

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

APPLICANT: John and Christie Olsen

LOCATION: Old and Historic Alexandria District
512 Duke Street

ZONE: RM/Residential Townhouse Zone

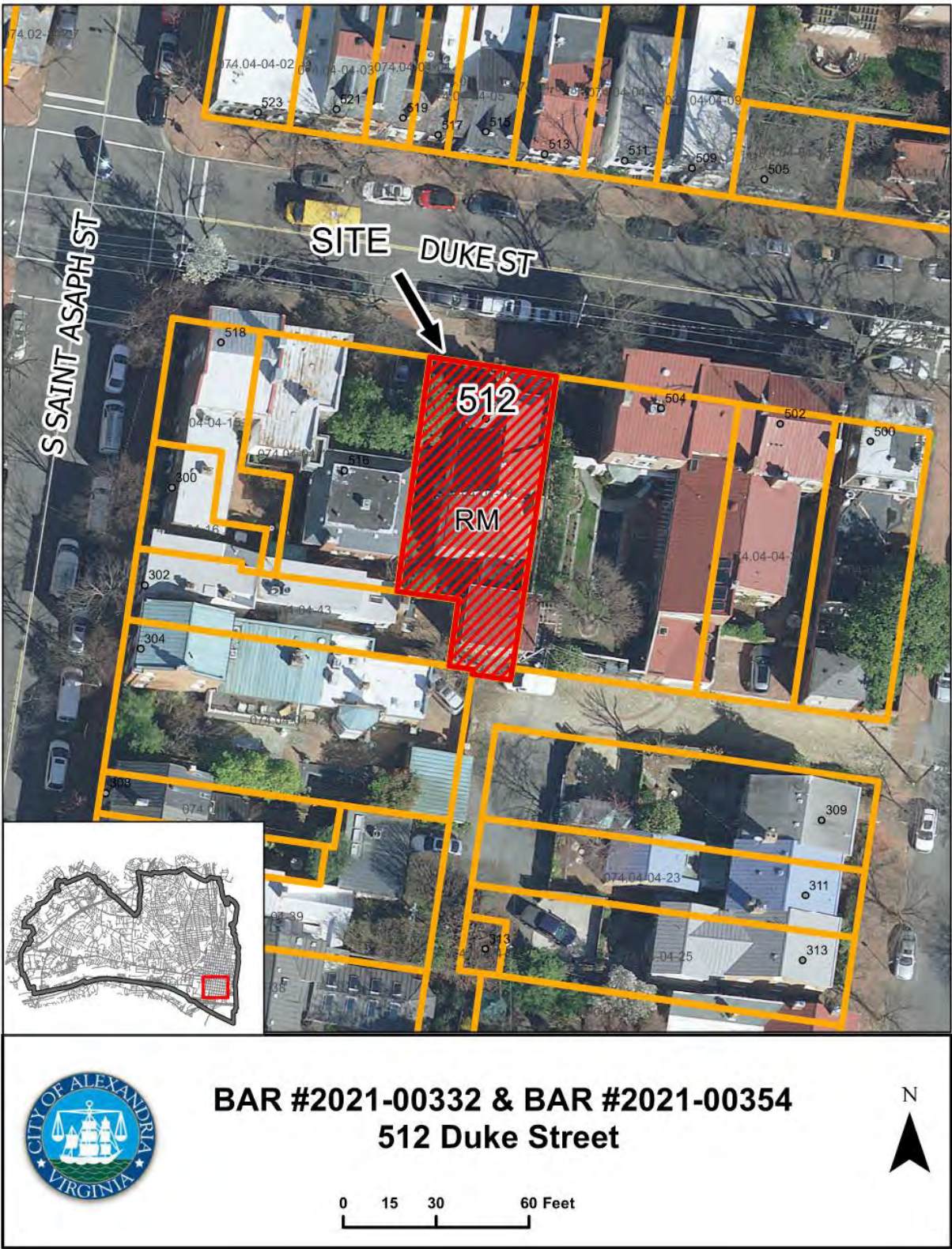
STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness with the following conditions:

1. The proposed new opening on the south elevation of the garage be removed from the scope of work, and;
2. The new windows and doors must meet all the *Alexandria New and Replacement Window Performance Specifications in the Historic Districts* criteria.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



Note: Staff coupled the applications for a Permit to Demolish (BAR2021-00354) and Certificate of Appropriateness (BAR2021-00332) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations, at **512 Duke Street**.

Permit to Demolish/Capsulate

Main House

1. Remove window on the 2nd-story of the south elevation, expand opening to a door onto an existing roof

Garage

1. New opening on the 2nd-story of the north elevation
2. Removal of window and storage niche on the 1st-story of the north elevation

Certificate of Appropriateness

Main house

1. Expand existing window to new wood patio door on 2nd story of south elevation
2. Expand existing window on 1st story to new triple wood casement window on west elevation

Garage

1. Relocate salvaged window from 1st story to 2nd-story of north elevation
2. New wood 4-panel painted door with two-panel transom
3. New exterior lighting

Connector and Site Improvements

1. New roof deck with 3' high black metal railing
2. Replace existing fence panels with trellis topper and rise existing brier garden wall on east side of property (existing height will remain the same)
3. New 6'-0" wood garden gate on north elevation
4. Replace existing brick patio with a stone patio and
5. New steps (not visible)

Site context

The alley to the southeast, behind the subject property, is private. Only a small portion of the proposed alterations will be visible from the right-of-way.

II. HISTORY

The house at 512 Duke Street was constructed between **1896 and 1902** and is one of the more richly modeled free standing Queen Anne houses in the historic district. The original front part is masonry and is comprised of a basically rectangular shell with projections, and an engaged tower element to the west. The whole ensemble is covered with standing seam metal roofing on a mixture

of roof forms from conical, to steep gable to a lower hip or 1/2 hip. The masonry carriage house, formerly free-standing, has a low hip roof in metal as well. The earlier addition to the house, of unknown date, was built of masonry and frame, with a subordinate but compatible sense of form and detail. A hyphen to the carriage house was a later addition, built of CMU, but compatible in detail with earlier construction.

Previous BAR Approvals

BAR2001-00062/00063 – Board approved for a Permit to Demolish and a Certificate of Appropriateness for and addition and alterations (52/2001)

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted with conditions. The amount of masonry wall to be removed (35sq.ft.) is small and will not significantly affect the historic building. However, the proposed 2nd-story opening on the north elevation of the garage within 3' feet of the property line and does not comply with code requirements. Staff, therefore, recommends approval of the Permit to Demolish/Capsulate as amended, with the condition that the proposed new opening be removed from the scope of work.

Certificate of Appropriateness (Alterations)

Staff has no objections to the proposed alterations, which is minimally visible and will have little affect on the historic fabric of the property. The Design Guidelines indicate that "Decks should not hide, obscure or cause the removal of historic architectural details." The proposed new deck to be installed on the connector, which is a later addition to the property, will not be visible from the public way. The metal railing is an appropriate material choice of the proposed deck.

The Design Guidelines state that "windows are a principal character defining feature of a building and serve both functional and aesthetic purposes." The design and configuration of the proposed new windows and doors are architecturally appropriate. The new windows and doors must meet all the Alexandria New and Replacement Window Performance Specifications in the Historic Districts criteria.

The remaining proposed alterations comply with the *BAR Policies for Administrative Approval*. With the conditions above, staff recommends approval of the project.

STAFF

Amirah Lane, Historic Preservation Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

F-1 The proposed exterior alterations, new roof deck and railings, new fence gate and replacement fence comply with zoning.

Code Administration

C-1 A building permit and plan review are required prior to the start of construction.

C-2 No new windows are permitted when located less than three feet from the property line.

Transportation and Environmental Services

No comments received.

Alexandria Archaeology

No archaeological oversight will be necessary for this undertaking.

V. ATTACHMENTS

1 – Application Materials

2 – Supplemental Materials

ADDRESS OF PROJECT: 512 Duke Street

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 074.04-04-18

ZONING: RM

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: John and Christie Olsen

Address: 512 Duke Street

City: Alexandria State: VA Zip: 22314

Phone: _____ E-mail: _____

Authorized Agent *(if applicable)*: ☐ Attorney ☒ Architect ☐ _____

Name: Lynnette Camus

Phone: 703.989.3777

E-mail: studiocamus@comcast.net

Legal Property Owner:

Name: John and Christie Olsen

Address: 512 Duke Street

City: Alexandria State: VA Zip: 22314

Phone: _____ E-mail: _____

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☒ Yes ☒ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☒ EXTERIOR ALTERATION: *Please check all that apply.*

☐ awning
☒ doors
☐ lighting
☐ other _____

☒ fence, gate or garden wall
☒ windows
☒ pergola/trellis

☐ HVAC equipment
☐ siding
☐ painting unpainted masonry

☐ shutters
☐ shed

☐ ADDITION
☒ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

New window at second floor and new door at first floor of garage,
 New roof deck with railing and expanding window to a door at existing roof of the
 connector,
 Expand existing kitchen window
 Replace existing fence panels with trellis topper and raise existing brick garden wall,
 New garden gate.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A

☐ Survey plat showing the extent of the proposed demolition/encapsulation.

☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.

☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.

☒ Description of the reason for demolition/encapsulation.

☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☒ FAR & Open Space calculation form.
- ☐ ☒ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☒ Existing elevations must be scaled and include dimensions.
- ☐ ☒ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☒ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____
- ☐ ☒ Square feet of existing signs to remain: _____
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.


Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☒ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:Signature: Printed Name: Lynnette Camus of Studio Camus LLCDate: 18 June 2021

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. John & Christie Olsen	512 Duke Steet	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 512 Duke Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. John & Christie Olsen	512 Duke Street	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. John & Christie Olsen	N/A	N/A
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

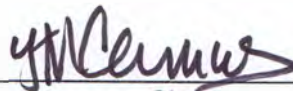
As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

18 June 2021

Date

Lynnette Camus

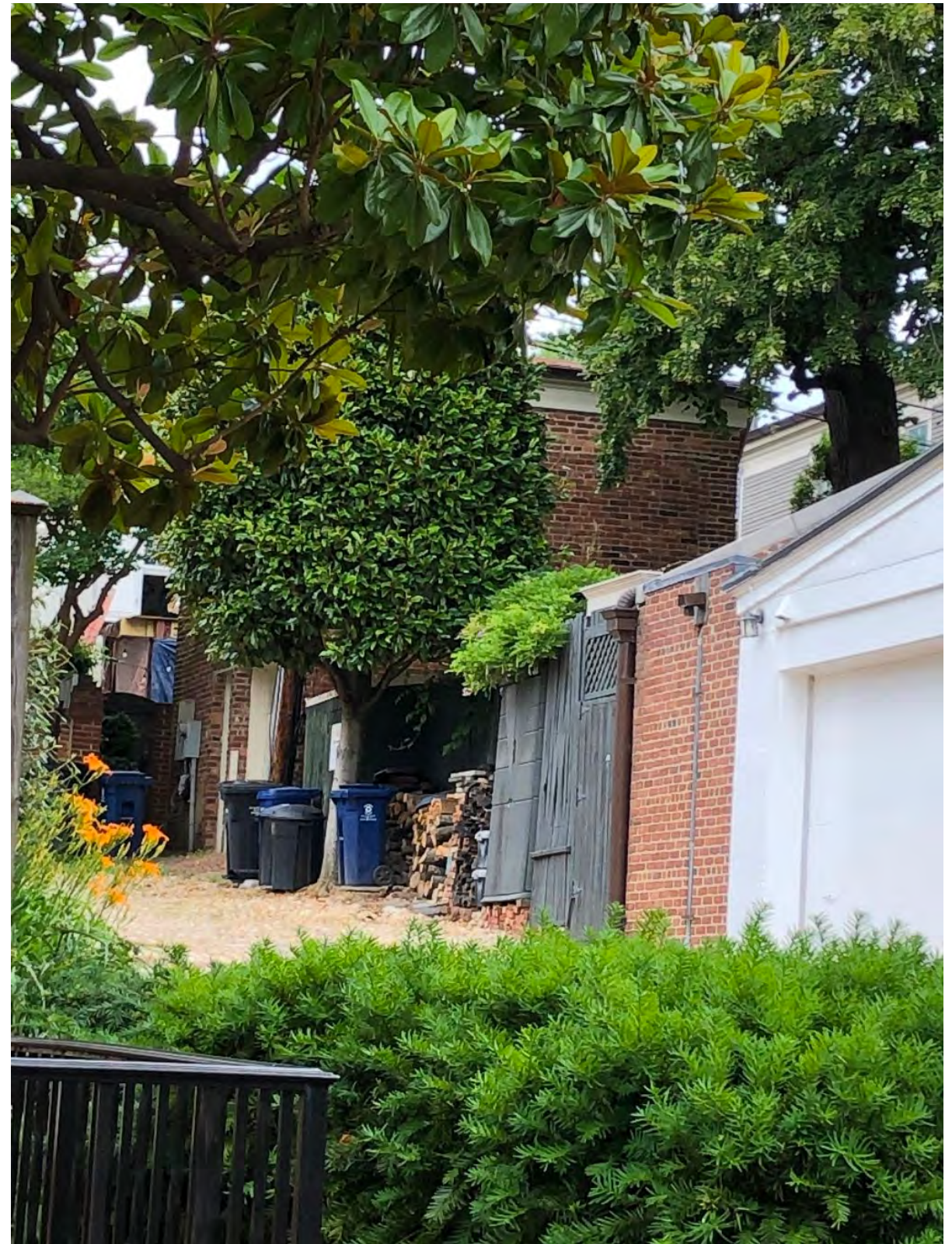
Printed Name



Signature



Front Elevation from Duke Street



Rear Oblique Elevation from South Pitt Street



STUDIO CAMUS LLC
 225 North Pitt Street Alexandria Virginia 22314
 studiocamus@comcast.net
 Lynnette 703 989 3777 Patrick 703 626 1984

OLSEN RESIDENCE
 512 Duke Street Alexandria VA

DATE 18 Jun 2021
SCALE NOT TO SCALE

SHEET PHOTOS



Front Elevation - East Side of House



Side Elevation - Oblique



STUDIO CAMUS LLC
 225 North Pitt Street Alexandria Virginia 22314
 studiocamus@comcast.net
 Lynnette 703 989 3777 Patrick 703 626 1984

OLSEN RESIDENCE
 512 Duke Street Alexandria VA

DATE 18 Jun 2021	SHEET PHOTOS
SCALE NOT TO SCALE	



Front Elevation - West Side of House



Side Elevation - Oblique

A tall, ornate brass lantern with a glass chimney and a decorative top. The lantern has a rectangular frame with decorative brass bands and a glass chimney in the center. The top is a decorative brass cap with a small finial. The lantern is shown against a plain white background.

New Window @ Kitchen



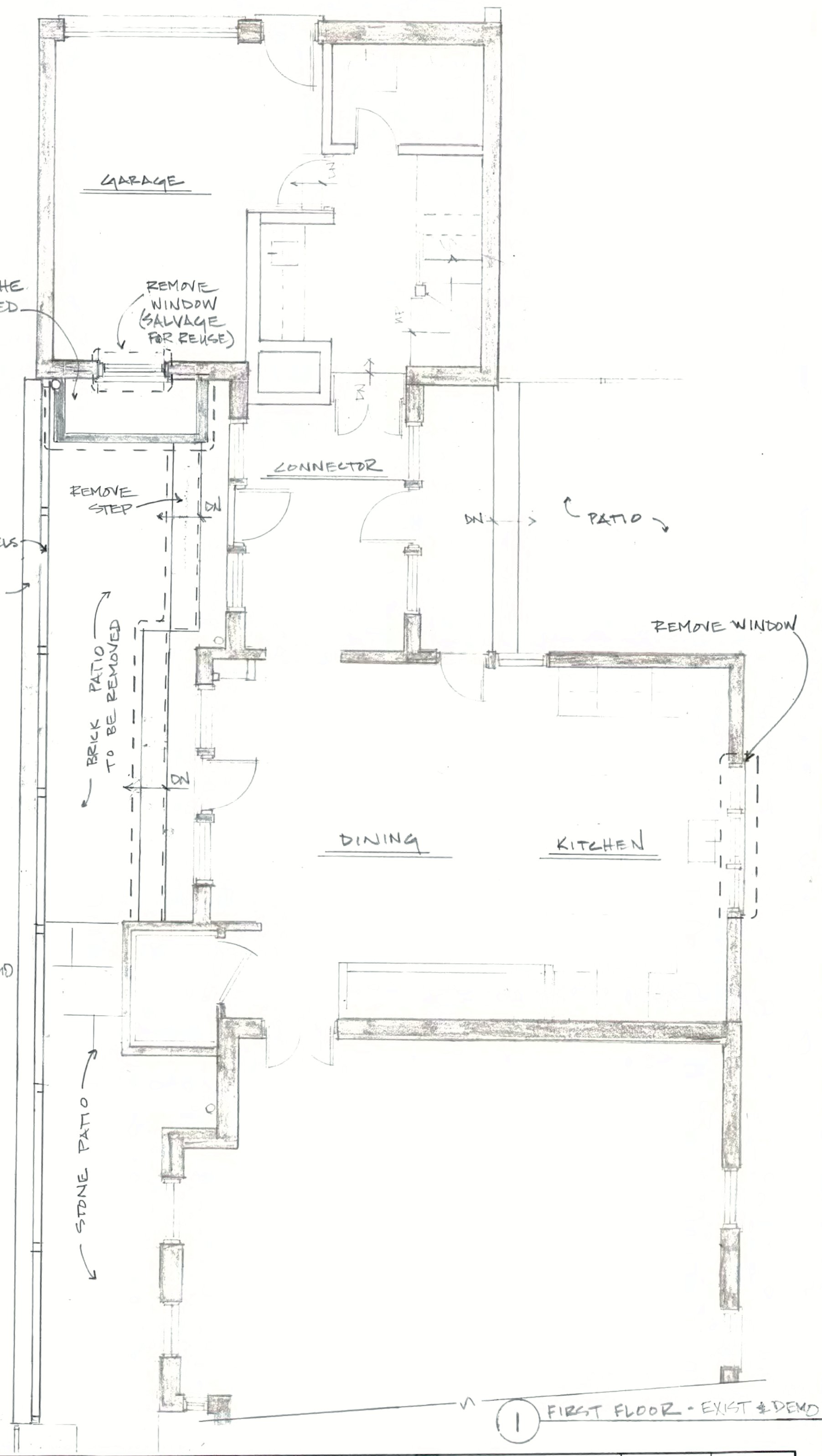
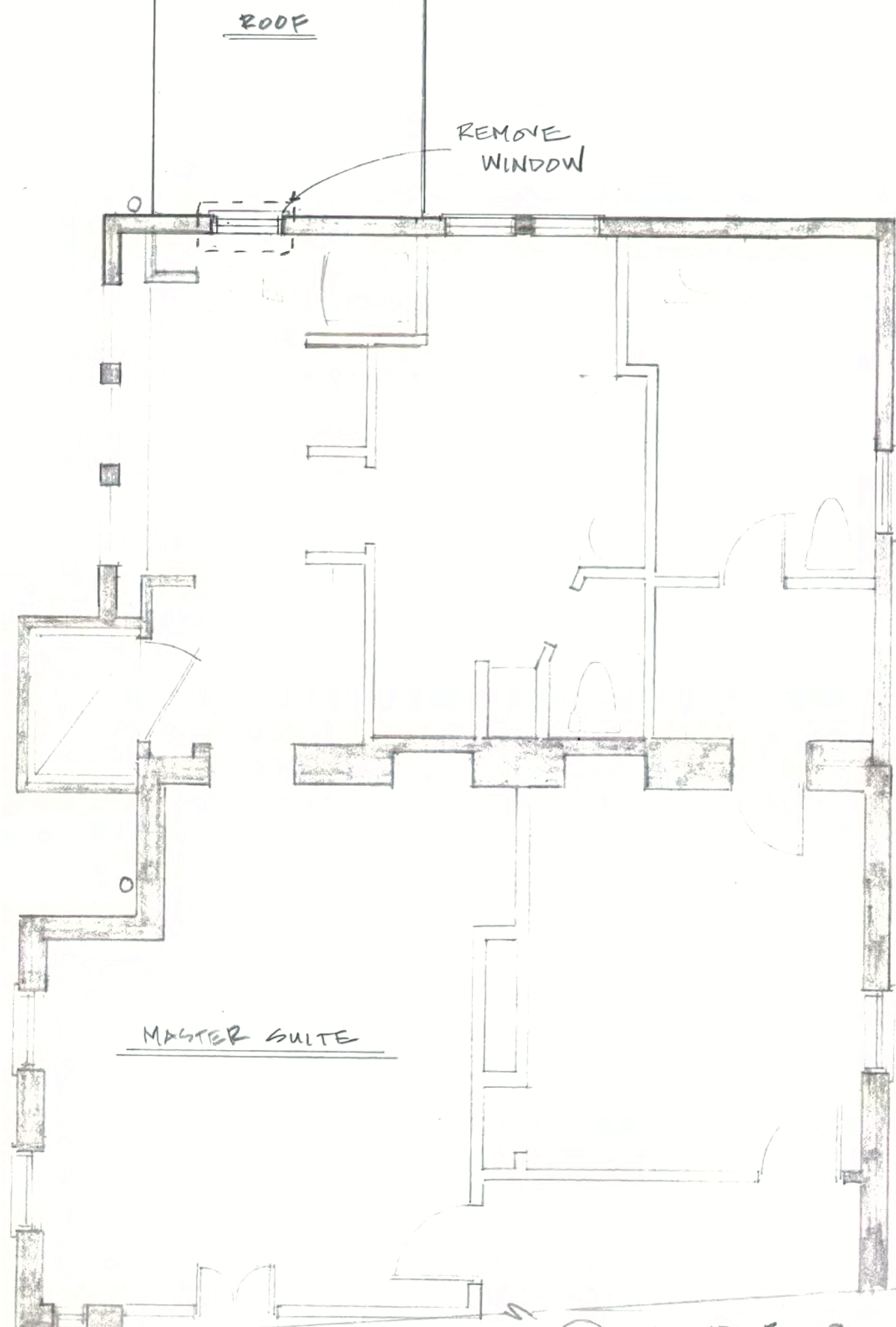
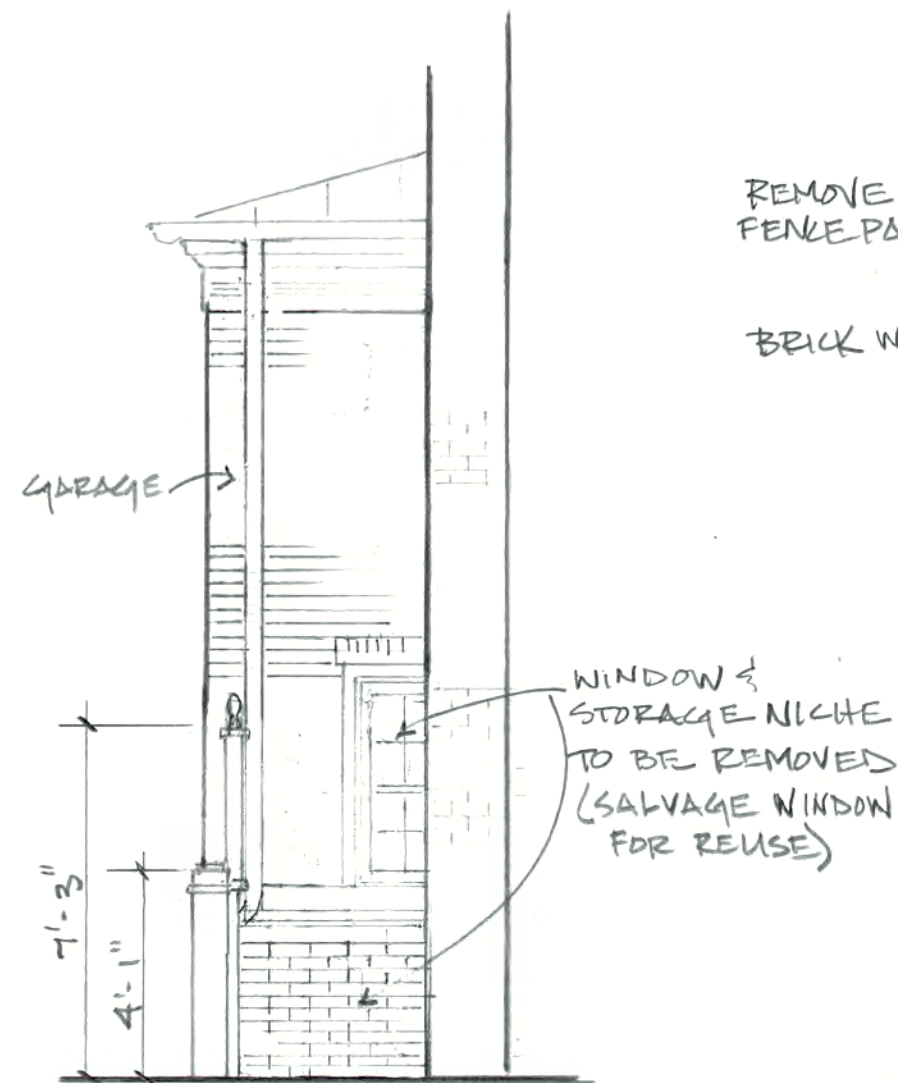
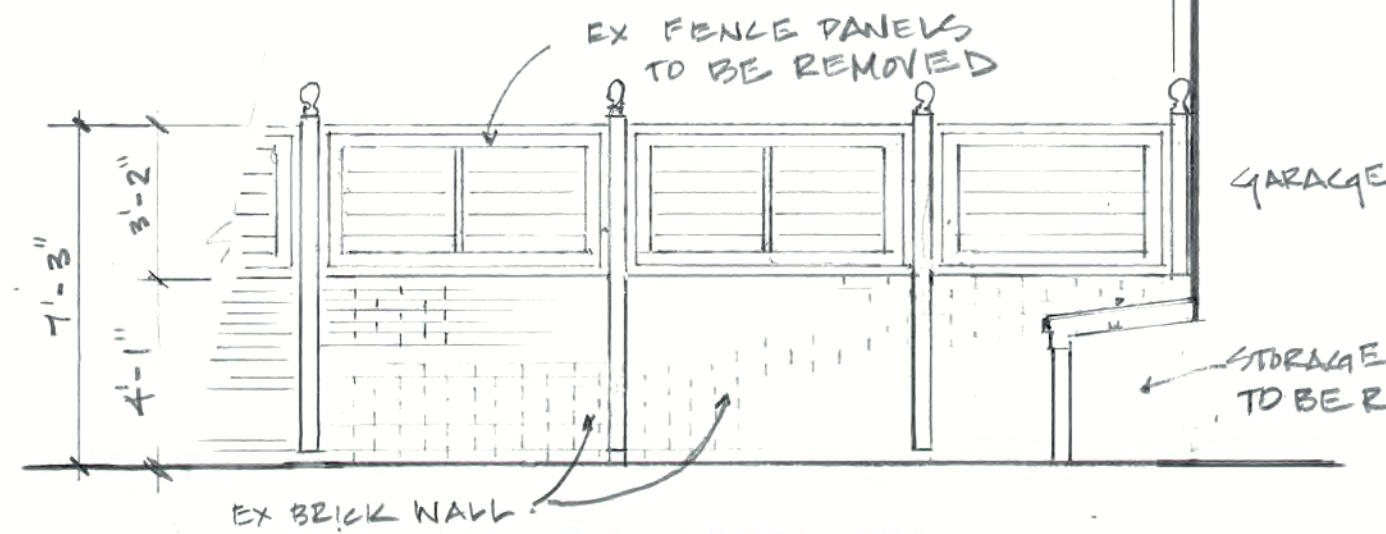
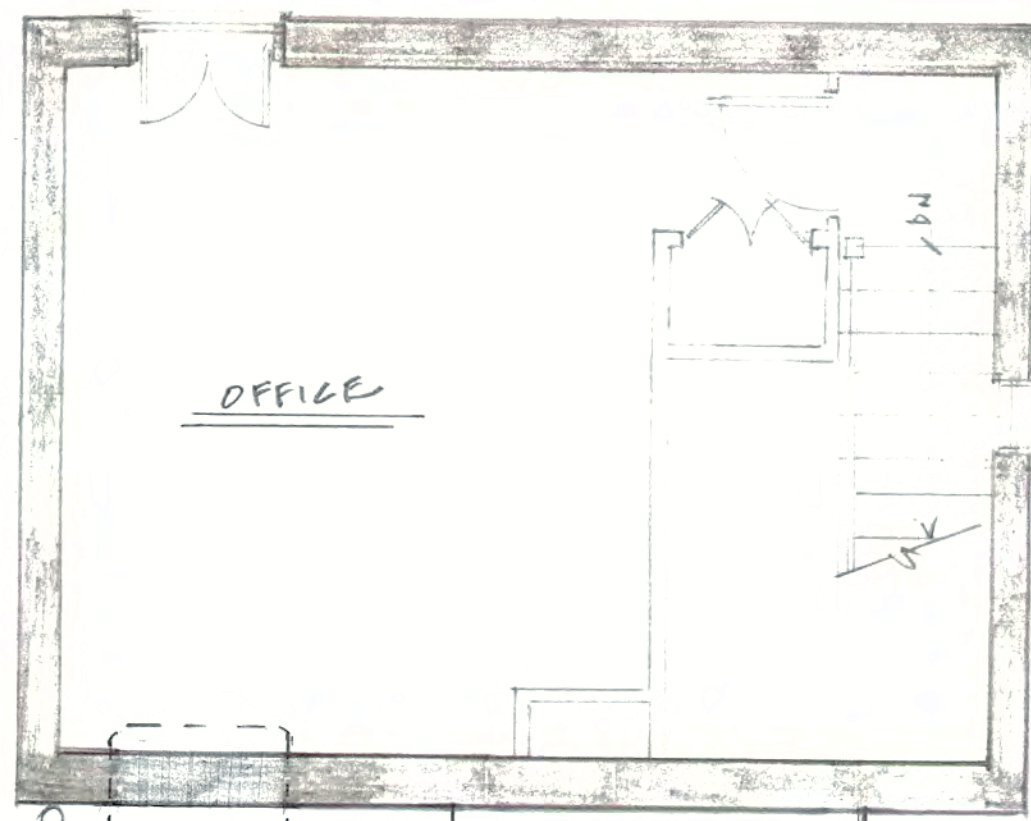
JELD WEN
Simulated Divided Lites

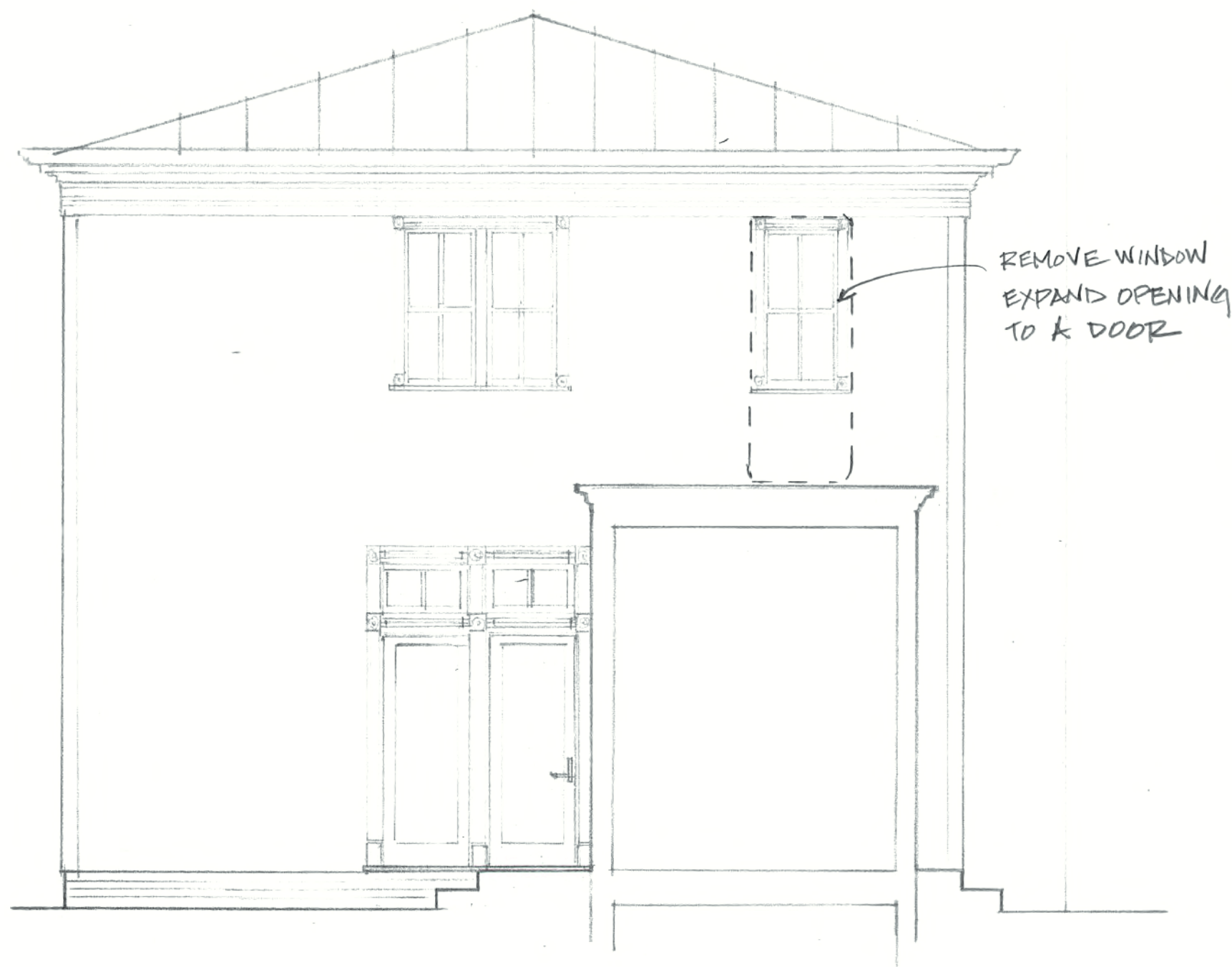
(SDL) grilles that are permanently attached to both the interior and exterior glass (aluminum for clad exteriors, wood for wood exteriors), metal bars placed between the panes of insulating glass to provide design detail.

Grilles 7/8" width in putty profile: These grilles are available in wood for wood exteriors or the color that matches the exterior clad color of the window you choose or a custom color.

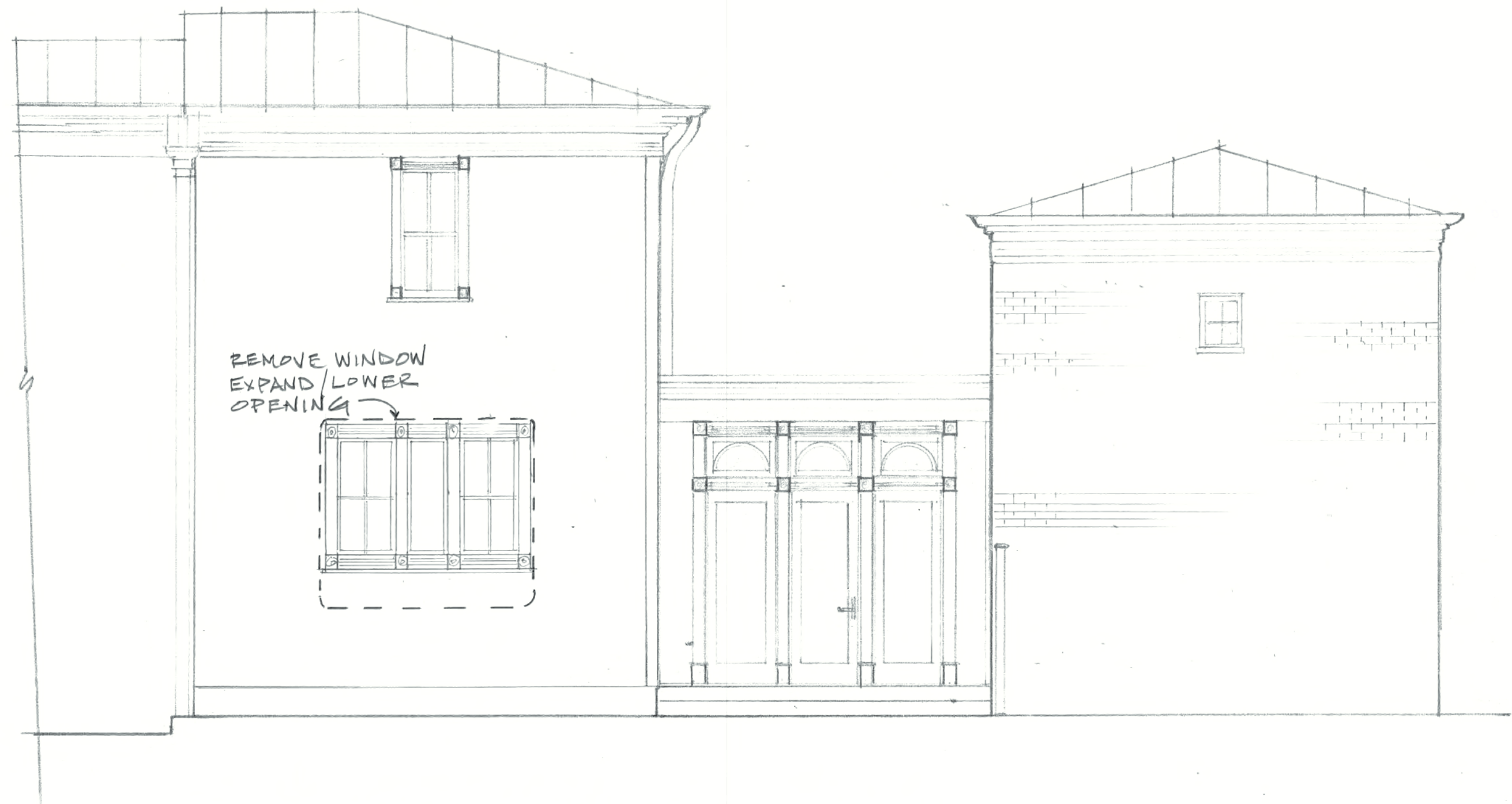


DATE 18 JUN 21	SHEET
SCALE NO SCALE	CS1

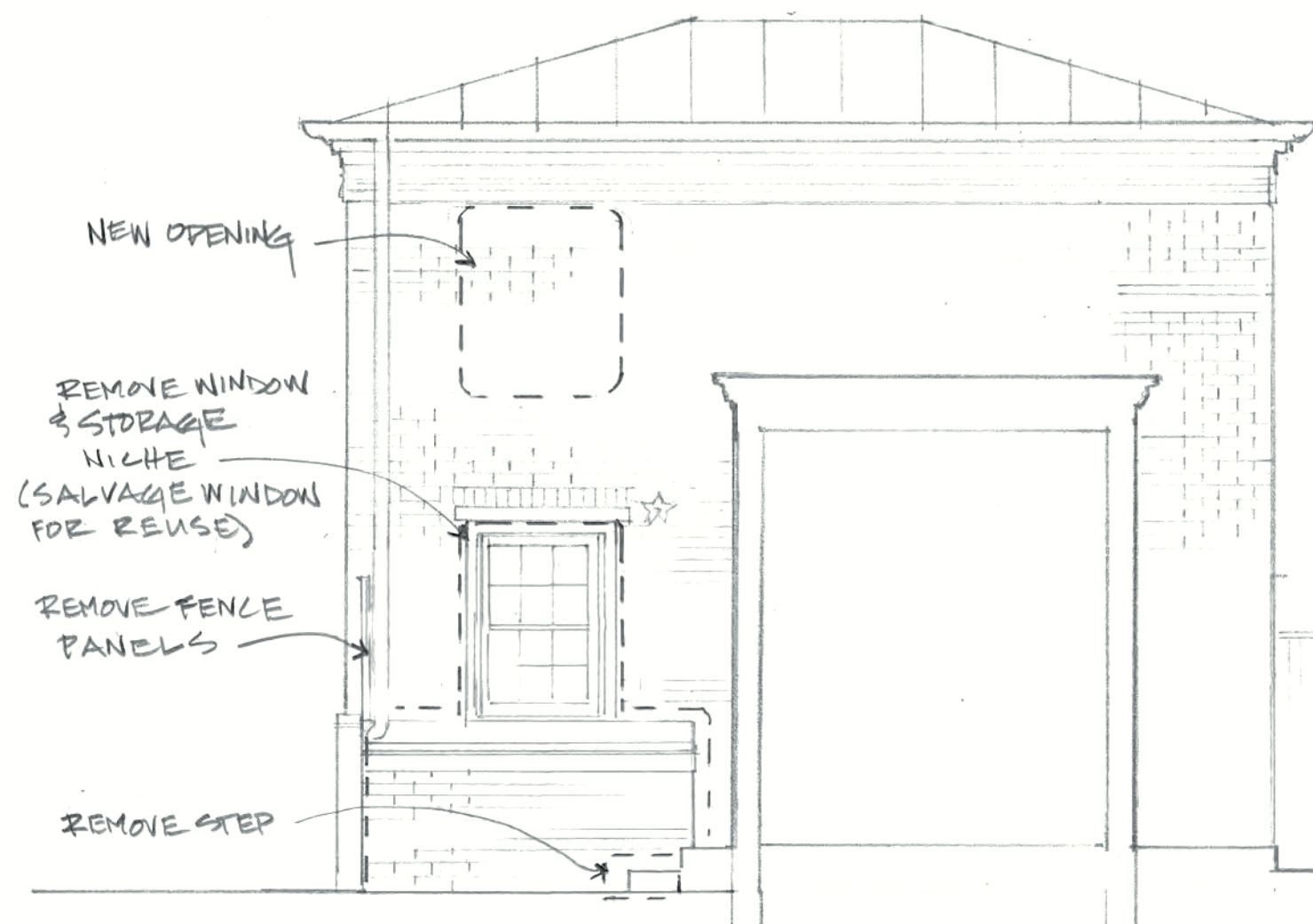




3 SOUTH ELEVATION - EXIST & DEMO



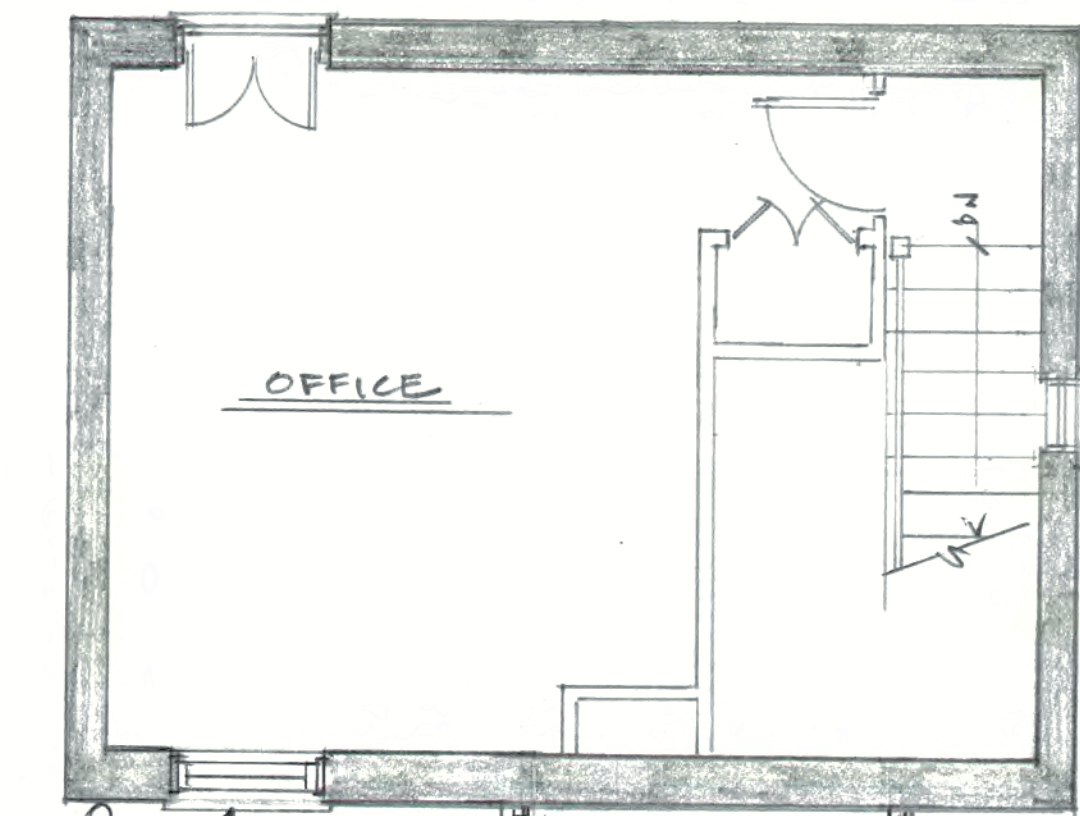
4 SIDE ELEVATION (PARTIAL) - EXIST & DEMO



1 NORTH ELEVATION - EXIST & DEMO



2 SIDE ELEVATION (PARTIAL) - EXIST



REUSE SALVAGED WIN.
@ NEW OPENING

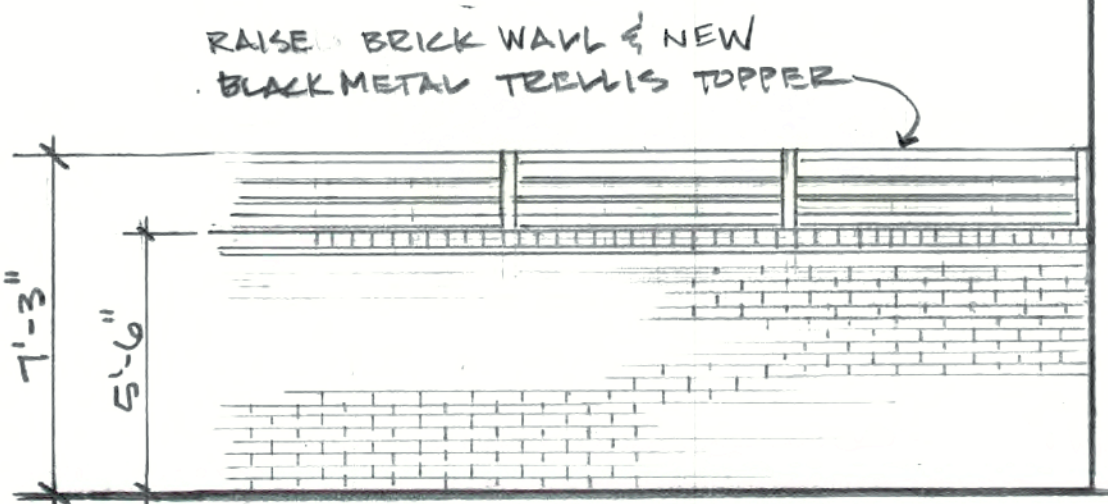
NEW
ROOF DECK

NEW BLACK
METAL RAILING

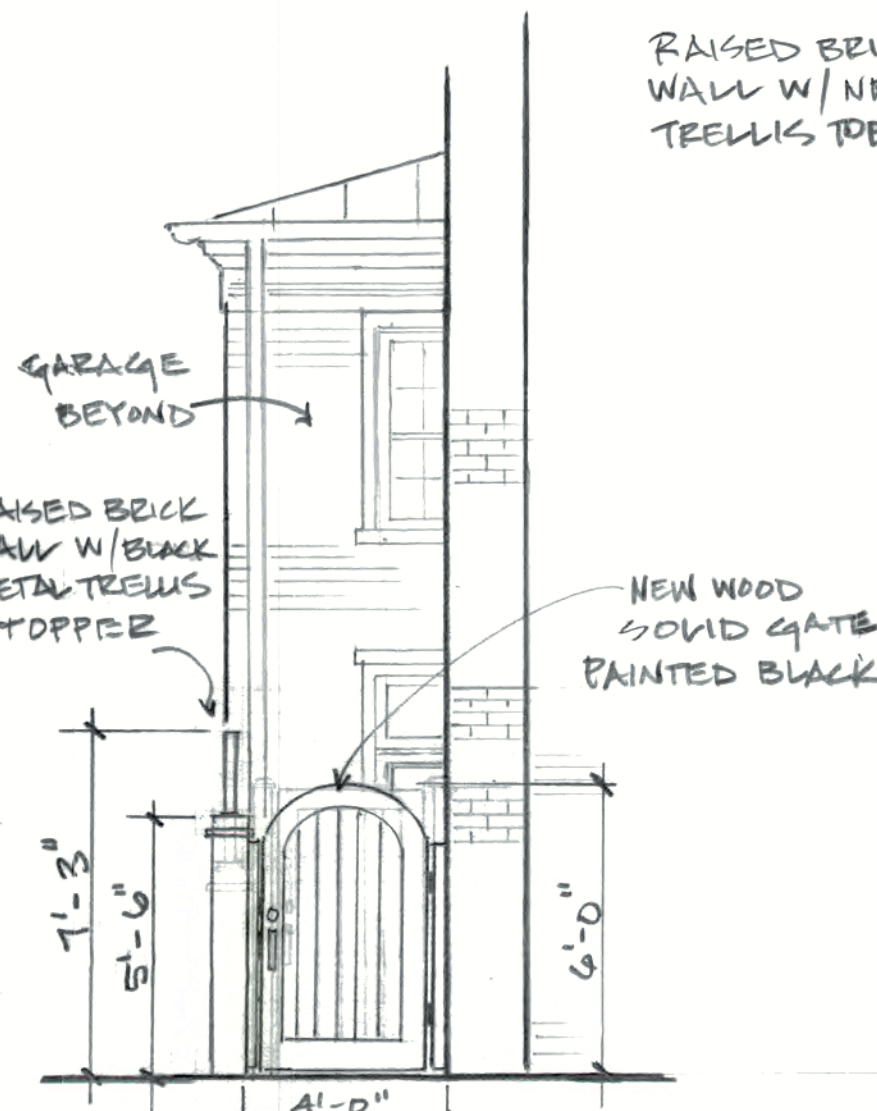
NEW DOOR
@ EXPANDED
OPENING

MASTER SUITE

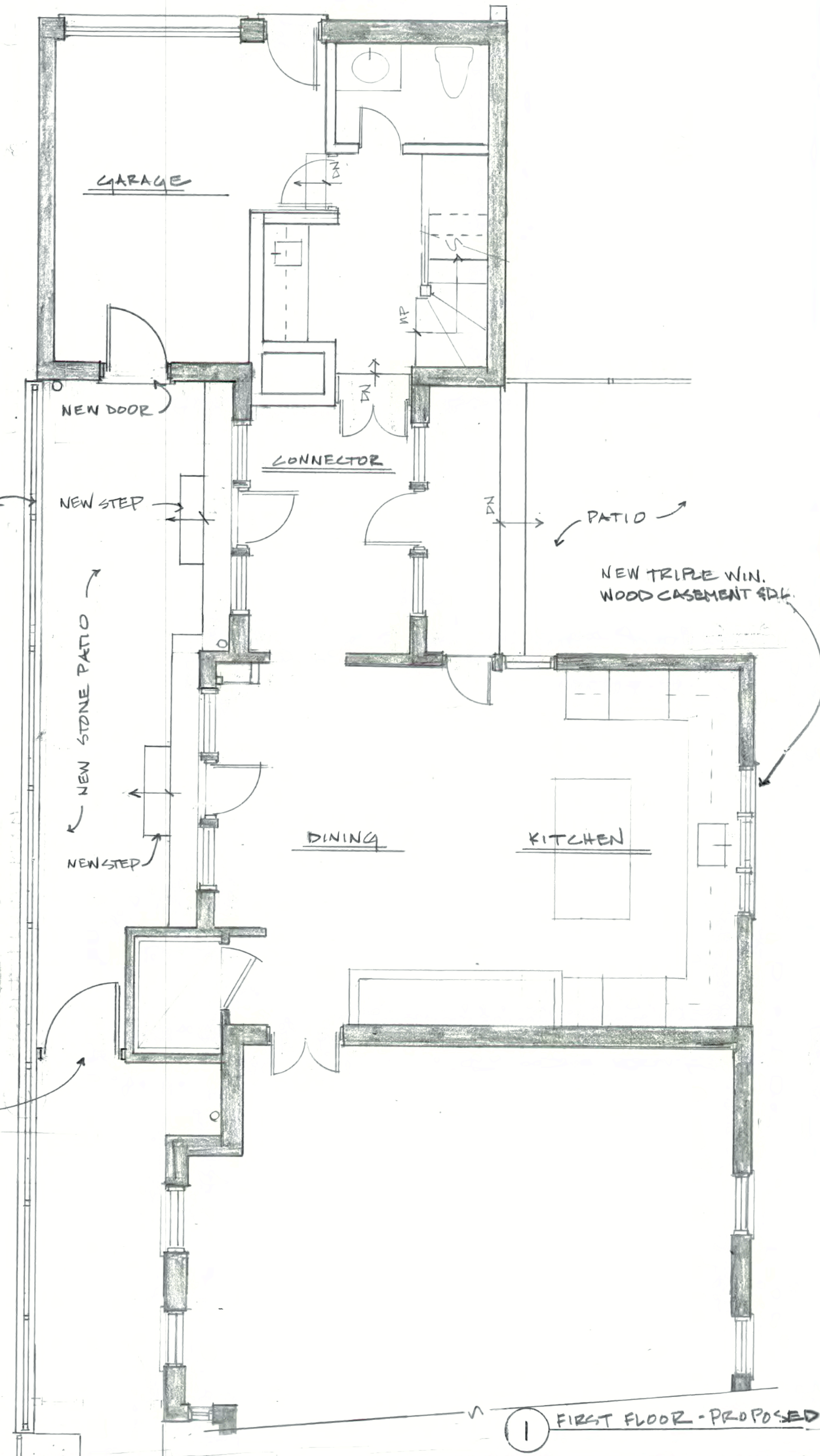
2 SECOND FLOOR - PROPOSED



4 WEST GARDEN ELEV - PROPOSED



3 NORTH GARDEN ELEV - PROPOSED



GARAGE

NEW DOOR

NEW STEP

NEW STONE PATIO

NEW STEP

NEW GATE

CONNECTOR

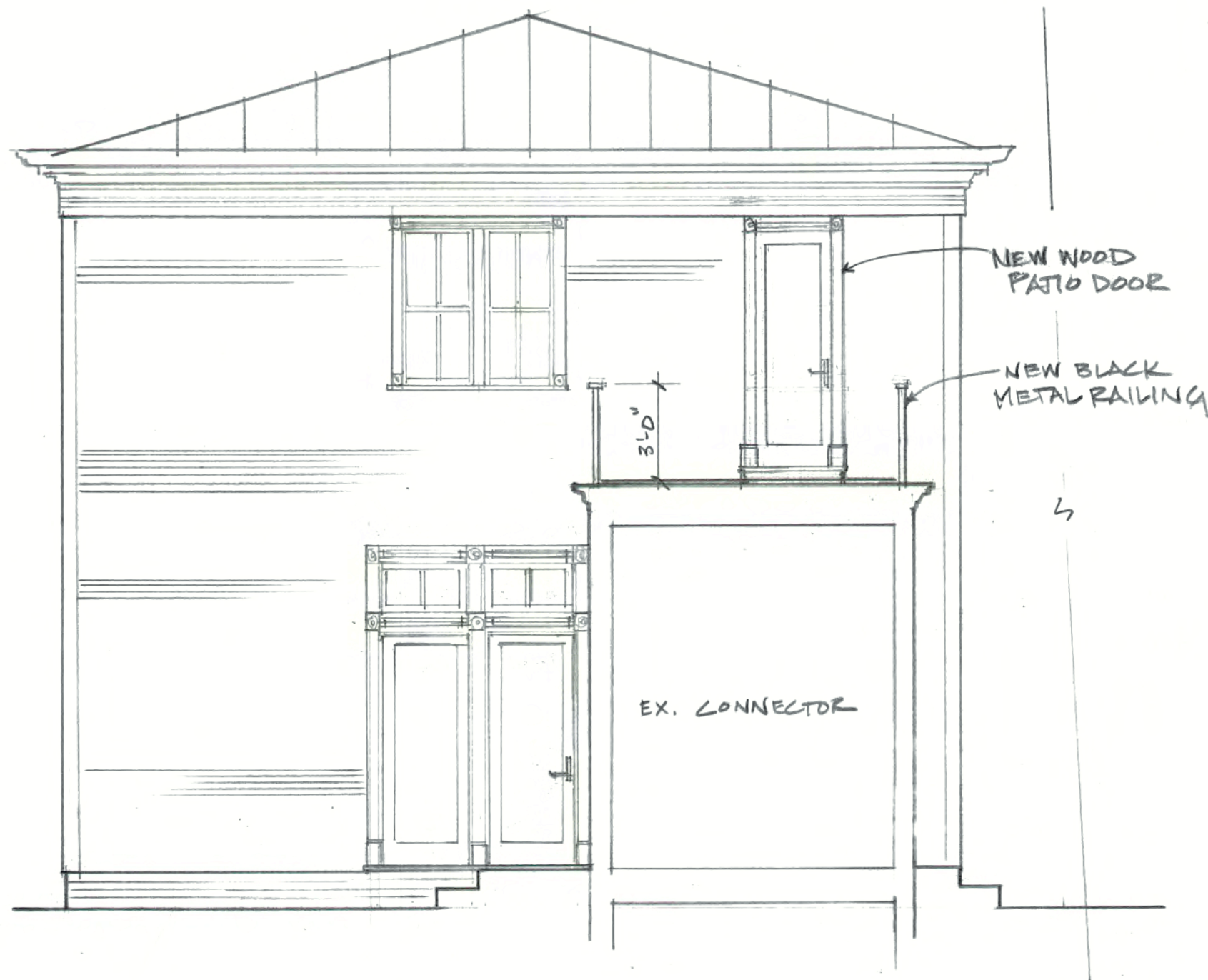
PATIO

NEW TRIPLE WIN.
WOOD CASEMENT SGL.

DINING

KITCHEN

1 FIRST FLOOR - PROPOSED



3 SOUTH ELEVATION - PROPOSED



4 SIDE ELEVATION (PARTIAL) - PROPOSED



1 NORTH ELEVATION - PROPOSED



2 SIDE ELEVATION (PARTIAL) - PROPOSED

New Light @ New Garage Door



Bevolo “Williamsburg” Original Bracket
14” h x 10 1/4” w

New Window @ Kitchen



**JELD WEN
Simulated Divided Lites**

(SDL) grilles that are permanently attached to both the interior and exterior glass (aluminum for clad exteriors, wood for wood exteriors), metal bars placed between the panes of insulating glass to provide design detail.

Grilles 7/8" width in putty profile: These grilles are available in wood for wood exteriors or the color that matches the exterior clad color of the window you choose or a custom color.

Wood Window Specs