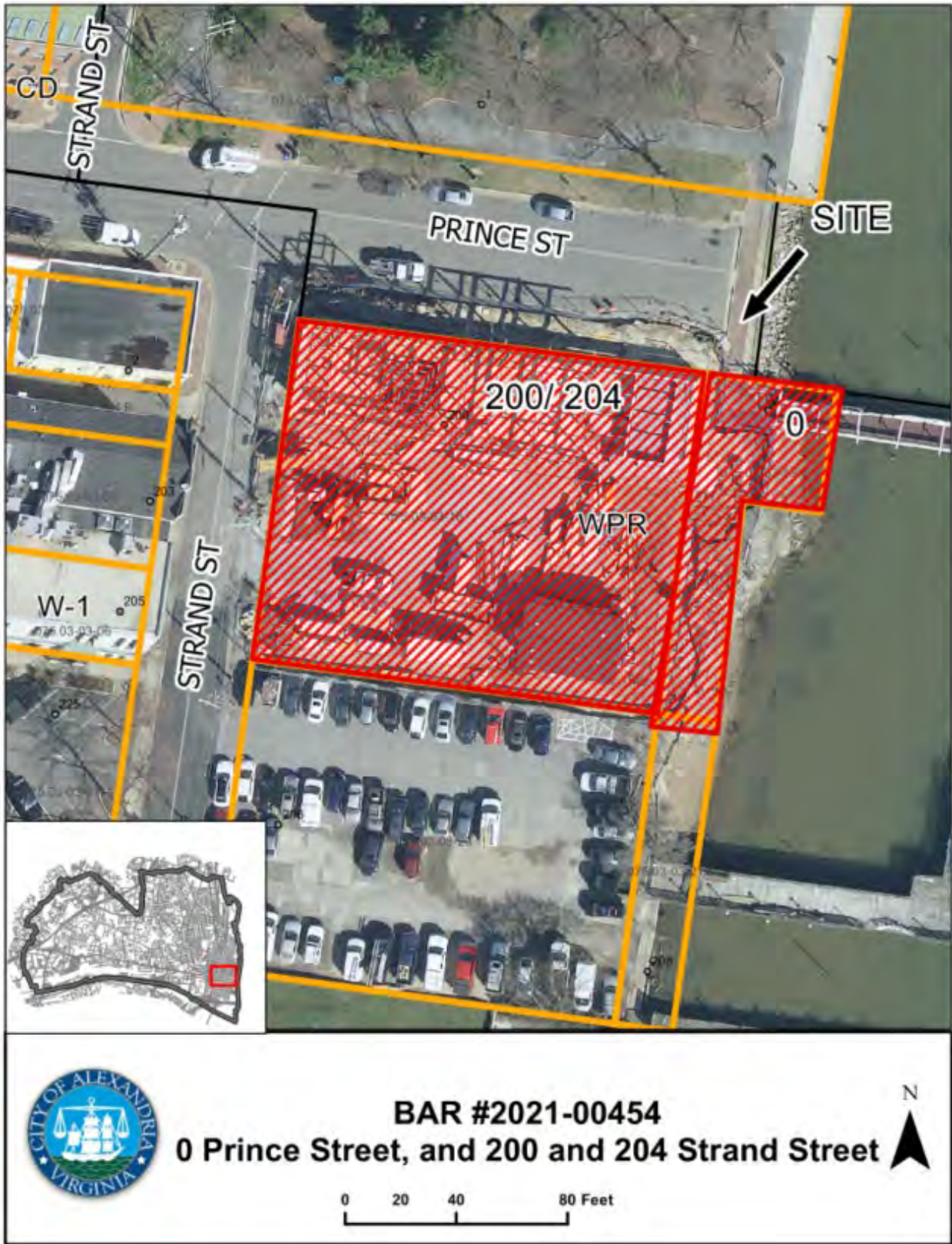
ZONE: WPR/Waterfront Park Recreation Zone

STAFF RECOMMENDATION

Staff recommends re-approval of the previously approved, expired plans for the addition of a rooftop canopy and trellis structure.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



UPDATE

On September 2, 2015, the BAR approved the Certificate of Appropriateness for BAR #2015-00249. The approval was for the construction of the Old Dominion Boat Club building. Included in the proposed design was a rooftop trellis with retractable canopy on the east side of the roof. This portion of the application was never constructed, and the approval of the overall project has expired. The applicant is returning for a re-approval of the proposed trellis and retractable canopy at this time.

I. APPLICANT'S PROPOSAL

The applicant requests a Certificate of Appropriateness to construct a 36'-7" x 20'-11" trellis with a retractable canopy on the east side of the roof at the Old Dominion Boat Club building. The trellis structure will be made up of six steel columns that are bolted to the roof, supporting horizontal steel channels set so that the top of the channels aligns with the top of the adjacent penthouse. The retractable canvas canopy will be mounted to the trellis structure such that when it is retracted, it folds up against the wall of the penthouse (Figure 1). Per the conditions of the approved DSUP, the trellis and canopy are to be removed on a seasonal basis.

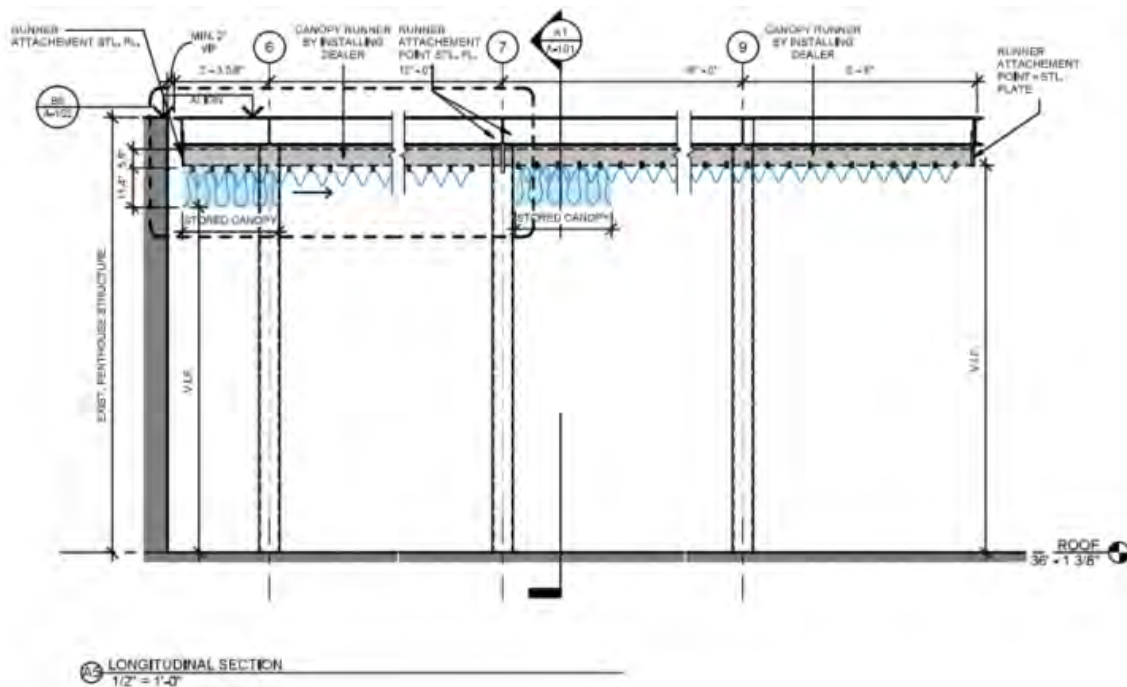


Figure 1: Section through proposed trellis and canopy

Site context

The building is located at the corner of Prince Street and Strand Street. The parking lot to the south of the building is private but allows for a view of all sides of the building from a public right of way. The proposed trellis will be located on the rooftop but will be visible from the nearby streets.

II. HISTORY

Prior to the construction of the Old Dominion Boat Club building, the site was home to a building known as the Beachcombers. The Beachcombers building was originally constructed in **1946** on concrete piers in the Potomac River with a three-sided open balcony at the second story and an outdoor dining terrace on the flat roof. By 1954, the restaurant closed, due to a large fire which damaged the first and part of the second floors of the building. After the fire, a new occupant, the International Armaments Corp. (Interarms), began to use the building for storage. By 1963, the property became home to various sporting-goods stores and Potomac Arms, the retail outlet of Interarms. In 1972, “The Dandy” dinner cruise ship began using the wood pier parking lot and the adjacent one-story, frame building as its launch site, parking lot, and offices. In 2006, the City acquired the property in order to expand public access to the Waterfront. In 2015, the Old Dominion Boat Club acquired the Beachcombers property and is the current owners.

The BAR approved BAR 2015-0248 which authorized the demolition of the Beachcombers building and BAR 2015-0249 for the construction of the building currently housing the Old Dominion Boat Club.

III. ANALYSIS

As noted previously, the proposed trellis and retractable canopy were originally included in the design for the building approved by the BAR. This proposal is returning to the BAR because the trellis and canopy were never built, and their approval has since expired. During the discussions regarding the previous approval the proposed trellis was found to be appropriate for the building and fit within the overall design of the penthouse (Figure 2).



Figure 2: North elevation of building showing proposed trellis and canopy

The *Design Guideline's* chapter on Awnings does not envision the shade structures of the 21st century as proposed here, but there are recommendations within the guidelines which can be applied here. Staff finds the proposal consistent with the following recommendations: "Awnings should not overwhelm or obscure the architecture and decorative features of historic buildings" and "Awnings should be made of a canvas type fabric."

The proposed trellis and canopy have been designed to be integral to the overall building design, satisfying the concern about obscuring the architecture. The proposed canvas canopy is similar to other recently approved canopies located on the waterfront and allows for minimal visibility when retracted. Per the DSUP conditions, the canopy is to be retracted when not in use and the trellis structure is to be removed on a seasonal basis. Consistent with the previous project approval, staff recommends re-approval of the previously approved, expired plans for the addition of a rooftop canopy and trellis structure.

STAFF

William Conkey, AIA, Historic Preservation Architect, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Development

F-1 The proposed canopy is consistent with DSUP #2014-00026

F-2 The DSUP#2014-00026 conditions of approval were amended administratively on September 15, 2021 to provide clarity on the installation and demounting of the rooftop canopy. The amended Condition 15 states:

15. The rooftop canopy and supporting structure shall be fully demountable and final design shall be subject to the approval by the Board of Architectural Review. In addition, the canopy shall be a seasonal element which is fully demounted between November 15th and February 15th and with the exception of a 24 hour period for the Scottish Walk to the satisfaction of the Director of Planning and Zoning. (P&Z)

Code Administration

F-1 No code comments

Transportation and Environmental Services

F-1 Comply with all requirements of DSUP #2014-00026 (T&ES)

Alexandria Archaeology

F-1 No archaeological oversight needed for this undertaking

V. ATTACHMENTS

- 1 – *Application Materials*
- 2 – *Supplemental Materials*
- 3 – [*Final staff report for previously approved BAR #2015-00248 & 2015-00249*](#)

BAR Case # _____

ADDRESS OF PROJECT: 0 Prince Street, 200 Strand and part of 204 Strand

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: Lot 600 Parcel: 60031070 ZONING: WPR

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☒ Business *(Please provide business name & contact person)*

Name: Old Dominion Boat Club
Address: 0 Prince Street, 200 Strand and part of 204 Strand

City: Alexandria State: VA Zip: 22314

Phone: 703-836-1900 E-mail: Treasurer@OldDominionboatclub.com

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ _____

Name: _____ Phone: _____

E-mail: _____

Legal Property Owner:

Name: Old Dominion Boat Club
Address: 0 Prince Street, 200 Strand and part of 204 Strand

City: Alexandria State: VA Zip: 22314

Phone: 703-836-1900 E-mail: Treasurer@OldDominionboatclub.com

- | | | |
|------------------------------|-----------------------------|--|
| <input type="checkbox"/> Yes | <input type="checkbox"/> No | Is there an historic preservation easement on this property? |
| <input type="checkbox"/> Yes | <input type="checkbox"/> No | If yes, has the easement holder agreed to the proposed alterations? |
| <input type="checkbox"/> Yes | <input type="checkbox"/> No | Is there a homeowner's association for this property? |
| <input type="checkbox"/> Yes | <input type="checkbox"/> No | If yes, has the homeowner's association approved the proposed alterations? |

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☐ EXTERIOR ALTERATION: *Please check all that apply.*
 ☐ awning ☐ fence, gate or garden wall ☐ HVAC equipment ☐ shutters
 ☐ doors ☐ windows ☐ siding ☐ shed
 ☐ lighting ☒ pergola/trellis ☐ painting unpainted masonry
 ☐ other Canopy
- ☐ ADDITION
☐ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Addition of a canopy and trellis structure using existing base plate connections. The proposed trellis and canopy are in-keeping with the previously approved Certificate of Appropriateness from 2015-2016.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☐ ☐ Description of the reason for demolition/encapsulation.
☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____
- ☐ ☐ Square feet of existing signs to remain: _____
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: _____

Date: _____

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Old Dominion Boat Club, Inc.	200 Strand Street	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 200 & 204 Strand and Prince Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Old Dominion Boat Club, Inc.	200 Strand Street	100 %
2.		
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose any business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Old Dominion Boat Club, Inc.	None	
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

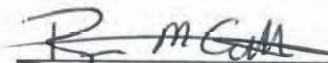
As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

9/27/21

Bruce Catts, President

Date

Printed Name


Signature

Product Code **DDA**Account # **008926294117**Branch # **367**TIN **540324757****CERTIFICATION OF BENEFICIAL OWNER(S)**

Individuals opening an account on behalf of a Legal Entity must provide the following information:

Individual Opening the Account:

Name:	ROBERT TEST	
Business title:	MEMBER	Phone Number: (703) 836-1900

Legal Entity for Which the Account is Being Opened:

Name:	*OLD DOMINION BOAT CLUB	TIN:	540324757
Address:	200 STRAND ST	Country:	US
City:	ALEXANDRIA	State:	VA ZIP: 22314

SECTION AThe following information for **each** individual, if any, who directly or indirectly, through any contract, arrangement, understanding, relationship or otherwise, owns 25% or more of the equity interest of the Legal Entity listed above:☒ No individual meets this definition

Name:	SSN:	Date of Birth:
Address:	Country:	Percentage
City:	State:	Zip:
Non-US Persons:	Passport #:	Country of Issuance:
Name:	SSN:	Date of Birth:
Address:	Country:	Percentage
City:	State:	Zip:
Non-US Persons:	Passport #:	Country of Issuance:
Name:	SSN:	Date of Birth:
Address:	Country:	Percentage
City:	State:	Zip:
Non-US Persons:	Passport #:	Country of Issuance:
Name:	SSN:	Date of Birth:
Address:	Country:	Percentage
City:	State:	Zip:
Non-US Persons:	Passport #:	Country of Issuance:

SECTION BThe following information for **one** individual with significant responsibility for managing the Legal Entity listed above, such as:

- An executive officer or senior manager (e.g., chief executive officer, chief financial officer, chief operating officer, managing member, general partner, president, vice president, treasurer); or
- Any other individual who regularly performs similar functions. (If appropriate, an individual listed under Section A above may also be listed in this Section B.)

Name:	ROBERT J TEST	SSN:	229-66-0455	Date of Birth:	1/26/1948
Address:	1403 COVENTRY LN	Country:	US		
City:	ALEXANDRIA	State:	VA	Zip:	22304
Business Title:	MEMBER				
Non-US Persons:	Passport #:	Country of Issuance:	Exp. Date:		

I, ROBERT TEST (name of individual opening account), hereby certify, to the best of my knowledge, that the information provided above is complete and correct:Customer Signature: _____ Date: 12/09/2020

DISTRIBUTION	Associate Name: <u>STACY MARTIN</u>	Branch No: <u>387</u>	User ID: <u>54059</u>
Send original to Central Imaging, DAC18			



OLD DOMINION BOAT CLUB
The City of Alexandria, Virginia

MICHAEL WINSTANLEY
ARCHITECTS & PLANNERS
MICHAEL@WINSTANLEY.COM
434.744.0100 FAX 434.744.0101
1000 N. 1ST ST., SUITE 200
ALEXANDRIA, VA 22314

Professional Certification:
I certify that these documents were
prepared or approved by me, and that I am
a duly licensed architect under the laws of
the state of Virginia. License
number 0001010772, expiration date 08/31/2022



REGISTRATION:

NO.	DATE	ISSUE DESCRIPTION
08/26/2014	CONCEPTUAL PLAN #	
11/03/2014	BAR CONCEPT #	
11/11/2014	DSUP PRELIMINARY COMPLETENESS APPLICATION	
12/11/2014	DSUP COMPLETENESS	
01/20/2015	BAR SUBMISSION #	
02/26/2015	DD SUBMISSION	
04/17/2015	85% ISSUE FOR PRICING	
05/08/2015	SITE PLAN SUBMISSION I	
08/03/2015	BAR COA SUBMISSION	
08/05/2015	SITE PLAN SUBMISSION II	
09/03/2015	BAR COA REVISION I	
09/25/2015	SITE PLAN SUBMISSION III	
10/26/2015	BID ISSUE	
11/30/2015	ADDENDUM III	
01/11/2016	SITE PLAN SUBMISSION IV	
02/17/2016	ADVANCED PERMIT REVIEW	
05/06/2016	SITE PLAN SUBMISSION V	
09/23/2021	MINOR SITE PLAN AMENDMENT	

AE PROJECT NO:

DRAWN BY:

CHECKED BY:



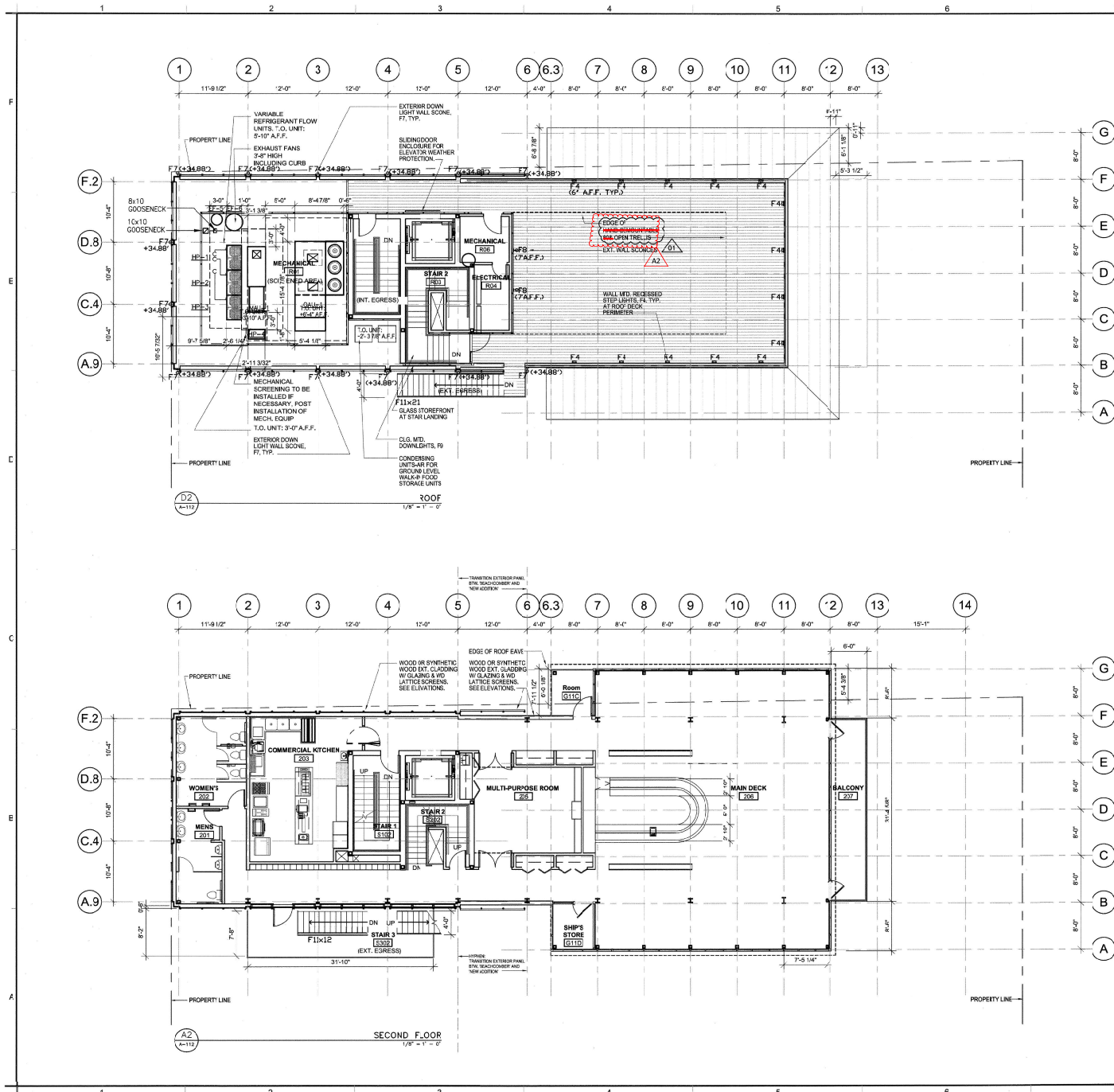
PROJECT: VIRGINIA STATE GRID NORTH NAD 83/93
SCALE: 1/8" = 1'-0"

FLOOR PLANS

SHEET NUMBER:

A-112

Original reading is 3/4" x 3/4". Scale unless otherwise indicated.

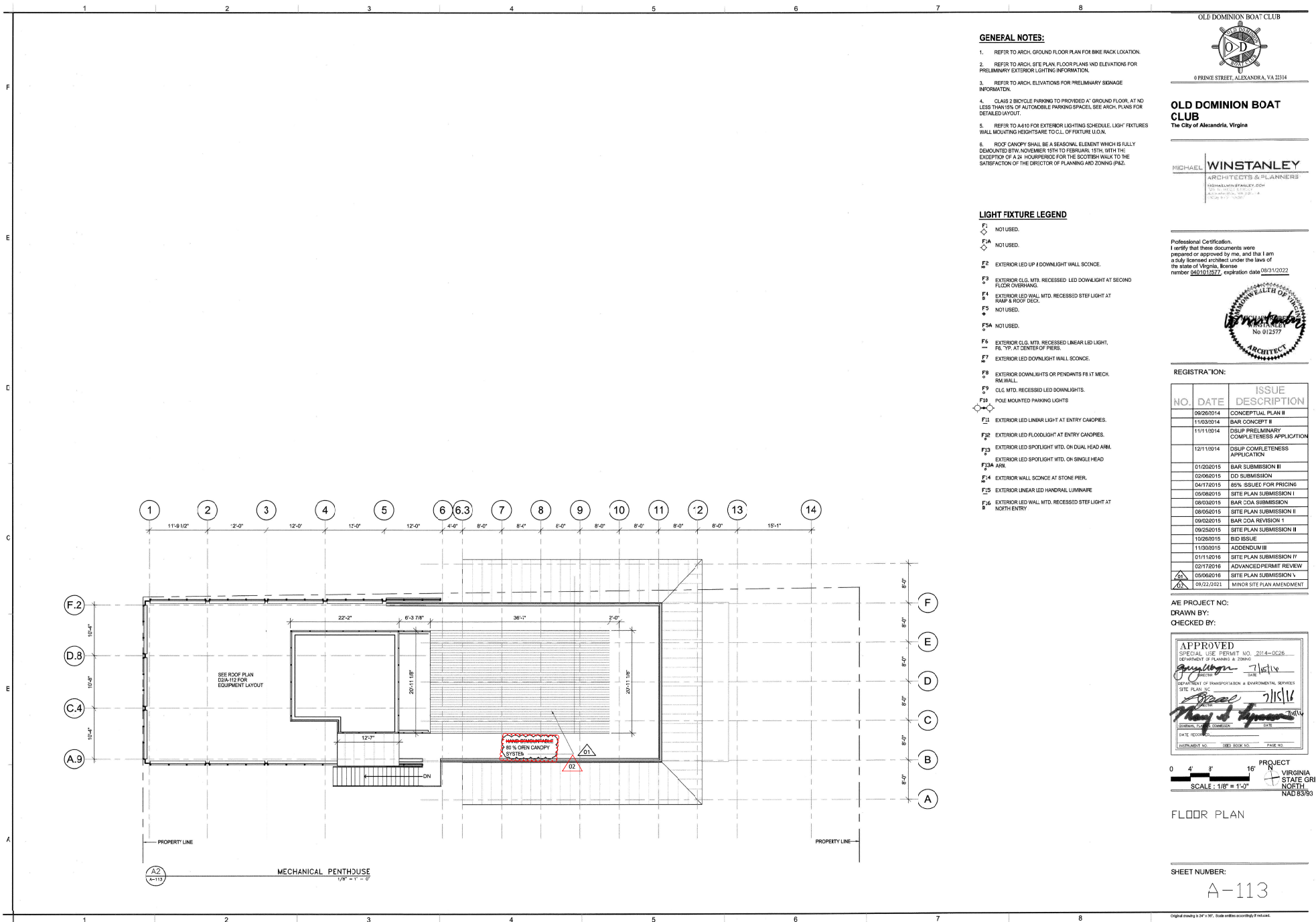


GENERAL NOTES:

1. REFER TO ARCH. GROUND FLOOR PLAN FOR BIKE RACK LOCATION.
2. REFER TO ARCH. SITE PLAN, FLOOR PLANS AND ELEVATIONS FOR PRELIMINARY EXTERIOR LIGHTING INFORMATION.
3. REFER TO ARCH. ELEVATIONS FOR PRELIMINARY SHENGE INFORMATION.
4. CLASS 2 BICYCLE PARKING TO PROVIDED AT GROUND FLOOR, AT NO LESS THAN 15% OF AUTOMOBILE PARKING SPACES. SEE ARCH. PLANS FOR DETAILED LAYOUT.
5. REFER TO A-110 FOR EXTERIOR LIGHTING SCHEDULE, LIGHT FIXTURES WALL MOUNTING HEIGHTS TO CL. OFF FIXTURE LIGN.
6. ROOF CANOPY SHALL BE A SEASONAL ELEMENT WHICH IS FULLY DEMOUNTED BTWN. NOVEMBER 15TH TO FEBRUARY 15TH, WITH THE EXCEPTION OF A 24 HOUR PERIOD FOR THE SCOTCH WALK TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND ZONING (PAZ).

LIGHT FIXTURE LEGEND

- F1. EXTERIOR CLG. MTD. RECESSED LED DOWNLIGHT AT SECOND FLOOR OVERHANG.
- F2. EXTERIOR LED UP 4 DOWNLIGHT WALL SCENCE.
- F3. EXTERIOR LED WAL. MTD. RECESSED STEP LIGHT AT RAMP & ROOF DECK.
- F4. EXTERIOR LED WAL. MTD. RECESSED STEP LIGHT AT RAMP & ROOF DECK.
- F5. NOT USED.
- F5A. NOT USED.
- F6. EXTERIOR CLG. MTD. RECESSED LINEAR LED LIGHT, FR. TYP. AT CENTER OF PIER.
- F7. EXTERIOR LED DOWNLIGHT WALL SCENCE.
- F8. EXTERIOR DOWNLIGHTS OR PENDANTS FR. AT MECH. RM. WALL.
- F9. CLG. MTD. RECESSED LED DOWNLIGHTS.
- F10. POLE MOUNTED PARKING LIGHTS.
- F11. EXTERIOR LED LINEAR LIGHT AT ENTRY CANOPIES.
- F12. EXTERIOR LED FLOODLIGHT AT ENTRY CANOPIES.
- F13. EXTERIOR LED SPOTLIGHT MTD. ON DUAL HEAD ARM.
- F13A. EXTERIOR LED SPOTLIGHT MTD. ON SINGLE HEAD ARM.
- F14. EXTERIOR WALL SCENCE AT STONE PIER.
- F15. EXTERIOR LINEAR LED HANDRAIL LUMINAIRE.
- F16. EXTERIOR LED WAL. MTD. RECESSED STEP LIGHT AT NORTH ENTRY.



GENERAL NOTES:

1. REFER TO ARCH. GROUND FLOOR PLAN FOR BIKE RACK LOCATION.
2. REFER TO ARCH. SITE PLAN, FLOOR PLANS AND ELEVATIONS FOR PRELIMINARY EXTERIOR LIGHTING INFORMATION.
3. REFER TO ARCH. ELEVATIONS FOR PRELIMINARY SIGNAGE INFORMATION.
4. CLASS 2 BICYCLE PARKING TO PROVIDED AT GROUND FLOOR, AT NO LESS THAN 15% OF AUTOMOBILE PARKING SPACES, SEE ARCH. PLANS FOR DETAILED LAYOUT.
5. REFER TO A4410 FOR EXTERIOR LIGHTING SCHEDULE, LIGHT FIXTURES WALL MOUNTING HEIGHTS TO CL. OF FIXTURE LUG.
6. ROOF CANOPY SHALL BE A SEASONAL ELEMENT WHICH IS FULLY DEMOUNTED BTW. NOVEMBER 15TH TO FEBRUARY 15TH WITH THE EXCEPTION OF A 24 HOUR PERIOD FOR THE SCOTCH WALK TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND ZONING (PAZ).

LIGHT FIXTURE LEGEND

- F1 NOT USED.
- F2 EXTERIOR LED UP & DOWNLIGHT WALL SCENCE.
- F3 EXTERIOR CLG. MTD. RECESSED LED DOWNLIGHT AT SECOND FLOOR OVERHANG.
- F4 EXTERIOR LED WALL MTD. RECESSED STEE LIGHT AT RAMP & ROOF DECL.
- F5 NOT USED.
- F5A NOT USED.
- F6 EXTERIOR CLG. MTD. RECESSED LINEAR LED LIGHT, PL. TOP AT CENTER OF PIER.
- F7 EXTERIOR LED DOWNLIGHT WALL SCENCE.
- F8 EXTERIOR DOWNLIGHTS OR PENDANTS FR. AT MECH. RM. WALL.
- F9 CLG. MTD. RECESSED LED DOWNLIGHTS.
- F10 POLE MOUNTED PARKING LIGHTS
- F11 EXTERIOR LED LINEAR LIGHT AT ENTRY CANOPIES.
- F12 EXTERIOR LED FLOODLIGHT AT ENTRY CANOPIES.
- F13 EXTERIOR LED SPOTLIGHT MTD. ON DUAL HEAD ARM.
- F13A EXTERIOR LED SPOTLIGHT MTD. ON SINGLE HEAD ARM.
- F14 EXTERIOR WALL SCENCE AT STONE PIER.
- F15 EXTERIOR LINEAR LED HANDRAIL LUMINAIRE
- F16 EXTERIOR LED WALL MTD. RECESSED STEE LIGHT AT NORTH ENTRY

OLD DOMINION BOAT CLUB



8 PRINCE STREET, ALEXANDRIA, VA 22314

OLD DOMINION BOAT CLUB
The City of Alexandria, Virginia

MICHAEL WINSTANLEY
ARCHITECTS & PLANNERS
10211 WINDY HILL ROAD
ALEXANDRIA, VA 22304
TEL: 703.717.1000

Professional Certification.
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the state of Virginia, license number 000101072, expiration date 08/31/2022



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02/06/2015	DD SUBMISSION	
04/17/2015	85% ISSUED FOR PRICING	
05/08/2015	SITE PLAN SUBMISSION I	
08/03/2015	BAR COA SUBMISSION	
08/05/2015	SITE PLAN SUBMISSION II	
09/03/2015	BAR COA REVISION I	
09/25/2015	SITE PLAN SUBMISSION III	
10/26/2015	BID ISSUE	
11/30/2015	ADDENDUM III	
01/11/2016	SITE PLAN SUBMISSION IV	
02/17/2016	ADVANCED PERMIT REVIEW	
05/06/2016	SITE PLAN SUBMISSION V	
09/22/2021	MINOR SITE PLAN AMENDMENT	

AE PROJECT NO:

DRAWN BY:

CHECKED BY:



PROJECT
VIRGINIA STATE GRID
NORTH
NAD 83/93

FLOOR PLAN

SHEET NUMBER:

A-113

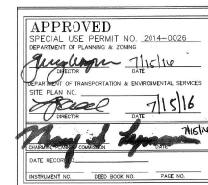
Original made at 1/8" = 1'-0". Scale unless otherwise noted.

MICHAEL WINSTANLEY
ARCHITECTS & PLANNERS
MICHAELWINSTANLEY.COM
307 E. 1000 N. STE. 100
JACKSON, WY 83301
307.233.7000

COMMONWEALTH OF VIRGINIA
MICHAEL R. BEE
WINSTANLEY
No. 012577
ARCHITECT

NO.	DATE	ISSUE DESCRIPTION
	09/26/2014	CONCEPTUAL PLAN II
	11/03/2014	BAR CONCEPT II
	11/11/2014	DSUP PRELIMINARY COMPLETENESS APPLICATION
	12/11/2014	DSUP COMPLETENESS APPLICATION
	01/10/2015	BAR SUBMISSION II
	02/06/2015	DD SUBMISSION
	04/17/2015	85% ISSUES FOR PRICING
	05/06/2015	SITE PLAN SUBMISSION I
	08/03/2015	BAR COA SUBMISSION
	08/05/2015	SITE PLAN SUBMISSION II
	09/02/2015	BAR COA REVISION I
	09/25/2015	SITE PLAN SUBMISSION III
	10/26/2015	BID ISSUE
	11/30/2015	ADDENDUM III
	01/12/2016	ADVANCED PERMIT REVIEW II
	01/17/2016	ADVANCED PERMIT REVIEW II
	05/06/2016	SITE PLAN SUBMISSION V
	05/22/2013	MINOR SITE PLAN AMENDMENT

A/E PROJECT NO:
DRAWN BY:
CHECKED BY:



0 4' 3' 16'

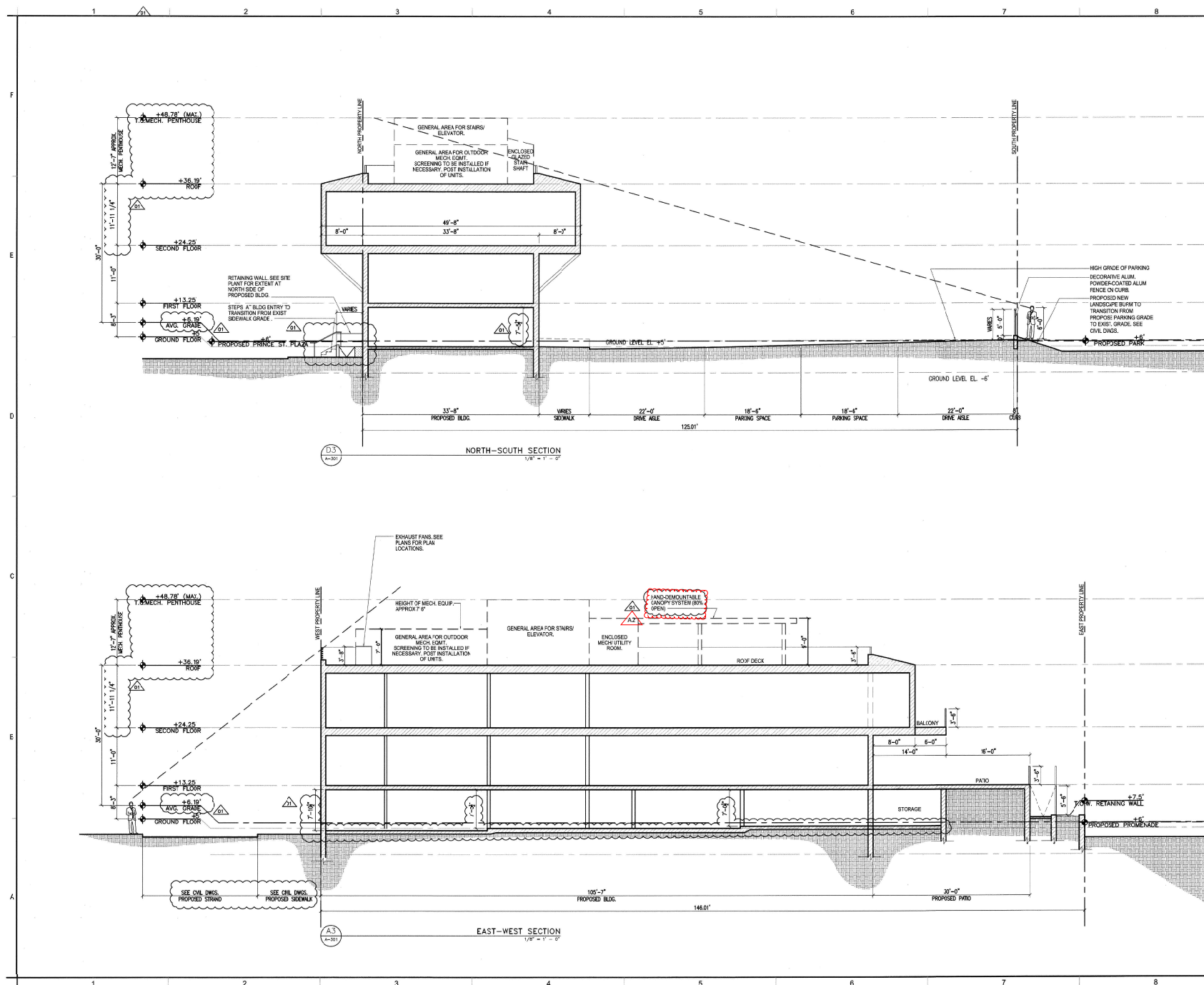
SCALE : 1/8" = 1'-0"

BUILDING/ SITE
SECTIONS

SHEET NUMBER:

A-301

Original drawing is 24" x 36". Scale profiles accordingly if reduced.



EXAMPLE CANOPY IMAGES





REZZ-2014-0006, DCEP/0104-0026
File 2014-0011
Office Street, 200 & 10th Street West

e. Contribution to TIES/OE funds to stream restoration / water quality protection.

f. These mitigation efforts shall be quantified and tabulated against encroachments as follows:

g. Wetland destruction shall be mitigated at a ratio of 2:1 and offset at 1:1.

h. Resource Protection Area Encroachments shall be mitigated according to the guidelines suggested in the "Riparian Barriers Modification & Mitigation Guidance Manual" by the Chesapeake Bay National Estuarine Department. (T&ES)

69. Water quality impacts shall be mitigated by stream restoration / stabilization equal to the linear distance to that of the linear encroachment into the BPAs in order as applicable based on existing conditions. (T&ES)

O. STORMWATER MANAGEMENT:

70. The City of Alexandria's stormwater management regulations requiring water quality are two-fold: 1) state phosphorus removal requirement and 2) Alexandria Water Quality Volume Default. Compliance with the state phosphorus reduction requirement does not relieve the applicant from the Alexandria Water Quality (Default) Default requirement. The Alexandria Water Quality Volume Default, as determined by the City's post-development impervious area shall be treated in a Best Management Practice (BMP) facility. (T&ES)

71. Provide BMP narrative and complete pre and post development drainage maps that include areas outside that contribute surface runoff from beyond project boundaries to include adequate topographic information, location of existing and proposed storm drainage systems affected by the development, all proposed BMPs and a completed Virginia Runoff Reduction Methodology (VRMM) worksheet showing project compliance. The project must use hydrologic soil group "1" in the spreadsheet unless a soils report from a soil scientist or geotechnical engineer delineates entire soils otherwise. (T&ES)

72. The stormwater Best Management Practices (BMPs) required for this project shall be constructed and installed under the direct supervision of the design professional or his designated representative. Prior to release of the performance bond, the design professional shall submit a written certification to the Director if T&ES that the BMPs are:

a. Constructed and installed as designed and in accordance with the approved Final Site Plan.

b. Clean and free of debris, soil, and litter by either having been installed or brought into service after the site was stabilized. **** (T&ES)

73. Surface-installed stormwater Best Management Practice (BMP) measures, i.e. Bio-Retention Facilities, Vegetated Swales, etc. that are employed for this site,

42

REZZ-2014-0006, DSI/P/014-0016
Doc 0014-0011
019 June 2004, 200 & 104 final 1006

require installation of descriptive signage to the satisfaction of the Director if T&ES. (T&ES)

74. Submit two originals of the stormwater quality BMP (Maintenance) Agreement, to include the BMP Schedule and Guidelines Addendum with the City to be reviewed in the final 52 Plan. The agreement must be reviewed and recorded with the Land Records Division of Alexandria Council Unit prior to approval of the final site plan. (T&ES)

75. The Applicant/Owner shall be responsible for installing and maintaining stormwater Best Management Practices (BMPs). The Applicant/Owner shall ensure a maintenance service contract with a qualified provider (contractor for a minimum of three years and develop an Owner's Operation and Maintenance Manual for all Best Management Practices (BMPs) on the facility. The manual shall include at a minimum: an explanation of the functions and operation of the BMP(s); drawings and diagrams of the BMP(s) and any supporting utilities; catalog lists on maintenance requirements including mechanical or electrical equipment; manufacturer contact names and phone numbers, a copy of all executed maintenance contracts; and a copy of the maintenance schedule established with the City. A copy of the contract shall also be placed in the BMP Operation and Maintenance Manual. Prior to release of the performance bond, a copy of the maintenance contract shall be submitted to the City. ****(T&ES)

76. Submit a copy of the Operation and Maintenance Manual to the Office of Environmental Quality on digital media prior to release of the performance bond. ****(T&ES)

77. Prior to release of the performance bond, the Applicant is required to submit a certification by a qualified professional to the satisfaction of the Director of T&ES that any existing stormwater management facilities adjacent to the project and associated conveyance systems were not adversely affected by construction operations. If maintenance of the facility or systems were required in order to make this certification, provide a description of the maintenance measures performed. ****(T&ES)

P. CONTAMINATED LAND:

78. Indicate whether or not there is any known soil and groundwater contamination present as required with all preliminary submissions. Should any unidentified contamination, underground storage tanks, drums or containers be encountered at the site, the Applicant must immediately notify the City of Alexandria, Department of Transportation and Environmental Services, Office of Environmental Quality. The plan must include the following note: Should any unidentified contamination, underground storage tanks, drums or containers be encountered at the site, the Applicant must immediately notify the City of

61

PROJECT NO: M104.001.00
SCALE: N/A
DATE: 09/24/2021
DESIGN: JLH
DRAWING: JLH
CHECKED: KMW
SHEET No.

FINAL SITE PLAN
DOMINION BOAT CLUB
THE CITY OF ALEXANDRIA, VIRGINIA

DISTURBED AREA:
0.60 AC OR 26,213 S.F.

STAFF
REPORT

FINAL SITE PLAN
OLD DOMINION BOAT CLUB
THE CITY OF ALEXANDRIA, VIRGINIA

APPROVED		
SPECIAL USE PERMIT NO. _____		
DEPARTMENT OF PLANNING & ZONING		
DIRECTOR _____	DATE _____	
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES		
SITE PLAN NO. _____		
DIRECTOR _____	DATE _____	
CHAIRMAN, PLANNING COMMISSION _____ DATE _____		
DATE RECORDED _____		
INSTRUMENT NO. _____	DEED BOOK NO. _____	PAGE NO. _____

C29

C2.9

102791

a. At the east and west property lines, a 30 inch (above the surface) masonry wall with a fence above and masonry (at a minimum framing the gate entrances and at corners). The applicant shall bear the responsibility of ensuring the perimeter feature is fully supported from a structural perspective without resort to installing additional

of the project.

PROJECT DESCRIPTION: ADDITION OF A SELF-SUPPORTING DEMOUNTABLE CANOPY AND TRELLIS STRUCTURE ON EXISTING ROOF TERRACE OF THE EXISTING OLD DOMINION BOAT CLUB (ODBC) BUILDING

SPECIFICATIONS & SHOP DRAWINGS

GENERAL CONSTRUCTION NOTES

[illegible]

- | DRAWING NO. | SHEET TITLE |
|-------------|---------------------------|
| A-000 | COVER |
| A-100 | ARCHITECTURAL SITE PLAN |
| A-101 | CANOPY PLANS & ELEVATIONS |
| A-102 | CANOPY DETAILS & DIAGRAMS |
| S-001 | STRUCTURAL NOTES |
| S-101 | FRAMING PLANS AND DETAILS |

L	ANGLE	F.D.	FLOOR DRAIN	PRCST.	PRECAST
AT	AT	FDH.	FOUNDATION	PL.	PLATE
C	CENTERLINE	F.E.	FIRE EXTINGUISHER	PLAM.	PLASTE LAMINATE
Ø	DIAMETER	F.E.	FIRE EXTINGUISHER CAB.	PLAS.	PLASTER
⊥	PERPENDICULAR	F.H.C.	FIRE HOSE CABINET	PLYWD.	PLYWOOD
CHANNEL	CHANNEL	FIN.	FINISH	PR.	PAR
POUND OR NUMBER	POUND OR NUMBER	FL.	FLOOR	PT.	POINT
(E) EXISTING	(E) EXISTING	FLA.	FLASHING	P.T.C.	PAPER TOWEL DISPENSER
AB	AB BARBER (ALSO WRB)	FLOOR.	FLOORBRIGHT	Q.T.	QUARRY TILE
ACQUS.	ACQUISAL	R.C.	FACE OF CONCRETE	R.	RELOCATE
AD.	AREA DRAIN	R.O.	FACE OF FINISH	RAO.	RAOUL
ADJ.	ADJUSTABLE	R.M.	FACE OF MASONRY	R.D.	ROUGH DRAIN
A.F.F.	ABOVE FINISH FLOOR	R.F.	FACE OF STUDS	REF.	REFERENCE
ADGR.	ADGRADATE	R.F.	FIREPROOF	REF.	REFRIGERATOR
AL.	ALUMINUM	FL.	FULL SIZE	REG.	REGISTER
APPROX.	APPROXIMATE	FT.	FOOT OR FEET	REINF.	REINFORCED
ARCH.	ARCHITECTURAL	FT.	FOOT OR FEET	REQD.	REQUIRED
ASB.	ASBESTOS	FT.	FOOT OR FEET	RES.	RESIDENT
ASPH.	ASPHALT	FTG.	FOOTING	R.W.	ROOM
BD.	BOND	FURR.	FURRING	R.O.	ROUGH OPENING
BTUM.	BETUMINOUS	F&I	FINISH AND INSTALL	RWD.	REDWOOD
B.DG.	BUILDING	FUT.	FUTURE	RAW.	RAN WATER LEADER

A-000

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ARCHITECTS & PLANNERS
6 MICHAEL WINSTANLEY DRIVE
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Salt Lake City, UT 84119
(801) 525-1111 • FAX (801) 525-1112

Professional Certification.
I certify that these documents were
prepared or approved by me, and that I am
a duly licensed architect under the laws of
the state of Virginia, license
number 04010008118, expiration date 09/30/2021



REGISTRATION:

[illegible]

A/E PROJECT NO:

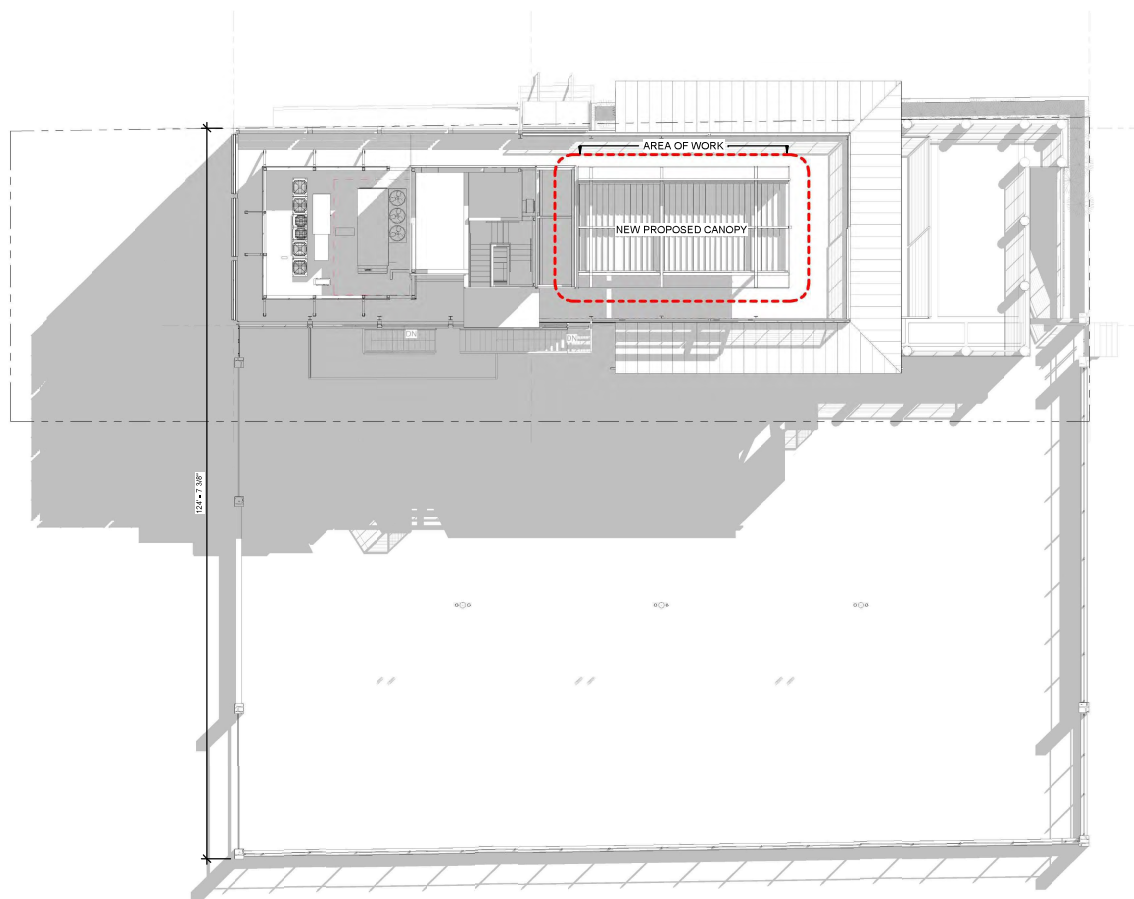
KEY PLAN

SHEET TITLE:
**ARCHITECTURAL
SITE PLAN**

SHEET NUMBER:

A-100

Original drawing is 24" x 36". Scale entities accordingly if reduced.



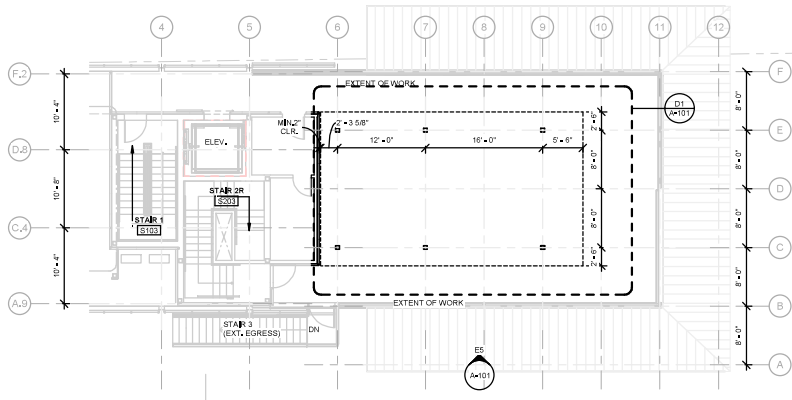
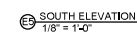
(A1) SITE PLAN
1" = 10'-0"

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ARCHITECTS & PLANNERS
MICHAEL WINSTANLEY 2006
1075 W. 40th STREET, SUITE 107
SALT LAKE CITY, UT 84119-1075
PHONE: 801-462-2000

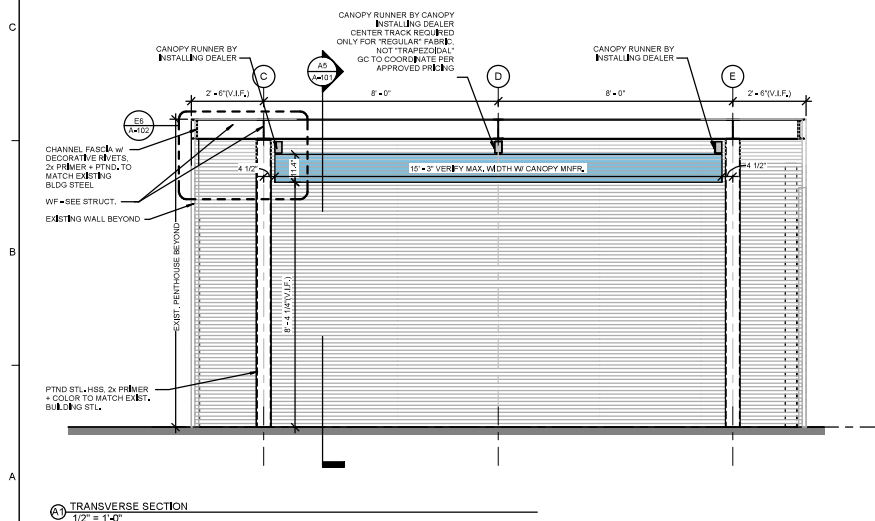
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SHEET TITLE:
CANOPY PLANS &
ELEVATIONS

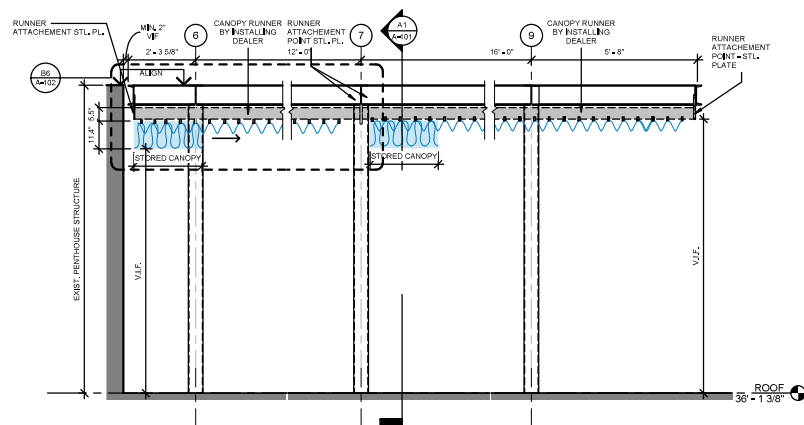
A-101



Ⓒ5 ROOF PLAN
1/8" = 1'-0"



(A1) TRANSVERSE SECTION
1/2" = 1'-0"



(A5) LONGITUDINAL SECTION
1/2" = 1'-0"

3 ROOF STRUCTURE 3D VIEW

CORRADI CANOPY SYSTEM
SHOWN IN BLUE

② ROOF STRUCTURE DEMOUNTING DIAGRAM

~~E6 PERIMETER CHANNEL DETAIL
1 1/2" = 1'-0"~~

PERIMETER CHANNEL DTL. AT EXIST. BUILDING
1 1/2" = 1'-0"



© PRINCE STREET, ALEXANDRIA, VA 22314

OLD DOMINION BOAT CLUB, CANOPY ADDITION
The City of Alexandria, Virginia

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MICHAEL.WINSTANLEY.COM
1075 AL. STREET, 3RD FLY
ALBUQUERQUE, N.M. 87102-5
(505) 241-1000 • (505) 241-1001

Professional Certification.
I certify that these documents were
prepared or approved by me, and that I am
a duly licensed architect under the laws of
the state of Virginia, license
number 04010008118, expiration date 09/30/2021.



REGISTRATION:

[illegible]

A/E PROJECT NO:

KEY PLAN

SHEET TITLE:

CANOPY DETAILS &
DIAGRAMS

SHEET NUMBER:

A-102

Original drawing is 24" x 36". Scale entries accordingly if reduced.

1

2

3

4

5

6

7

8

STRUCTURAL NOTES

BUILDING CODE

INTERNATIONAL BUILDING CODE (IBC) 2018

LOCAL CODE AMENDMENTS: 2018 VIRGINIA CONSTRUCTION CODE

LIVE LOADS

YARDS AND TERRACES, PEDESTRIANS: 100 PSF

AWNINGS AND CANOPIES: 5 PSF

LIVE LOAD CRITERIA

ULTIMATE WIND SPEED V: RISK CATEGORY II, 115MPH

EXPOSURE CATEGORY: D

G/G_z: 4/5.18

GENERAL

1. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCES TO ENSURE STABILITY AND SAFETY DURING CONSTRUCTION. THIS INCLUDES BUT IS NOT LIMITED TO: THE ADDITION OF SHEETING, SHORING, TEMPORARY BRACING, GUYS, AND TIEDOWNS. THE CONTRACTOR SHALL PROVIDE SHORING AND BRACING NECESSARY TO PROTECT EXISTING AND ADJACENT STRUCTURES.

2. STRUCTURAL DOCUMENTS SHALL BE USED WITH OTHER CONSTRUCTION DOCUMENTS, INCLUDING ARCHITECTURAL, M/E/P, AND SITE DOCUMENTS. COORDINATE WITH THESE DOCUMENTS, ALL FLOOR AND ROOF OPENINGS, EGRESSWAYS, EMBARRSOS, AND SLOPES, ETC. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LIMITING CONSTRUCTION LOADS SUCH THAT THESE LOADS DO NOT EXCEED THE DESIGN LIVE LOADS NOTED ABOVE. THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AS REQUIRED DURING CONSTRUCTION TO SUPPORT CONSTRUCTION LOADS UNTIL SUCH TIME THAT THE STRUCTURE IS ABLE TO SUPPORT THE DESIGN LIVE LOADS NOTED.

4. SECTIONS AND DETAILS SHOWN ON THE STRUCTURAL DOCUMENTS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS THAT DO NOT HAVE A SPECIFIC SECTION INDICATED.

5. TYPICAL DETAILS APPLY AT ALL APPROPRIATE LOCATIONS AND ARE NOT GENERALLY CUT ON PLANS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL TYPICAL DETAIL APPLICATIONS.

6. FOR INCONSISTENCIES BETWEEN GENERAL NOTES, SPECIFICATIONS AND CONSTRUCTION DOCUMENTS, THE STRICTER REQUIREMENT SHALL APPLY, AND ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

7. PROVIDE ALL LABORS, MATERIAL, EQUIPMENT AND MISCELLANEOUS ITEMS INCLUDING BUT NOT LIMITED TO CLIPS, INSERTS, TIES, ANCHOR STANCHES, HANGERS, BOLTS, AND OTHER FASTENERS REQUIRED TO COMPLETE THE WORK.

EXISTING CONDITIONS

1. THE DRAWINGS MAY REFLECT INFORMATION PROVIDED BY OTHERS AND/OR EXISTING CONDITIONS THAT HAVE BEEN SURVEYED AND/OR DOCUMENTED TO THE GREATEST POSSIBLE EXTENT BUT NOT VERIFIED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FULLY COORDINATE THE WORK, INCLUDING, BUT NOT NECESSARILY LIMITED TO, THE VERIFICATION OF ALL EXISTING CONDITIONS SHOWN IN THE DRAWINGS. COORDINATION OF ALL NECESSARY BUILDING TRADES, ETC. ANY AND ALL CONDITIONS THAT ARE MIS-REPRESENTED IN THESE DOCUMENTS OR ANY CONDITIONS THAT ARE NOT SHOWN BUT WARRANT THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER.

2. MEANS AND METHODS OF CONSTRUCTION AND TEMPORARY SHORING AND BRACING OF THE EXISTING STRUCTURE(S) ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE ENGINEER MAY INCLUDE PHASING, SEQUENCING, SHORING REQUIREMENTS, ETC. IN THE CONSTRUCTION DOCUMENTS TO ALERT, ASSIST, OR OTHERWISE DICTATE PROCEDURAL REQUIREMENTS THAT MAY BE NECESSARY TO PROPERLY IMPLEMENT THE STRUCTURAL PORTION OF THE WORK OR THAT MAY BE REQUIRED TO ENSURE BUILDING STABILITY. HOWEVER, THE CONTRACTOR SHALL PROPERLY COORDINATE THESE REQUIREMENTS AND SHALL REMAIN COMPLETELY AND SOLELY RESPONSIBLE FOR ERECTING THE BUILDING STRUCTURE IN A SAFE AND TIMELY MANNER.

3. UNLESS NOTED OTHERWISE, IT HAS BEEN ASSUMED THAT THE EXISTING STRUCTURE(S) ARE IN SERVICEABLE CONDITION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY AND ALL AREAS OF STRUCTURE INCLUDING, BUT NOT LIMITED TO, CRACKS, SPALLS, ETC. NOT INDICATED IN THE STRUCTURAL DRAWINGS. THE CONTRACTOR SHALL NOT PROCEED WITH WORK IN SUCH AREAS WITHOUT DIRECTION FROM THE ENGINEER.

STRUCTURAL STEEL

1. STRUCTURAL STEEL FABRICATION, ERECTION AND CONNECTION DESIGN SHALL CONFORM TO AISC'S STEEL CONSTRUCTION MANUAL (14TH EDITION)

2. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING STANDARDS:

A. STRUCTURAL STEEL W AND WT SHAPES: ASTM A992

B. PLATES, CHANNELS, ANGLES AND BARS: ASTM A36

C. HSS RECTANGULAR/SQUARE STRUCTURAL TUBING: ASTM A500, GRADE B - 45 KSI

D. HSS ROUND STRUCTURAL TUBING: ASTM A500, GRADE B - 42 KSI

3. BOLTED CONNECTIONS SHALL CONFORM TO RCSC'S "SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A325 OR A500 BOLTS." BOLTS SHALL BE A MINIMUM 3/4" IN. DIAMETER AND SHALL CONFORM TO THE FOLLOWING STANDARDS:

A. HIGH STRENGTH BOLTS: ASTM A325

B. HEAVY HEX NUTS: ASTM A563

C. WASHERS: ASTM F436

4. WELDING, WELDING ELECTRODES, AND FLUXES SHALL CONFORM TO AWS D1.1 "STRUCTURAL WELDING CODE-STEEL." WELDS SHALL BE INSTALLED BY WELDERS QUALIFIED IN ACCORDANCE WITH AWS PROCEDURES FOR WELDER QUALIFICATION. ELECTRODES SHALL HAVE A MINIMUM TENSILE STRENGTH OF 70 KSI (E70XX). MINIMUM SIZE OF FILLET WELDS SHALL BE BASED ON THE THINNER OF PIECES TO BE JOINED:

A. MATERIAL THICKNESS OF THINNER PART JOINED < 1/2" - 3/8" WELD

B. 1/2" < MATERIAL THICKNESS OF THINNER PART JOINED < 3/4" - 1/4" WELD

C. MATERIAL THICKNESS OF THINNER PART JOINED > 3/4" - 5/16" WELD

5. SPACING AND PENETRATIONS OF STRUCTURAL STEEL MEMBERS IS NOT PERMITTED WITHOUT THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.

6. PROVIDE COLUMN CAP PLATES AS FOLLOWS, UNLESS NOTED OTHERWISE:

A. FOR DECK BEARING: 1/4" THICK (PROVIDE WHERE BEAMS DO NOT FRAME INTO BOTH SIDES OF WEB)

B. FOR JOIST BEARING: 1/2" THICK AT K-SERIES JOISTS, 3/8" THICK AT LH & DLH JOISTS, AND 1" THICK AT JOIST GIRDERS

C. FOR BEAM BEARING: SEE TYPICAL DETAILS, 3/4" THICK MIN.

D. MOMENT CONNECTIONS: SEE TYPICAL DETAILS

SHOP DRAWINGS

1. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND/OR CALCULATIONS TO THE ENGINEER OF RECORD FOR REVIEW PRIOR TO CONSTRUCTION. THE LIST OF REQUIRED SHOP DRAWING SUBMITTALS INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

A. FABRIC CANOPY SHOP DRAWINGS

B. STRUCTURAL STEEL SHOP DRAWINGS

2. THE ENGINEER'S RESPONSIBILITIES RELATIVE TO SHOP DRAWING REVIEW ARE LIMITED TO REVIEW FOR DESIGN CONCEPT OF THE PROJECT AND INFORMATION PROVIDED IN THE CONTRACT DOCUMENTS, SPECIFICALLY THE STRUCTURAL DRAWINGS AND THE STRUCTURAL PORTIONS OF THE PROJECT SPECIFICATIONS. THE ENGINEER WILL NOT REVIEW FOR DIMENSIONS, QUANTITIES, ETC.

3. SHOP DRAWING REVIEW NOTATIONS ARE DEFINED AS FOLLOWS:

A. "APPROVED": INDICATES THAT FABRICATION, MANUFACTURE, OR CONSTRUCTION MAY PROCEED.

B. "APPROVED AS CORRECTED": INDICATES THAT FABRICATION, MANUFACTURE, OR CONSTRUCTION MAY PROCEED PROVIDED THAT SUBMITTAL COMPLIES WITH ENGINEER'S NOTATIONS. IF, FOR ANY REASON, THE CONTRACTOR DOES NOT COMPLY WITH THE ENGINEER'S NOTATIONS, THE SUBMITTAL SHALL BECOME "REJECTED" OR "DISAPPROVED" (REFER TO DEFINITION BELOW) AND THE CONTRACTOR SHALL IMMEDIATELY NOTIFY BOTH THE ARCHITECT AND ENGINEER.


C. "APPROVED AS CORRECTED RESUBMIT FILE COPY": INDICATES THAT FABRICATION, MANUFACTURE, OR CONSTRUCTION MAY PROCEED PROVIDED THAT THE CONTRACTOR COMPLETES THE ENGINEER'S NOTATIONS. THE CONTRACTOR SHALL RETURN REVISED VERSIONS OF THE SUBMITTAL TO THE ARCHITECT AND ENGINEER FOR RECORD. IF, FOR ANY REASON, THE CONTRACTOR CANNOT COMPLY WITH THE ENGINEER'S NOTATIONS, THE SUBMITTAL SHALL BECOME "REJECTED" OR "DISAPPROVED" (REFER TO DEFINITION BELOW) AND THE CONTRACTOR SHALL IMMEDIATELY NOTIFY BOTH THE ARCHITECT AND ENGINEER.

D. "DISAPPROVED": INDICATES THAT THE SUBMITTAL DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS AND THAT FABRICATION, MANUFACTURE, OR CONSTRUCTION SHALL NOT PROCEED. THE CONTRACTOR SHALL MAKE THE NECESSARY REVISIONS TO THE SUBMITTAL AND RESUBMIT IN A TIMELY FASHION SO AS TO NOT DELAY THE CONSTRUCTION SCHEDULE.

E. "REVIEWED FOR INFORMATION": INDICATES THAT THE SUBMITTAL HAS BEEN RECEIVED BY THE ENGINEER FOR FILE ONLY; NO ADDITIONAL ACTION WILL BE TAKEN BY THE ENGINEER.

F. "PRE-ENGINEERED SYSTEMS SUBMITTAL": INDICATES THAT THE SUBMITTAL HAS BEEN REVIEWED FOR GENERAL CONFORMITY WITH THE DESIGN INTENT AND GENERAL COMPLIANCE WITH THE INFORMATION PROVIDED IN THE CONTRACT DOCUMENTS. COMMENTS AND/OR NOTATIONS MADE ON THE SUBMITTAL BY THE ENGINEER OF RECORD ARE INTENDED TO NOTIFY THE CONTRACTOR AND/OR THE RESPONSIBLE DESIGNER OF CONFLICTS BETWEEN THE SUBMITTAL AND THE DESIGN INTENT OR THE CONSTRUCTION DOCUMENTS. THESE COMMENTS AND/OR NOTATIONS DO NOT RELIEVE THE CONTRACTOR AND THE DESIGN ENGINEER OF SOLE RESPONSIBILITY FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS AND ALL APPLICABLE CODES AND LAWS. SOLE RESPONSIBILITY FOR CORRECT DESIGN, DETAILS, AND DIMENSIONS SHALL REMAIN WITH THE CONTRACTOR AND THE DESIGN ENGINEER.

OLD DOMINION BOAT CLUB



8 PRINCE STREET, ALEXANDRIA, VA 22314

OLD DOMINION BOAT CLUB, CANOPY ADDITION

The City of Alexandria, Virginia

MICHAEL WINSTANLEY

ARCHITECTS & PLANNERS

1401 K STREET, SUITE 200
ALEXANDRIA, VA 22304
703.461.1000

structural

12287 Parkway Drive, Suite 100, North Bethesda, MD 20852
Telephone: 301.461.1624 Fax: 301.461.1037
800 Calvert Street, Upper and Lower Level, MD 22202
Telephone: 443.460.7653 Fax: 443.460.7652
www.structuralinc.com

REGISTRATION:

NO.	DATE	ISSUE DESCRIPTION
	05/28/2021	PRELIMINARY PRICING
	08/05/2021	PROGRESS
	8/17/2021	BAR Submission

A/E PROJECT NO: 14-150

DRAWN BY: MW

CHECKED BY: MW

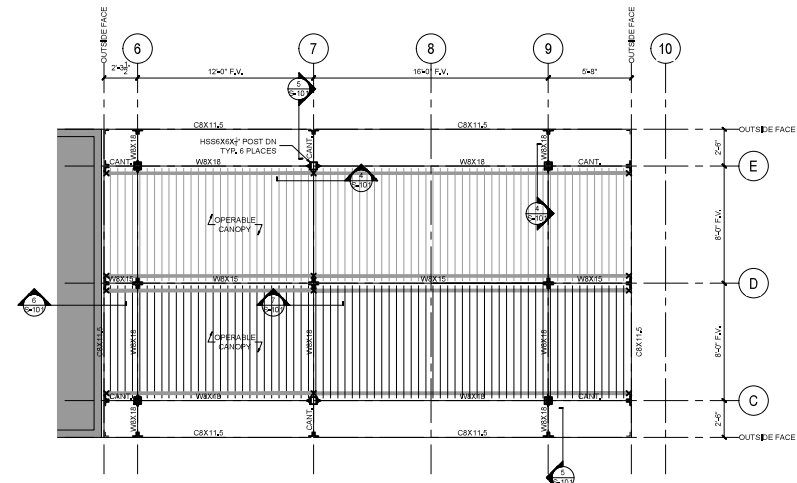
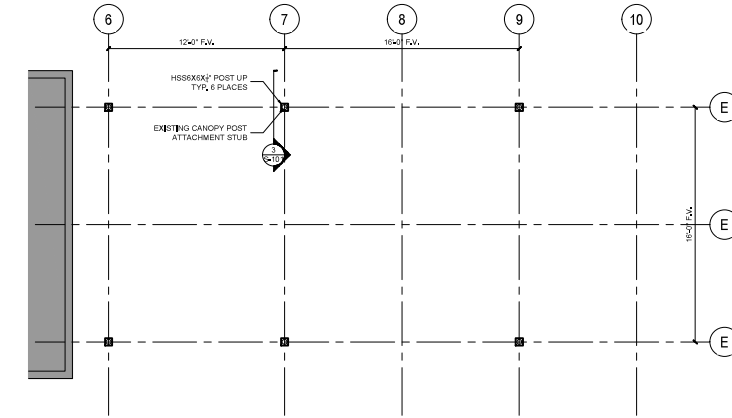
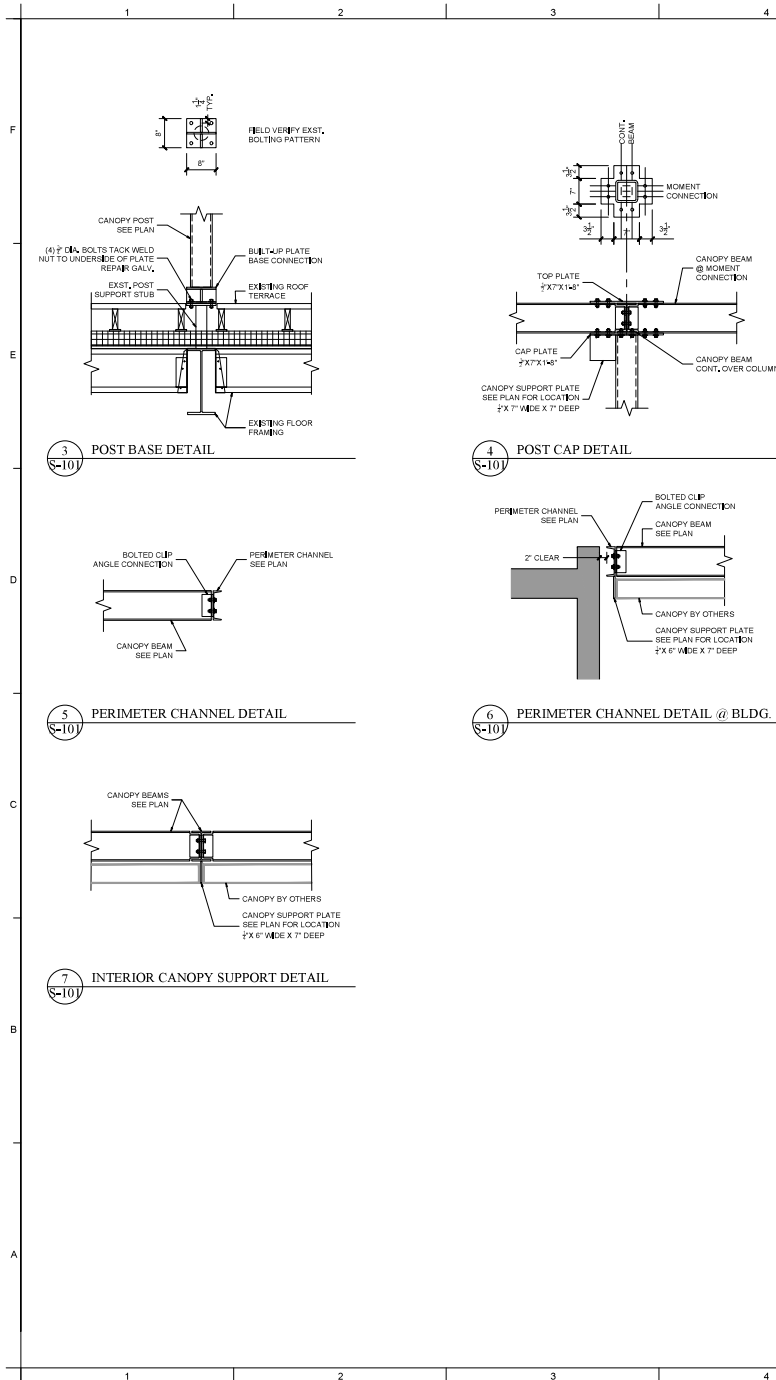
KEY PLAN

SHEET TITLE:

STRUCTURAL NOTES

SHEET NUMBER:

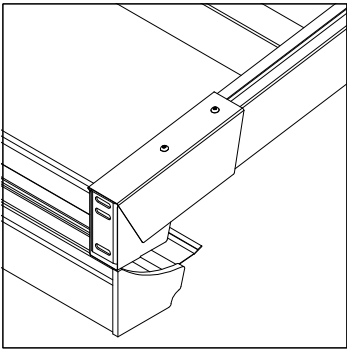
S-001



**ODBC Roof Canopy BAR Certificate of Appropriateness
List of Product Cut Sheets**

- 1) Canopy:
 - a) Manufacturer: Corradi
Series: Iridium (Previously Palladia)
Fabric: Standard or Trapezoidal white or grey (see physical sample)
- 2) Canopy Example Images:
 - a) BARCA Canopy
 - b) Canopy with dark steel structure

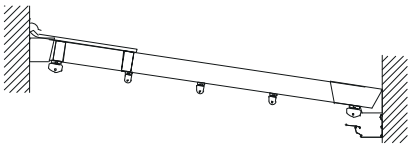
IRIDIUM WALL TO WALL



Pergotenda® Iridium Wall to Wall is a retractable cover system, custom made to protect against sun and rain (not suitable to support snow), affixed to a supporting wall. It consists of an aluminum structure and a folding canvas. The Iridium Wall to Wall has guaranteed wind resistance of grade 6 on the Beaufort scale for pitched and flat version. The canvas, made from exclusive Corradi Eclissi*—a laminated PVC blackout fabric (available in white, grey, and ivory) that has a surface embossed with a weft effect. The fabric is supported by intermediate supporting tubes (section: 1.6 x 2 inches) and terminal bars (section: 3.2 x 2 inches) set parallel to one another every 24 inches approximately on pitched version and every 20 inches approximately on flat

version. It slides on runners with built-in splashguard (section 2.4 x 4.8 inches) on carriers with 6 asymmetrical wheels with a capacity of about 1000 lbs each. The toothed transmission belt has stainless steel cables and resists a saline environment; the tensile strength is of 2000 lbs at break; the transmission belt is inserted in each runner, controlled by the drive pulley and a single drive shaft that guarantees the smooth movement of the canvas. The Iridium Wall to Wall system is set in motion by a radio-controlled motor. The standard frame colors that allow for a 4 to 6 week lead time are Urban Bronze, White Quartz, Carbon, Anthracite & Corten. Special frame finishes available that call for a 6 to 8 week lead time minimum are Glacier, Granite, Dune & Beach Sand. The support tubes come in: White, Ivory, and Grey to match with the Eclissi fabric. The aluminum extrusions are painted with certified Qualicoat cycle epoxy powders. Hardware is in AISI 304 stainless steel and 10/10 aluminum protective covers in: brown, anthracite & white.

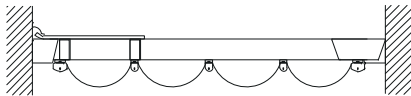
PITCHED
Version



MAXIMUM DIMENSIONS inches		
	Width	Projection
2 runner	197	256
3 runner	354	256
4 runner	512	256
5 runner*	512	256

**available pitched only*
When pitched and has 4 to 5 runners, system will require a type 3 motor—which consists of one control board and 2 motors.

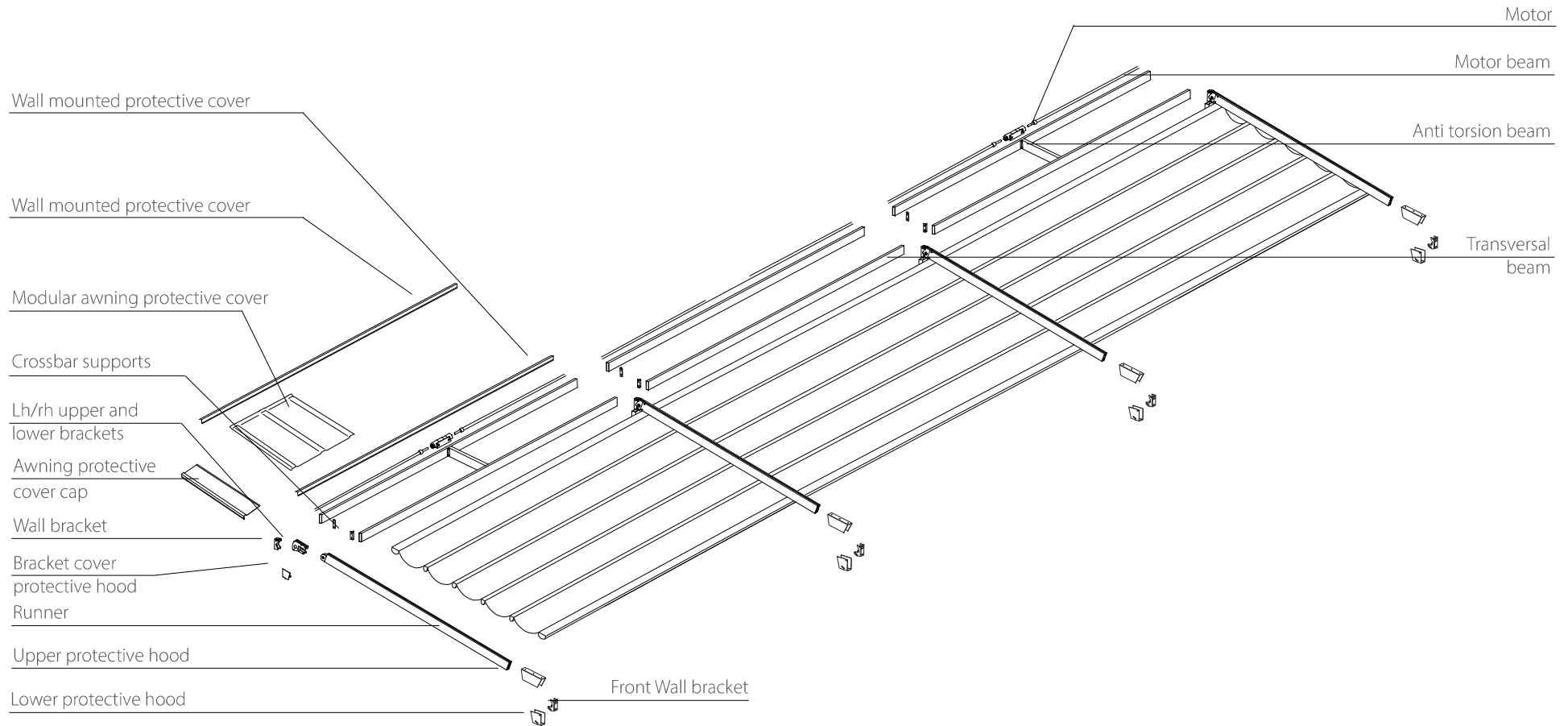
FLAT
Version



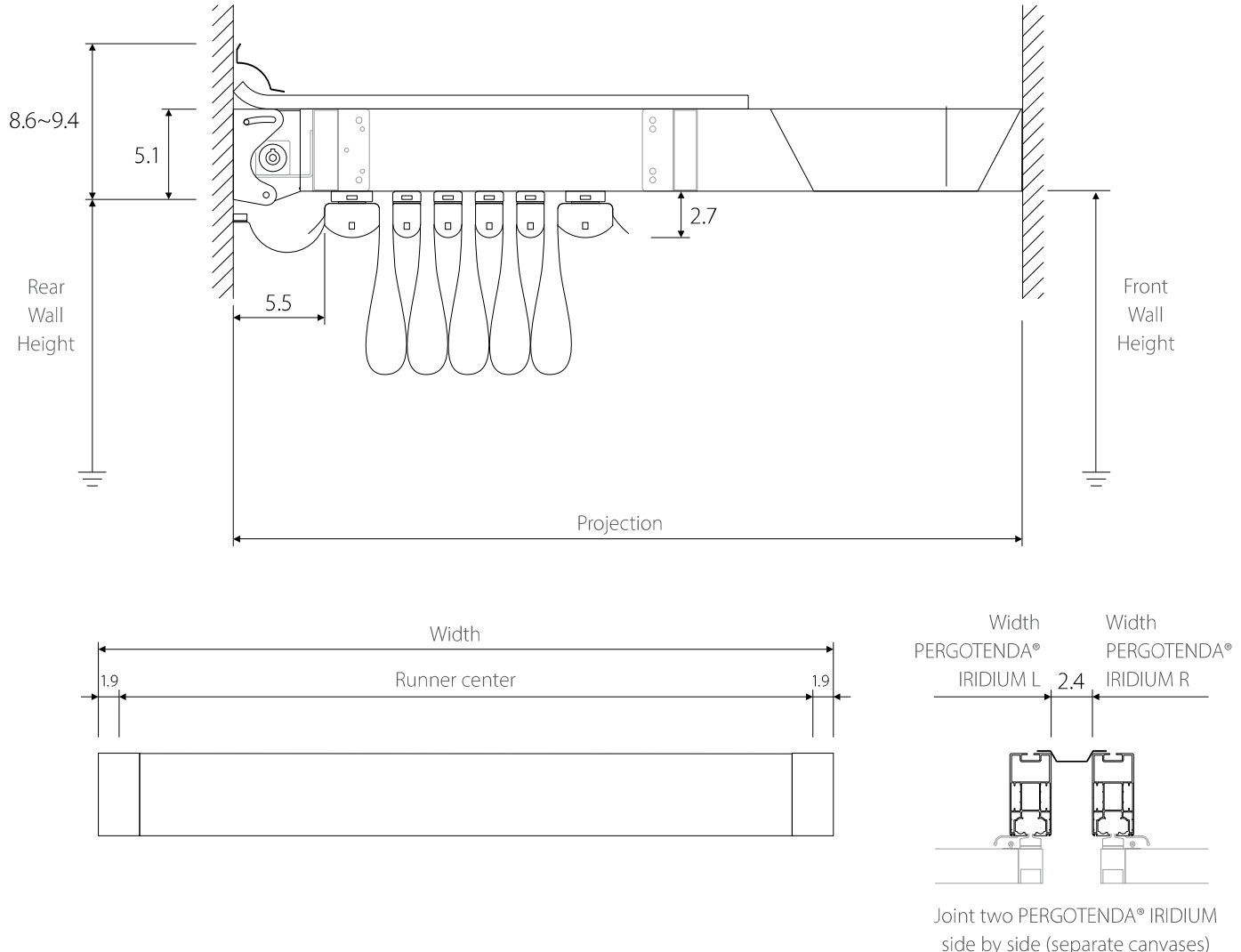
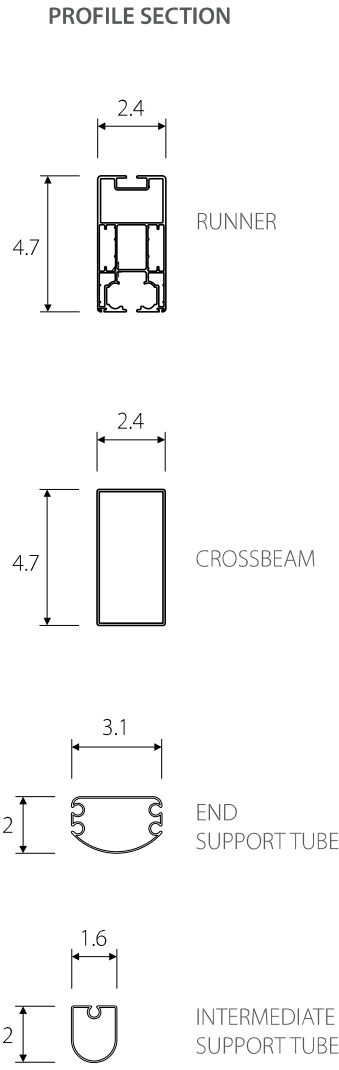
MAXIMUM DIMENSIONS inches standard slack		
	Width	Projection
2 runner	138	236
3 runner	276	236
4 runner	413	236

MAXIMUM DIMENSIONS inches TRAPEZOIDAL slack		
	Width	Projection
2 runner	197	276
3 runner	315	276
4 runner	472	276

IRIDIUM WALL TO WALL 4 RUNNER

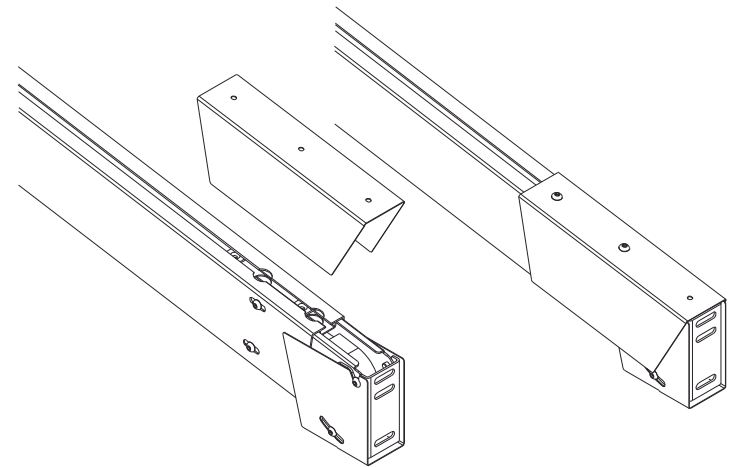
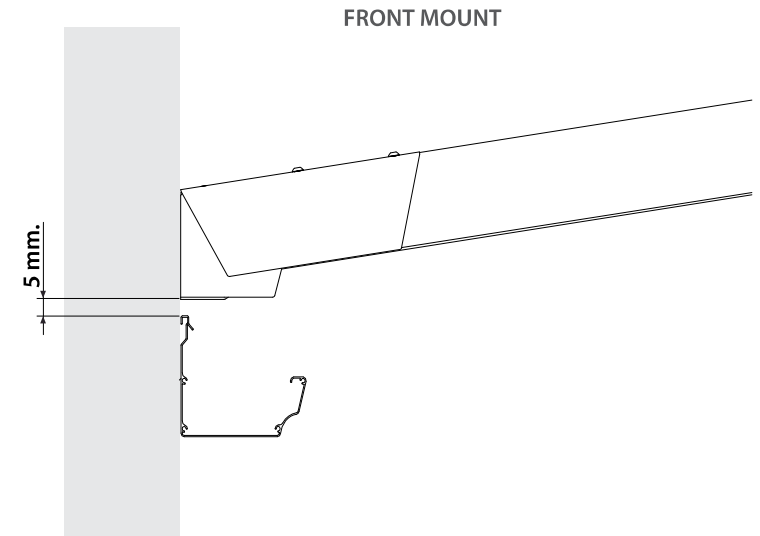
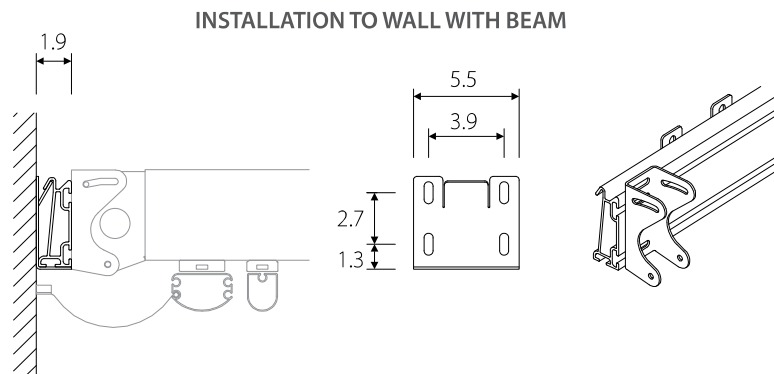
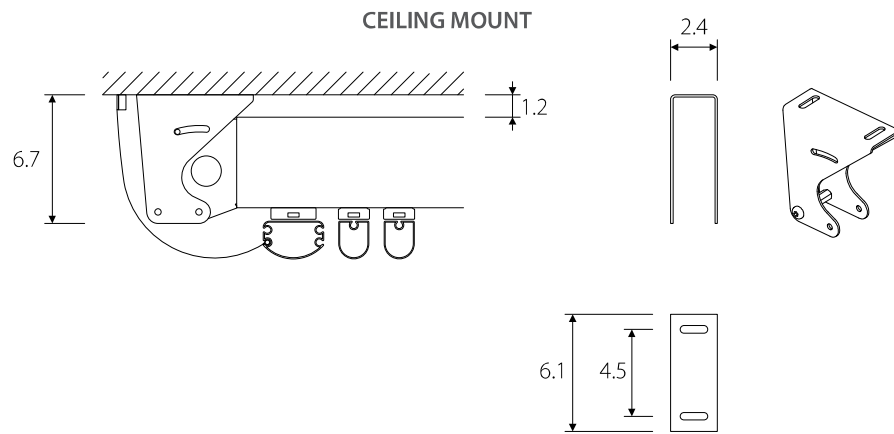
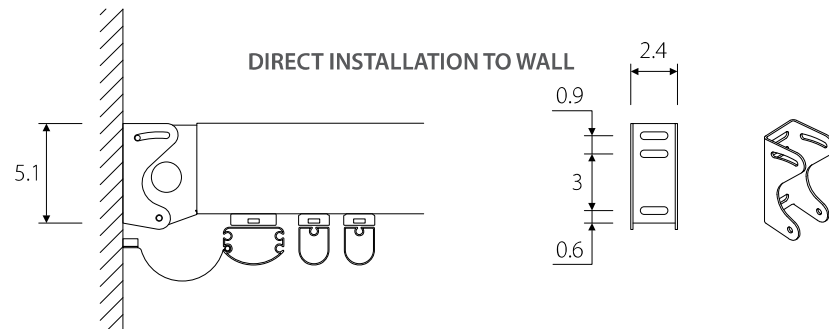


IRIDIUM WALL TO WALL DIMENSIONS



All measurements are given in inches.

IRIDIUM WALL TO WALL MOUNTING

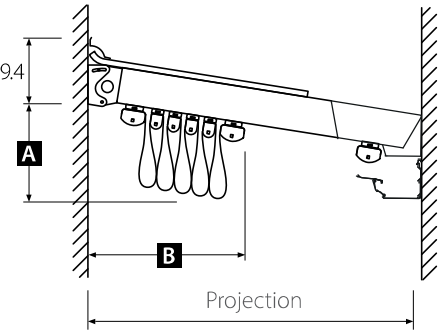


All measurements are given in inches

IRIDIUM WALL TO WALL STACKED CANVAS DIMENSIONS

Pitched

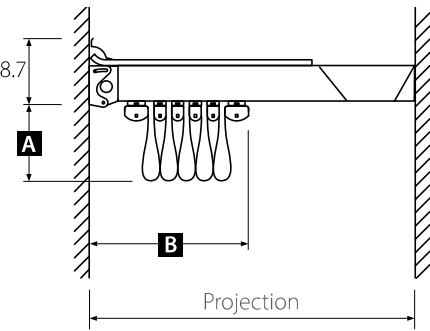
Minimum values of the encumbrance of the folded awning for the pitched version. The figures written in bold type refer to the canvas encumbrance with standard support tubes and the following refer to the use of additional tubes. Maximum pitch 20°.



PROJECTION inches	SUPPORT TUBES TOTAL NUMBER									
	4	5	6	7	8	9	10	11	12	13
89	12.2	9.4	8.3							
112		12.6	10.6	9.4						
136			13	11.4	10.2					
159				13.4	11.8	11				
183					13.8	12.6	11.8			
206						14.2	13	12.6		
230							14.6	13.8	13	
232								13.8	13.4	12.6
256									13.8	13.4
	14	16	19	21	23	26	28	30	32	35

Flat

Minimum values of the encumbrance of the folded awning for the flat version. The figures written in bold type refer to the canvas encumbrance with standard support tubes with a deflection of 6.7 inches.

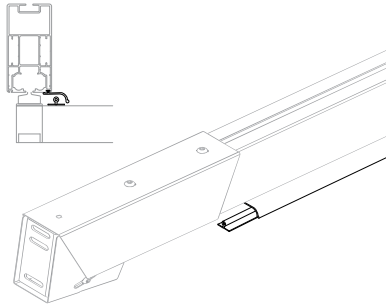


PROJECTION inches	SUPPORT TUBES TOTAL NUMBER									
	5	6	7	8	9	10	11	12	13	14
98	11.4									
117		11.4								
137			11.4							
157				11.4						
176					11.4					
196						11.4				
216							11.4			
235								11.4		
236									11.4	
256										11.4
	22	25	28	31	33	36	39	42	44	47

All measurements are given in inches.

IRIDIUM WALL TO WALL FEATURES & OPTIONS

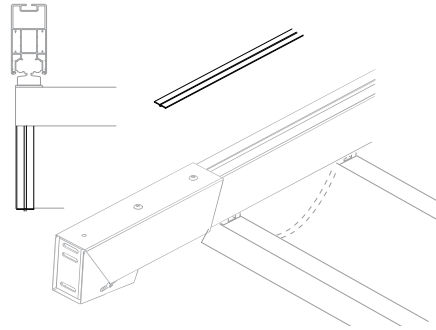
FTR — Feature (included)
OPT — Option (incurs additional charge)



Antidrop System + Antispray Profile

(pitched versions only)

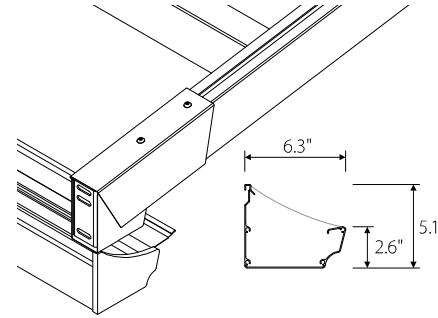
FTR — Electric weldable PVC profile on the upper part of the canvas for lateral rainwater prevention complete with antispray profile PERGOTENDA® IRIDIUM WALL/WALL preassembled on runners.



Underside Drip-Collection Rim

(flat versions only)

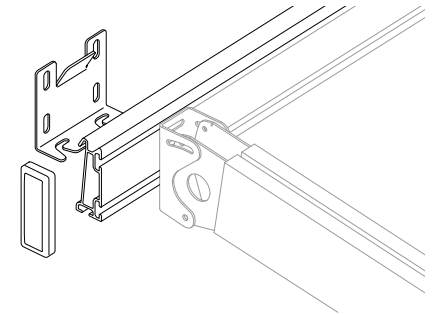
FTR — Electric welded PVC profile on the underside of the canvas. Solely for canvases packed slack. *Not available with trapezoidal fabrics.*



Front Gutter

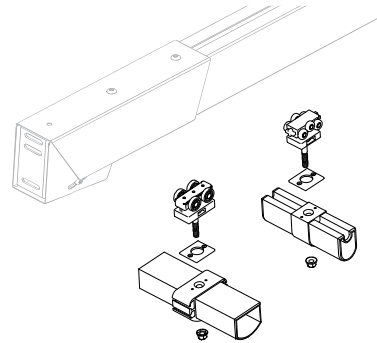
(pitched versions only)

OPT — Extruded aluminium profile for rainwater collection. Down pipes (1 about every 236 in.) and accessories included.



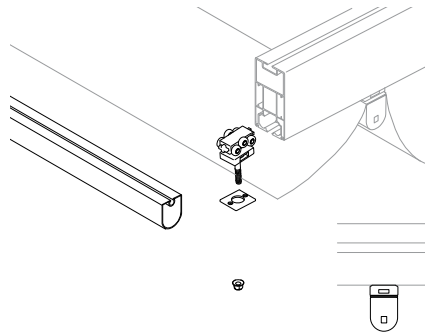
Wall Beam

OPT — Aluminium profile for uneven walls, where standard fastening to supports is awkward; or otherwise to deal with minor bumps.



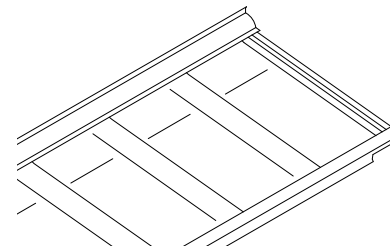
Add-on Runner

OPT — PERGOTENDA® IRIDIUM WALL/WALL runner complete with pillar 2.4"x4.7", stainless steel supports, sliders, support tube joints, central transmission shaft with bushes.



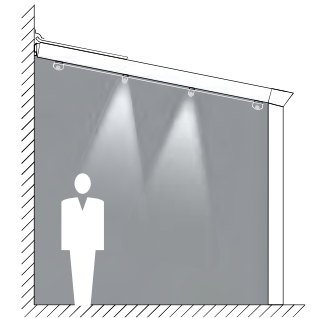
Add-on Intermediate Support Tube

OPT — Complete intermediate support tube with stoppers, joints (where present) and intermediate sliders.



Awning Protective Cover Deduction

OPT — Option to deduct modular awning protective cover. Support cross bars (1.6" x 4.7" sec.) must be kept for structural reasons.



Lights

OPT — LED light system integrated into canvas-holding tubes.