

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations and addition

APPLICANT: Bilgehan Yalcin

LOCATION: Old and Historic Alexandria District
105 Queen Street

ZONE: RM/Residential Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations and addition, as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



Note: Staff coupled the applications for a Permit to Demolish (BAR #2021-00468) and Certificate of Appropriateness (BAR #2021-00457) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to replace all windows and doors, enlarge some openings, replace lintels, change the roof line, extend the chimney, and add a roof terrace, at 105 Queen Street.

Permit to Demolish/Capsulate

The applicant requests a Permit to Demolish to demolish the existing roof, cast stone lintels, soffits, and door pediment from all elevations in order to replace them with upgraded materials. Portions of wall on both elevations will be removed to enlarge window openings.

Certificate of Appropriateness

Addition: The applicant proposes three options to add a roof terrace with a stair enclosure and two HVAC units. The roof terrace materials will be composed of painted pressure treated lumber, composite decking, cable railings, and fiber cement siding or standing seam metal for the stair enclosure, depending on the option chosen. See Figure 1 for Option A, Figure 2 for Option B, and Figure 3 for Option C.

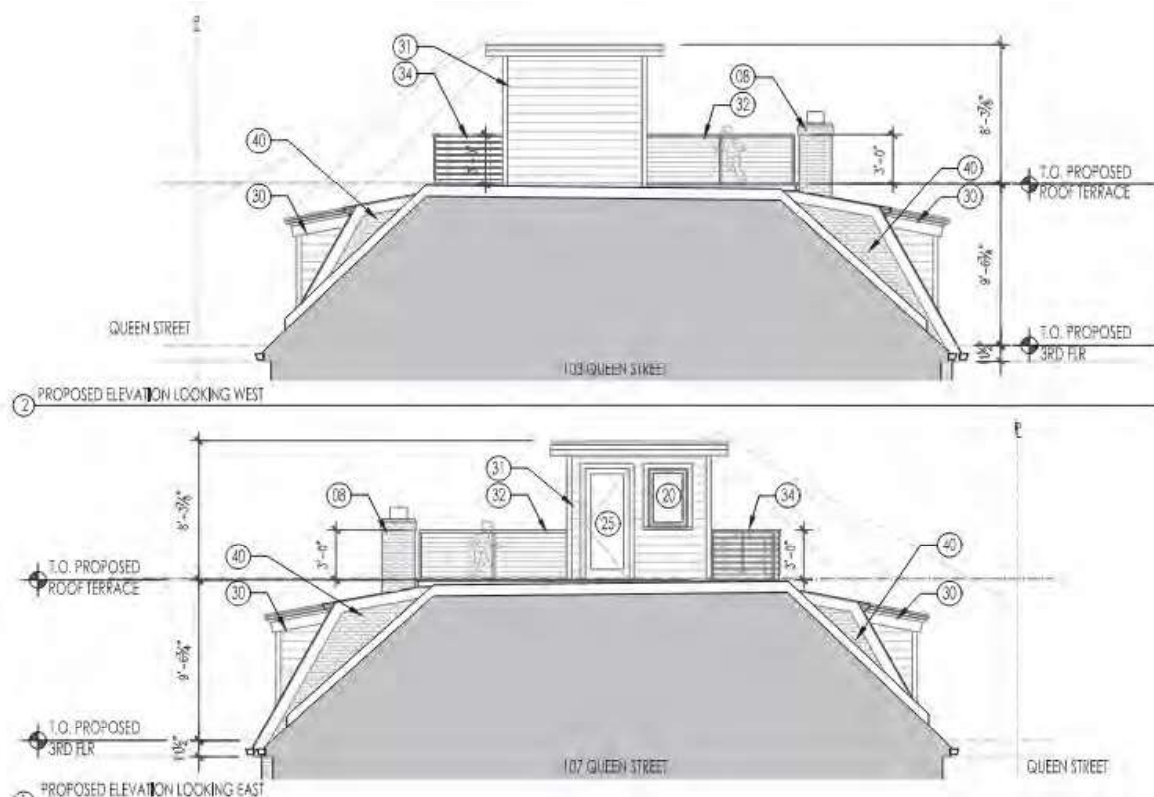


Figure 1: Proposed roof terrace Option A

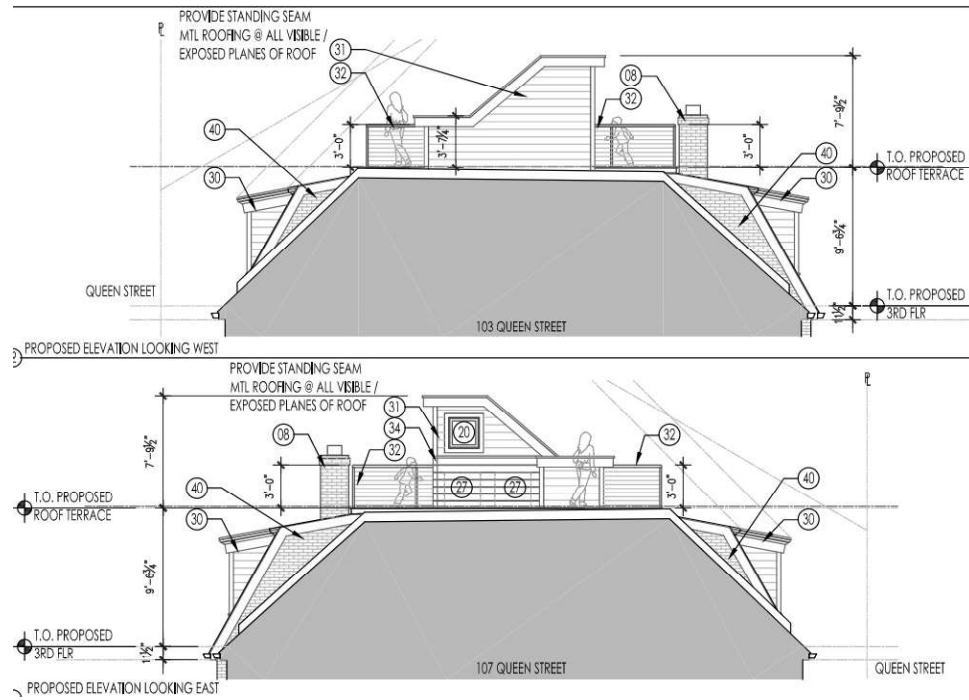


Figure 2: Proposed roof terrace Option B

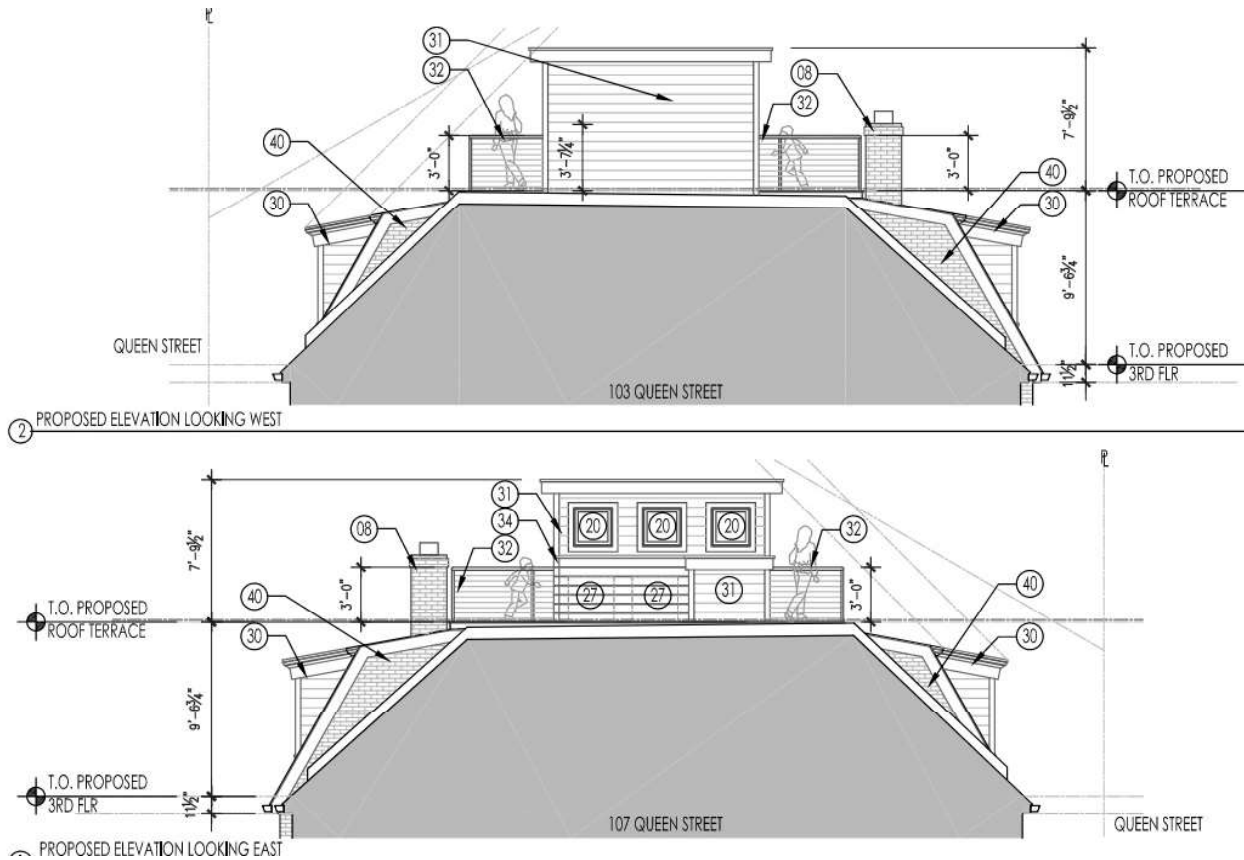


Figure 3: Proposed roof terrace Option C

Alterations: Alterations consist of new aluminum-clad wood casement windows throughout, a new wood and glass front/south door, new terrace doors and sidelights on the rear/north elevation, new painted fiber cement soffits, new gutters/downspouts on both elevations, and a new steel garage door. Two windows on the second story of the front elevation will be replaced with a large window flanked by terrace doors with tempered glass railings. Two small windows on the second story of the rear elevation will be replaced by one large triple window. The applicant will also replace all cast stone lintels with brick jack arches. The applicant will add an entablature with a copper roof and LED down lighting to the front elevation, and new light fixtures flanking the rear terrace doors. The chimney will be extended with brick to match the existing brick. The existing roof will be converted from a faux mansard to a faux gambrel, with two fiber cement clad shed dormer windows and salvaged slate roofing on the front/south elevation, and a triple shed-style window on the rear/north elevation. See Figures 4 and 5 for the front/south elevation of Option A. The alterations will be the same for all three proposed roof terrace options.

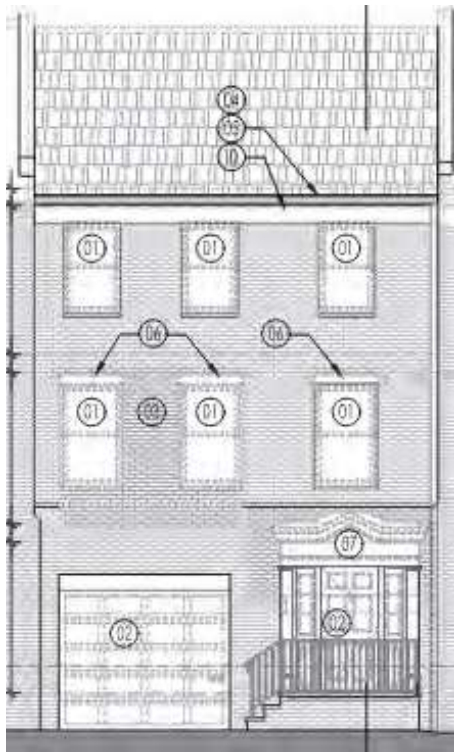


Figure 4: Existing front/south elevation

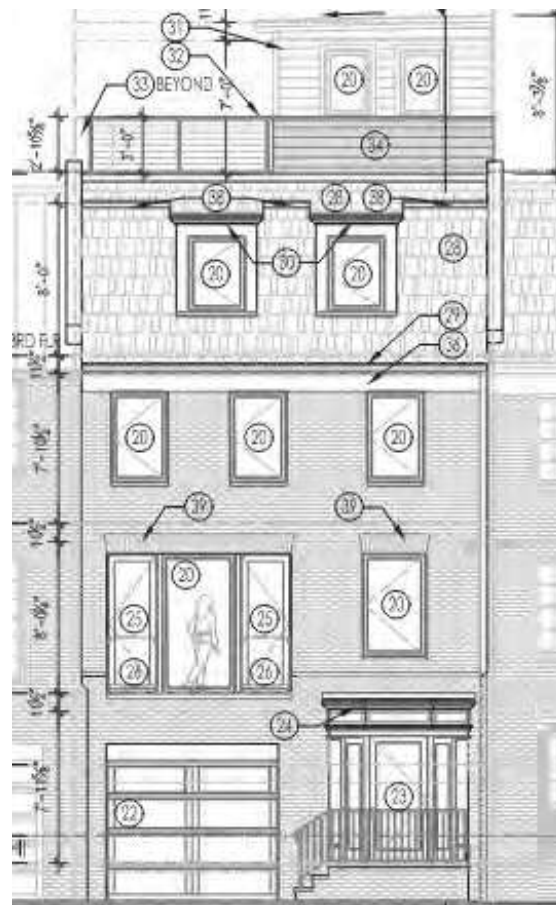


Figure 5: Proposed front/south elevation

II. HISTORY

The three-story, three-bay townhouse at 105 Queen Street is one of a group of 86 three-story brick townhouses bounded by North Union, North Lee, Queen, and Oronoco streets which were approved by City Council in 1968 (Special Use Permit #1084) and constructed in **1971**. This area was not included in the Old and Historic Alexandria District until June of 1984.

Previous BAR Approvals

Staff found no previous BAR approvals.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

Staff does not believe that the proposed demolition meets any of the criteria above, as the structure was constructed in the early 1970s and has not achieved historic significance in its own right or as the work of a nationally recognized architect. The demolition does not remove any character-defining features of uncommon design or historic merit, does not compromise the integrity of

historic areas of the district, and will not be a detriment to the public interest. Therefore, staff supports the application for a Permit to Demolish/Capsulate, as submitted.

Certificate of Appropriateness

This townhouse is one of a collection of late-20th century townhouses, all three stories in height with an attic story and a garage front. They have a vaguely Colonial Revival architectural character with the street level devoted to multiple curb cuts, large garage doors and randomly placed fenestration above. The townhouses are an architectural product of their time and geographic location and lack historic significance or architectural distinction. The roofs of the attic stories include false gables, mansards, and a few gambrel roofs. The BAR has approved many alterations and additions through the years as the location of the homes has become more desirable, including comprehensive redesigns that have improved the material quality and architectural detailing of traditional style units and changed one end unit to a very handsome contemporary style. The BAR's concern has always been one of compatibility, to ensure that whatever alterations are made are thoughtful improvements to the overall composition of the subject property. In cases such as this, where there is no historic context to protect, the BAR has given applicants a good deal of latitude to alter the original architectural style and to accommodate personal taste.

Alterations:

The applicant is simulating a historically accurate Colonial Revival style gambrel roof form in lieu of the existing faux mansard roofline. Additionally, the single shed dormers on the front are appropriately integrated with the roof and appropriate in scale. The rear dormer is also in scale with the redesigned roof. The Board approved a similar roof type in this community at 123 Quay Street on July 19, 2017 (BAR2017-00209 & BAR2017-00210).

The doors, windows, garage doors, light fixtures meet BAR *Design Guidelines* and comply with the *BAR Policies for Administrative Approval*. The proposed windows and doors, with glazing which complies with the Board's *Policies for Administrative Approval for Windows*, are both acceptable and appropriate. Replacing the cracked cast stone lintels with brick jack arches will improve the overall look of the primary elevation without detracting from its architectural character. Likewise, the enlarged windows on both elevations and proposed roof/dormers complement the existing design of the townhouse. The remaining alterations replace worn out and degraded materials. The proposed materials are high quality and appropriate for this brick townhouse. Wholesale façade alteration in a more contemporary style has been supported by the BAR in the past decade with many examples in this development. Unlike many other modernized homes in the community, the proposed design for 105 Queen Street updates the home without straying far from its pseudo-Colonial Revival roots. Staff notes that first floor of the rear/north elevation is not visible from any public right of way, but the top story and roof can be seen from North Union Street.

Addition:

The *Design Guidelines* indicate that the Board “has approved the construction of decks in a number of instances...where there is minimal visibility of the deck from a public way.” Some of these

approved roof decks on properties in this particular community include 105 Quay, 416 North Union, 420 North Union, 424 North Union, and 401 North Lee. The Board has also approved numerous roof decks in the broader Old and Historic Alexandria District as well as the Parker Gray District.

The application initially proposed Option A only, but after input from neighboring homeowners, the architect devised Options B and C as viable alternatives to assuage their concerns. Staff finds all three options appropriate. Note that sloped surfaces will be clad in standing seam metal, while vertical surfaces will be clad in fiber cement. Figure 5 above depicts Option A as seen from Queen Street. Figures 6 and 7 below depict Options B and C from the same vantage point. Option B has a smaller sloped stair enclosure and Option C has a smaller squared stair enclosure. Figure 8 depicts the north/rear elevation of Option A; figure 9 depicts the north/rear elevation of Options B and C.

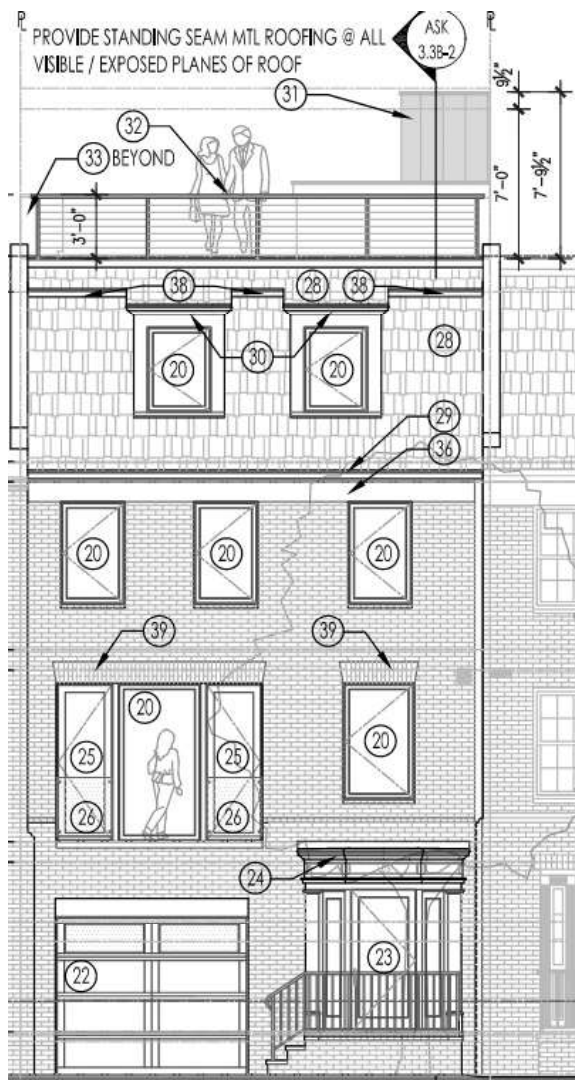


Figure 6: Option B proposed south elevation

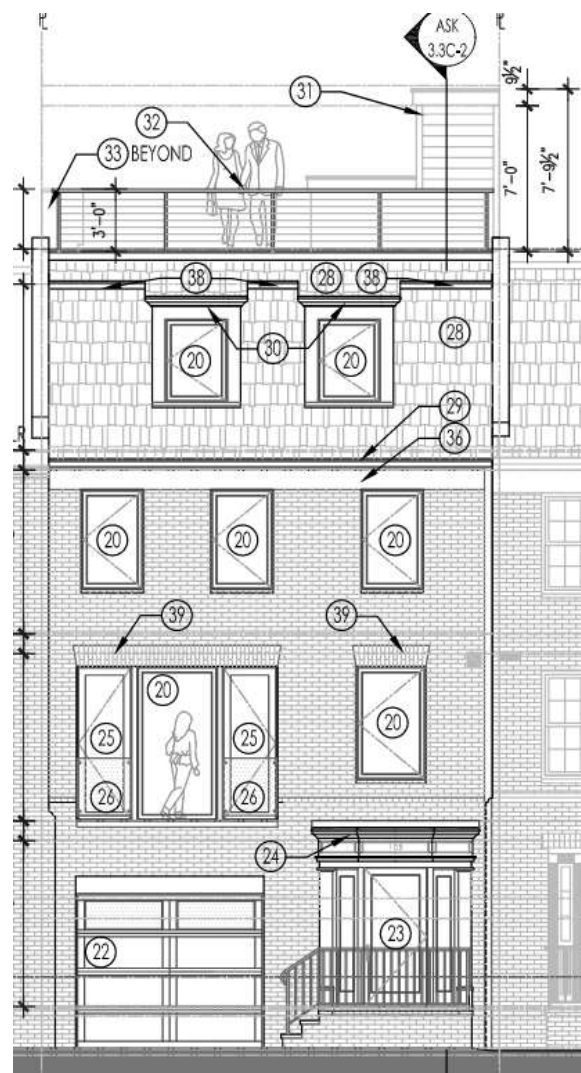


Figure 7: Option C proposed south elevation

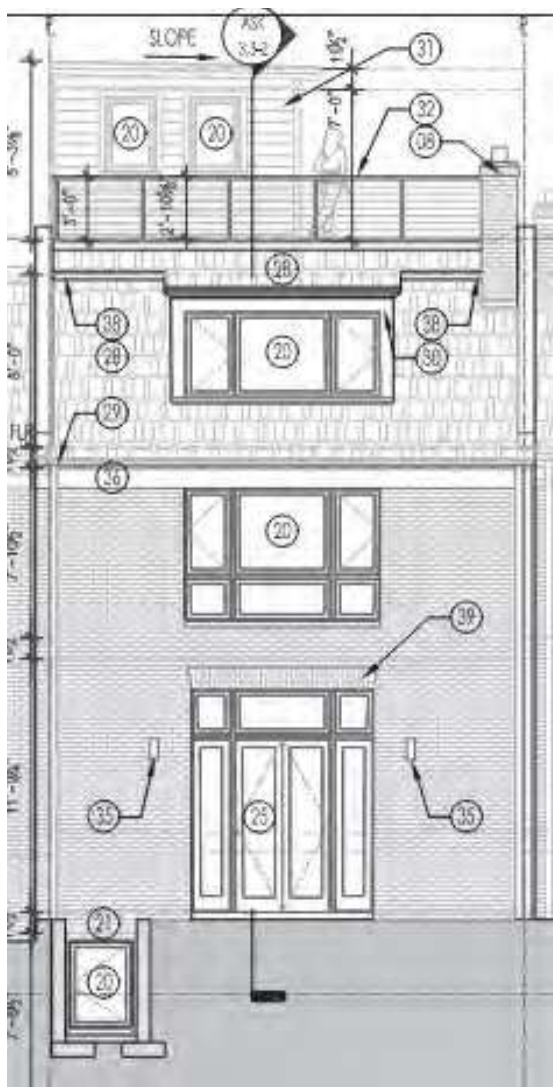


Figure 8: Option A proposed north elevation

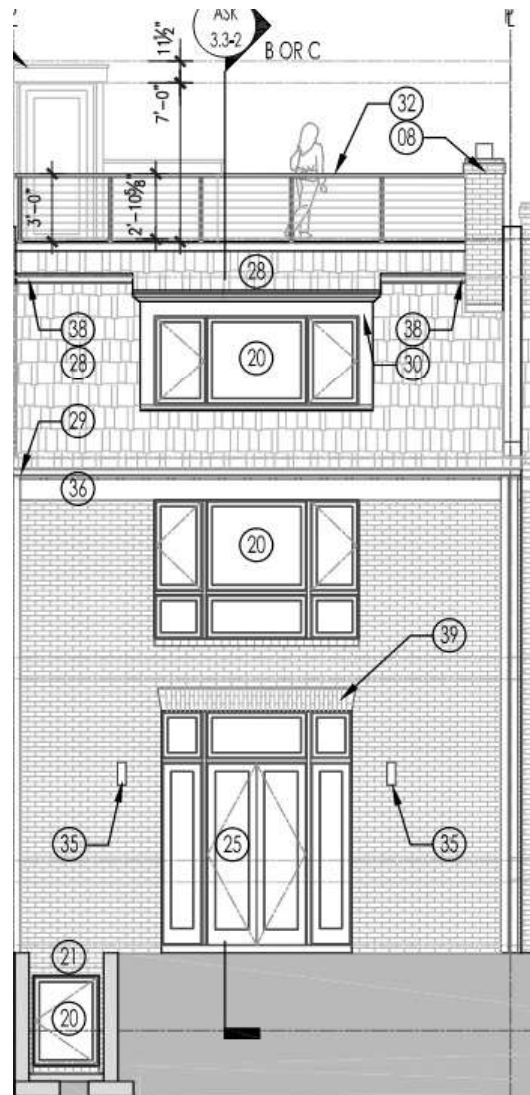


Figure 9: Options B & C proposed north elevation

Staff finds that the three proposed roof deck options comply with the *Design Guidelines* because they do not “hide, obscure, or cause the removal of historic architectural details.” They also utilize “materials which are sympathetic to the building materials found in the historic districts.” In that same vein, the project fulfills the *Design Guidelines*’ parameter that “Material should not be used on a roof deck that detracts from the historic architecture of a structure.” Additionally, the proposed roof decks do “not interfere with the historic roofline of a building.” In short, the proposed decks comply with every guideline relating to roof decks in the historic districts. Although visible from a public right of way, the proposed roof decks do not negatively affect the overall appearance of the neighborhood. This late 20th-century community features numerous additions and alterations which contribute to its unique and creative streetscape. As the Board has noted on several occasions, Alexandria should not be architecturally frozen in time like Williamsburg, but instead should continue to be a vibrant and growing community.

Staff therefore finds all options appropriate and recommends approval of the project, as submitted.

STAFF

Susan Hellman, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

- C-1 The property received variance BZA1084 in 1968 which limited the FAR to 1.42, for a total of 2,193 square feet. The building currently exceeds the allowed floor area (after deducting exclusions). While the building is over the allowed FAR, the applicant may make modifications, alterations, and additions as long as they do not exceed the existing floor area.
- C-2 Per §6-403(B), stairs, roof decks and guardrails may all be erected as part of the main building to their required heights.
- C-3 Per §6-403(B)(2), the Board of Architectural Review may waive or modify the screening requirement for rooftop appurtenances.
- F-1 The proposed changes will decrease the floor area, as the proposal includes stairs and lavatories which can be excluded from FAR.
- F-2 Because the proposal has a ridge that is parallel to the street and the slope of the roof is compatible with neighboring buildings, per §3-1106(D), the maximum permitted height is 45 feet.
- F-3 The proposed new stair tower, roof deck, guardrails, alterations, rooftop HVAC units, and renovations all comply with zoning.

Code Administration

- C-1 A building permit and plan review are required prior to the start of construction.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

F-1 No archaeological oversight will be necessary for this undertaking.

V. ATTACHMENTS

1 – Application Materials

2 – Supplemental Materials

ADDRESS OF PROJECT: 105 Queen Street, Alexandria, VA 22314

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 065.03-05-45 ZONING: RM

APPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: Bilgehan Yalcin

Address: 7801 Loisdale Road

City: Springfield State: VA Zip: 22150

Phone: 703-626-2227 E-mail: byalcin@springfieldmarble.com

Authorized Agent *(if applicable)*: ☐ Attorney ☒ Architect ☐ _____

Name: Karen Conkey Phone: 703-589-4550

E-mail: kconkey@conkeyarchitects.com

Legal Property Owner:

Name: Bilgehan Yalcin

Address: 7801 Loisdale Road

City: Springfield State: VA Zip: 22150

Phone: 703-626-2227 E-mail: byalcin@springfieldmarble.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☒ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|---|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input checked="" type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input checked="" type="checkbox"/> doors | <input checked="" type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input checked="" type="checkbox"/> other _____ | | | |
- ☒ ADDITION
☒ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

The applicant proposes the following exterior modifications to 105 Queen Street. Replace all windows and exterior doors. Enlarge openings at the living and dining room, and in the primary bedroom. Replace cracked cast stone lintels with brick jack arches on the front facade. Change the roof line from a faux mansard to a faux gambrel roof to allow for finished living space on the 3rd floor. The roofing for the changed roof line will be salvaged slate roofing to extent possible on visible sloped areas.

The applicant also proposes to add a roof terrace above the home with an interior stair structure accessing the terrace. The materials at the roof terrace will be painted pressure treated lumber, composite decking for the flooring / stair treads, fiber cement siding and trim at the stair enclosure and a visually minimal cable railing at the perimeter. All proposed new doors and windows will meet the established design guidelines.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☒ Survey plat showing the extent of the proposed demolition/encapsulation.
☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☒ ☐ Description of the reason for demolition/encapsulation.
☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ N/A
- ☒ ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ N/A
- ☐ ☒ Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☒ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ N/A
- ☒ ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____



Printed Name: Karen Conkey

Date: 8/17/2021

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Bilgehan Yalcin	7801 Loisdale Rd	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 105 Queen Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Bilgehan Yalcin	7801 Loisdale Rd	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Karen Conkey	spouse	William Conkey
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

8/17/2021

Date

Karen Conkey

Printed Name



Signature



Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. 105 Queen Street, Alexandria, VA 22314
Street Address

RM

Zone

A2. 1,545.00 x 1.42 = 2,193.90
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area
(reduced by easement) (reduced by variance) (reduced by variance to

2,190 SF)

B. Existing Gross Floor Area

Existing Gross Area

Basement 879.00
First Floor 872.00
Second Floor 872.00
Third Floor 899.00
Attic
Porches
Balcony/Deck
Lavatory***
Other**

Allowable Exclusions**

Basement** 427.00
Stairways** 219.00
Mechanical** 29.00
Attic less than 7*** 405.00
Porches**
Balcony/Deck**
Lavatory*** 127.00
Other**
Other**

B1. Total Gross 3,522.00 B2. Total Exclusions 1,207.00

B1. 3,522.00 Sq. Ft.

Existing Gross Floor Area*

B2. 1,207.00 Sq. Ft.

Allowable Floor Exclusions**

B3. 2,315.00 Sq. Ft.

Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

Proposed Gross Area

Basement
First Floor
Second Floor
Third Floor 405.00
Attic
Porches 8.00
ENTABLATURE
Balcony/Deck 380.00
Lavatory***
Other 100.00
ROOF ACCESS

Allowable Exclusions**

Basement**
Stairways** 219.00
Mechanical** 24.00
Attic less than 7*** 217.00
Porches** 8.00
ENTABLATURE
Balcony/Deck** 380.00
Lavatory*** 89.00
Other**
Other**

C1. Total Gross 893.00 C2. Total Exclusions 937.00

C1. 893.00 Sq. Ft.

Proposed Gross Floor Area*

C2. 937.00 Sq. Ft.

Allowable Floor Exclusions**

C3. -44.00 Sq. Ft.

Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

D. Total Floor Area

D1. 2,271.00 Sq. Ft.
Total Floor Area (add B3 and C3)

D2. 2,193.90 Sq. Ft.
Total Floor Area Allowed by Zone (A2)


E. Open Space (RA & RB Zones)

E1. 510.00 Sq. Ft.
Existing Open Space

E2. 300.00 Sq. Ft.
Required Open Space

E3. 492.00 Sq. Ft.
Proposed Open Space

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: 

Date:

8/17/2021



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations

B**A. Property Information**

A1. 105 Queen Street, Alexandria, VA 22314
Street Address

RM
Zone

A2. 1,545.00 x 1.42 = 2,193.90
Total Lot Area Floor Area Ratio Allowed by Zone
(reduced by easement) (reduced by variance) Maximum Allowable Floor Area
(reduced by variance to 2,190 SF)

B. Existing Gross Floor AreaExisting Gross Area

Basement 879.00

First Floor 872.00

Second Floor 872.00

Third Floor 899.00

Attic

Porches

Balcony/Deck

Lavatory***

Other**

Allowable Exclusions**

Basement** 427.00

Stairways** 219.00

Mechanical** 29.00

Attic less than 7'*** 405.00

Porches**

Balcony/Deck**

Lavatory*** 127.00

Other**

Other**

B1. Total Gross 3,522.00B2. Total Exclusions 1,207.00

B1. 3,522.00 Sq. Ft.
Existing Gross Floor Area*

B2. 1,207.00 Sq. Ft.
Allowable Floor Exclusions**

B3. 2,315.00 Sq. Ft.
Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area**C. Proposed Gross Floor Area**Proposed Gross Area

Basement

First Floor

Second Floor

Third Floor 405.00

Attic

Porches 8.00

ENTABLATURE

Balcony/Deck 410.00

ROOF TERRACE

Lavatory***

Other 70.00

ROOF ACCESS

C1. Total Gross 893.00Allowable Exclusions**

Basement**

Stairways** 189.00

Mechanical** 24.00

Attic less than 7'*** 217.00

Porches** 8.00

ENTABLATURE

Balcony/Deck** 410.00

ROOF TERRACE

Lavatory*** 89.00

Other**

Other**

C2. Total Exclusions 937.00

C1. 893.00 Sq. Ft.
Proposed Gross Floor Area*

C2. 937.00 Sq. Ft.
Allowable Floor Exclusions**

C3. -44.00 Sq. Ft.
Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

D. Total Floor Area

D1. 2,271.00 Sq. Ft.
Total Floor Area (add B3 and C3)

D2. 2,193.90 Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

E1. 510.00 Sq. Ft.
Existing Open Space

E2. 300.00 Sq. Ft.
Required Open Space

E3. 492.00 Sq. Ft.
Proposed Open Space

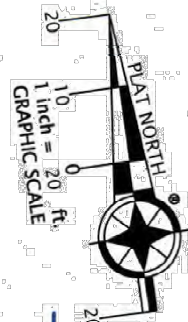
The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____

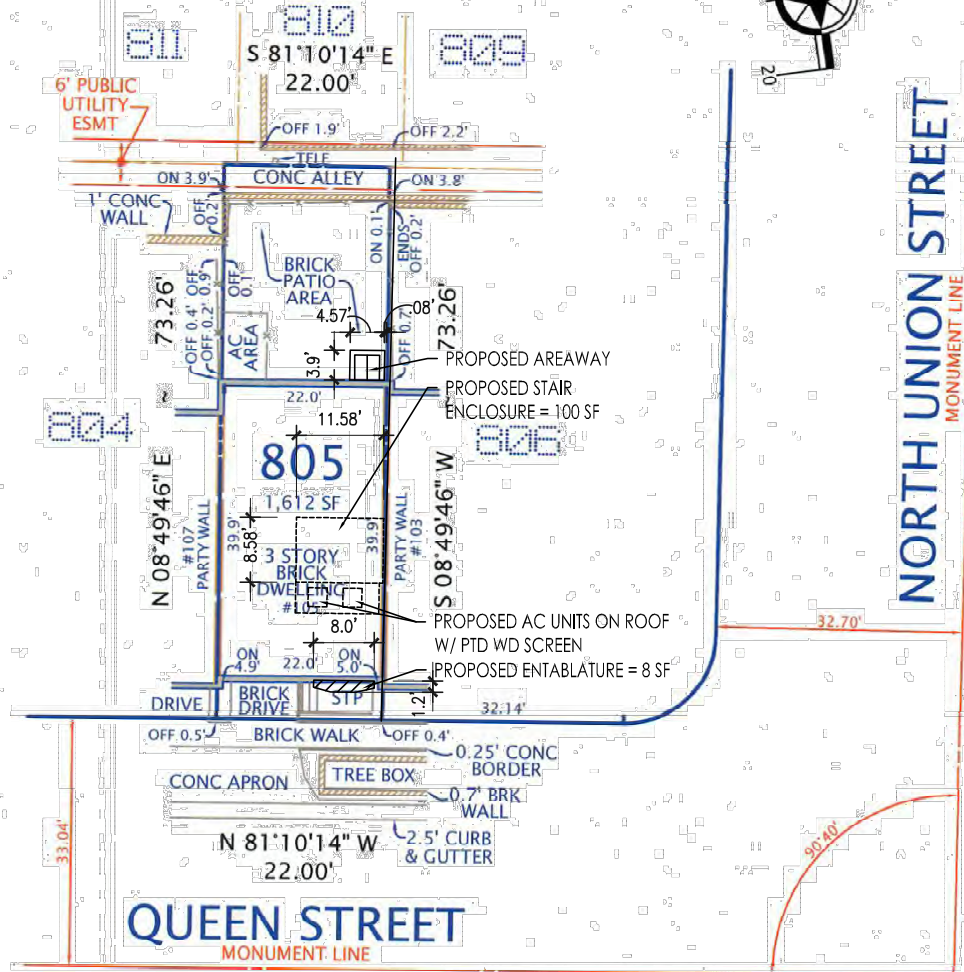
Date: _____

9/10/2021

- NOTES: 1. FENCES ARE FRAME.
2. UTILITIES ARE UNDERGROUND.
3. WALLS ARE 0.7" CONCRETE UNLESS NOTED.



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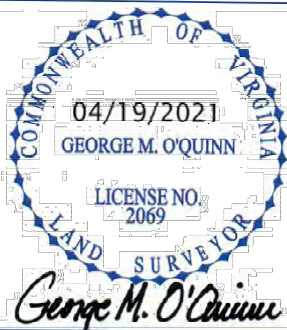


PLAT
SHOWING HOUSE LOCATION ON
LOT 805, SECTION FOUR
OLD TOWNE
(DEED BOOK 726, PAGE 115)
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 20' APRIL 19, 2021

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.

A TITLE REPORT WAS NOT FURNISHED.
NO CORNER MARKERS SET.



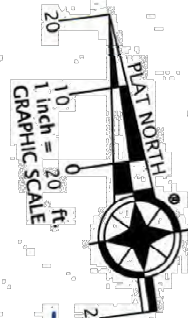
Ordered by:
L & B Land, Carroll & Blair PC
ATTORNEYS AT LAW, EST. 1928

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Alexandria, Virginia 22314
Phone: (703) 836-1000

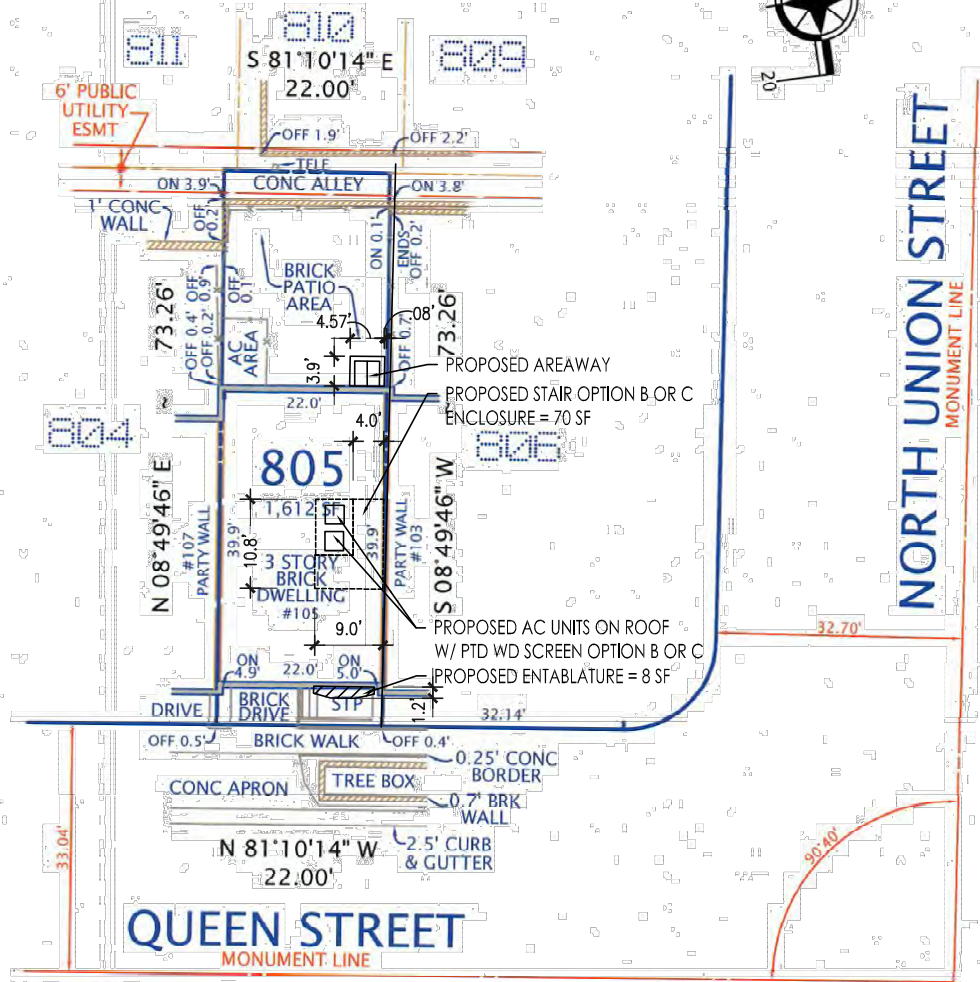
DOMINION Surveyors Inc.

8808-H PEAR TREE VILLAGE COURT
ALEXANDRIA, VIRGINIA 22309
703-619-6555
FAX: 703-799-6412

- NOTES: 1. FENCES ARE FRAME.
2. UTILITIES ARE UNDERGROUND.
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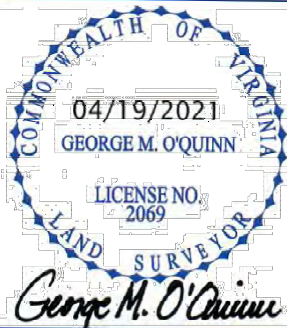
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SHOWING HOUSE LOCATION ON
LOT 805, SECTION FOUR
OLD TOWNE
(DEED BOOK 726, PAGE 115)
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 20'
APRIL 19, 2021

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8808-H PEAR TREE VILLAGE COURT
ALEXANDRIA, VIRGINIA 22309
703-619-6555
FAX: 703-799-6412



105 Queen Street, Alexandria, VA 22314			SCHEMATIC DESIGN
PHOTO OF EXISTING FRONT ELEVATION			ASK 1.1A NOT FOR CONSTRUCTION
CLIENT:		COPYRIGHT ©	
Bill Yalcin 7801 Loisdale Road Springfield, VA 22150		ARCHITECT: 325 north patrick street alexandria, va 22314 703 . 589 . 4550 info@conkeyarchitects.com	
	17 AUGUST 2021	Conkey architects	



105 Queen Street, Alexandria, VA 22314

PHOTO OF EXISTING REAR ELEVATION

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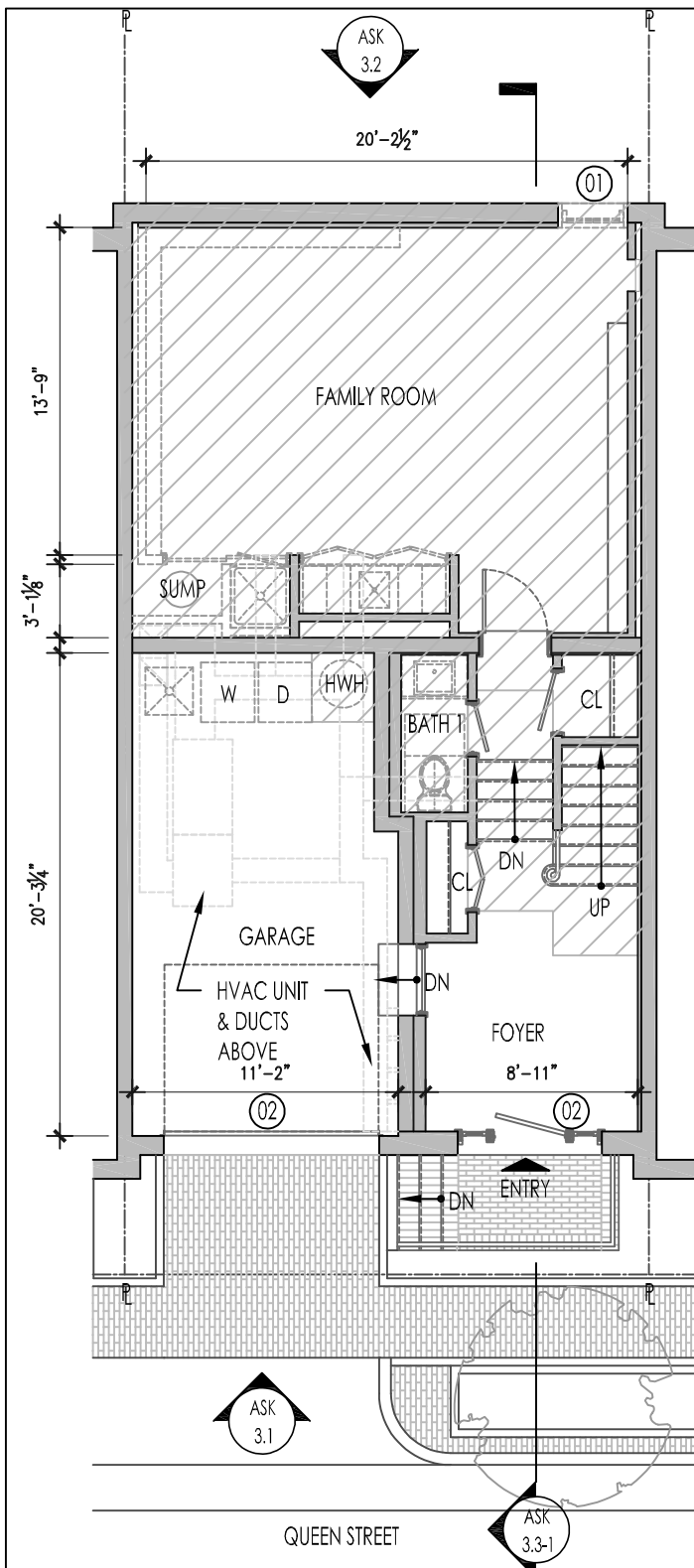
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SCHEMATIC DESIGN

ASK
1.1B

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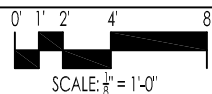


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EXISTING BASEMENT PLAN SHOWING PROPOSED DEMOLITION

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DEMOLITION NOTES

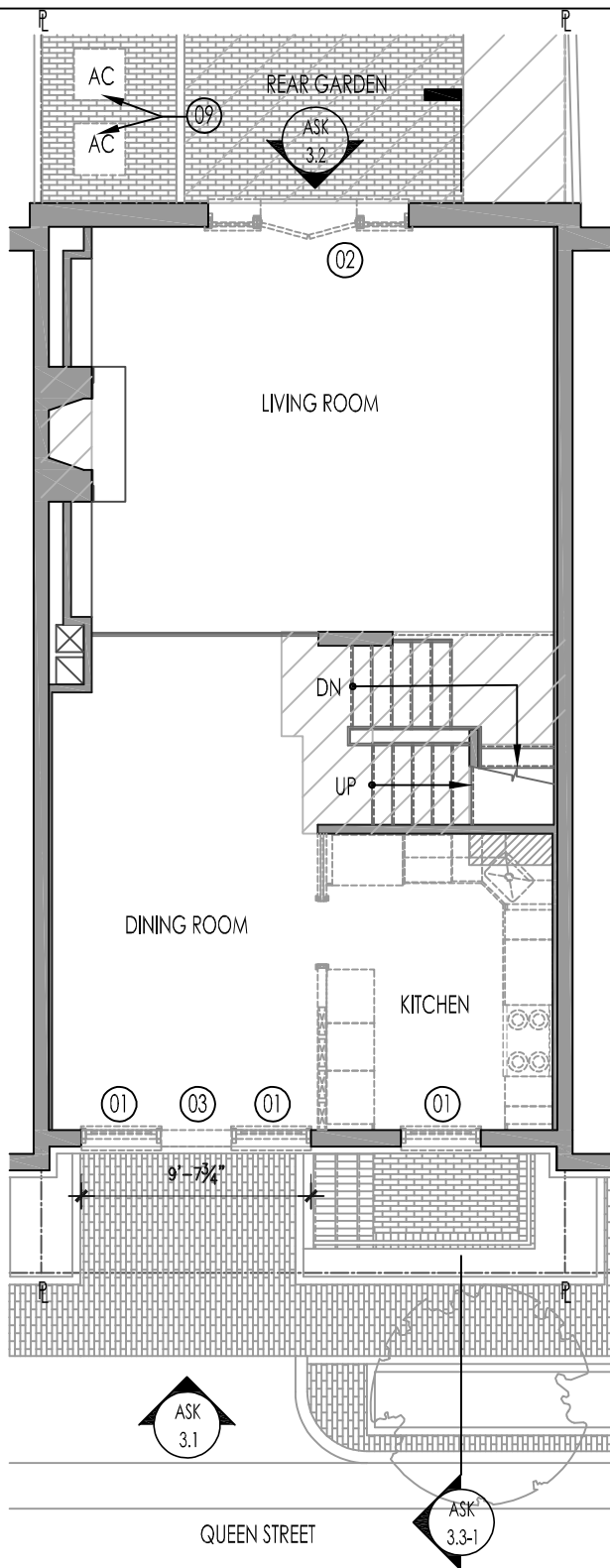
- 01 REPLACE WINDOW
- 02 REPLACE DOOR & SIDE LIGHT AS APPL
- 03 WALL TO BE REMOVED
- 04 ROOF TO BE REMOVED/REPLACED
- 05 GUTTER & DOWNSPOUT TO BE REPLACED
- 06 CAST STONE LINTEL TO BE REMOVED
- 07 DOOR PEDIMENT TO BE REMOVED
- 08 CHIMNEY TO BE EXTENDED - BRICK TO MATCH EXISTING
- 09 HVAC UNIT TO BE REPLACED
- 10 SOFFIT TO BE REPLACED

- EXISTING AREA DEDUCTED
- NEW EXISTING AREA DEDUCTED
- NEW AREA
- NEW AREA TO BE DEDUCTED
- EXISTING OPEN SPACE
- PROPOSED OPEN SPACE

SCHEMATIC DESIGN

ASK
2.0

NOT FOR CONSTRUCTION

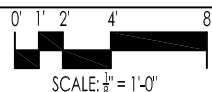


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EXISTING 1ST FLOOR PLAN SHOWING PROPOSED DEMOLITION

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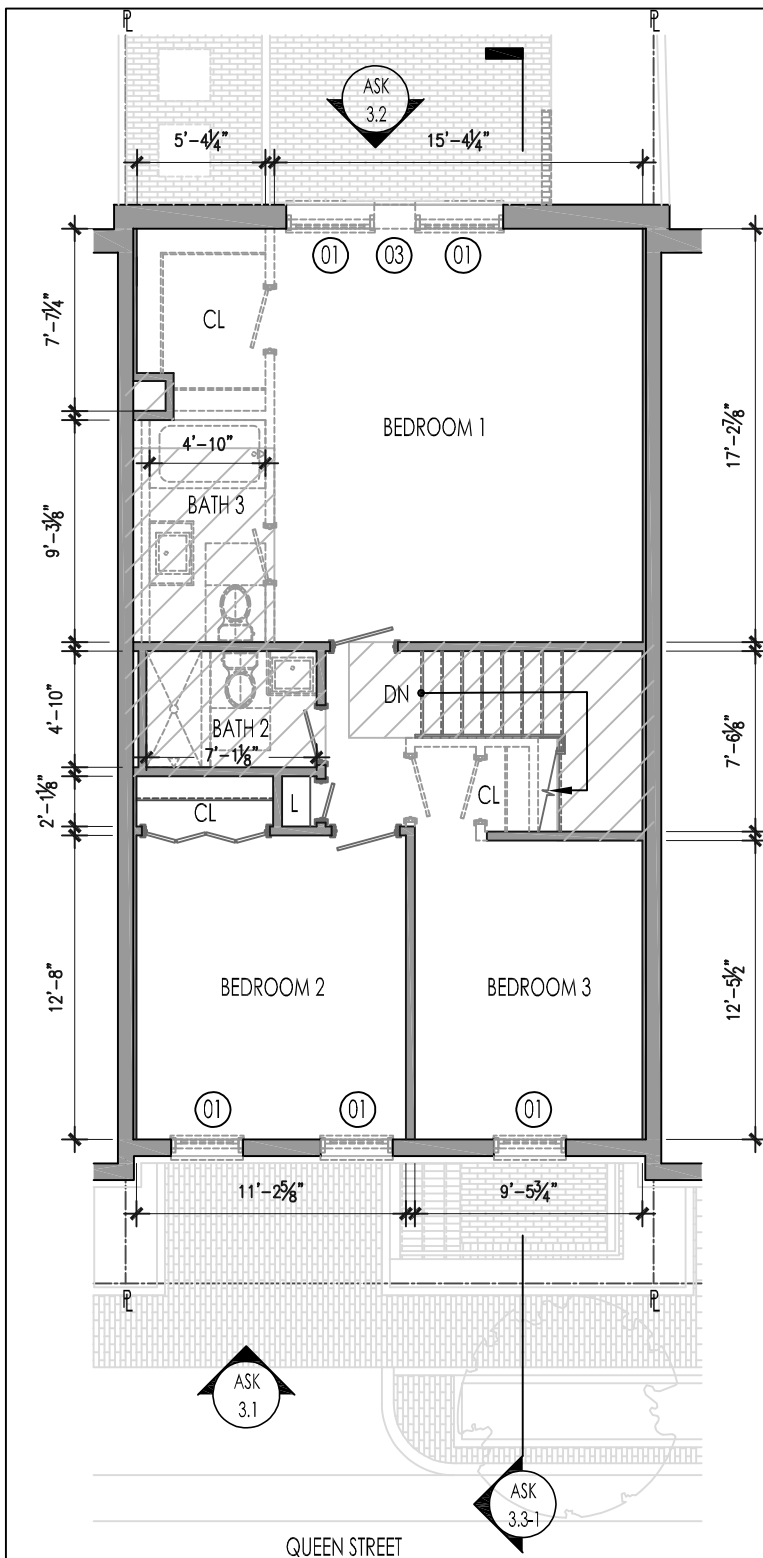
- 01 REPLACE WINDOW
- 02 REPLACE DOOR & SIDE LIGHT AS APPL
- 03 WALL TO BE REMOVED
- 04 ROOF TO BE REMOVED/REPLACED
- 05 GUTTER & DOWNSPOUT TO BE REPLACED
- 06 CAST STONE LINTEL TO BE REMOVED
- 07 DOOR PEDIMENT TO BE REMOVED
- 08 CHIMNEY TO BE EXTENDED - BRICK TO MATCH EXISTING
- 09 HVAC UNIT TO BE REPLACED
- 10 SOFFIT TO BE REPLACED

- EXISTING AREA DEDUCTED
- NEW EXISTING AREA DEDUCTED
- NEW AREA
- NEW AREA TO BE DEDUCTED
- EXISTING OPEN SPACE
- PROPOSED OPEN SPACE

SCHEMATIC DESIGN

ASK
2.1

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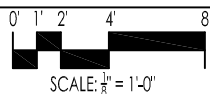


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EXISTING 2ND FLOOR PLAN SHOWING PROPOSED DEMOLITION

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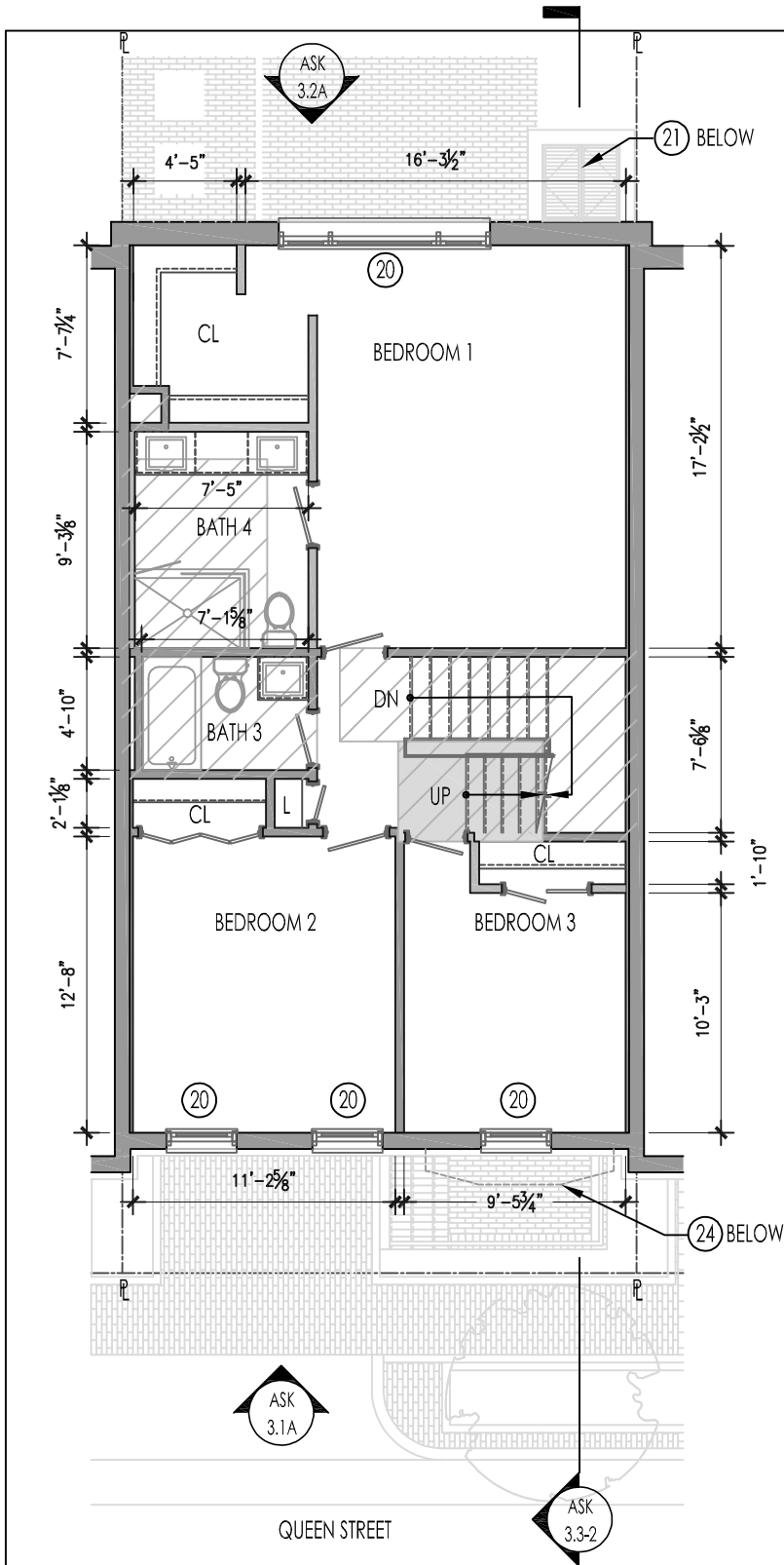
- 01 REPLACE WINDOW
- 02 REPLACE DOOR & SIDE LIGHT AS APPL
- 03 WALL TO BE REMOVED
- 04 ROOF TO BE REMOVED/REPLACED
- 05 GUTTER & DOWNSPOUT TO BE REPLACED
- 06 CAST STONE LINTEL TO BE REMOVED
- 07 DOOR PEDIMENT TO BE REMOVED
- 08 CHIMNEY TO BE EXTENDED - BRICK TO MATCH EXISTING
- 09 HVAC UNIT TO BE REPLACED
- 10 SOFFIT TO BE REPLACED

- EXISTING AREA DEDUCTED
- NEW EXISTING AREA DEDUCTED
- NEW AREA
- NEW AREA TO BE DEDUCTED
- EXISTING OPEN SPACE
- PROPOSED OPEN SPACE

SCHEMATIC DESIGN

ASK
2.2

NOT FOR CONSTRUCTION



- NEW WORK NOTES**
- 08 CHIMNEY TO BE EXTENDED - BRICK TO MATCH EXISTING
 - 20 ALUM CLAD WD WINDOW
 - 21 PARGED MASONRY AREA-WAY W/ PTD MTL GRATE
 - 22 MTL & GLASS GARAGE DOOR
 - 23 PTD WD & GLASS ENTRY DOOR & SIDELIGHTS
 - 24 PTD ENTABLATURE W/ COPPER ROOF & LED DOWN LIGHTING
 - 25 ALUM CLAD WD TERRACE DOOR(S) W/ SIDELIGHTS AS APPL
 - 26 TEMPERED GLASS RAILING
 - 27 HVAC UNIT
 - 28 SALVAGED SLATE ROOFING - SUPPLEMENT SLATES TO MATCH EXIST
 - 29 PTD MTL GUTTER & DOWNSPOUT
 - 30 FIBER CEMENT CLAD DORMER
 - 31 FIBER CEMENT CLAD STAIR ENCLOSURE W/ UV STABLE ROOFING
 - 32 PTD MTL CABLE RAILING
 - 33 STONE CLAD OUTDOOR KITCHEN
 - 34 PTD PT WD HVAC SCREEN
 - 35 EXTERIOR LIGHT
 - 36 PTD FIBER CEMENT SOFFIT
 - 37 UV STABLE MEMBRANE ROOFING W/ COMPOSITE DECKING
 - 38 PTD FIBER CEMENT TRIM
 - 39 BRICK JACK ARCH TO MATCH ADJ MASONRY
 - 40 THIN BRICK VENEER

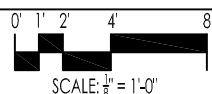
- EXISTING AREA DEDUCTED
- NEW EXISTING AREA DEDUCTED
- NEW AREA
- NEW AREA TO BE DEDUCTED
- EXISTING OPEN SPACE
- PROPOSED OPEN SPACE

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PROPOSED 2ND FLOOR PLAN

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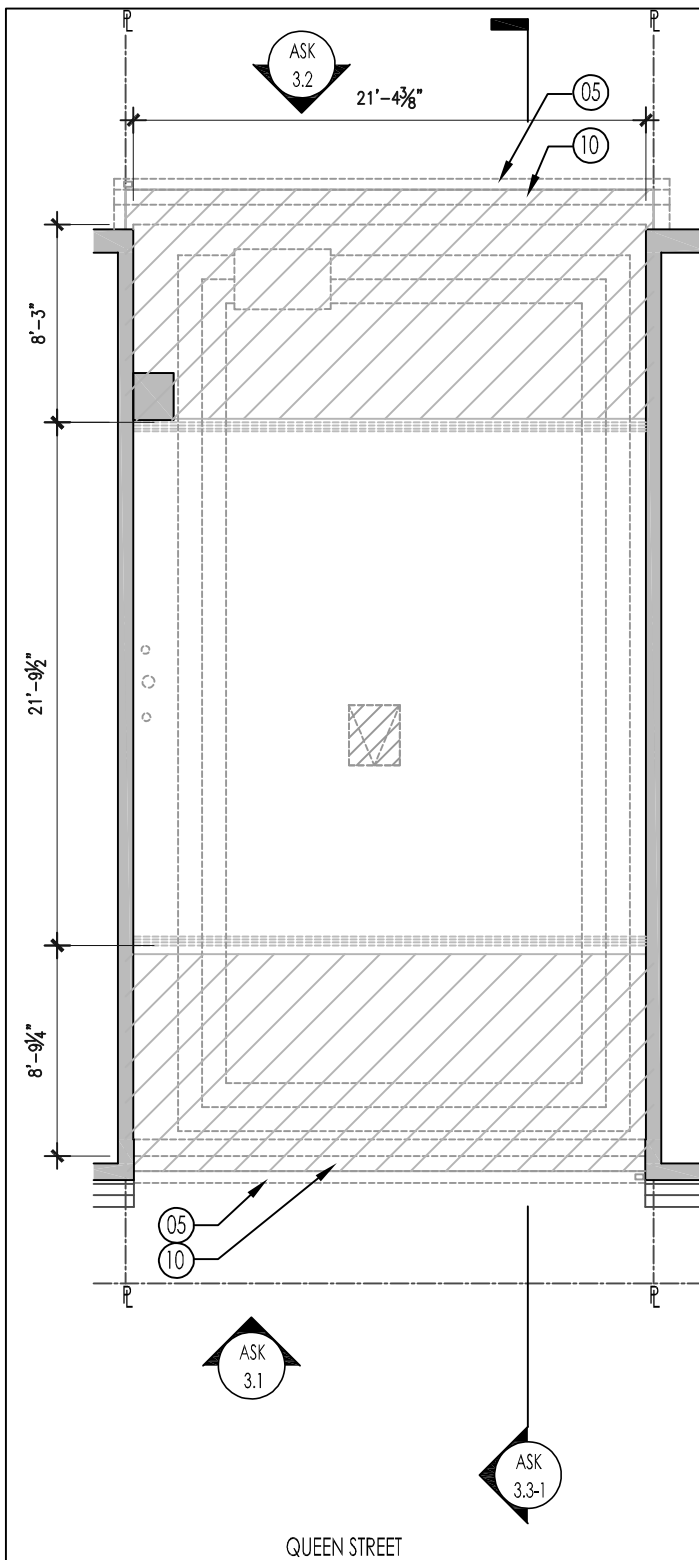
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

SCHEMATIC DESIGN

ASK
2.2A

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- DEMOLITION NOTES**
- 01 REPLACE WINDOW
 - 02 REPLACE DOOR & SIDE LIGHT AS APPL
 - 03 WALL TO BE REMOVED
 - 04 ROOF TO BE REMOVED/REPLACED
 - 05 GUTTER & DOWNSPOUT TO BE REPLACED
 - 06 CAST STONE LINTEL TO BE REMOVED
 - 07 DOOR PEDIMENT TO BE REMOVED
 - 08 CHIMNEY TO BE EXTENDED - BRICK TO MATCH EXISTING
 - 09 HVAC UNIT TO BE REPLACED
 - 10 SOFFIT TO BE REPLACED

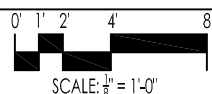
-  EXISTING AREA DEDUCTED
-  NEW EXISTING AREA DEDUCTED
-  NEW AREA
-  NEW AREA TO BE DEDUCTED
-  EXISTING OPEN SPACE
-  PROPOSED OPEN SPACE

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EXISTING 3RD FLOOR (ATTIC) PLAN SHOWING PROPOSED DEMOLITION

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Springfield, VA 22150



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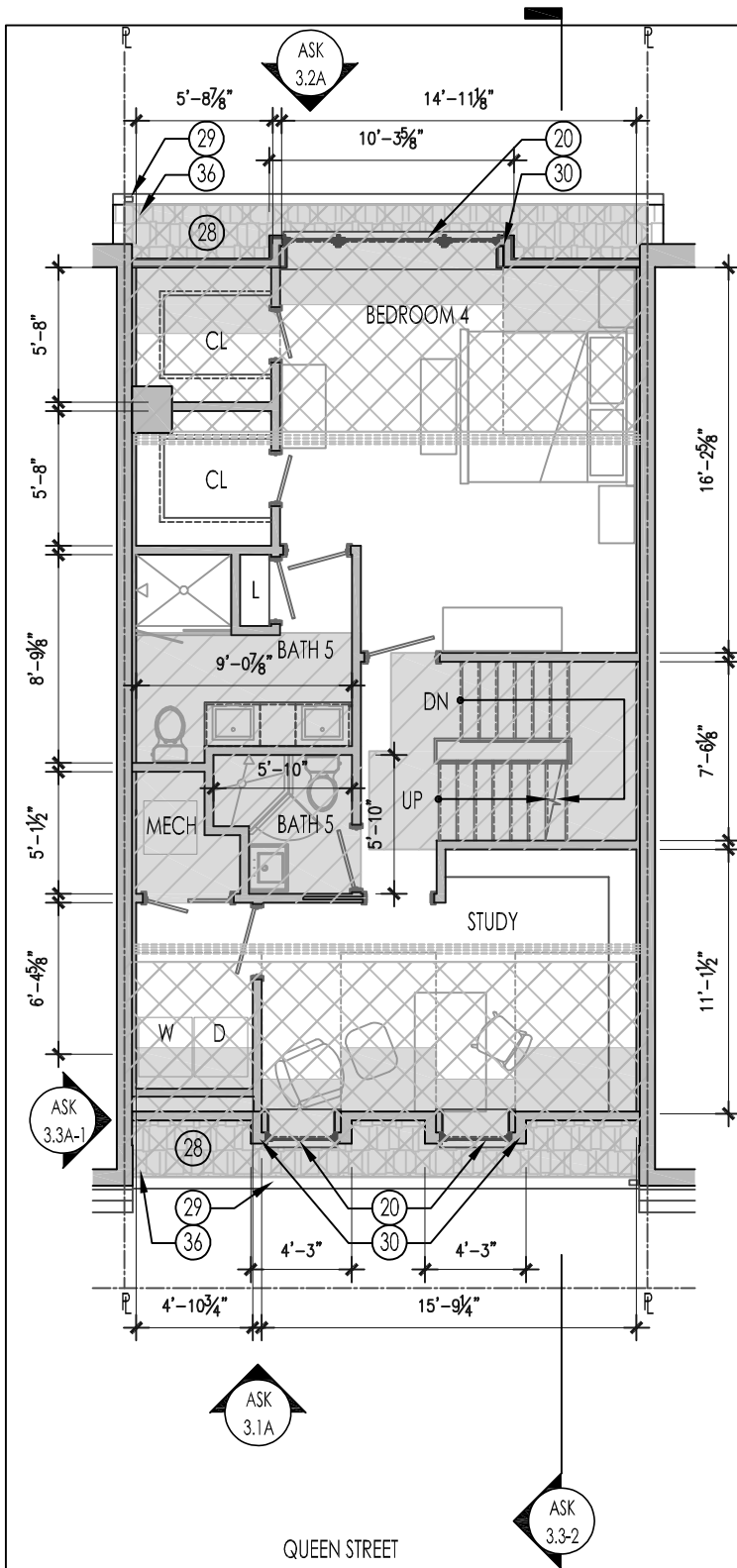
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SCHEMATIC DESIGN

**ASK
2.3**

NOT FOR CONSTRUCTION



- NEW WORK NOTES**
- (08) CHIMNEY TO BE EXTENDED - BRICK TO MATCH EXISTING
 - (20) ALUM CLAD WD WINDOW
 - (21) PARSED MASONRY AREA-WAY W/ PTD MTL GRATE
 - (22) MTL & GLASS GARAGE DOOR
 - (23) PTD WD & GLASS ENTRY DOOR & SIDELIGHTS
 - (24) PTD ENTABLATURE W/ COPPER ROOF & LED DOWN LIGHTING
 - (25) ALUM CLAD WD TERRACE DOOR(S) W/ SIDELIGHTS AS APPL
 - (26) TEMPERED GLASS RAILING
 - (27) HVAC UNIT
 - (28) SALVAGED SLATE ROOFING - SUPPLEMENT SLATES TO MATCH EXIST PTD MTL GUTTER & DOWNSPOUT
 - (29) FIBER CEMENT CLAD DORMER
 - (30) FIBER CEMENT CLAD STAIR ENCLOSURE W/ UV STABLE ROOFING
 - (32) PTD MTL CABLE RAILING
 - (33) STONE CLAD OUTDOOR KITCHEN
 - (34) PTD PT WD HVAC SCREEN
 - (35) EXTERIOR LIGHT
 - (36) PTD FIBER CEMENT SOFFIT
 - (37) UV STABLE MEMBRANE ROOFING W/ COMPOSITE DECKING
 - (38) PTD FIBER CEMENT TRIM
 - (39) BRICK JACK ARCH TO MATCH ADJ MASONRY
 - (40) THIN BRICK VENEER

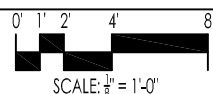
- EXISTING AREA DEDUCTED
- NEW EXISTING AREA DEDUCTED
- NEW AREA
- NEW AREA TO BE DEDUCTED
- EXISTING OPEN SPACE
- PROPOSED OPEN SPACE

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PROPOSED 3RD FLOOR PLAN

CLIENT:
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17 AUGUST 2021

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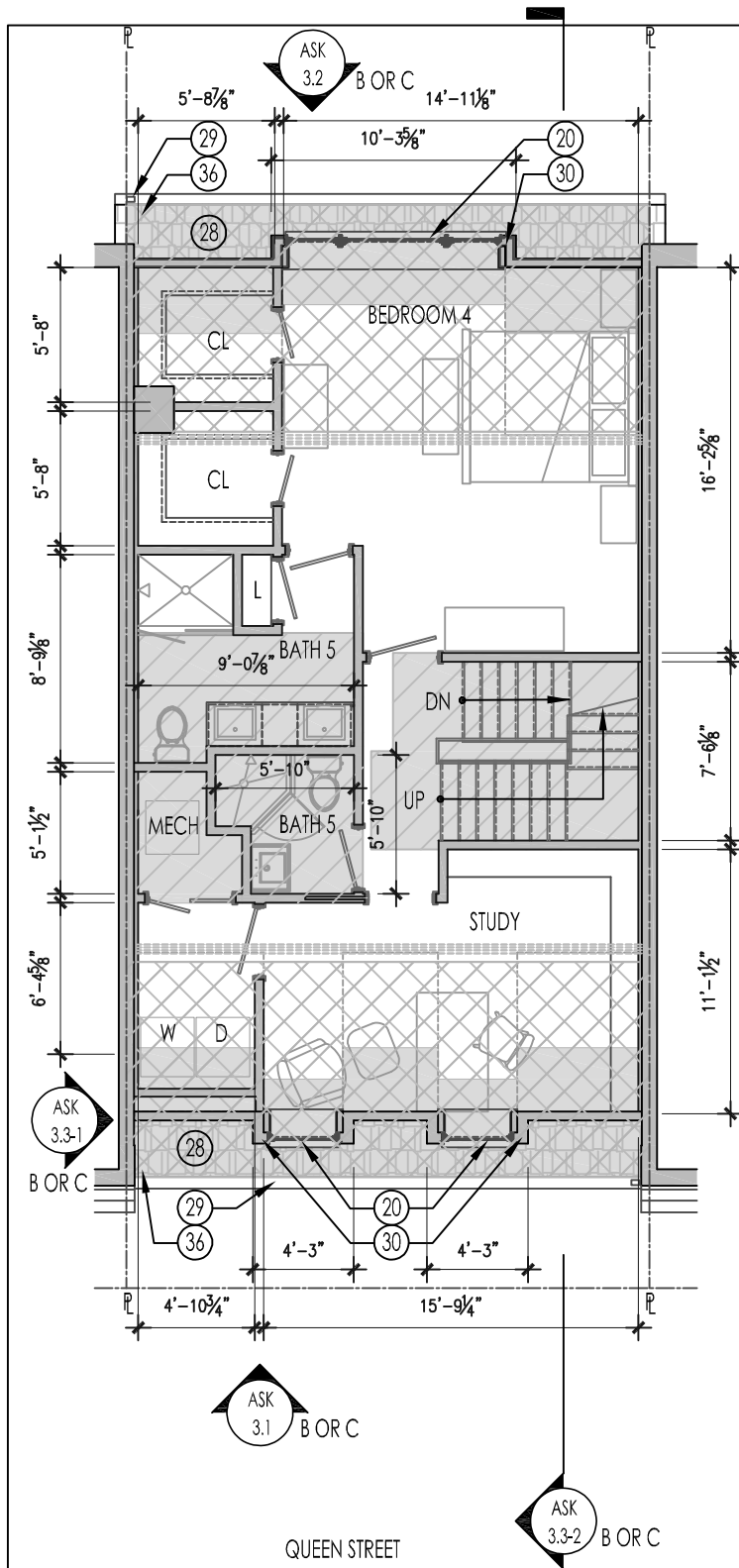
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info@conkeyarchitects.com

Conkey | architects

SCHEMATIC DESIGN

ASK
2.3A

NOT FOR CONSTRUCTION



NEW WORK NOTES

- 08 CHIMNEY TO BE EXTENDED - BRICK TO MATCH EXISTING
- 20 ALUM CLAD WD WINDOW
- 21 PARSED MASONRY AREA-WAY W/ PTD MTL GRATE
- 22 MTL & GLASS GARAGE DOOR
- 23 PTD WD & GLASS ENTRY DOOR & SIDELIGHTS
- 24 PTD ENTABLATURE W/ COPPER ROOF & LED DOWN LIGHTING
- 25 ALUM CLAD WD TERRACE DOOR(S) W/ SIDELIGHTS AS APPL
- 26 TEMPERED GLASS RAILING
- 27 HVAC UNIT
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- 29 FIBER CEMENT CLAD DORMER
- 30 FIBER CEMENT CLAD STAIR ENCLOSURE W/ UV STABLE ROOFING
- 32 PTD MTL CABLE RAILING
- 33 STONE CLAD OUTDOOR KITCHEN
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- 35 EXTERIOR LIGHT
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- 37 UV STABLE MEMBRANE ROOFING W/ COMPOSITE DECKING
- 38 PTD FIBER CEMENT TRIM
- 39 BRICK JACK ARCH TO MATCH ADJ MASONRY
- 40 THIN BRICK VENEER

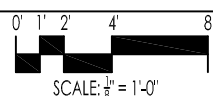
- EXISTING AREA DEDUCTED
- NEW EXISTING AREA DEDUCTED
- NEW AREA
- NEW AREA TO BE DEDUCTED
- EXISTING OPEN SPACE
- PROPOSED OPEN SPACE

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PROPOSED 3RD FLOOR PLAN - OPTION B & C STAIR LOCATION

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10 SEPTEMBER 2021

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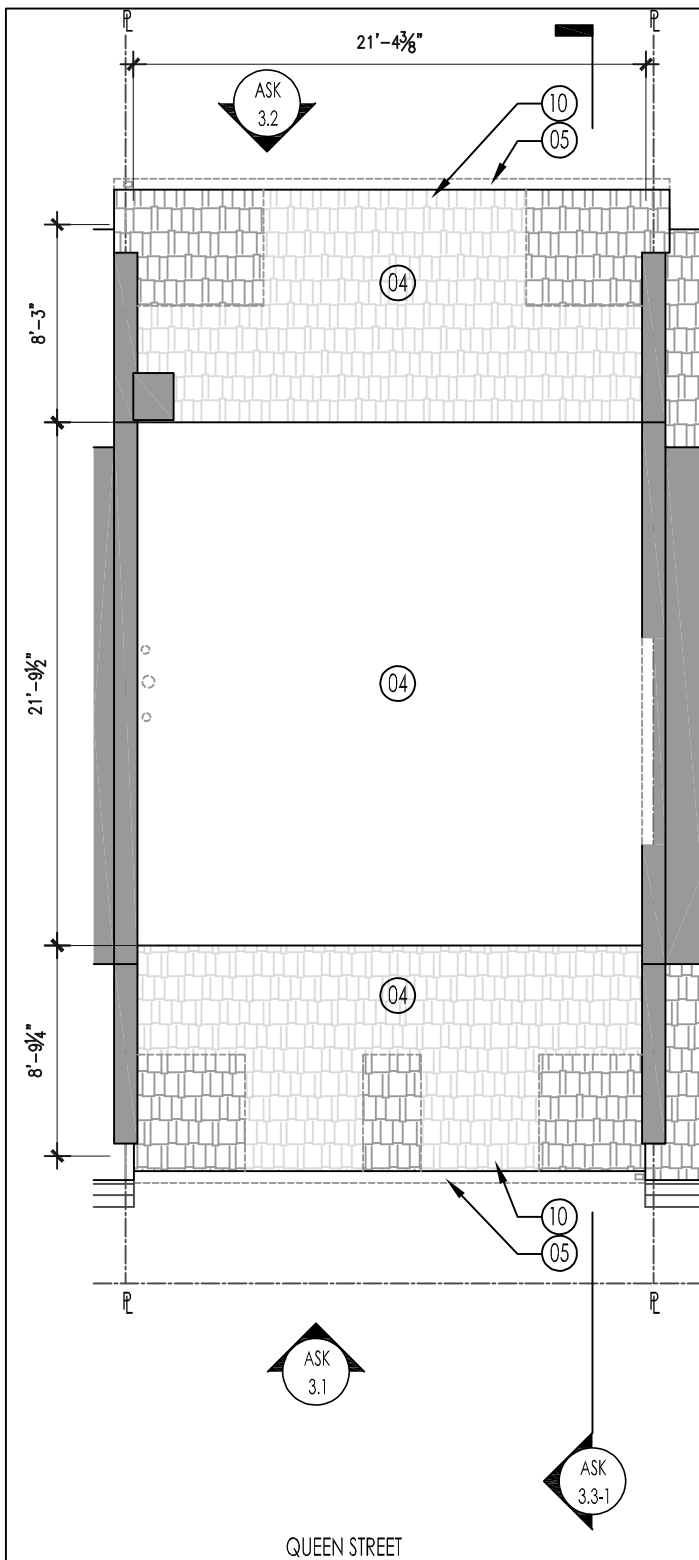
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SCHEMATIC DESIGN

**ASK
2.3B**

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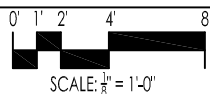


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EXISTING ROOF PLAN SHOWING PROPOSED DEMOLITION

CLIENT:
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SCALE: $\frac{1}{8}$ " = 1'-0"

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DEMOLITION NOTES

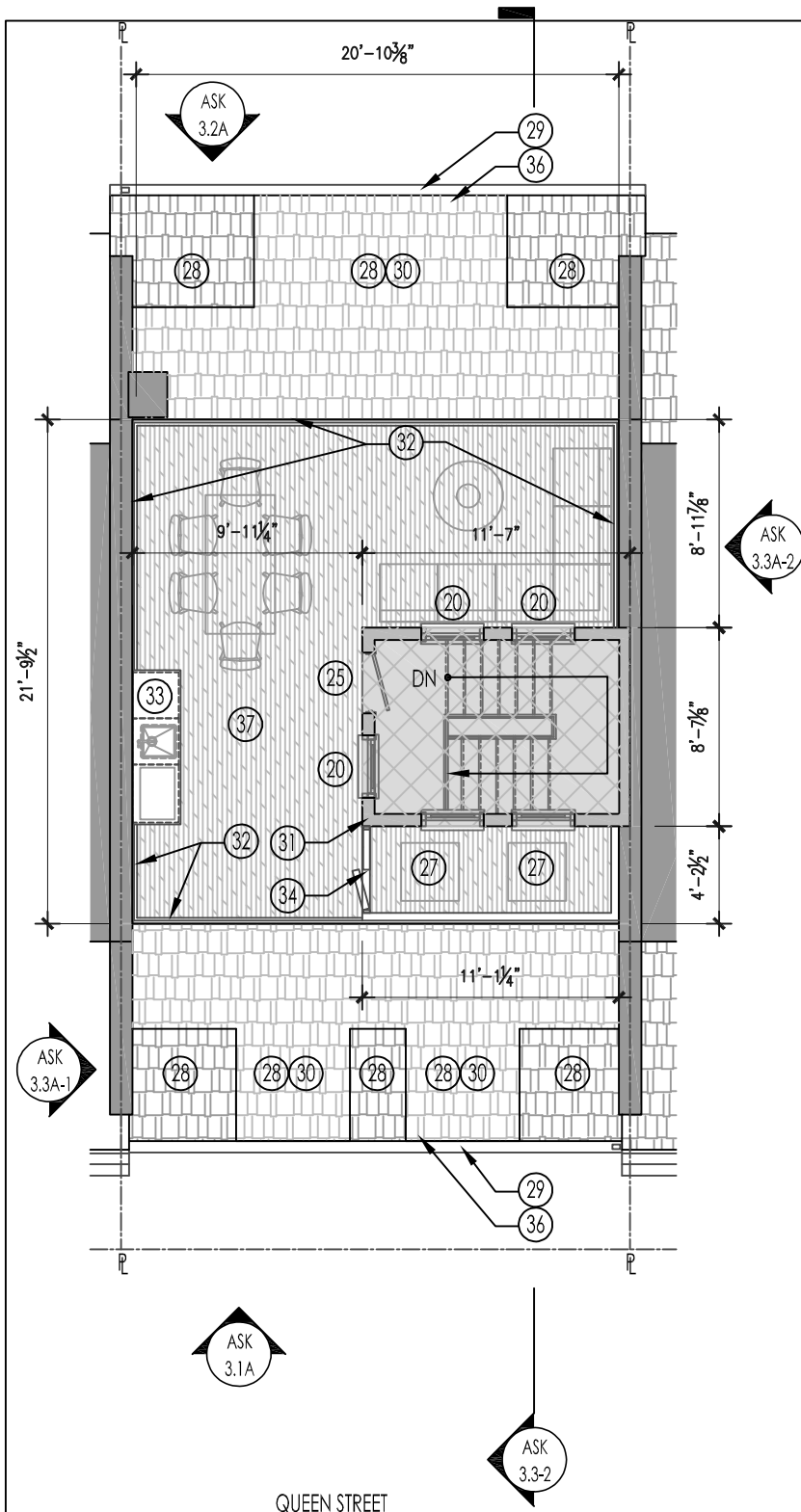
- 01 REPLACE WINDOW
- 02 REPLACE DOOR & SIDE LIGHT AS APPL
- 03 WALL TO BE REMOVED
- 04 ROOF TO BE REMOVED/REPLACED
- 05 GUTTER & DOWNSPOUT TO BE REPLACED
- 06 CAST STONE LINTEL TO BE REMOVED
- 07 DOOR PEDIMENT TO BE REMOVED
- 08 CHIMNEY TO BE EXTENDED - BRICK TO MATCH EXISTING
- 09 HVAC UNIT TO BE REPLACED
- 10 SOFFIT TO BE REPLACED

- EXISTING AREA DEDUCTED
- NEW EXISTING AREA DEDUCTED
- NEW AREA
- NEW AREA TO BE DEDUCTED
- EXISTING OPEN SPACE
- PROPOSED OPEN SPACE

SCHEMATIC DESIGN







ASK
2.4

NOT FOR CONSTRUCTION



NEW WORK NOTES

- 08 CHIMNEY TO BE EXTENDED - BRICK TO MATCH EXISTING
- 20 ALUM CLAD WD WINDOW
- 21 PARSED MASONRY AREA-WAY W/ PTD MTL GRATE
- 22 MTL & GLASS GARAGE DOOR
- 23 PTD WD & GLASS ENTRY DOOR & SIDELIGHTS
- 24 PTD ENTABLATURE W/ COPPER ROOF & LED DOWN LIGHTING
- 25 ALUM CLAD WD TERRACE DOOR(S) W/ SIDELIGHTS AS APPL
- 26 TEMPERED GLASS RAILING
- 27 HVAC UNIT
- 28 SALVAGED SLATE ROOFING - SUPPLEMENT SLATES TO MATCH EXIST PTD MTL GUTTER & DOWNSPOUT
- 29 FIBER CEMENT CLAD DORMER
- 30 FIBER CEMENT CLAD STAIR ENCLOSURE W/ UV STABLE ROOFING
- 32 PTD MTL CABLE RAILING
- 33 STONE CLAD OUTDOOR KITCHEN
- 34 PTD PT WD HVAC SCREEN
- 35 EXTERIOR LIGHT
- 36 PTD FIBER CEMENT SOFFIT
- 37 UV STABLE MEMBRANE ROOFING W/ COMPOSITE DECKING
- 38 PTD FIBER CEMENT TRIM
- 39 BRICK JACK ARCH TO MATCH ADJ MASONRY
- 40 THIN BRICK VENEER

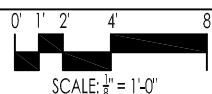
-  EXISTING AREA DEDUCTED
-  NEW EXISTING AREA DEDUCTED
-  NEW AREA
-  NEW AREA TO BE DEDUCTED
-  EXISTING OPEN SPACE
-  PROPOSED OPEN SPACE

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PROPOSED ROOF TERRACE PLAN

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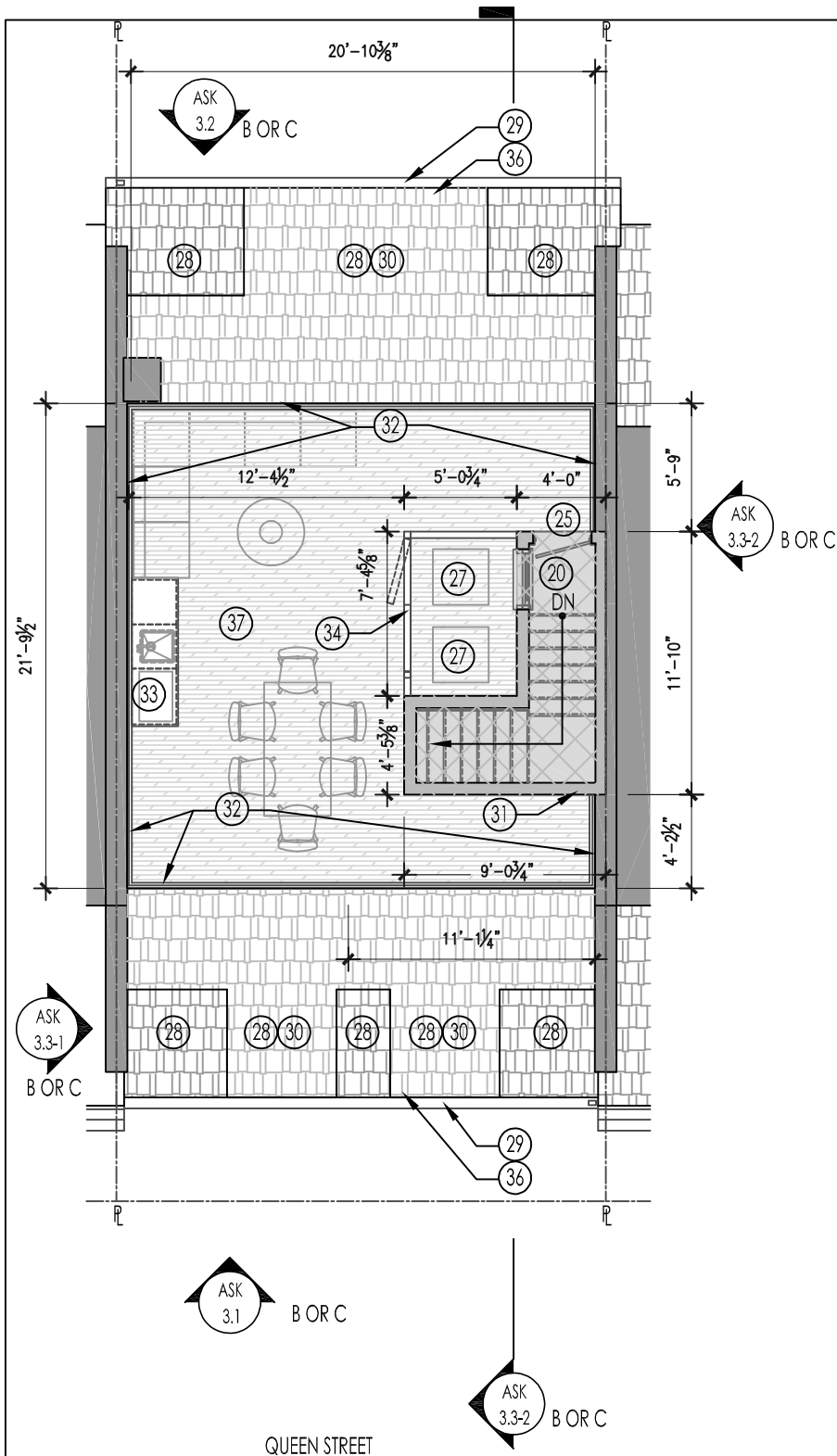
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ASK
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- NEW WORK NOTES
- 08 CHIMNEY TO BE EXTENDED - BRICK TO MATCH EXISTING
 - 20 ALUM CLAD WD WINDOW
 - 21 PARGED MASONRY AREA- WAY W/ PTD MTL GRATE
 - 22 MTL & GLASS GARAGE DOOR
 - 23 PTD WD & GLASS ENTRY DOOR & SIDELIGHTS
 - 24 PTD ENTABLATURE W/ COPPER ROOF & LED DOWN LIGHTING
 - 25 ALUM CLAD WD TERRACE DOOR(S) W/ SIDELIGHTS AS APPL
 - 26 TEMPERED GLASS RAILING
 - 27 HVAC UNIT
 - 28 SALVAGED SLATE ROOFING - SUPPLEMENT SLATES TO MATCH EXIST PTD MTL GUTTER & DOWNSPOUT
 - 30 FIBER CEMENT CLAD DORMER
 - 31 FIBER CEMENT CLAD STAIR ENCLOSURE W/ UV STABLE ROOFING
 - 32 PTD MTL CABLE RAILING
 - 33 STONE CLAD OUTDOOR KITCHEN
 - 34 PTD PT WD HVAC SCREEN
 - 35 EXTERIOR LIGHT
 - 36 PTD FIBER CEMENT SOFFIT
 - 37 UV STABLE MEMBRANE ROOFING W/ COMPOSITE DECKING
 - 38 PTD FIBER CEMENT TRIM
 - 39 BRICK JACK ARCH TO MATCH ADJ MASONRY
 - 40 THIN BRICK VENEER

- EXISTING AREA DEDUCTED
- NEW EXISTING AREA DEDUCTED
- NEW AREA
- NEW AREA TO BE DEDUCTED
- EXISTING OPEN SPACE
- PROPOSED OPEN SPACE

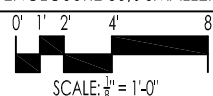
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PROPOSED ROOF TERRACE PLAN - OPTIONS B & C STAIR LOCATION & ENCLOSURE 30% SMALLER

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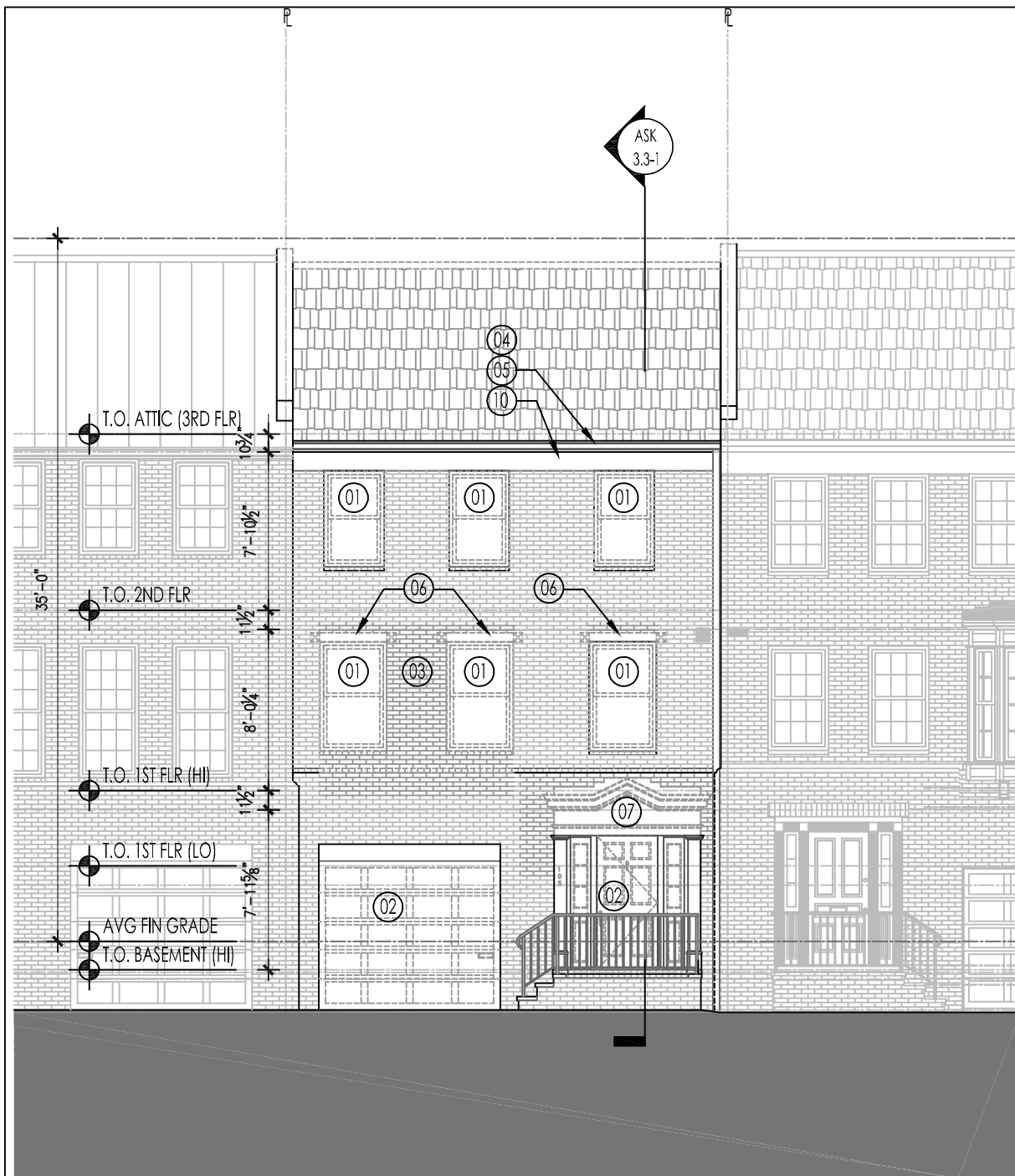
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- DEMOLITION NOTES**
- 01 REPLACE WINDOW
 - 02 REPLACE DOOR & SIDE LIGHT AS APPL
 - 03 WALL TO BE REMOVED
 - 04 ROOF TO BE REMOVED/REPLACED
 - 05 GUTTER & DOWNSPOUT TO BE REPLACED
 - 06 CAST STONE LINTEL TO BE REMOVED
 - 07 DOOR PEDIMENT TO BE REMOVED
 - 08 CHIMNEY TO BE EXTENDED - BRICK TO MATCH EXISTING
 - 09 HVAC UNIT TO BE REPLACED
 - 10 SOFFIT TO BE REPLACED

107 QUEEN ST

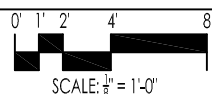
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EXISTING QUEEN STREET ELEVATION SHOWING PROPOSED DEMOLITION

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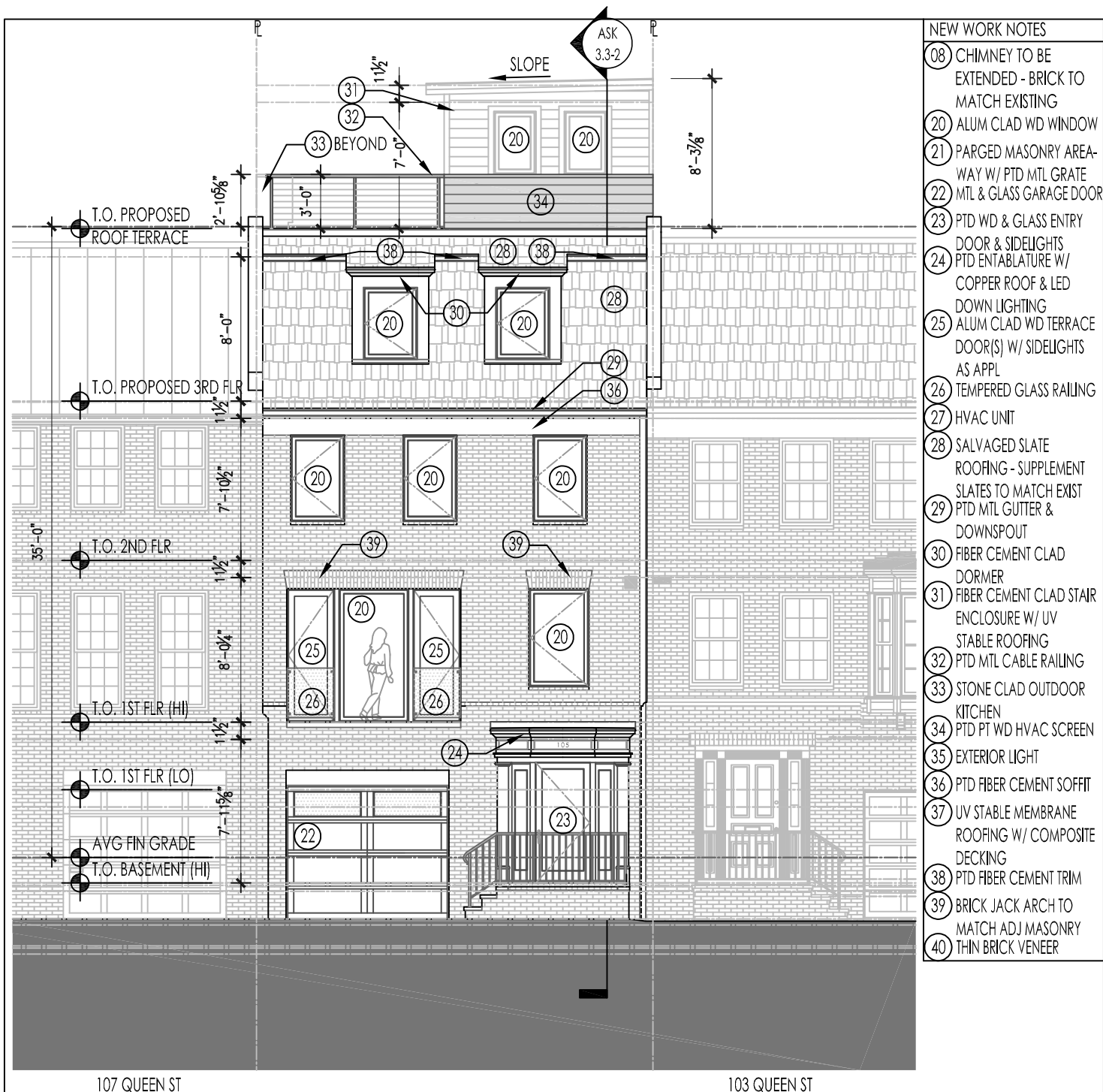
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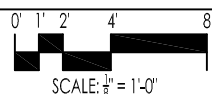
- NEW WORK NOTES
- 08 CHIMNEY TO BE EXTENDED - BRICK TO MATCH EXISTING
 - 20 ALUM CLAD WD WINDOW
 - 21 PARSED MASONRY AREA-WAY W/ PTM MTL GRATE
 - 22 MTL & GLASS GARAGE DOOR
 - 23 PTM WD & GLASS ENTRY DOOR & SIDELIGHTS
 - 24 PTM ENTABLATURE W/ COPPER ROOF & LED DOWN LIGHTING
 - 25 ALUM CLAD WD TERRACE DOOR(S) W/ SIDELIGHTS AS APPL
 - 26 TEMPERED GLASS RAILING
 - 27 HVAC UNIT
 - 28 SALVAGED SLATE ROOFING - SUPPLEMENT SLATES TO MATCH EXIST
 - 29 PTM MTL GUTTER & DOWNSPOUT
 - 30 FIBER CEMENT CLAD DORMER
 - 31 FIBER CEMENT CLAD STAIR ENCLOSURE W/ UV STABLE ROOFING
 - 32 PTM MTL CABLE RAILING
 - 33 STONE CLAD OUTDOOR KITCHEN
 - 34 PTM PT WD HVAC SCREEN
 - 35 EXTERIOR LIGHT
 - 36 PTM FIBER CEMENT SOFFIT
 - 37 UV STABLE MEMBRANE ROOFING W/ COMPOSITE DECKING
 - 38 PTM FIBER CEMENT TRIM
 - 39 BRICK JACK ARCH TO MATCH ADJ MASONRY
 - 40 THIN BRICK VENEER

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PROPOSED QUEEN STREET ELEVATION

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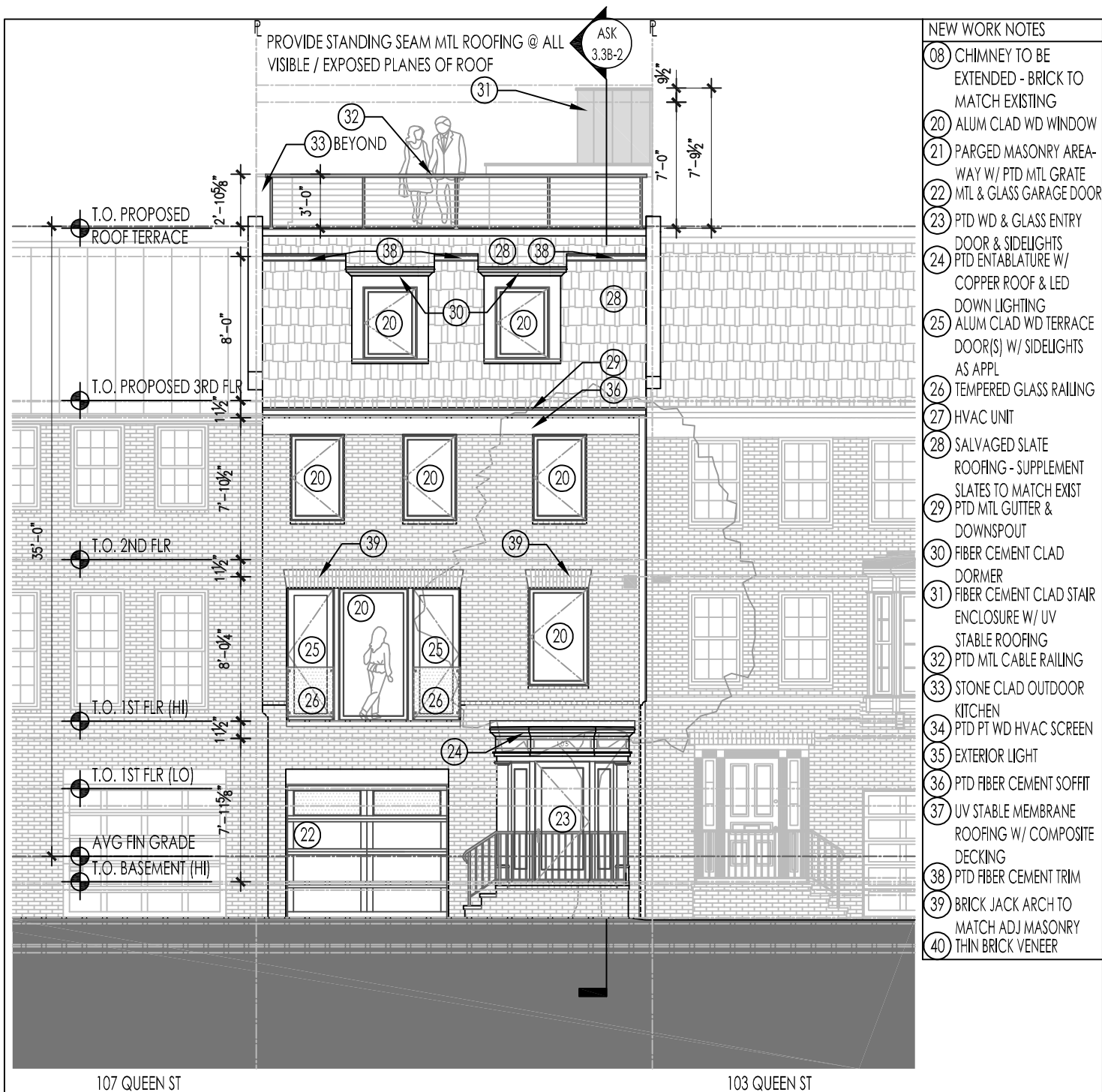
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ASK
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- NEW WORK NOTES
- 08 CHIMNEY TO BE EXTENDED - BRICK TO MATCH EXISTING
 - 20 ALUM CLAD WD WINDOW
 - 21 PARSED MASONRY AREA-WAY W/ PTD MTL GRATE
 - 22 MTL & GLASS GARAGE DOOR
 - 23 PTD WD & GLASS ENTRY DOOR & SIDELIGHTS
 - 24 PTD ENTABLATURE W/ COPPER ROOF & LED DOWN LIGHTING
 - 25 ALUM CLAD WD TERRACE DOOR(S) W/ SIDELIGHTS AS APPL
 - 26 TEMPERED GLASS RAILING
 - 27 HVAC UNIT
 - 28 SALVAGED SLATE ROOFING - SUPPLEMENT SLATES TO MATCH EXIST
 - 29 PTD MTL GUTTER & DOWNSPOUT
 - 30 FIBER CEMENT CLAD DORMER
 - 31 FIBER CEMENT CLAD STAIR ENCLOSURE W/ UV STABLE ROOFING
 - 32 PTD MTL CABLE RAILING
 - 33 STONE CLAD OUTDOOR KITCHEN
 - 34 PTD PT WD HVAC SCREEN
 - 35 EXTERIOR LIGHT
 - 36 PTD FIBER CEMENT SOFFIT
 - 37 UV STABLE MEMBRANE ROOFING W/ COMPOSITE DECKING
 - 38 PTD FIBER CEMENT TRIM
 - 39 BRICK JACK ARCH TO MATCH ADJ MASONRY
 - 40 THIN BRICK VENEER

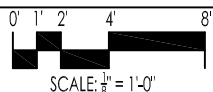
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PROPOSED QUEEN STREET ELEVATION - OPTION B W/ SMALLER SLOPED STAIR ENCLOSURE

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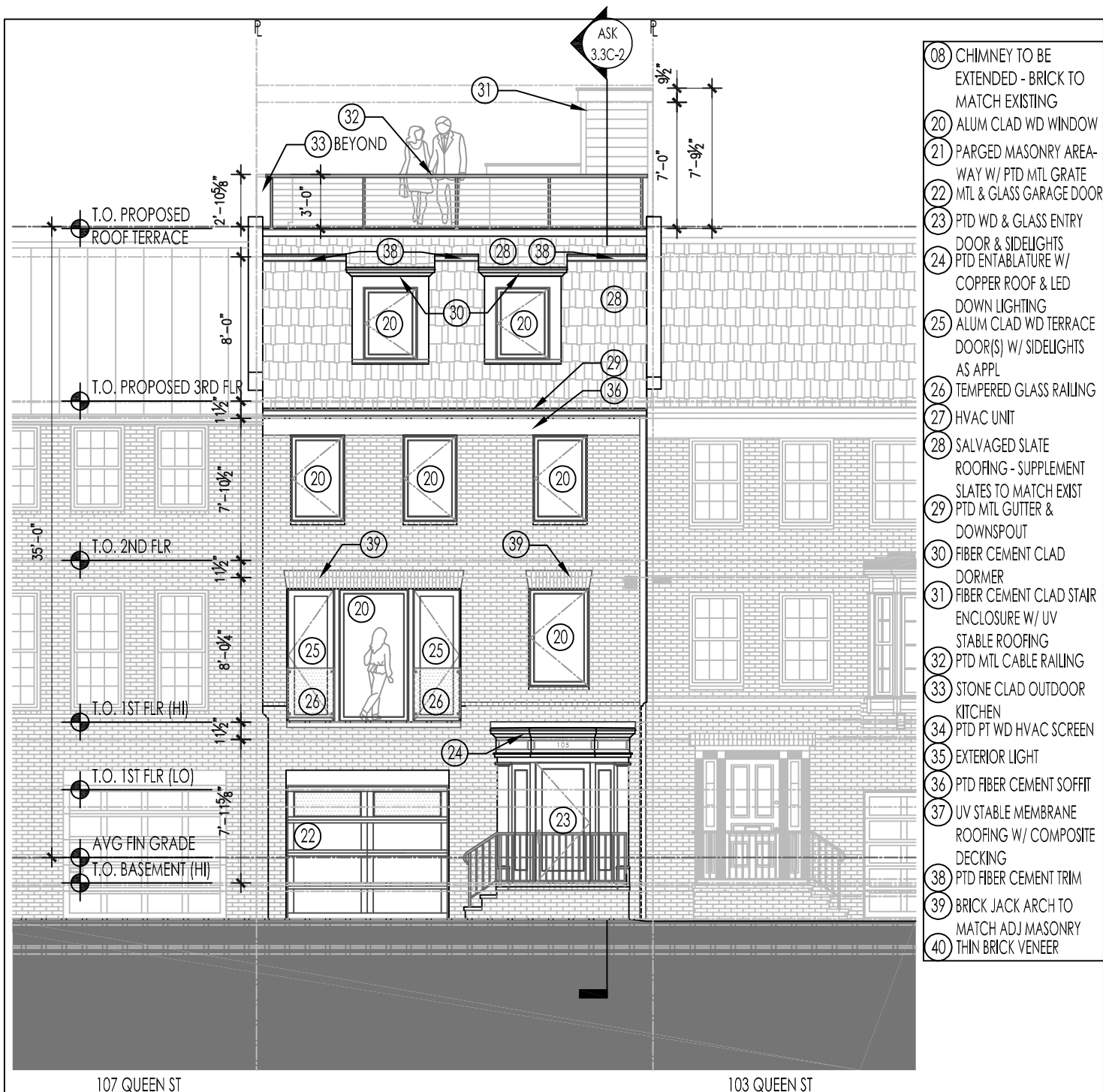
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**ASK
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- 08 CHIMNEY TO BE EXTENDED - BRICK TO MATCH EXISTING
- 20 ALUM CLAD WD WINDOW
- 21 PARSED MASONRY AREA-WAY W/ PTD MTL GRATE
- 22 MTL & GLASS GARAGE DOOR
- 23 PTD WD & GLASS ENTRY DOOR & SIDELIGHTS
- 24 PTD ENTABLATURE W/ COPPER ROOF & LED DOWN LIGHTING
- 25 ALUM CLAD WD TERRACE DOOR(S) W/ SIDELIGHTS AS APPL
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- 27 HVAC UNIT
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- 29 PTD MTL GUTTER & DOWNSPOUT
- 30 FIBER CEMENT CLAD DORMER
- 31 FIBER CEMENT CLAD STAIR ENCLOSURE W/ UV STABLE ROOFING
- 32 PTD MTL CABLE RAILING
- 33 STONE CLAD OUTDOOR KITCHEN
- 34 PTD PT WD HVAC SCREEN
- 35 EXTERIOR LIGHT
- 36 PTD FIBER CEMENT SOFFIT
- 37 UV STABLE MEMBRANE ROOFING W/ COMPOSITE DECKING
- 38 PTD FIBER CEMENT TRIM
- 39 BRICK JACK ARCH TO MATCH ADJ MASONRY
- 40 THIN BRICK VENEER

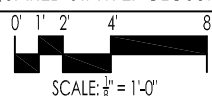
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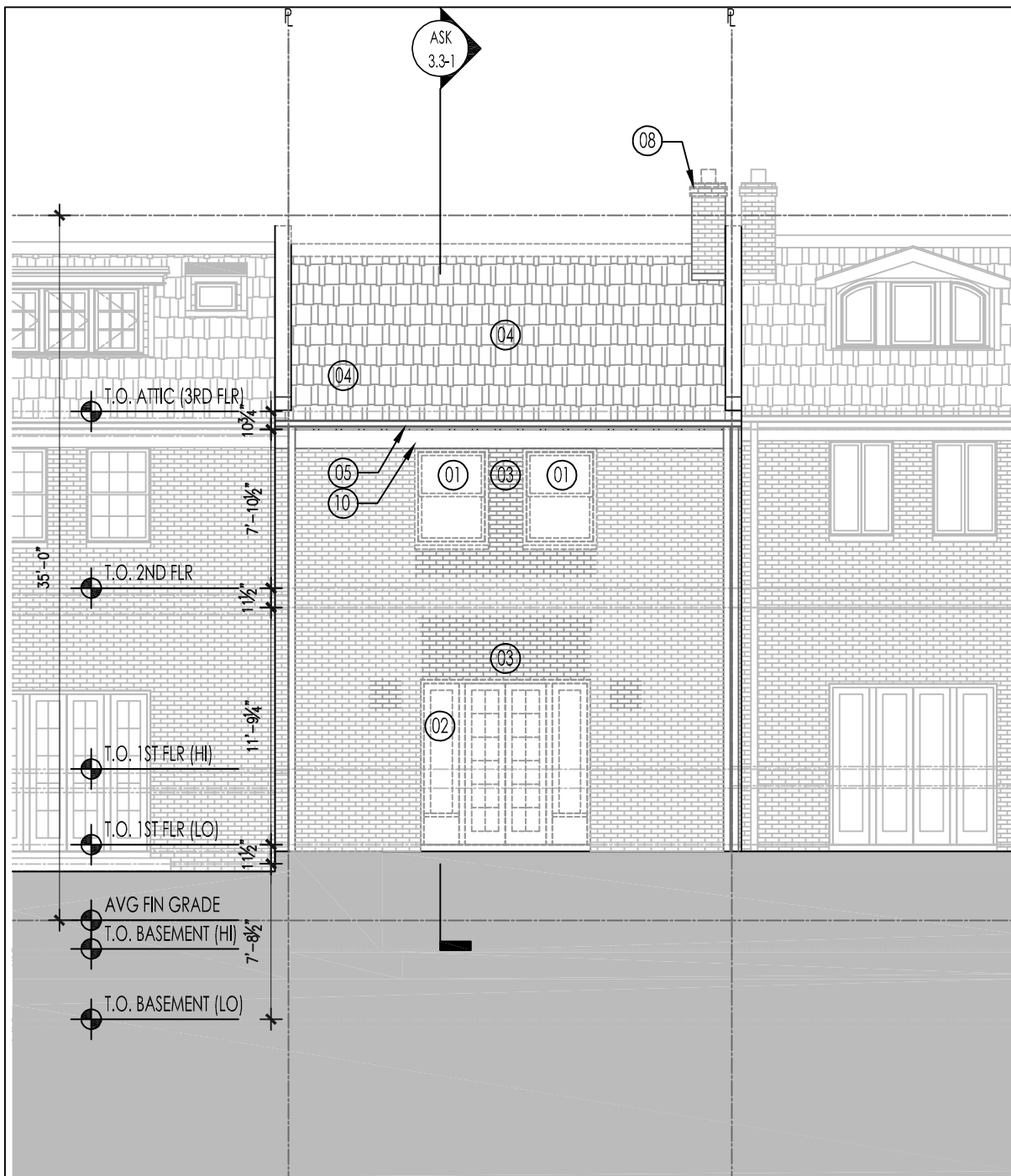
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SCHEMATIC DESIGN

ASK
3.1C

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- DEMOLITION NOTES**
- 01 REPLACE WINDOW
 - 02 REPLACE DOOR & SIDE LIGHT AS APPL
 - 03 WALL TO BE REMOVED
 - 04 ROOF TO BE REMOVED/REPLACED
 - 05 GUTTER & DOWNSPOUT TO BE REPLACED
 - 06 CAST STONE LINTEL TO BE REMOVED
 - 07 DOOR PEDIMENT TO BE REMOVED
 - 08 CHIMNEY TO BE EXTENDED - BRICK TO MATCH EXISTING
 - 09 HVAC UNIT TO BE REPLACED
 - 10 SOFFIT TO BE REPLACED

103 QUEEN ST

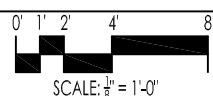
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EXISTING REAR ELEVATION SHOWING PROPOSED DEMOLITION

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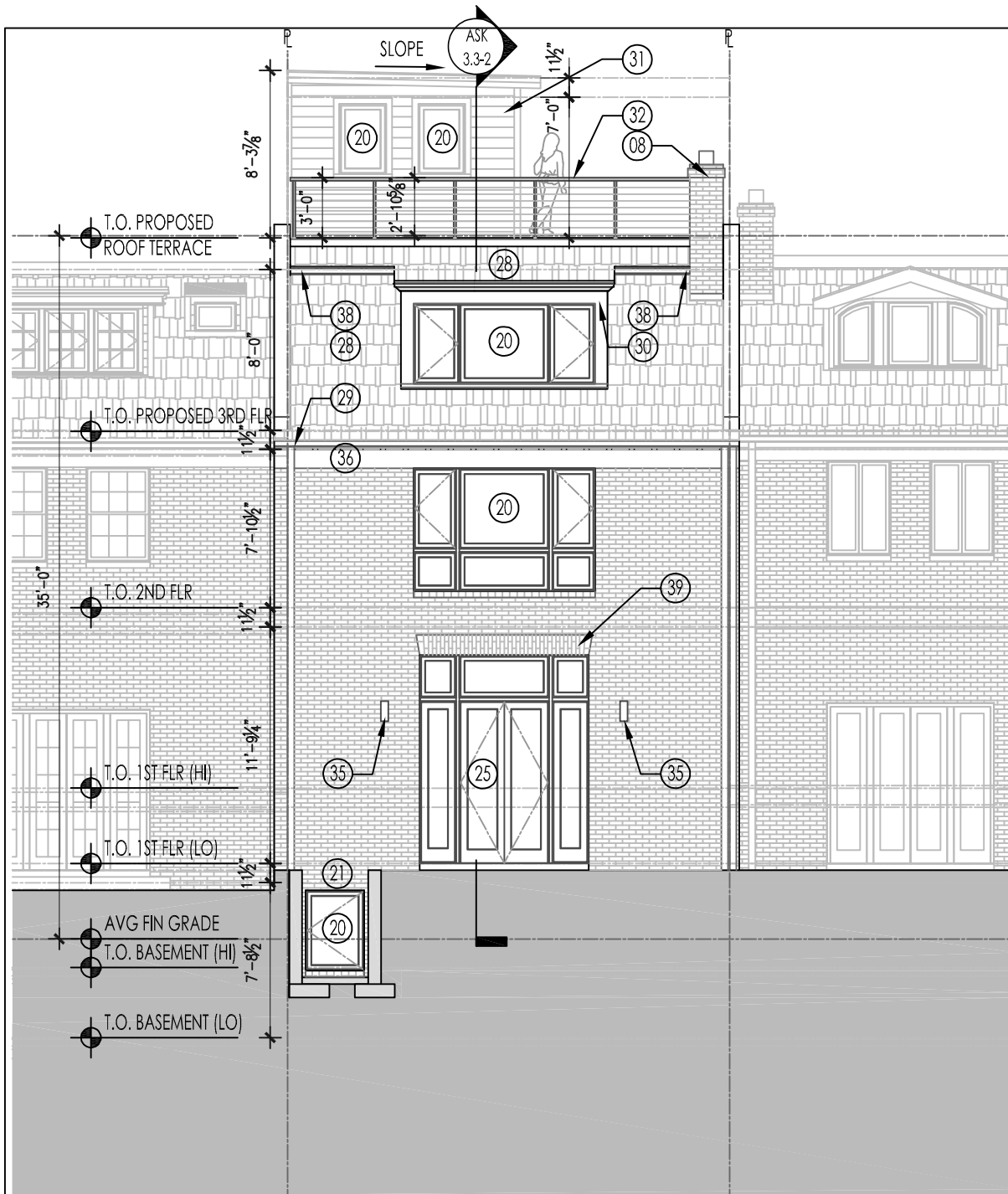
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ASK
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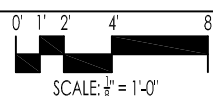
- NEW WORK NOTES
- 08 CHIMNEY TO BE EXTENDED - BRICK TO MATCH EXISTING
 - 20 ALUM CLAD WD WINDOW
 - 21 PARSED MASONRY AREA-WAY W/ PTD MTL GRATE
 - 22 MTL & GLASS GARAGE DOOR
 - 23 PTD WD & GLASS ENTRY DOOR & SIDELIGHTS
 - 24 PTD ENTABLATURE W/ COPPER ROOF & LED DOWN LIGHTING
 - 25 ALUM CLAD WD TERRACE DOOR(S) W/ SIDELIGHTS AS APPL
 - 26 TEMPERED GLASS RAILING
 - 27 HVAC UNIT
 - 28 SALVAGED SLATE ROOFING - SUPPLEMENT SLATES TO MATCH EXIST
 - 29 PTD MTL GUTTER & DOWNSPOUT
 - 30 FIBER CEMENT CLAD DORMER
 - 31 FIBER CEMENT CLAD STAIR ENCLOSURE W/ UV STABLE ROOFING
 - 32 PTD MTL CABLE RAILING
 - 33 STONE CLAD OUTDOOR KITCHEN
 - 34 PTD PT WD HVAC SCREEN
 - 35 EXTERIOR LIGHT
 - 36 PTD FIBER CEMENT SOFFIT
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 - 38 PTD FIBER CEMENT TRIM
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 - 40 THIN BRICK VENEER

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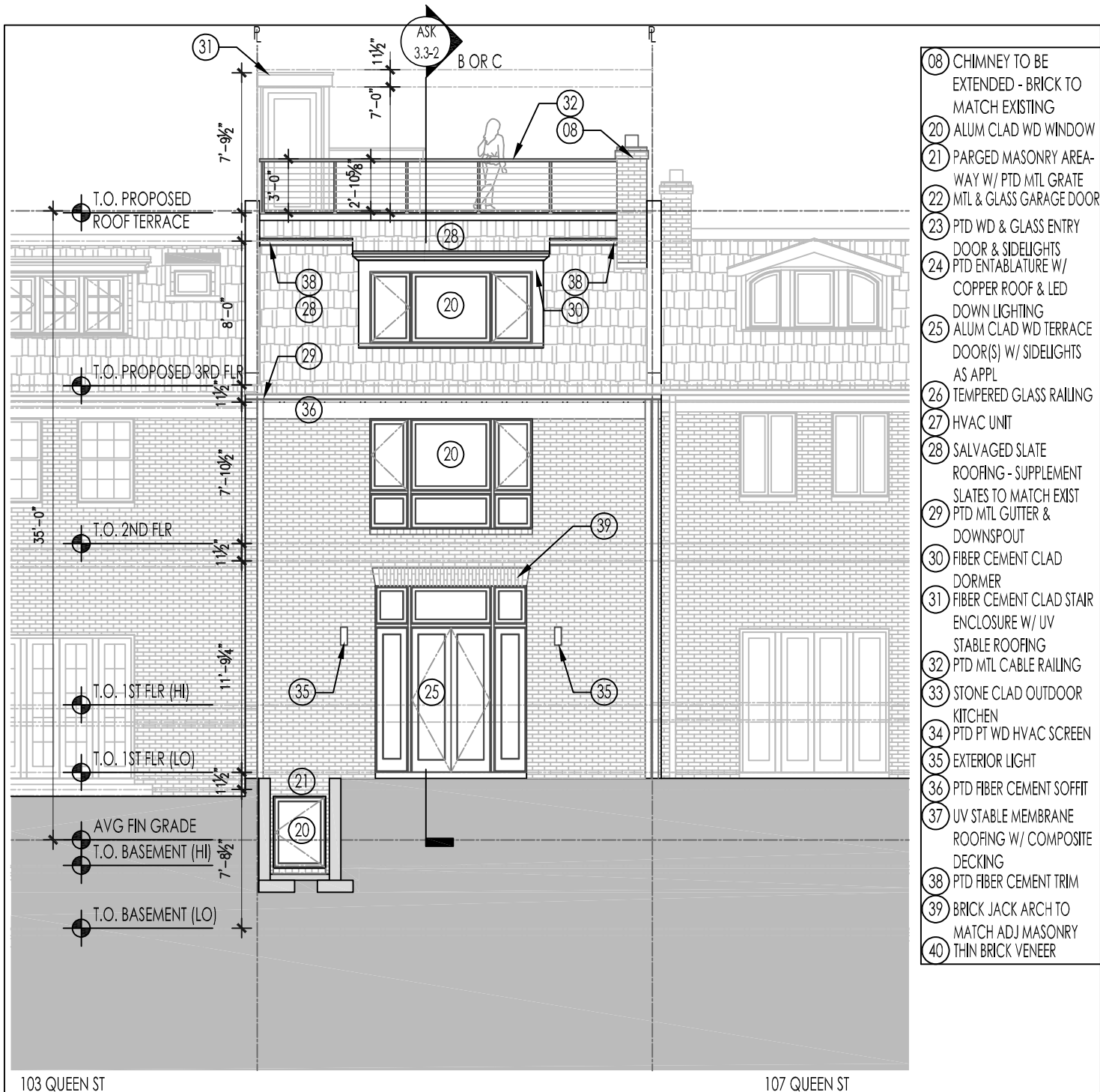
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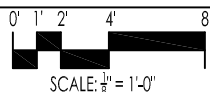
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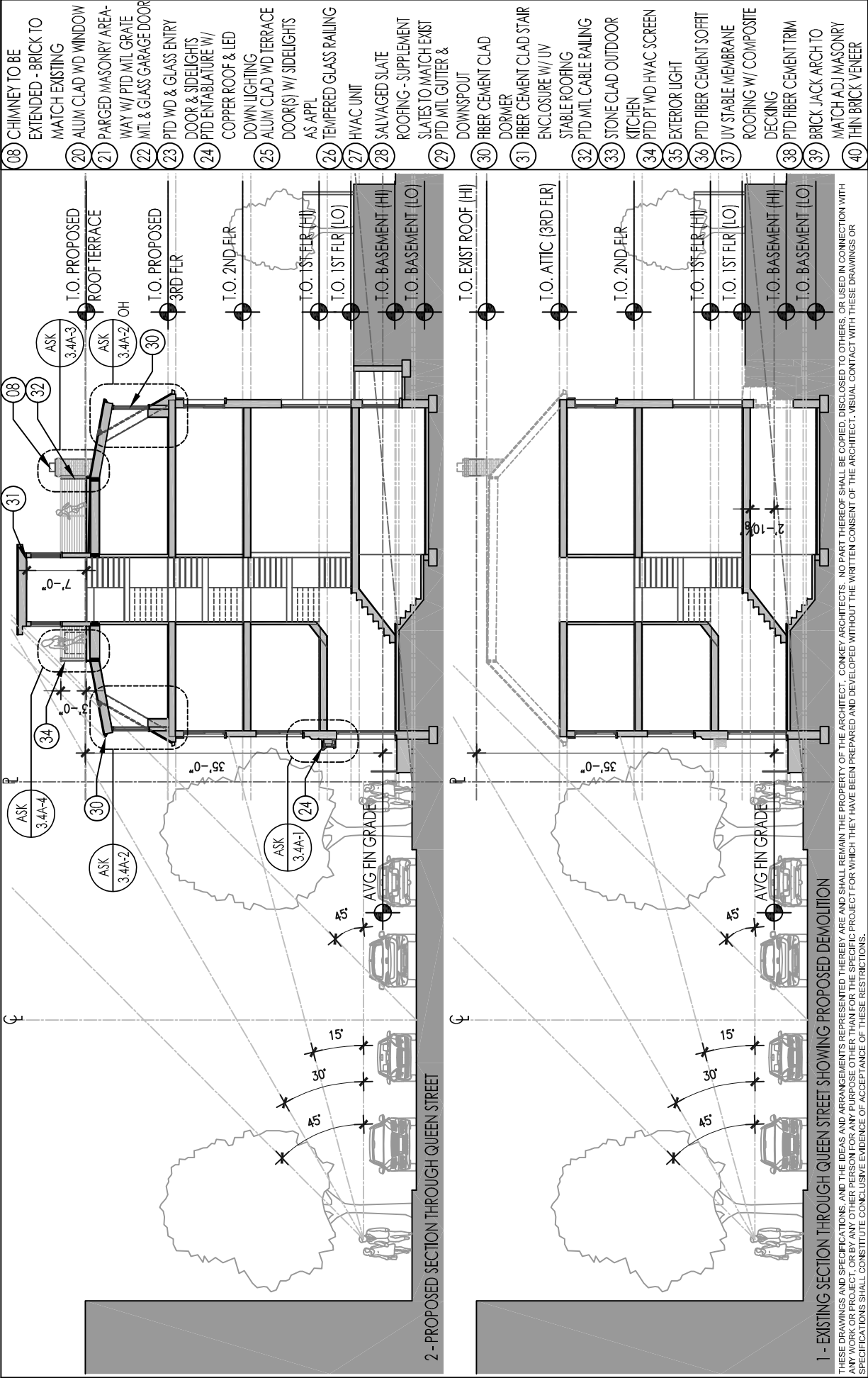
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703 . 589 . 4550
info@conkeyarchitects.com

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SCHEMATIC DESIGN

**ASK
3.2B**

NOT FOR CONSTRUCTION



105 Queen Street, Alexandria, VA 22314

BUILDING SECTIONS

CLIENT:
Bill Yalcin
7801 Loisdale Road
Springfield, VA 22150



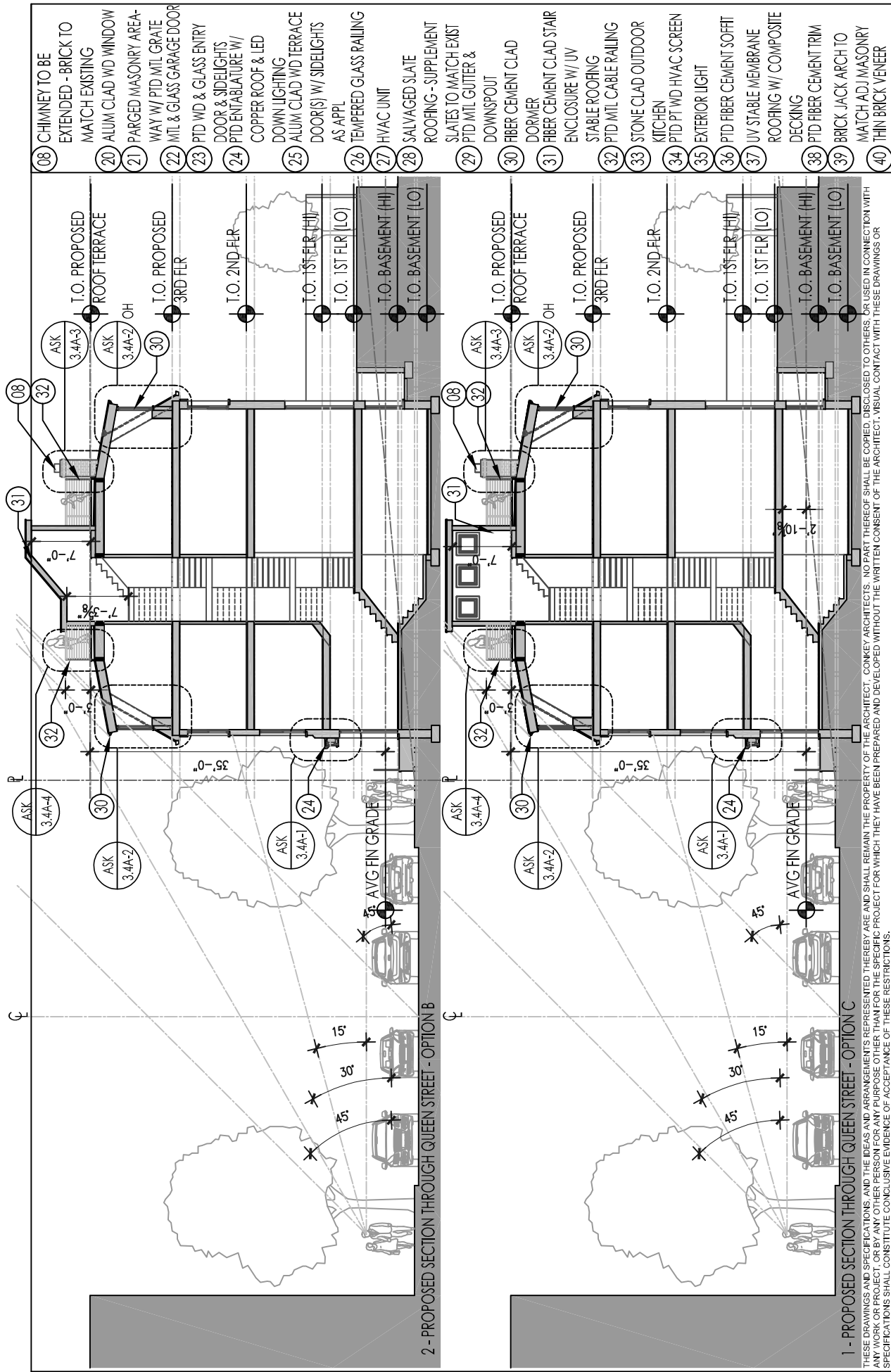
ARCHITECT:
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BAR SUBMISSION
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3.3

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105 Queen Street, Alexandria, VA 22314

BUILDING SECTIONS SHOWING OPTION B & C

CLIENT:
Bill Yalcin
 7801 Loisdale Road
 Springfield, VA 22150

ARCHITECT:

 SCALE: 1/8" = 1'-0"

10 SEPTEMBER 2021

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BAR SUBMISSION

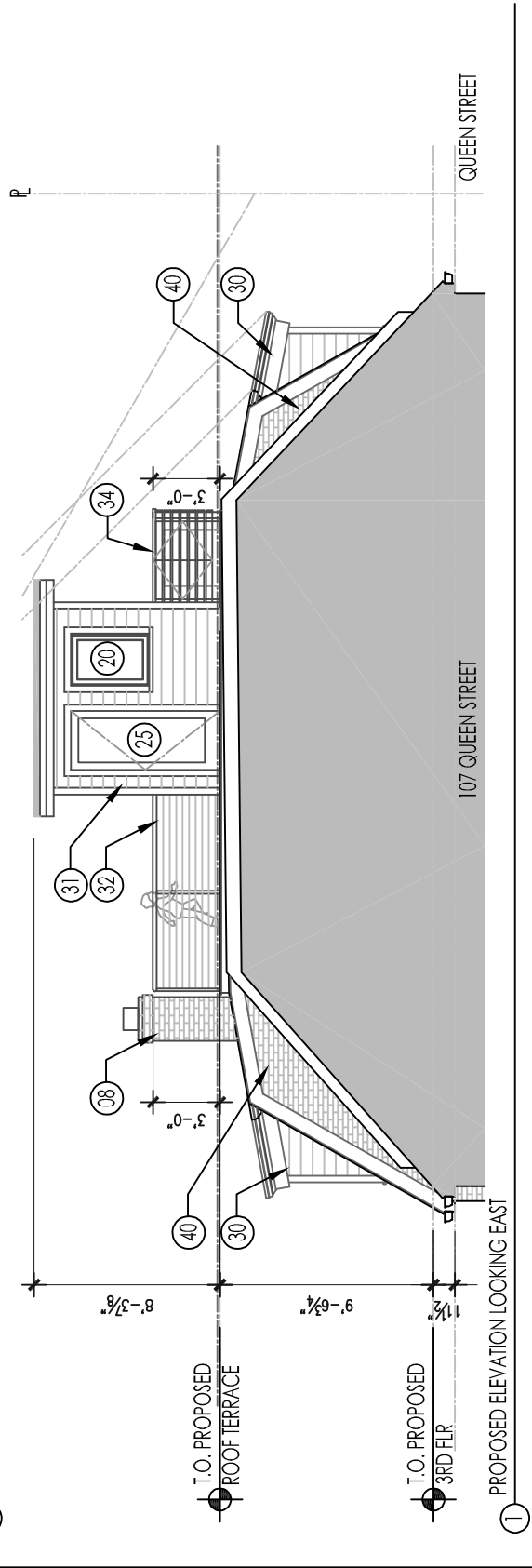
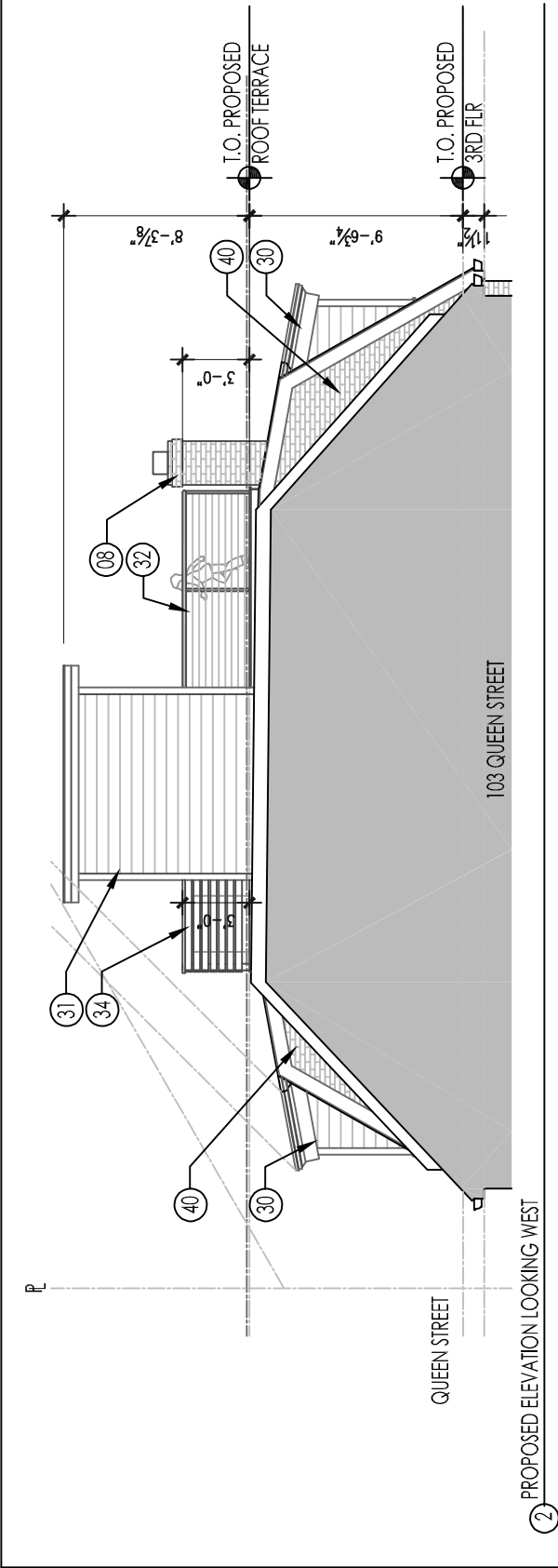
ASK 3.3-1

NOT FOR CONSTRUCTION

- 08 CHIMNEY TO BE EXTENDED - BRICK TO MATCH EXISTING
- 20 ALUM CLAD WD WINDOW
- 21 PARGED MASONRY AREA-WAY W/ PTD MTL GRATE
- 22 MTL & GLASS GARAGE DOOR
- 23 PTD WD & GLASS ENTRY
- 24 DOOR & SIDELIGHTS PTD ENTABLATURE W/ COPPER ROOF & LED DOWN LIGHTING
- 25 ALUM CLAD WD TERRACE
- 26 DOOR(S) W/ SIDELIGHTS AS APPL
- 27 TEMPERED GLASS RAILING
- 28 HVAC UNIT
- 29 SALVAGED SLATE ROOFING - SUPPLEMENT
- 30 SLATES TO MATCH EXIST PTD MTL GUTTER & DOWNSPOUT
- 31 FIBER CEMENT CLAD DORMER
- 32 FIBER CEMENT CLAD STAIR ENCLOSURE W/ UV STABLE ROOFING
- 33 PTD MTL CABLE RAILING
- 34 STONE CLAD OUTDOOR KITCHEN
- 35 PTD PT WD HVAC SCREEN
- 36 EXTERIOR LIGHT
- 37 PTD FIBER CEMENT SOFFIT
- 38 UV STABLE MEMBRANE ROOFING W/ COMPOSITE DECKING
- 39 PTD FIBER CEMENT TRIM
- 40 BRICK JACK ARCH TO MATCH ADJ MASONRY
- 41 THIN BRICK VENEER

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BAR SUBMISSION
ASK
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PARTIAL SIDE ELEVATIONS

CLIENT:
Bill Yalcin
 7801 Loisdale Road
 Springfield, VA 22150

ARCHITECT:

 SCALE: 1/8" = 1'-0"

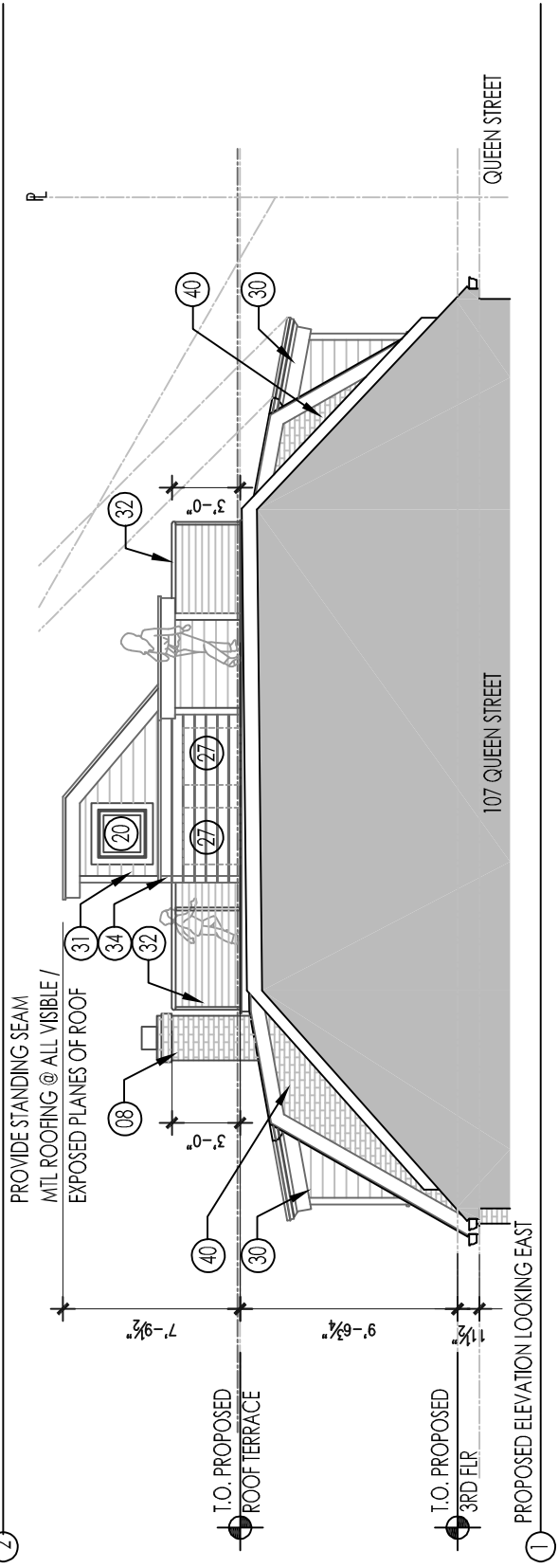
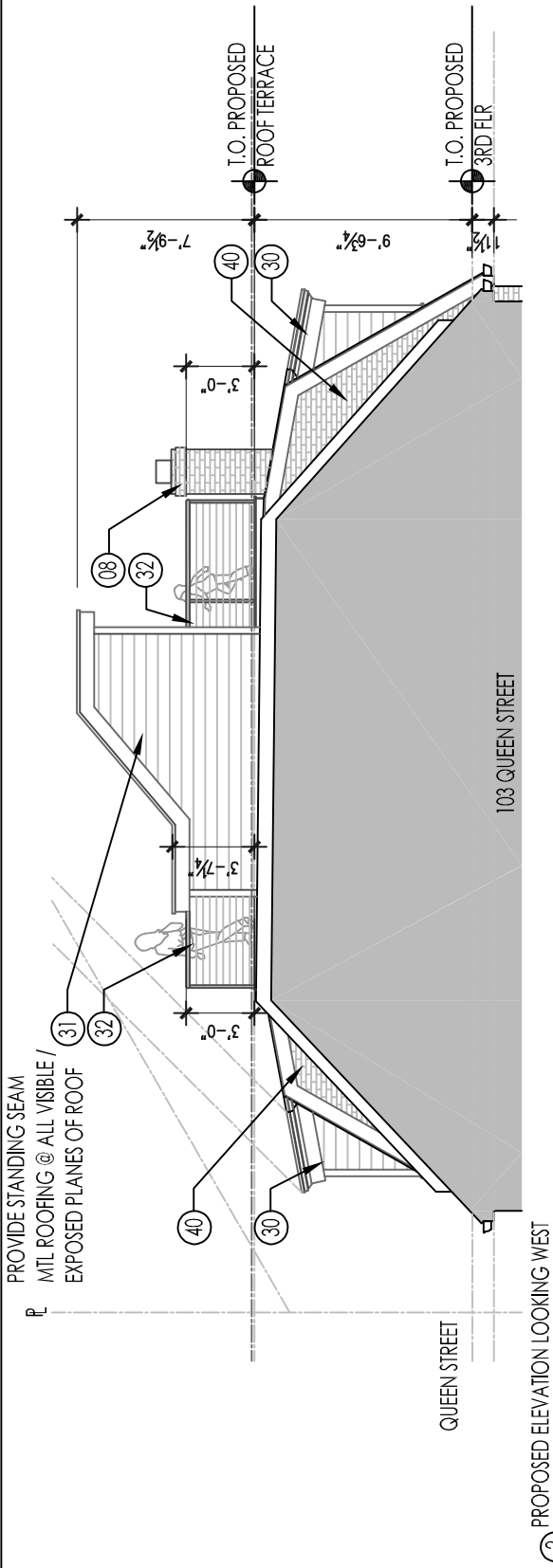
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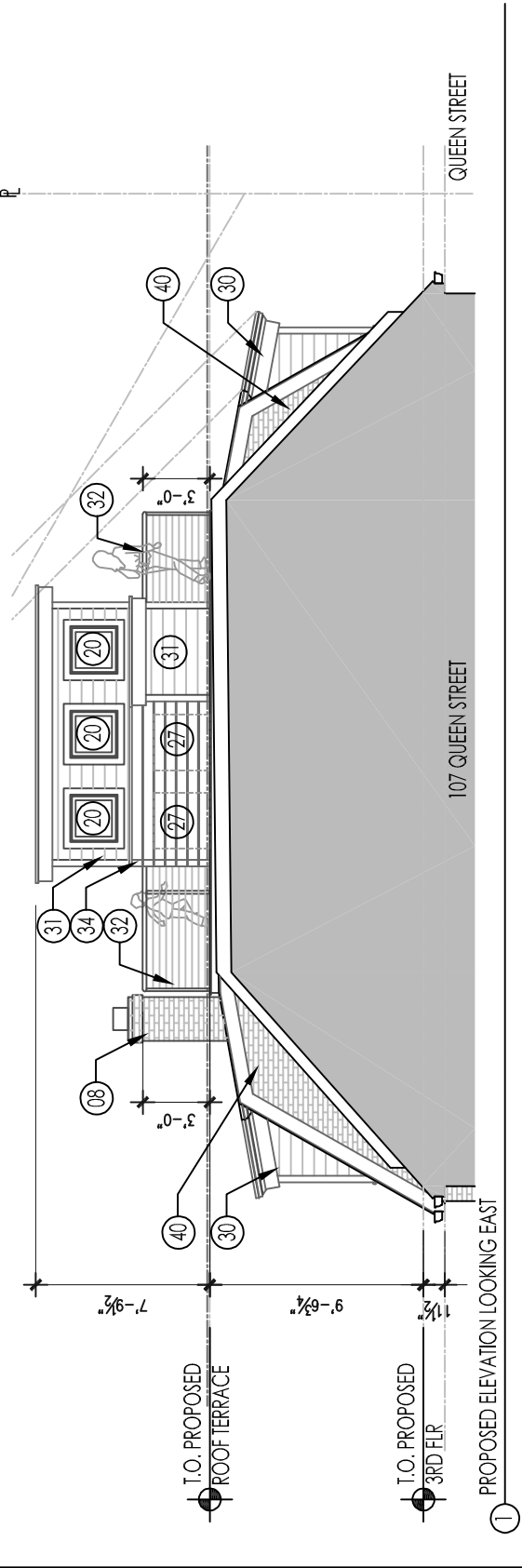
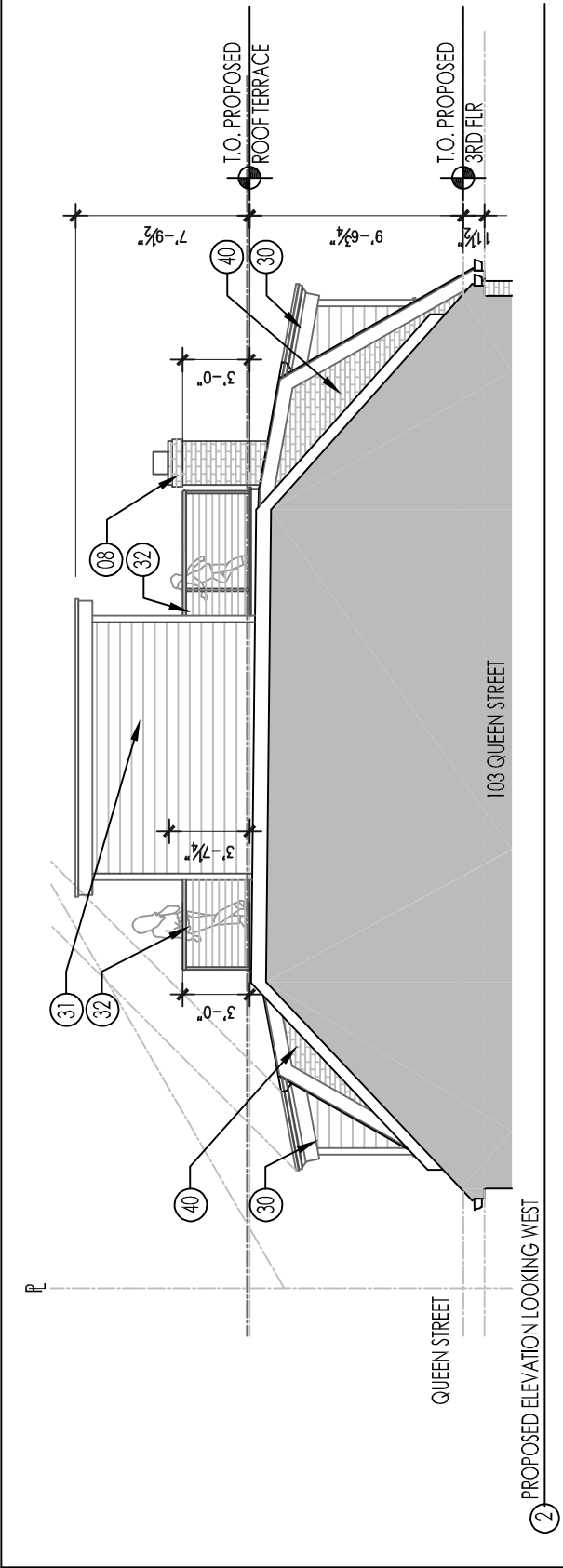
105 Queen Street, Alexandria, VA 22314

PARTIAL SIDE ELEVATIONS - OPTION B SMALLER SLOPED STAIR ENCLOSURE

CLIENT: Bill Yalcin 7801 Loisdale Road Springfield, VA 22150	ARCHITECT:  SCALE: 1/8" = 1'-0"	325 north patrick street alexandria, va 22314 703 . 589 . 4550 info@conkeyarchitects.com
		Conkey architects 10 SEPTEMBER 2021

- 08 CHIMNEY TO BE EXTENDED - BRICK TO MATCH EXISTING
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PARTIAL SIDE ELEVATIONS - OPTION C SMALLER SQUARED STAIR ENCLOSURE

CLIENT:
Bill Yalcin
 7801 Loisdale Road
 Springfield, VA 22150

ARCHITECT:

 SCALE: 1/8" = 1'-0"

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10 SEPTEMBER 2021

ULTIMATE

MARVIN SIGNATURE™ COLLECTION



ULTIMATE CASEMENT



Casement and Picture windows with Satin Nickel hardware



Casement windows with Matte Black hardware

ULTIMATE CASEMENT

The Ultimate Casement window is offered in some of the largest sizes in the industry, with a secure multi-point lock, durable hardware that ensures smooth operation, and Marvin's exclusive Wash Mode for easy cleaning—even on upper floors. With many design options, including round top shapes, the Ultimate Casement window flexes to fit your vision and can be sized to complement the most expansive views.



ULTIMATE CASEMENT INTERIOR WITH FOLDING HANDLE



ULTIMATE CASEMENT EXTERIOR WITH FOLDING HANDLE



ULTIMATE CASEMENT PUSH OUT INTERIOR WITH PUSH OUT HANDLE



ULTIMATE SWINGING FRENCH DOOR



Swinging French door with Picture windows

ULTIMATE SWINGING FRENCH DOOR

The Ultimate Swinging French door combines a classic single- and double-panel French style with expert craftsmanship. Engineered for both quality and performance, this door features a beautiful, substantial wood surround and a durable sill for weather protection even in harsh climates. To maximize views and access to the outdoors, select from inswing or outswing operation in sizes up to 14 feet wide and 9 feet high, and if a more streamlined look is desired, choose our short bottom rail option with sleek 4 3/4 inch wood surround on all sides.



Inswing French door with Matte Black hardware



OUTSWING INTERIOR WITH TALL BOTTOM RAIL

ARCH TOP INSWING INTERIOR WITH TALL BOTTOM RAIL

INSWING INTERIOR WITH SHORT BOTTOM RAIL

INSWING EXTERIOR WITH SHORT BOTTOM RAIL

EXTERIOR FINISH OPTIONS

STONE WHITE

COCONUT CREAM

SIERRA WHITE

CASHMERE

PEBBLE GRAY

HAMPTON SAGE

CADET GRAY

CLAY

CASCADE BLUE

SUEDE

GUNMETAL

WINEBERRY

BRONZE

BAHAMA BROWN

EVERGREEN

EBONY

BRIGHT SILVER (PEARLESCENT)

COPPER (PEARLESCENT)

LIBERTY BRONZE (PEARLESCENT)

CUSTOM COLOR: ANY COLOR YOU WANT



Ultimate Double Hung G2 window in Ebony



Ultimate Double Hung G2 window in Suede

COLOR TBD FROM MANF STANDARD COLORS

EXTRUDED ALUMINUM

Extruded aluminum is an extremely tough cladding that protects wood windows, mimics the profiles of wood, and provides superior durability. It is the most commonly ordered Marvin material.

Select a color from our palette of 19 durable extruded aluminum colors, including a spectrum of rich hues and three pearlescent finishes. If you have more specialized needs, we can also work with you to create a custom color.

WOOD SPECIES

Wood is a premium material for windows and doors, offering classic aesthetic appeal, many options for customization, and design versatility.

We treat exposed millwork with a water repellent wood preservative to help it last longer. Choose from one of the four options below. Each is ready to be finished to match your project's exacting requirements.



SCREENS



Double Hung Insert G2 windows with Full Screens

SCREENS

Choose from an aluminum surround in three finishes or a wood interior surround that complements warm wood interiors and comes factory-prepped for staining and painting. A variety of screen mesh options in aluminum or fiberglass allow for further customization for aesthetics or to ensure you're choosing a mesh that's fine enough to keep even the **littlest** bugs away.

CASEMENT SCREEN OPTIONS



RETRACTABLE SCREEN

The innovative Retractable Screen from Marvin lets the breeze in and easily retracts out of sight when not in use. A tight seal and a strong adjustable pull bar ensure extraordinary performance. Marvin's unique concealed design makes the screen nearly undetectable when it is in the retracted position.



INSWING CASEMENT SCREEN

The beautifully crafted inswing screen can bring in fresh air along with its classic appearance to standard or round top casement windows.



WOOD SCREEN SURROUND

The patented wood screen surround with HI-Transparency screen mesh and aluminum exterior creates a seamless wood interior.

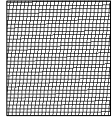
SCREEN MESH OPTIONS



CHARCOAL FIBERGLASS



CHARCOAL ALUMINUM WIRE



BLACK ALUMINUM WIRE



BRIGHT ALUMINUM WIRE



BRIGHT BRONZE WIRE



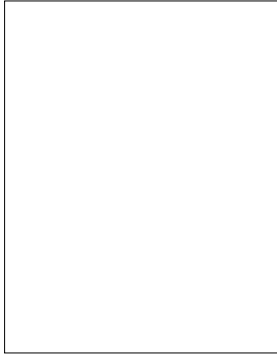
HI-TRANSPARENCY MESH

DOUBLE HUNG SCREEN OPTIONS



RETRACTABLE SCREEN

The innovative Retractable Screen, available on the Ultimate Double Hung G2 window, is a factory-installed screen that easily retracts out of sight when not in use. The screen can be drawn to rest at one of two stop points, resulting in a seal at either the sill or at the checkrail.



FULL OR HALF SCREEN

Exterior screen with an aluminum surround. The full screen covers both the top and bottom sash. The half screen only covers the bottom sash.

DOOR SCREEN OPTIONS



ULTIMATE SWINGING SCREEN DOOR

Featuring panels of extruded aluminum for a beautiful millwork appearance with traditional shadow-lines, this easy-to-install, easy-to-remove panel system requires no tools and has a clean exterior that blends into the door frame. Classic oval exterior handle and storm insert options are also available.



STANDARD SWINGING SCREEN DOOR

This tough, extruded aluminum swinging screen door matches the door, made of the same thick metal as the cladding. Solid protection and outstanding performance, with die cast handles, automatic closer, and aluminum hinges.



ULTIMATE SLIDING SCREEN DOOR

Aluminum top hung sliding screen with roller bar, adjustable rollers and unmatched sliding operation. The exterior profile replicates the look of a traditional wood screen. Also available in a standard top hung version for Ultimate Sliding French doors, Sliding Patio doors, and Ultimate Inswing doors.

DOUBLE HUNG STORM OPTIONS



TWO-LITE WOOD STORM

SASH OR SCREEN
A wood frame containing non-removable glass. The storm sash can be removed during the summer and replaced with a wood framed screen. Available only for wood windows.



STORM AND SCREEN COMBINATIONS

A combination unit is composed of two glass panels and one screen panel that can be easily removed from the interior for cleaning. Available with a wood (bare or primed) or aluminum surround, panels can be configured multiple ways, glass above screen, screen above glass, or glass above glass.



ENERGY PANEL

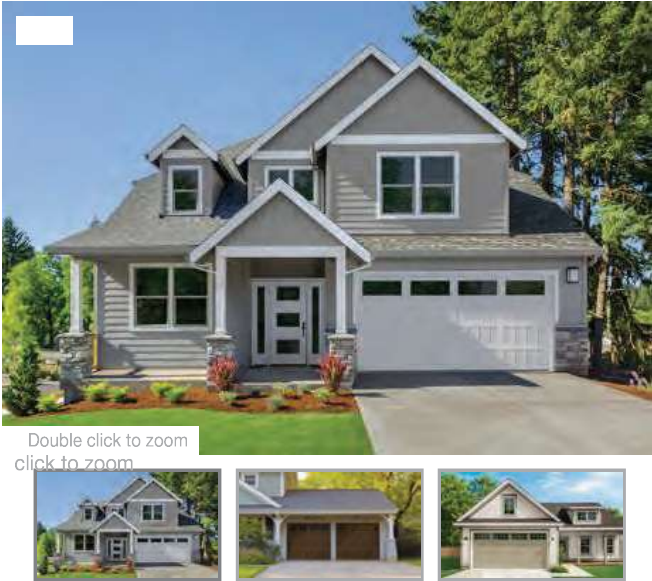
Often confused with storm windows, an energy panel is technically a glazing option. It is a removable, exterior glass panel finished on the edges by a surround. Energy panels cover the exposed glass surface of each sash and offer added energy efficiency for wood windows with single glazing.



- CANYON RIDGE ▼
- COACHMAN
- GRAND HARBOR
- GALLERY STEEL
- BRIDGEPORT STEEL
- CLASSIC STEEL
- MODERN STEEL
- AVANTE
- RESERVE ▼
- CLASSIC WOOD

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STEEL RESIDENTIAL GARAGE DOORS



BRIDGEPORT™ STEEL

★★★★★ 4.1 (7) [Write a review](#)

new recessed panel steel insulated shaker style garage doors



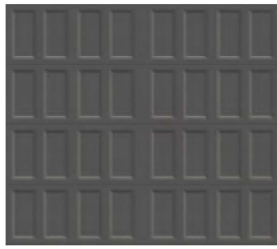
Clopay is excited to offer a new product line that combines the traditional symmetry of wood stile and rail door designs with the proven durability and energy efficiency of three-layer steel Intellicore® construction. These doors provide two distinct recessed panel designs, providing new design options for homeowners.

- WHERE TO BUY
- SEE ON MY HOUSE

- OVERVIEW
- DESIGN OPTIONS
- CONSTRUCTION
- BROCHURE
- INSTALLATION & CARE
- VIDEOS

CHAT WITH US +

DOOR DESIGNS



NARROW RECESSED PANEL



EXTENDED RECESSED PANEL

For size and color availability, [click here](#).

Depending on door height, exact door appearance and number of sections may be different than illustrations above. [Click here](#) for complete details.

TOP SECTIONS

SOLID TOP SECTIONS



NARROW RECESSED PANEL



EXTENDED RECESSED PANEL

TOP SECTIONS WITH WINDOWS



ARCH1 WITH GRILLE24



ARCH1 PLAIN



ARCH1 WITH VERTICAL GRILLE14



ARCH2 WITH GRILLE24



ARCH2 PLAIN



ARCH2 WITH VERTICAL GRILLE14



REC12



REC14



SQ22 SHORT



SQ24 LONG



PLAIN LONG



PLAIN SHORT



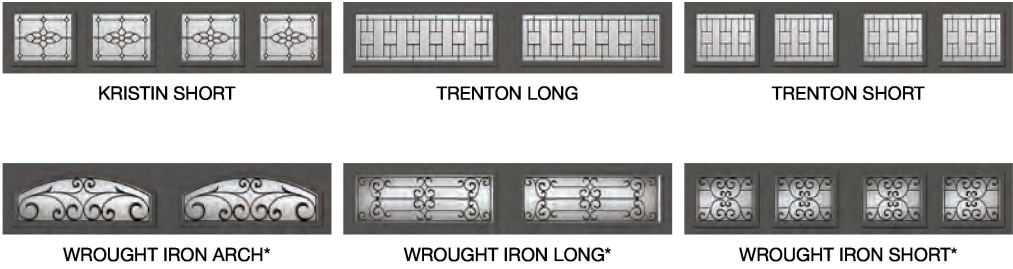
CLAYTON LONG



CLAYTON SHORT



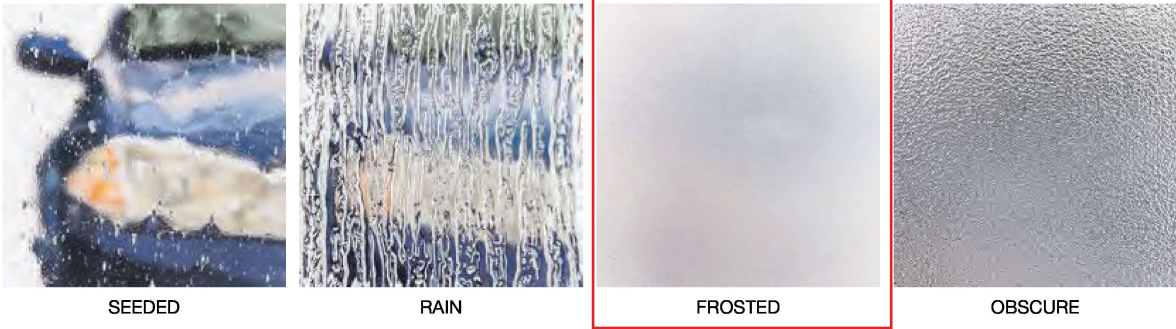
KRISTIN LONG



[View All Door & Window Combinations](#)

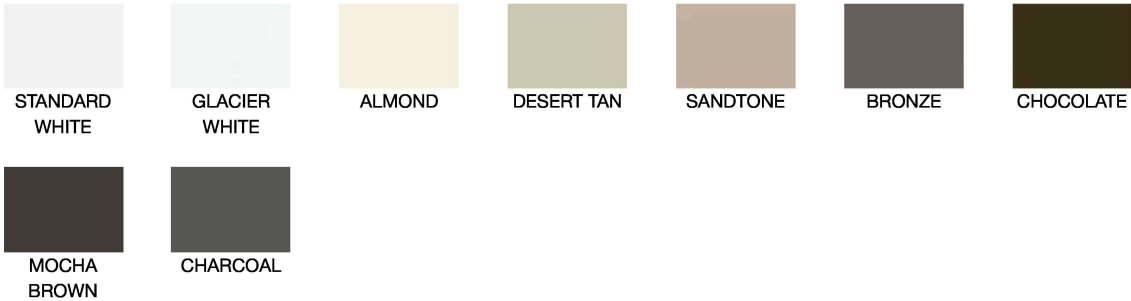
*Acrylic window designs.
Note for Double Top Sections: These are specific to double car doors, in addition to options above.

SPECIALTY GLASS OPTIONS



COLORS

STANDARD COLORS



COLOR TBD FROM MANF STANDARD COLORS

PREMIUM COLORS



[REQUEST COLOR SAMPLES](#)

ColorBlast available [\(Click for details\).](#)

INSPIRATION[®]

at your door[®]

Simpson[®]
Door Company
SIMPSONDOOR.COM

NANTUCKET® COLLECTION

Nantucket Island is a place of great beauty that withstands the harsh coastal weather of the North Atlantic. That same resilient charm is expressed in the Nantucket®

Collection by Simpson. Featuring a 10-year warranty, these doors combine weather-resistant wood species with a modified mortise-and-tenon construction technique. The result is a door that will retain its rugged beauty, regardless of what nature sends its way.

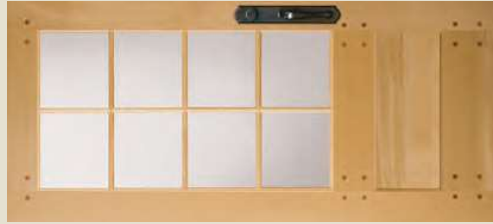


VIEW ENTIRE **NANTUCKET COLLECTION**
simpsondoor.com/nantucket



77860

Shown in Douglas fir with 77260 sidelights with flat panels and optional shaker sticking



77508 FP
Shown in nootka cypress



77512 FP
Shown in sapele mahogany with 77804 sidelight and optional shaker sticking



77082
Shown in Douglas fir with 77701 sidelight



77002
Shown in sapele mahogany

TEST DRIVE YOUR DOOR
simpsondoor.com/testdrive



77103
Shown in Douglas fir with optional shaker sticking



77105
Shown in nootka cypress with optional shaker sticking



77122
Shown in sapele mahogany with 77701 sidelight



77015
Shown in Douglas fir with 77705 sidelight and optional shaker sticking and glue chip glass. Privacy Rating 6.

ANY DOOR. ANY GLASS.
Shown with optional Glue Chip Glass




ARTISAN SHIPLAP SIDING

Artisan Shiplap siding delivers distinct lines that closely replicate traditional cedar siding to bring authenticity to any home.

Panel Specs

Thickness:	0.625"
Weight:	4.55 LBS./SQ. FT.
Length:	144"
Width:	10.25"
Exposure:	9"
Color:	



 REQUEST A SAMPLE

< 1 OF 2 >

HardieTrim®

Form meets function at every angle with HardieTrim® boards. With an authentic look, HardieTrim boards provide design flexibility for columns, friezes, doors, windows and other accent areas.

Better than wood, it will complement your long-lasting, lower maintenance James Hardie siding – adding punctuation to your design statement.

HardieTrim®
5/4 x 3.5 in.
Khaki Brown

HardiePlank®
6.25 in. Smooth
Navajo Beige

The performance you require
THE DISTINCTIVENESS YOU DESIRE.

HARDIETRIM® BOARDS



4/4 NT3® SMOOTH

Arctic White

Thickness	.75 in.				
Length	12 ft. boards				
Width	3.5 in.	5.5 in.	7.25 in.	9.25 in.	11.25 in.
Pcs./Pallet	312	208	156	104	104



5/4 NT3® SMOOTH

Arctic White

Thickness	1 in.					
Length	12 ft. boards					
Width	3.5 in.	4.5 in.	5.5 in.	7.25 in.	9.25 in.	11.25 in.
Pcs./Pallet	240	200	160	120	80	80



CROWN MOULDING

Arctic White

Thickness	.75 in.	
Length	12 ft. boards	
Width	3.25 in.	5.25 in.
Pcs./Pallet	50	48

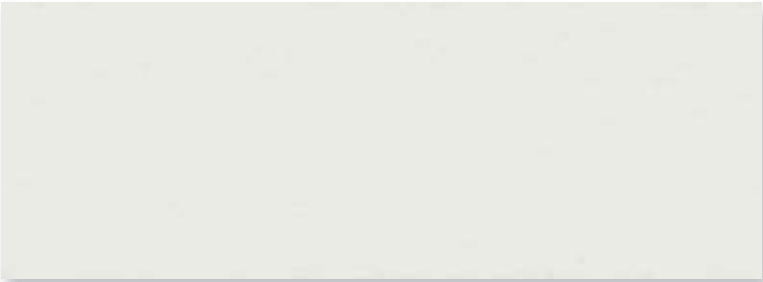
HARDIETRIM® BATTEN BOARDS



RUSTIC GRAIN®

Arctic White

Thickness	.75 in.
Length	12 ft. boards
Width	2.5 in.
Pcs./Pallet	437



SMOOTH

Arctic White

Thickness	.75 in.
Length	12 ft. boards
Width	2.5 in.
Pcs./Pallet	437

HardieTrim Boards are available primed or with ColorPlus Technology in DC/Baltimore and Virginia districts. For other districts, HardieTrim Boards are exclusively available with ColorPlus Technology. HardieTrim Batten Boards are available primed or with ColorPlus Technology. HardieTrim Crown Mouldings are available exclusively in ColorPlus Technology.

Express the true nature of a home's character with ColorPlus® Technology

PLANK, PANEL, BATTEN AND SHINGLE COLORS



ARCTIC WHITE



NAVAJO BEIGE



COBBLE STONE



PEARL GRAY



LIGHT MIST



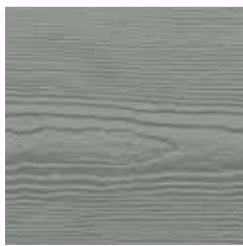
SAIL CLOTH



SANDSTONE BEIGE



MONTEREY TAUPE



GRAY SLATE



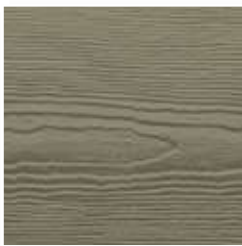
BOOTHBAY BLUE



WOODLAND CREAM



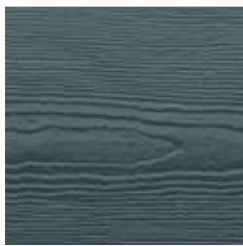
AUTUMN TAN



WOODSTOCK BROWN



AGED PEWTER



EVENING BLUE



HEATHERED MOSS



KHAKI BROWN



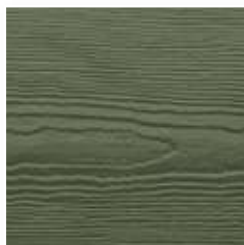
TIMBER BARK



NIGHT GRAY



IRON GRAY



MOUNTAIN SAGE



CHESTNUT BROWN



COUNTRYLANE RED



RICH ESPRESSO



DEEP OCEAN

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TRANSCEND® COMPOSITE DECKING

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TREX TRANSCEND® DECKING IN ROPE SWING

The luxurious rooftop deck at HGTV® Dream Home 2021, featuring Trex Transcend Rope Swing.



DECKING COLORS

PREMIUM TROPICALS - BEST

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CLASSIC EARTH TONES - BEST


TREX® COMPOSITE DECKING AT ITS VERY BEST

UNPARALLELED BEAUTY

Transcend decking's deep wood-grain pattern and luxury colors create a premium, ageless look that leave other composites in the dust.

HASSLE FREE

No sanding. No staining. No painting. No kidding. (Not to mention simple soap-and-water cleanup.)

FADE, STAIN, SCRATCH AND MOLD RESISTANT

Transcend decking maintains its vibrant color and luxurious finish—come scorching sun or red-wine spill—thanks to its unyielding, three-side shell protection...and our [25-Year Limited Residential Fade & Stain Warranty](#).

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Dekton breaks all the rules to put together an outdoor kitchen. The material is capable of adapting to all environments, withstanding the most extreme weather conditions and adapting, for example, to barbecue designs.



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Cooking is a pleasant experience and doing it outside is a small social event.

Dekton provides solidity, a unique and one-of-a-kind aesthetic to outdoor areas, as well as an unlimited practicality, thanks to its unique characteristics.

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- Resistance to high temperatures.
- Stain-resistant.
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Finish

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- ☐ Matte
- ☐ Meshed

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Thickness

- ☐ 0.4 cm.
- ☐ 0.8 cm.
- ☐ 1.2 cm.

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Wall luminaires with directed light in one direction

Housing: One Piece, die cast aluminum housing with a one piece, die cast aluminum mounting plate. The mounting plate is supplied with a flat plate that mounts directly to a standard, recessed 4" octagonal wiring box. Die castings are marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy.

Enclosure: Clear tempered glass diffuser. Provided reflector made of pure anodized aluminum. Housing is secured to the mounting plate with two (2) mechanically captive, stainless steel set screws.

Electrical: 16.5W LED luminaire, 20 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V, TRIAC, and ELV dimmable. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 3000K with an 85 CRI. Available in 4000K (85 CRI); add suffix K4 to order.

Note: Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

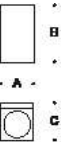
CSA certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP64

Weight: 7.1 lbs.

Luminaire Lumens: 1581
Tested in accordance with LM-79-08



Type:
BEGA Product:
Project:
Voltage:
Color:
Options:
Modified:



	Lamp	β	A	B	C
24582	16.5W LED	16°	5 7⁄8"	10 5⁄8"	6 7⁄8"

From: [allegrone](#)
To: [Lia Niebauer](#)
Subject: [EXTERNAL]BAR #2021-00468 OHAD - 105 Queen Street
Date: Friday, September 3, 2021 1:04:25 PM

Dear Ms. Niebauer,

The above item is on the agenda for the 9/16 BAR meeting under New Business. The address is 105 Queen street. We would like to express our strong concerns about certain elements relating to proposed exterior modifications. We live next door at 103 Queen street. We have been in touch with neighbors along the 100 block of Queen street and they too are strongly opposed to the external elements discussed below. Those neighbors include the owners of 101 Queen, 107 Queen (the next door neighbor on the other side of the proposed changes), 109 Queen is unoccupied. We believe there are acceptable alternatives to the objectionable elements.

Our first concern is the developer's proposal to build a tall room-sized stair tower structure on the roof to accommodate the stairs and landing to the proposed terrace. It would include windows and would be visible from Queen street. This is not a "tower". With its dimensions of 8'8"W x 11'7"L x 8'4"H, it is almost the same size as the bedroom 3 of the house and would look like an additional floor, unlike anything on our block and is completely incompatible with the look of all the other houses. The roofs of all the houses on both sides of Queen are essentially flat and free of structures. There are no taller houses or chimneys to partially block the view of this structure. It would stick up like a large sore thumb. The houses on the south, Queens Row, side of Queen street have elevated first floors, due to the commercial parking garage underneath, this proposed structure would be even more visible to them from their higher front door and front rooms. We should add that the two new HVAC units to be installed on the roof are proposed to abut the Queen street side of the roof. While some screening is proposed, they too will be visible from the street, unlike anything on Queen street. They need to be repositioned so they and their screen are not visible from the front.

We have been planning to seek approval for roof-mounted solar panels on our house. This proposed 105 Queen roof structure will cast an enormous shadow over our roof during the entire afternoon thus making our project either impossible or impractical. This kind of solar project is supported by the City of Alexandria.

The one roof terrace on the entire 100 block of our side of Queen uses a low, long rectangular skylight-style structure that is hinged on the street-side end to allow easy access to walk up the stairs and out. (See photo below). We have used it on multiple occasions without a problem. When not in use it is flat. It does not have any leakage problems. Aside from the small recessed "pergola" on the corner house on the other side of the street at 100 Queen, the three other roof terraces on that side side of Queen use similar low-lying "skylight" stairways, (see photo). This is what should be used instead of the eye-sore, stand-alone stair tower; it is a common solution to rooftop stair access in this area.

We will note that the proposed horizontal cable fencing is not consistent with the rooftop terraces railings on either side of Queen street, which use vertical, metal rails. If there is a desire to preserve the look of the neighborhood, the rails should be compatible with the other rooftop rails on both sides of Queen.

At 105 Queen, as at all the other houses on that side of Queen, there are ample backyards just a step off the living room. This is the area that all the existing owners find as more than adequate for outdoor eating and entertaining.

Second, the developer wants to change the roof line in front in order to accommodate larger living quarters on the top floor and to add dormer windows there. Many of the homes in the development have achieved the same goal but they gained the additional space solely by adding a shed dormer-like extension on the back, alley side, of the house, not by changing the front (see photo below taken across the alley behind 105 Queen).

The north side of the 100 block of Queen street was built at one time and there is a uniform roof style to the non-end houses (see photo). A change to the front roof style — which would include popping the roof forward and adding dormer windows — would be unique to the look of the rest of the block. Even if the front dormers are approved, what is the purpose of changing the roof to an angle unlike anything on the block? It seems like an unnecessary change if the purpose is to make the roof terrace even larger. If the rooftop room is eliminated in favor of the skylight entrance, much more space would be available and the need to alter the roof line, and the character of the block, unnecessary. Making changes to the top floor on the back would be more consistent with what has been done in the development. Leaving the front roof alone and gaining space in the back is a far less objectionable solution to the space issue and one that almost everyone that backs on to the alley, be it from Queen street or Quay street, who wanted more top floor space, has done.

Finally, it is our understanding, via the realtor who handled the sale, that the new owner is, or is part of, a company. The developer's offices are not in Alexandria. We have been told that the intention is to make these remodeling changes and then put the house on the market for re-sale. Neither we, nor our neighbors have ever met the new owner. The house was sold in April and to date, no one has ever spent one day or night in the house. It would be a shame to alter the look of our neighborhood via the various areas of concern mentioned above -- not to meet the needs of a current occupant, nor with a thought to what the actual residents will see -- but primarily to boost it's immediate re-sale value. The developer would take the profit and disappear while the actual residents are left to look at whatever inconstant architectural changes are left behind. It is one thing to have a developer create a new, multiple unit project, but to have one to come into an established residential neighborhood, buy one central house, change its external appearance, and then leave, over the objections of the established neighbors, seems not to be what Old Town Alexandria authority should impose on its residents.



(View west from 103 Queen, across 105 Queen to sole roof terrace at 111 Queen in the distance. Nothing pops up.)



(The low access door to the 111 Queen terrace. The short side on the right lifts up when in use. One walks up the stairs and out. Please note the type of railing)





(The view of the south side of Queen street — across from 105 Queen. The “pergola” is on the corner house to the left and is set back from Queen, the other 3 terraces are accessed via low-lying “skylight structures like the 111 Queen photo.)



(The alley behind 105 Queen showing how other houses have increased top floor space with alley-side only shed dormers.)



(The roofs of the north side of Queen street's 100 block. Similar roofs continue up the block. None of the non-end units has a different pitch.)

Thank you for your consideration of our concerns. Charles and Kathy Allegrone, 103 Queen street

...

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From: [Elizabeth Treptow](#)
To: [Lia Niebauer](#)
Cc: mbtreptow@gmail.com
Subject: [EXTERNAL]BAR comment on 105 Queen Street
Date: Saturday, September 4, 2021 12:54:16 PM

You don't often get email from mbtreptow@gmail.com. [Learn why this is important](#)

Good afternoon Ms. Niebauer,

Thank you for the opportunity to offer thoughts on the proposed architectural modifications to 105 Queen Street in Alexandria, under BAR #2021-00468 and BAR #2021-00457. We are contacting you to register a serious objection to the proposed addition atop the existing rooftop for two reasons.

First, the proposed additional structure would rise more than eight feet above the existing rooftop level. This would be unique both in the 100 block of Queen Street, and within the surrounding blocks of townhomes to the north. This requested additional structure would be highly visible and unsightly from the street, negatively altering the look and feel of the neighborhood.

Second, an addition atop the roof would block sight lines from existing neighborhood rooftop decks to the West. While the housing market is currently strong, this may ultimately negatively impact values and property tax revenues from homes located to the West, as features they now enjoy will be diminished.

We understand the proposed structure is to facilitate roof deck access. But the solution is simple - rooftop decks with safe access exist elsewhere in this neighborhood without an additional structure above an access stairwell. We respectfully ask you to remember such precedent.

With kind regards,
Michael and Elizabeth Treptow
111 Queen Street
Alexandria, VA

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From: [Robert Walker](#)
To: [Lia Niebauer](#)
Cc: [Michelle Walker](#); [Beth Frank](#); [david oates](#); [David Fernandez](#); [Tara Fernandez](#); [Caroline Antonacci](#); [Elizabeth Treptow](#); [allegrone@comcast.net](#)
Subject: [EXTERNAL]BAR comment on 105 Queen Street
Date: Saturday, September 4, 2021 5:25:35 PM

You don't often get email from robertbwalker1@gmail.com. [Learn why this is important](#)

Good afternoon Ms. Niebauer,

This letter is in regards to the proposed architectural modifications to 105 Queen Street in Alexandria, under BAR #2021-00468 and BAR #2021-00457. We, the undersigned, reside on the opposite side of Queen Street directly facing the proposed project.

Though we fully understand historic Old Town cannot remain completely static architecturally, we do feel it is in the community's best interest to retain as much of its 18th-century architectural heritage as possible. This is especially true when such a change would solely benefit just a single homeowner at the expense of both an entire community as well as the thousands of annual visitors who are drawn here to wander this nationally designated historic district **because** of its unique colonial architecture.

The proposed structure is completely out of character to the surrounding homes and would needlessly and negatively degrade the charm of the area.

As homeowners, we also feel the loss of this integrity would affect our home values now and well into the future. We believe people generally move to Old Town because they are attracted to the historic architectural designs and are not drawn to buildings with the most current, and almost always transient, architectural fashion. If allowed, this addition will remain an eyesore and look out of place for generations to come. It would also set an extremely bad precedent for future development in the area.

With the Board of Architectural Review being the entity charged with ensuring that the historical architecture of Alexandria is preserved, we would like to file with you a most strenuous objection to the proposed project on 105 Queen Street. We as a group are more than willing to further this objection virtually, or in person, as time and circumstance permit.

We feel a great deal of Old Town's soul lies in the integrity of its historic architecture and charm. This project would be a direct threat to all that makes Old Town, Old Town. And that's certainly worth standing up for.

Thank you in advance for your consideration in this matter. Please let us know when and where we might further this discussion if need be.

There most likely will be others on our street who will add their names to this objection but can't be reached at this time.

v/r

Queen's Row Residents

Robert and Michelle Walker 112 Queen St
David and Tara Fernandez 118 Queen St
Beth Frank 114 Queen St
Caroline Antonacci 116 Queen St
Kurt Sanger 110 Queen St
Jonathan and Ryan Jachym 106 Queen St

Tuesday, September 7, 2021

To:

City of Alexandria Architectural Review Board
301 King Street
Alexandria, VA 22314

From:

Kevin & Lesley Pearson – Owners of
102 Quay Street
Alexandria, VA 22314
805-844-8099 Or 786-282-6134
aviatrixlm@gmail.com

RE:

Review Hearing (Sept 16th, 2021)
105 Queen Street (Bill Yalcin)

After reviewing the proposed plans from Conkey Architects for 105 Queen Street, Lesley and I fully approve the plans as submitted. Please contact us if there are further questions. Good luck getting this project under way!



KEVIN PEARSON