

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations and addition

APPLICANT: 214 and 216 S Payne St LLC

LOCATION: Old and Historic Alexandria District
214/216 South Payne Street

ZONE: CL/Commercial low zone

STAFF RECOMMENDATION

Staff recommends approval of the Certificate of Appropriateness for alterations with the following conditions:

1. The applicant work with staff to determine an appropriate material for the cladding of the small addition at the east side of the notch on the south elevation.
2. The applicant work with staff on connections between the proposed exterior stair on the rear (east) elevation and the existing historic masonry wall to minimize the impact of these connections on the masonry.

Minutes from the July 21, 2021 BAR Hearing

CONDITIONS OF APPROVAL

Applicant return to the BAR at a later hearing for reconsideration of the proposed scope of work.

REASON

The Board was concerned about the proposed work on the west elevation of the building and the impact it would have on the overall architectural character. The Board also asked for additional details on the work proposed for the south and east side of the building.

SPEAKERS

Mark Yoo, architect presented the project and was available to answer questions.

Annette Antonelli, Owner, addressed the proposed use for the property and addressed questions regarding the need for exterior display space.

Mr. Spencer asked the applicant about the proposed material for new front steps. The applicant responded that they would be large format exterior tile.

Gail Rothrock, 209 Duke Street, representing HAF, supported the staff recommendations regarding the work at the west side of the building. She felt that the twin nature of the building is an important character defining feature that would be damaged by the proposed modifications.

Yvonne Callahan, 735 South Lee Street, Agreed with previous comment and felt that the proposed modifications were not compatible with the Design Guidelines.

Steve Milone, 937 Prince Street, Agreed with previous comments and felt that there should not be any changes made to the west elevation. He further stated that the proposed roof deck will interfere with the historic roof line.

DISCUSSION

Ms. Roberts noted that the Board could not support the proposed work, in particular the proposed work on the west elevation. She suggested to the applicant that he meet with staff to determine a scope of work that they could support.

Mr. Yoo requested a deferral of all work on the west elevation for further study and requested approval for the remainder of the work. He agreed with staff recommendations regarding the design for the roof deck.

Ms. Irwin suggested that the brick addition to the notch in the south elevation be a material different than the adjacent brick so that it is clearly read as an addition.

Ms. Roberts noted that the application lacked demolition drawings and the elevations were difficult to understand. She felt that the application was incomplete and suggested that the applicant request a deferral for the entire scope of work to allow for reconsideration of the west elevation and further refinement of the submitted materials.

Mr. Yoo requested a deferral of the entire scope of work, the Board unanimously accepted the request.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



Note: Staff coupled the applications for a Permit to Demolish (BAR #2021-00134) and Certificate of Appropriateness (BAR #2021-00355) for clarity and brevity. The Permit to Demolish requires a roll call vote.

UPDATE

At the July 21, 2021 hearing, the Board deferred BAR 2021-00134 & BAR 2021-00355 for further study of the proposed work on the west elevation and to allow for greater refinement of the submitted materials.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to make various improvements to the existing building to include the installation of glazing at the two paneled doors on the west elevation, replacement and enlargement of the exterior stairs and deck on the south elevation, a small addition at the east end of the notch on the south elevation, and the construction of a new exterior stair, door, and roof deck at the east elevation.

Permit to Demolish/Capsulate

The applicant proposes to demolish/capsulate existing material on all elevations and the roof of the existing building, elements to be demolished include:

- Removal of non-historic windows throughout.
- Removal of exterior stair, deck, and railing on south side of the building.
- Demolition/capsulation of a portion of the exterior wall and one window on the east end of the existing deck on the south side of the building.
- Remove one window and a portion of the surrounding brick on the rear of the building to enlarge the opening to accommodate a new door.

Certificate of Appropriateness

Addition

The applicant proposes to construct two additions to the existing building. A small addition to the east end of the existing notch at the south side of the building will house an extension of a bathroom and is proposed to be clad in a light-colored thin stone veneer (Figure 1).

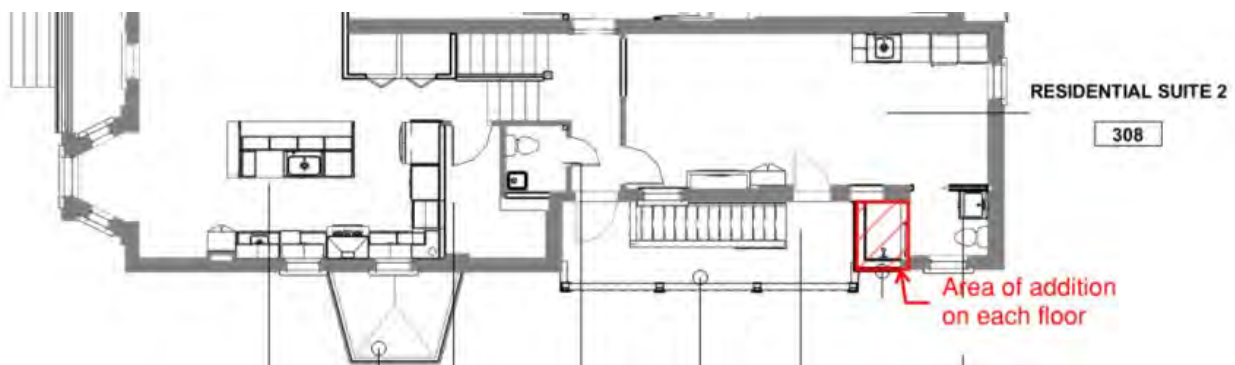


Figure 1: Plan showing location of small addition on south elevation

At the rear of the building, the applicant is proposing to build a roof deck with access from an exterior stair mounted to the east wall of the existing building. Access to this stair will be through an existing window that is being enlarged into a door. The roof deck will sit on top of the lower roof at the rear of the building, limiting the view of the deck from South Payne Street.

Alterations

Alterations to the existing building include the following:

- All of the existing windows are being replaced with wood windows to match the existing in style and configuration.
- The existing composite shingle roofing at the tower elements is being replaced with new diamond pattern metal roofing.
- The existing wood stair and exterior deck on the south side of the building is being replaced with a new stair and deck that protrudes approximately 1'-6" beyond the face of the existing adjacent wall.
- An existing window on the east elevation is being enlarged to a new door, providing access to the stair to the new roof deck.
- Installation of new glass panels in existing doors.

Site context

The property faces South Payne Street to the west with open lots on either side which allow for views of the front and sides of the property. The parking lot immediately behind the property is private but the through alley to the north of the site is public. From that vantage point, the rear of the building is visible from a public right of way (Figure 2).



Figure 2: View of rear of property from public alley north of the project site

II. HISTORY

Based on census records and city directories, it appears that the twin buildings were built in either the late 1870s or early 1880. Two brothers, Thomas D. Keys and George W. Keys lived next door to one another in June of 1880. Thomas moved out of the house at 214 South Payne in 1884, his brother George remained in his house until 1888.

This area of the city first appears on Sanborn Maps in 1902 and the footprint of the two structures appears very much the same as they do today. The property at 214 South Payne Street did have two wood - framed, single story structures at the rear of the property. The large vacant lot currently to the north of the property, appears as vacant in this map. A 1962 building permit describes the conversion of the buildings into multifamily apartments in lieu of the previous single-family residences. A 1986 permit for both properties included a significant renovation of the building to include the replacement of all existing windows.

Previous Approvals

Permit 14522 – 1958 – New built-up roof

Permit 19024 – 1962 – Conversion of building into apartments

1986 – Permit for exterior renovation, to include replacement of all windows

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No

(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The proposed scope of the Demolition/Capsulation includes the removal of non-original windows and roofing, portions of the rear wall, the east end of the notch on the south elevation, and the existing two-story porch and stair at the south elevation. As indicated in the submission, and verified in the field by staff, the existing building has undergone many changes to the sides and rear elevations to include infilled windows and doors and new window locations (Figure 3). There is some indication in the interior that at one time the north side of the building may have included a notch similar to that which is on the south side.

The existing exterior stair on the south side of the building appears to be modern in construction and not original to the building. Its removal and replacement with a similar stair and deck would not greatly change the architectural character of the building. It also appears that the east end of this notch has been modified by the enclosure of original wall openings. The proposed addition in this area will encapsulate some portion of the existing original wall but this area is by no means a pristine example of the original building configuration. While the addition will modify the proportions of this notch, it will not have a significant impact on the overall building elevation.

The demolition of the window and adjacent masonry on the rear of the building is incidental to a secondary elevation that has already been modified from its original configuration. Staff supports the application for a Permit to Demolish/Capsulate for the work on the south, east, and north elevations as submitted.

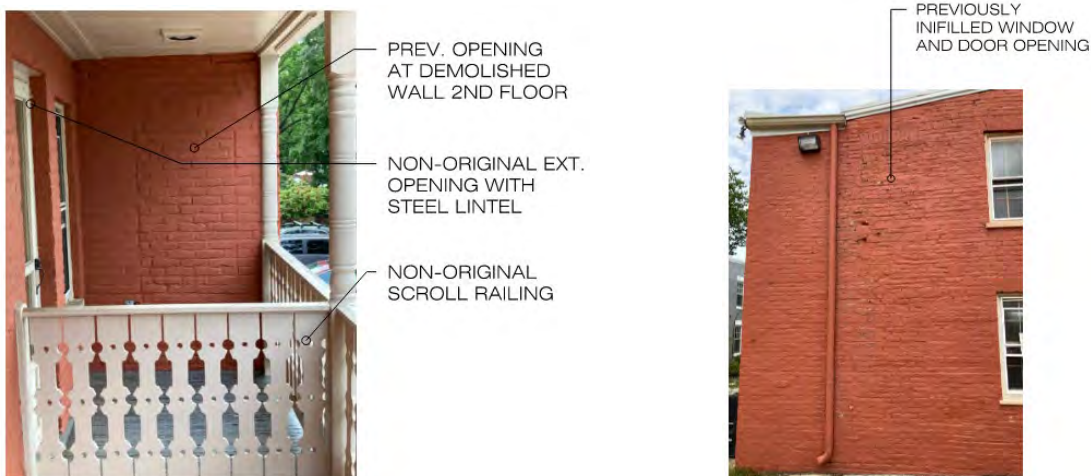


Figure 3: Areas of previously modified exterior walls

Certificate of Appropriateness

The following alterations are included in the application and comply with the *BAR Policies for Administrative Approval in The Old and Historic Alexandria District*. Staff would approve all:

- The replacement of the non-original (approximately 1986) windows throughout, with the condition that they meet the requirements of the *Alexandria New and Replacement Window Performance Specifications in the Historic Districts*.
- The replacement of the shingle roofing on the tower elements with historically appropriate patterned metal roofing.

Additions/alterations that are not eligible for administrative approval include the following:

South Elevation

In the current configuration, the existing building features a notch in the masonry footprint in the rear half of the south elevation that is infilled with a decorative wood porch and exterior stair to provide access to the upper levels from the side yard. The applicant is proposing to remove the existing porch and stair and replace it with a new one of similar design but protruding from the face of the building by approximately 1'-6" in order to allow enough room on each level of the porch for it to be occupiable along with the stair. The applicant is also proposing to reduce the overall length of the notch by approximately 3'-6" by increasing the masonry footprint on the east end to allow for a shower on the interior (Figure 4). In response to Board comments, the applicant has revised the cladding of the addition to distinguish it from the existing adjacent painted brick. The applicant is proposing a light-colored thin stone veneer for the cladding. Staff is concerned that this may be too different than the adjacent brick and will be incompatible with the rest of the elevation. One potential option would be to use an unpainted brick similar in color to the adjacent painted brick. This would give the elevation a uniform look while the area is still clearly identifiable as a later addition. Staff finds that the proposed modifications to the south elevation do not significantly change the character of the building or remove important or unique historic fabric and supports the approval of the Certificate of Appropriateness for the work on this elevation, with the condition that the applicant work with staff on the cladding material selection.



Figure 4: Proposed south elevation

Rear (East) Elevation

The applicant is proposing to enlarge an existing second floor window opening on the rear (east) elevation and install a new door to provide access to a new exterior stair. The stair will be mounted to the face of the existing masonry wall and will feature brackets to support the cantilevered stair. The stair will lead to a multiple level roof deck on top of the rear portion of the building (Figure 5). As shown in the proposed design, the roof deck will be multiple levels including a landing that is below the level of the roof deck. These multiple levels and the landing are required to accommodate the horizontal run of the exterior stair and the slope of the existing roof in the area.



Figure 5: Proposed rear (east) elevation

The *Design Guidelines* state that “Roof decks should be constructed so that they do not interfere with the historic roofline of a building” and “Material should not be used on a roof deck that detracts from the historic architecture of a structure.” Additionally, the *Design Guidelines* indicate that the Board “has approved the construction of decks in a number of instances...where there is minimal visibility of the deck from a public way.”

Over the years, the BAR has approved numerous decks in the Old and Historic Alexandria District including decks at 110 North Columbus, 1221 Prince, 317 – 325 North Columbus, 1228 Prince, 228 North Columbus, 1015 King, and 6 Prince to name a few. All of the afore-mentioned properties are residential, with the exception of The Hour Shop at 1015 King and Misha’s Coffee House at 6 Prince.

In response to Board and Staff comments, the applicant has revised the previous design for the exterior stair and roof deck to utilize a metal structure and cable rail in lieu of the previously proposed decorative wood railings. Where the previous design served to obscure the view of the

historic roof line and could be confused for an historic structure, the current design employs a minimal design to allow for visibility of the historic structure. The proposed design is also clearly identifiable as a modern intervention onto the existing building.

While the proposed roof deck is visible from the adjacent east-west alley to the north of the project site, visibility from South Payne Street will be limited. Staff finds that the revised design for the exterior stair and roof deck is consistent with the relevant sections of the Design Guidelines and recommends approval of the Certificate of Appropriateness for the proposed design.

The design for the exterior stair includes brackets that are attached to the existing masonry wall. Details for this attachment have not been provided at this time but an important preservation doctrine is that modern interventions should not cause harm to existing historic fabric. Staff recommends that the applicant work with staff on the connection details between the stair and the masonry wall to ensure that there is not undo damage to the historic fabric.

Staff finds that the proposed work on the north, south and rear (east) elevations is in general compliance with the *Design Guidelines* and the Zoning Ordinance and recommends that the Board approve the Certificate of Appropriateness for this work with the specific conditions listed below:

1. The applicant works with staff to determine an appropriate material for the cladding of the small addition at the east side of the notch on the south elevation.
2. The applicant works with staff on connections between the proposed exterior stair on the rear (east) elevation and the existing historic masonry wall to minimize the impact of these connections on the masonry.

STAFF

William Conkey, AIA, Historic Preservation Architect, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

- F-1 Special Use Permit SUP2021-00027 for a parking reduction and lot modifications for open space minimum requirement and front yard setback requirements to allow for the conversion of a commercial property to a residential, two-family duplex, and commercial on the ground floor was approved by City Council on June 19, 2021.
- F-2 Encroachment permit ENC2021-00002 for a 102.76 square foot (2.8 feet-by-36.7 feet) encroachment for the front porch was approved by City Council on July 6, 2021.
- F-3 The proposed new porch, roof deck, and exterior alterations comply with SUP2021-00027 and ENC2021-00002 and comply with zoning.

Code Administration

C-1 A building permit and plan review are required prior to the start of construction.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)

C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons,

etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 Quartermaster's maps of the Union Army occupation of Alexandria during the Civil War indicate that a large Contraband barracks and school room once stood on this property. However, the proposed renovation of the building will likely have little impact on any archaeological resources associated with the Contraband barracks. Nevertheless, a measure of caution should be used during the renovation.
- R-1 The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- R-2 The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

V. ATTACHMENTS

1 – Application Materials

2 – Supplemental Materials

3 – [214.216 South Payne St. BAR #2021-00134 & 2021-00355 Staff Report – July 21, 2021](#)

ADDRESS OF PROJECT: 214/216 South Payne Street

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 074.01-10-38 & 074.01-10-39 ZONING: CL

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☒ Business *(Please provide business name & contact person)*

Name: 214 and 216 S Payne LLC

Address: 3214 N University Ave Ste 700

City: Provo State: UT Zip: 84604

Phone: 571-235-8236 E-mail: 214southpayne@gmail.com

Authorized Agent *(if applicable):* ☐ Attorney ☒ Architect ☐ _____

Name: Mark Yoo

Phone: 202-251-3235

E-mail: mark@markyooarchitect.com

Legal Property Owner:

Name: 214 AND 216 S PAYNE ST LLC

Address: 3214 N University Ave Ste 700

City: Provo State: UT Zip: 84604

Phone: 571-235-8236 E-mail: 214southpayne@gmail.com

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Is there an historic preservation easement on this property?
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, has the easement holder agreed to the proposed alterations?
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Is there a homeowner's association for this property?
<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☒ EXTERIOR ALTERATION: *Please check all that apply.*
 ☐ awning ☐ fence, gate or garden wall ☐ HVAC equipment ☐ shutters
 ☐ doors ☒ windows ☐ siding ☐ shed
 ☐ lighting ☐ pergola/trellis ☐ painting unpainted masonry
 ☐ other _____
☒ ADDITION
☒ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

The exterior alteration includes a small side two floor addition for a bathroom shower, a modification of the existing side stair and porch to allow access to the 2nd floor. New exterior stairs will be added to provide private access to the residence on the second level and the required roof deck. Windows will be replaced. New stamped metal roofing and the restoration of the existing finials will be completed. Minor demolition to expand an existing rear window to provide for the door to the roof deck.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☐ ☐ Description of the reason for demolition/encapsulation.
☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☒ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:Signature: Mark R. YooPrinted Name: Mark R. YooDate: 08/27/2021

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Mark Yoo	221 S Henry Street, Alexandria VA 22314	100
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 214/216 S Payne Street, Alexandria VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. J.A. Antonelli	3214 N University Ave Ste 700, Provo UT 84604	100
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Mark Yoo	Board Member	Board of Zoning Appeals
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

08/27/2021
Date

Mark R. Yoo

Printed Name

Mark R. Yoo
Signature



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. 214 & 216 S Payne Street CL
 Street Address Zone

A2. 9,867.00 x 0.75 = 7,400.25
 Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	1,158.00	Basement**	1,158.00	B1. 5,799.58 Sq. Ft.
First Floor	2,153.00	Stairways**	232.00	Existing Gross Floor Area*
Second Floor	2,116.00	Mechanical**		B2. 1,762.58 Sq. Ft.
Third Floor		Attic less than 7'***		Allowable Floor Exclusions**
Attic		Porches**	103.00	B3. 4,037.00 Sq. Ft.
Porches	103.00	Balcony/Deck**	103.00	Existing Floor Area Minus Exclusions
Balcony/Deck	103.00	Lavatory***	166.58	(subtract B2 from B1)
Lavatory***	166.58	Other**		Comments for Existing Gross Floor Area
Other**		Other**		
B1. <u>Total Gross</u>	5,799.58	B2. <u>Total Exclusions</u>	1,762.58	

C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	1,112.00	Basement**	1,112.00	C1. 2,195.58 Sq. Ft.
First Floor	16.00	Stairways**	111.60	Proposed Gross Floor Area*
Second Floor	16.00	Mechanical**		C2. 2,271.60 Sq. Ft.
Third Floor		Attic less than 7'***		Allowable Floor Exclusions**
Attic		Porches**	369.00	C3. -76.02 Sq. Ft.
Porches	369.00	Balcony/Deck**	406.00	Proposed Floor Area Minus Exclusions
Balcony/Deck	406.00	Lavatory***	273.00	(subtract C2 from C1)
Lavatory***	273.00	Other**		
Other		Other**		
C1. <u>Total Gross</u>	2,192.00	C2. <u>Total Exclusions</u>	2,271.60	

D. Total Floor Area

D1. 3,960.98 Sq. Ft.
 Total Floor Area (add B3 and C3)

D2. 7,400.25 Sq. Ft.
 Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

E1. Existing Open Space Sq. Ft.

E2. Required Open Space Sq. Ft.

E3. Proposed Open Space Sq. Ft.

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____

19

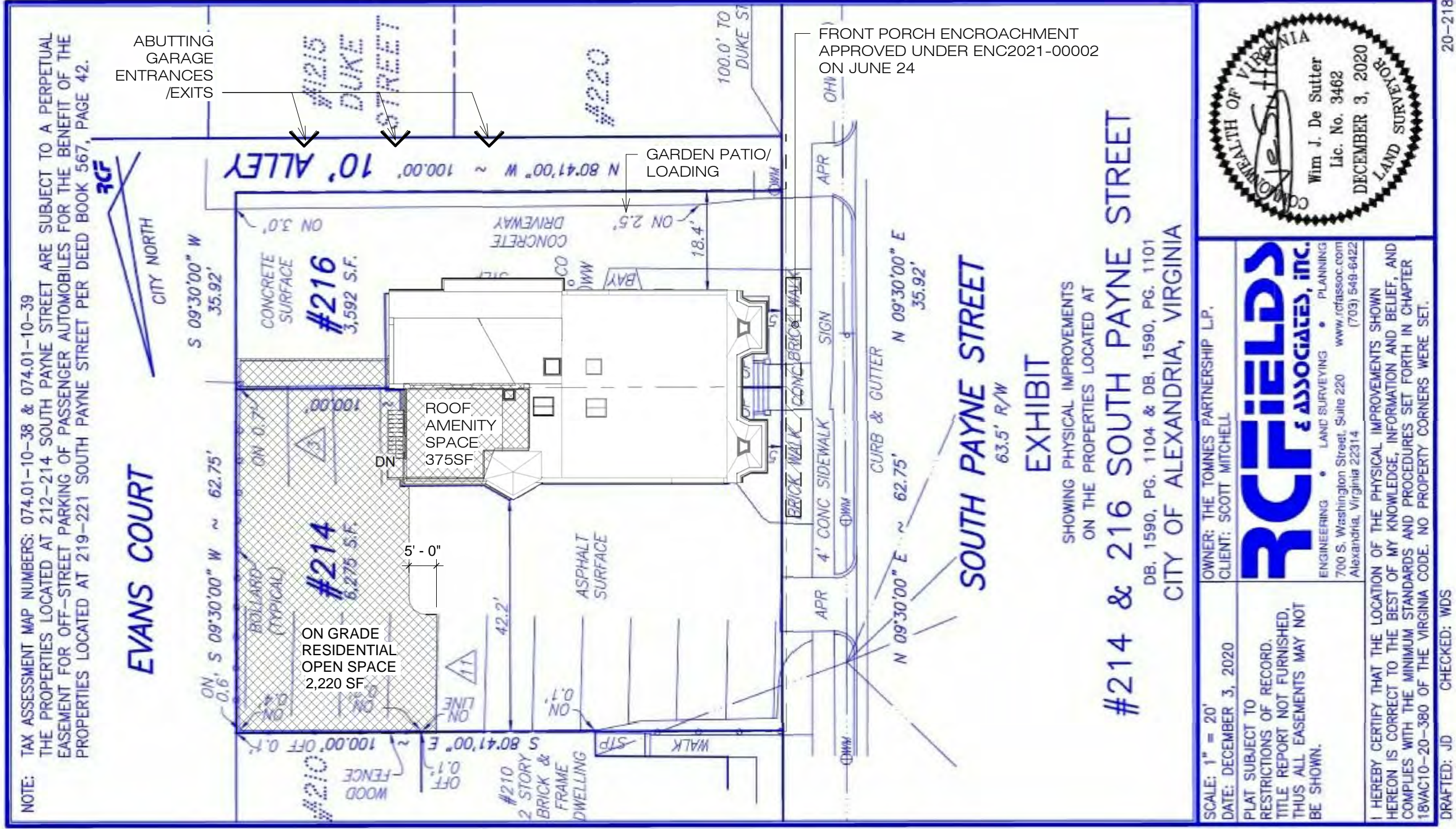
Date: _____

9/9/2021

214 & 216 SOUTH PAYNE STREET, ALEXANDRIA, VA 22314

BUILDING RENOVATION

ISSUE:	Project	214 & 216 S Payne St Alexandria VA 22314	Mark R. Yoo Architect	SEAL	1	Historic Submission	
SHEET No.	Drawing Title		221 S Henry Street, Alexandria, VA 22314 PH: 202.251.3235 FX 571.3512357 mark@markyooarchitect.com				
A000	title sheet						
					DATE OF PRINTING		
					AUG. 17, 2021		





ISSUE:	Project	214 & 216 S Payne St Alexandria VA 22314	Mark R. Yoo Architect	SEAL																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																												
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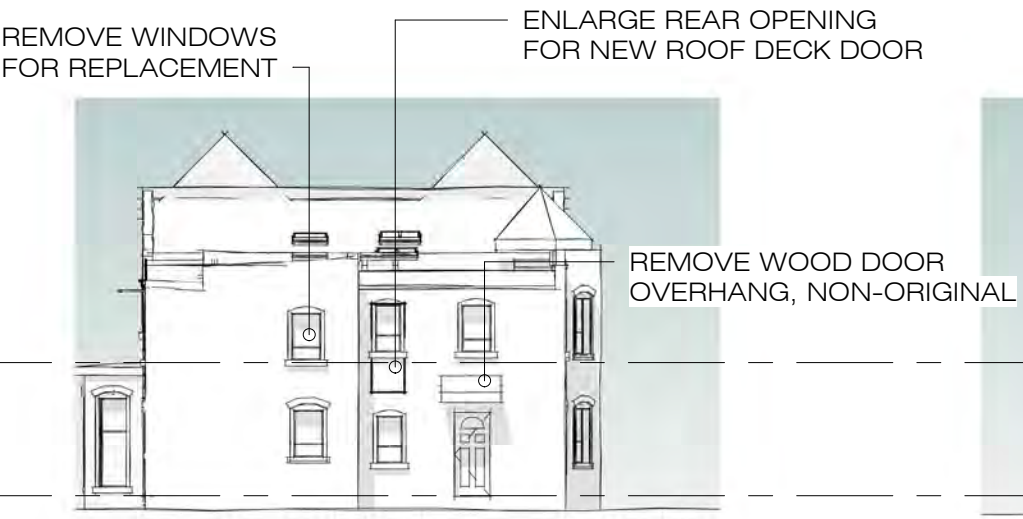


1 Existing - West Elevation
A101 1/16" = 1'-0"



2 Existing - South Elevation
A101 1/16" = 1'-0"



second level
11' - 1" 
main level
0" 



3 Existing - Rear Elevation
A101 1/16" = 1'-0"



4 Existing - East Elevation
A101 1/16" = 1'-0"

second level
11' - 1" 
main level
0" 

ISSUE:	Project	214 & 216 S Payne St Alexandria VA 22314	Mark R. Yoo Architect	SEAL	1	Historic Submission
SHEET No.	Drawing Title	existing elevations	221 S Henry Street, Alexandria, VA 22314 PH: 202.251.3235 FX: 571.351.2357 mark@markyooarchitect.com			
A101						



FRONT ELEVATION



EAST ELEVATION



REAR ELEVATION



WEST ELEVATION



FRONT ELEVATION 2



EXISTING CONCRETE STEPS

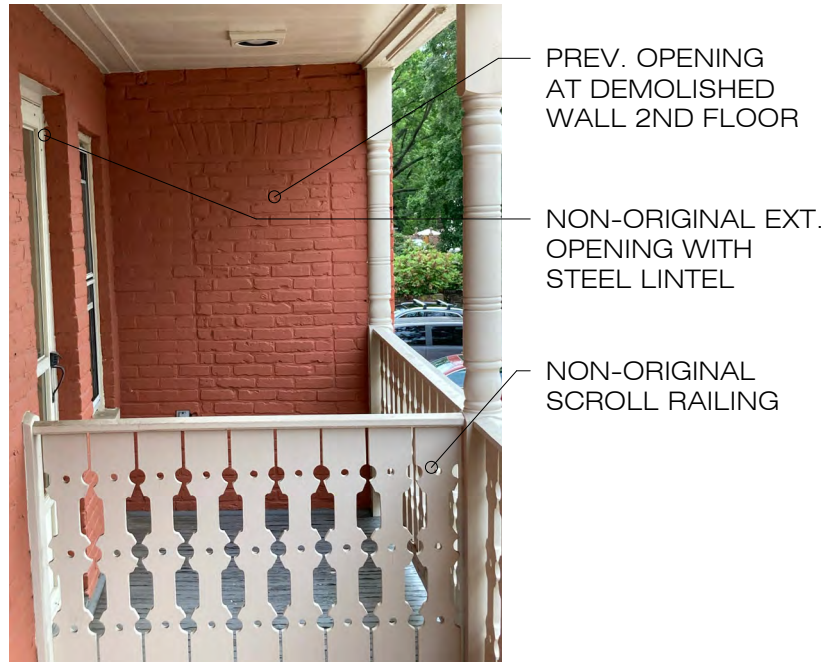


EXISTING FRONT PORCH



EXISTING STAIRWAY

ISSUE:	Project	214 & 216 S Payne St Alexandria VA 22314	Drawing Title	existing building photos	SHEET No. A102	SEAL	Mark R. Yoo Architect 221 S Henry Street, Alexandria, VA 22314 PH: 202.251.3235 FX: 571.351.2357 mark@markyooarchitect.com	1	Historic Submission	AUG. 17, 2021

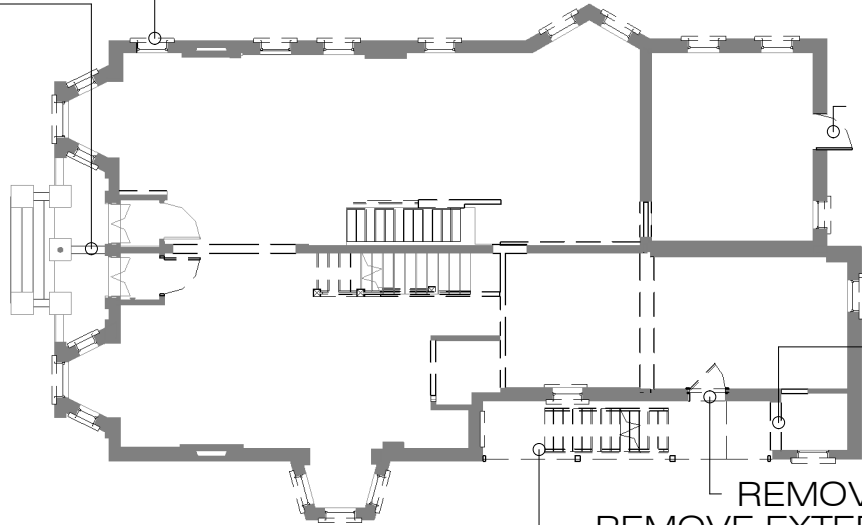


EXISTING CONDITIONS SHOWING MODIFIED REAR ADDITIONS

[illegible]

REMOVE CRACKED AND BROKEN
CONCRETE PORCH RAILING BTW.
ADDRESSES ONLY

REMOVE WINDOWS FOR REPLACEMENT
ALL BRICK SURROUNDS, ARCHES, AND
STONE SILLS TO REMAIN



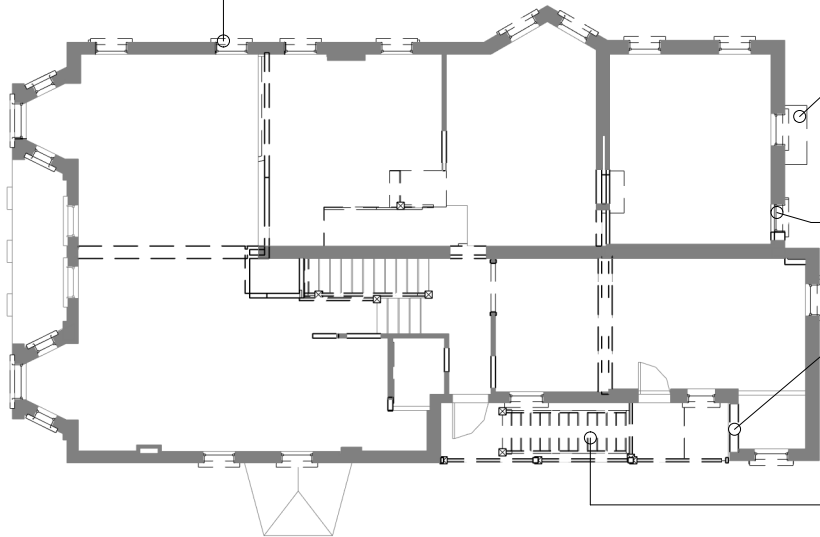
REMOVE AND REPLACE
EXT. DOOR.

REMOVE EX. MODIFIED
PAINTED BRICK WALL

REMOVE AND REPLACE EXT. DOOR
REMOVE EXTERIOR STAIR

1 main level exterior demo
A104 1/16" = 1'-0"

REMOVE EXTERIOR WINDOWS FOR
REPLACEMENT, ALL BRICK ARCHES, SURROUNDS,
AND STONE SILLS TO REMAIN



REMOVE NON-ORIGINAL
WOOD AND ASPHALT SHINGLE
OVERHANG

ENLARGE 2ND FLOOR
OPENING FOR DOOR

REMOVE EXT. PAINTED BRICK
MODIFIED WALL

REMOVE EXT. NON-ORIGINAL
WOOD STAIR AND RAILING

2 second level ext. demo
A104 1/16" = 1'-0"

ISSUE:	Project	214 & 216 S Payne St Alexandria VA 22314	Mark R. Yoo Architect	SEAL	1	Historic Submission
SHEET No. A104	Drawing Title	demo plans	221 S Henry Street, Alexandria, VA 22314 PH. 202.251.3235 FX.571.3512357 mark@markyooarchitect.com	1/16" = 1'-0"		
				DATE OF PRINTING		
				AUG. 17, 2021		



1 Proposed - West Elevation
A105 1/8" = 1'-0"



ISSUE:	SHEET No. A105	Project 214 & 216 S Payne St Alexandria VA 22314	Drawing Title west elevation	SEAL Mark R. Yoo Architect 221 S Henry Street, Alexandria, VA 22314 PH: 202.251.3235 FX: 571.351.2357 mark@markyooarchitect.com	1/8" = 1'-0"	DATE OF PRINTING AUG. 17, 2021



WINDOW SPEC.:
ANDERSEN ARCHITECTURAL SERIES
PAINTED WOOD
INT. WHITE/ EXT. WHITE

NEW DIAMOND
PATTERN METAL ROOF,
RESTORE AND REPLACE MISSING
AND DAMAGED FINIALS

ROOF DECK
WITH CABLE RAILING
AND PAINTED STEEL FRAME

REPLACE
WINDOWS TO
MATCH EXISTING

second level
11' - 1"

NEW STAIR,
COLUMNS & RAILING

SHOWER ADDITION
BOTH LEVELS

main level
0"



THIN STONE VENEER

1 Proposed - South Elevation
A106 1/8" = 1'-0"

ISSUE:	Project	214 & 216 S Payne St Alexandria VA 22314	Mark R. Yoo Architect	SEAL	1	Historic Submission
SHEET No.	Drawing Title	south elevation	221 S Henry Street, Alexandria, VA 22314 PH: 202.251.3235 FX 571.351.2357 mark@markyooarchitect.com			
A106						
</						



1 Proposed - East Elevation
A107 1/8" = 1'-0"

ISSUE:	Project	214 & 216 S Payne St Alexandria VA 22314	Mark R. Yoo Architect	SEAL	1	Historic Submission

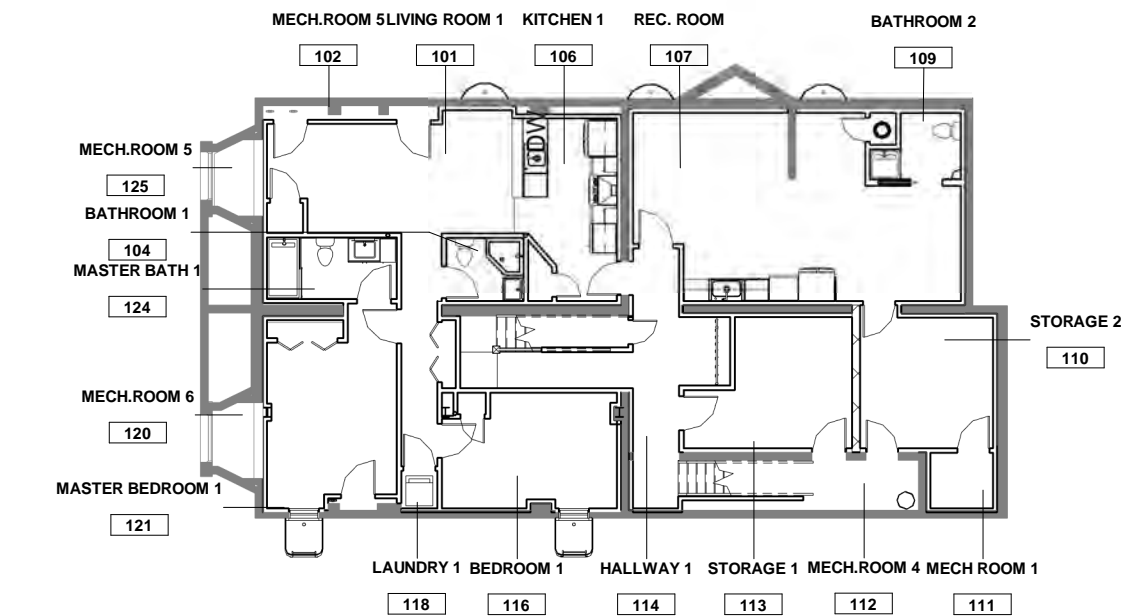


1 Proposed - North Elevation
A108 1/8" = 1'-0"

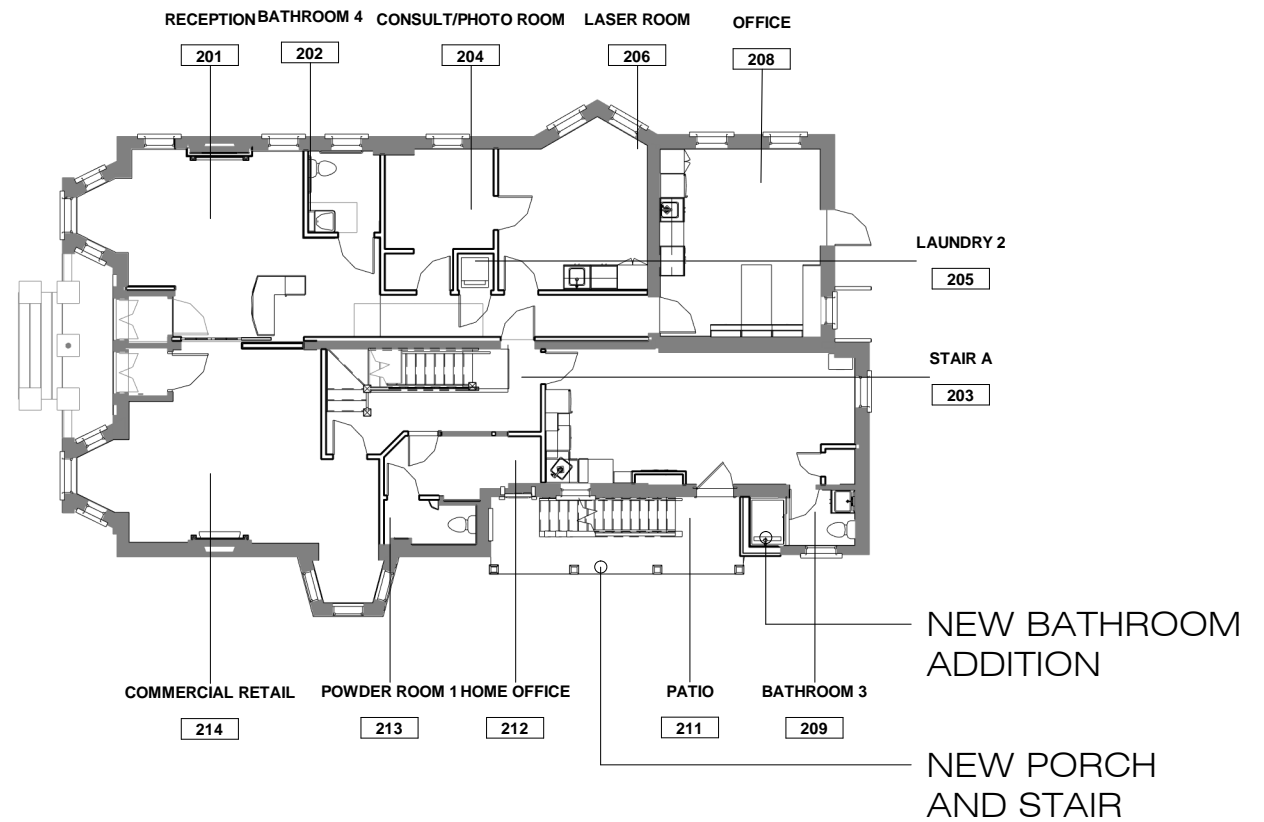
ISSUE:	Project	214 & 216 S Payne St Alexandria VA 22314	Mark R. Yoo Architect	SEAL	1	Historic Submission
SHEET No.	Drawing Title	north elevation	2215 Henry Street, Alexandria, VA 22314 PH. 202.251.3235 FX.571.3512357 mark@markyooarchitect.com	1/8" = 1'-0"		
A108						



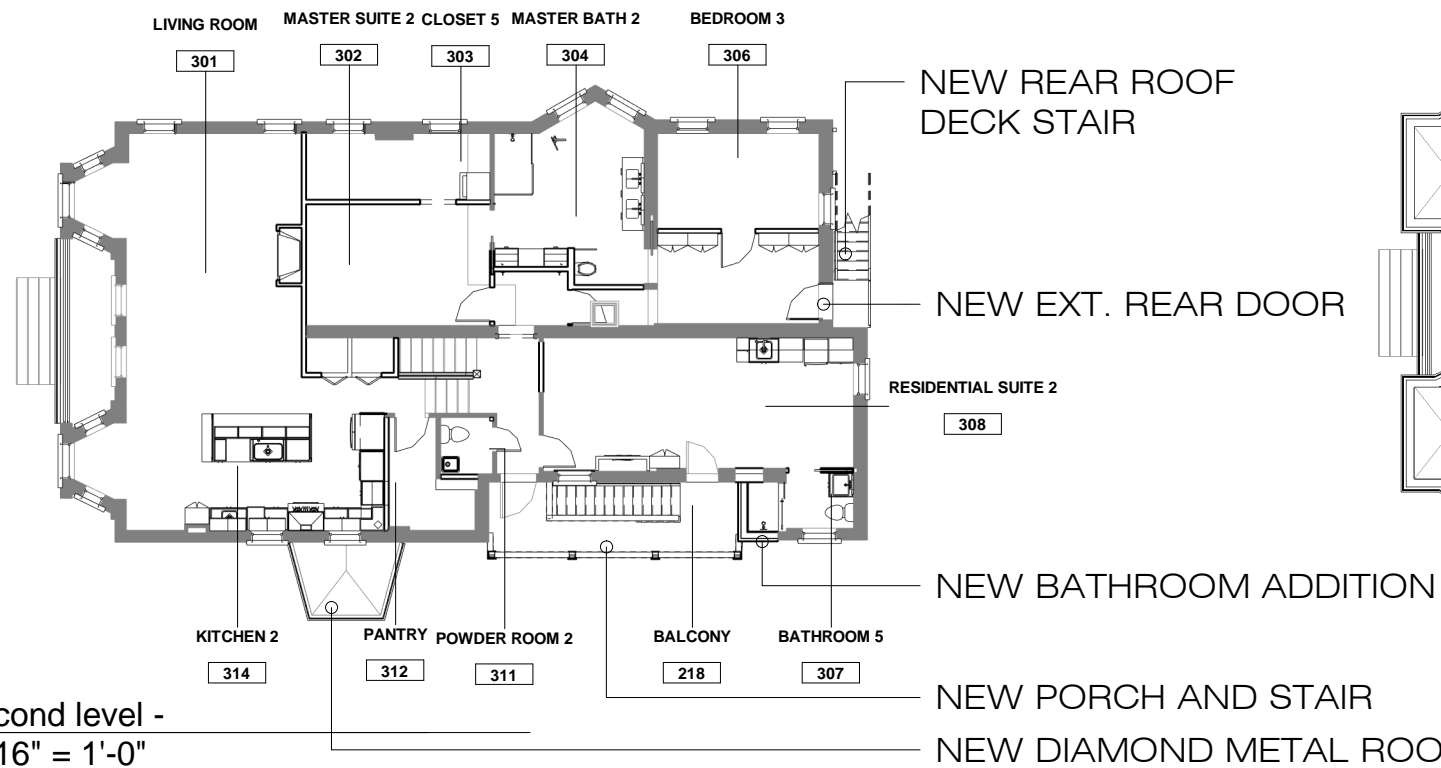
ISSUE:	Project	214 & 216 S Payne St Alexandria VA 22314	Drawing Title	block elevation	SHEET No. A109	SEAL	1 : 340	DATE OF PRINTING	AUG. 17, 2021



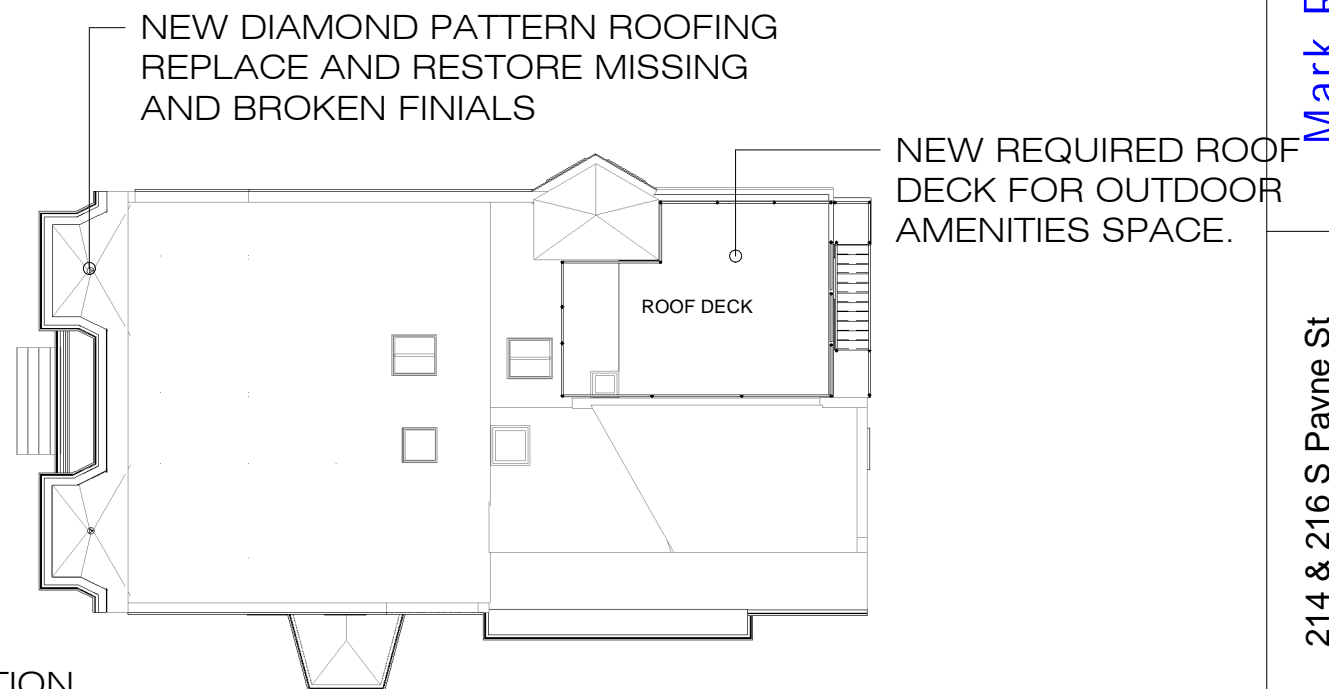
1 basement level -
A110 1/16" = 1'-0"



2 main level -
A110 1/16" = 1'-0"



3 second level -
A110 1/16" = 1'-0"



4 roof level plan -
A110 1/16" = 1'-0"

Historic Submission

1

SEAL

Mark R. Yoo
Architect

221 S Henry Street, Alexandria, VA 22314
PH: 202.251.3235 FX: 571.351.2357
mark@markyooarchitect.com

214 & 216 S Payne St
Alexandria VA 22314

Drawing Title

plans

ISSUE:

SHEET No.

A110

AUG. 17, 2021

DATE OF PRINTING

1/16" = 1'-0"