

**ISSUE:** Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations and addition.

**APPLICANT:** Camille Chapman and Dwight Dunton

**LOCATION:** Old and Historic Alexandria District  
414 Franklin Street

**ZONE:** RM/Residential Townhouse Zone

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**STAFF RECOMMENDATION**

Staff recommends approval of the Permit to Demolish/Capsulate and the Certificate of Appropriateness for alterations and addition with the condition that:

1. The applicant submit updated window specifications with the building permit to confirm that the proposed windows meet the Alexandria New and Replacement Window Performance Specifications in the Historic District.
2. \*Alexandria Archaeology recommends that the applicant/property owner call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work should cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
3. \*The applicant/property owner shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.

*\*The statements in archaeology conditions above marked with an asterisk "\*" shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheet piling and Shoring) so that on-site contractors are aware of the recommendations.*

**GENERAL NOTES TO THE APPLICANT**

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.





**Note:** Staff coupled the applications for a Permit to Demolish (BAR #2021-00342) and Certificate of Appropriateness (BAR #2021-00352) for clarity and brevity. The Permit to Demolish requires a roll call vote.

## **I. APPLICANT'S PROPOSAL**

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for an addition and alterations, at 414 Franklin Street.

### Permit to Demolish/Capsulate

The applicant requests a Permit to Demolish/Capsulate to demolish portions of the existing roofs, raise the existing garage roof, demolish approximately 70 sq ft of masonry wall, and capsulate approximately 250 sq ft on the second story rear/north elevation to accommodate an addition.

### Certificate of Appropriateness

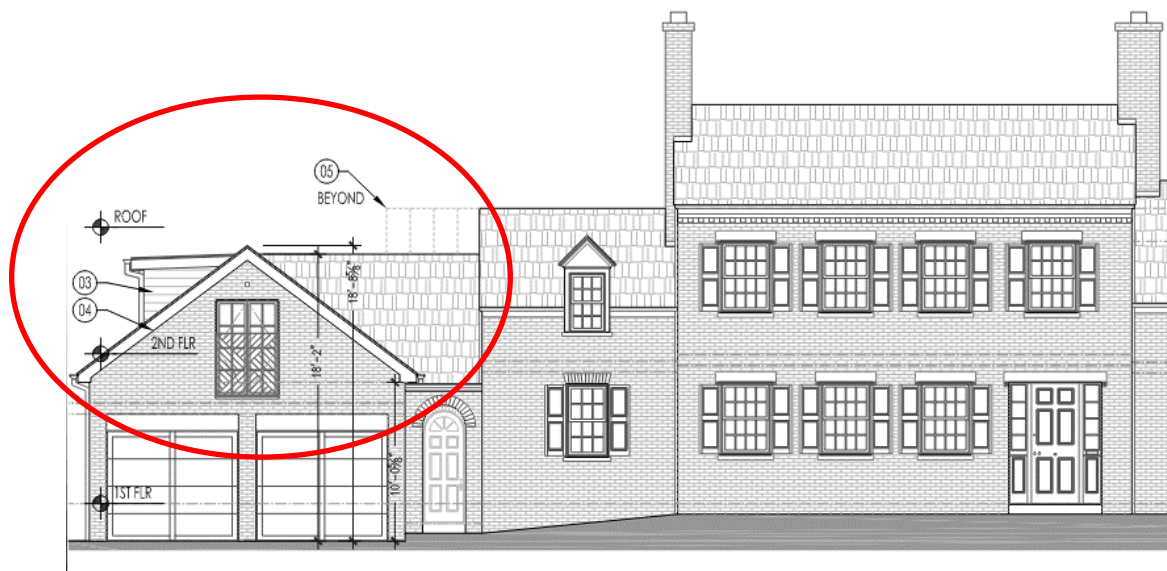
#### *Addition*

The project calls for the construction of an approximately 12' - 6" x 10' - 8" home office addition on the second story rear/south elevation, and the extension of the hallway masonry wall to accommodate a spiral stair in the building's interior. The south elevation is not visible from a public way.

#### *Alterations*

Front/north elevation – visible from a public way

The project calls to raise the existing garage slate roof to be reused to the extent possible. The masonry gable will remain and be patched as required; the rear addition back wall and the side of the proposed shed dormer on the east elevation/garage roof will be partially visible as shown on Figure 1 below.



**Figure 1- Proposed front/north elevation**

Side/east elevation – visible from a public way (Figure 3)

The project calls for the installation of three shed dormers with multilight casement, aluminum-clad windows, each on the raised garage roof. The proposed dormers will be clad with smooth finish fiber cement siding and will have standing seam copper roof (Figure 2)



Figure 2 - Proposed east/side elevation



Figure 3 - East elevation garage roof visibility

No changes are proposed on the west/side elevation and the south elevation is not visible from a public way; therefore, the rear addition design is not under BAR purview.

Site context

The property at 414 Franklin Street is a single-family home located in the middle of the south side of the 400 block of Franklin Street. The two adjacent properties to the west and to the east face South Royal and South Pitt streets respectively; therefore, the subject property is the only property facing Franklin Street on the south side of the 400 block. There are no alleys running adjacent to the property.

## **II. HISTORY**

The single-family, detached brick home was the residence of the William Yeates family, after whom Yates Gardens was named. Yeates/Yates purchased a parcel of land on the southeast corner of Franklin and South Pitt and constructed a house here by **1826**, when his house was assessed at \$4,000.<sup>1</sup> Per Ethelyn Cox, the house originally served as “Spring Gardens,” a tavern where George Washington celebrated the Fourth of July in 1798. However, it is unlikely that the building predates Yates. The house appears on the 1877 G.M. Hopkins “Atlas of Alexandria, VA.” but Sanborn maps do not include this block until 1921. The building was modified and enlarged several times throughout the years, including the addition of an attached garage dating from 1936.

*Previous BAR Approvals*

BAR99-00137 & BAR99-00147 – approved for an addition.

BAR2000-00272 – approved for railings and alterations.

BAR2016-00043 – shutters replacement.

BAR2016-00158 – walkway and stoop repair.

## **III. ANALYSIS**

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

<b>Standard</b>	<b>Description of Standard</b>	<b>Standard Met?</b>
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No

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<sup>1</sup> Pamela J. Cressey, “The Case of 414 Franklin Street: A Case Study of Discovery and Dialogue,” *The Fireside Sentinel*, December 1989, pg. 136.

(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. Most of the fabric to be demolished and capsulated are on later additions or at the rear/south elevation which is not visible from a public way. The materials to be demolished are not of unusual or uncommon design and could be reproduced easily.

In addition, the Board routinely approves small changes on the rear and side elevations of historic buildings to accommodate a more modern and functional interior layout as tastes and technology evolve.

#### Certificate of Appropriateness

The rear/south elevation addition's design is not under the BAR purview since it will not be visible from a public way.

The *Design Guidelines* state that "Dormers provide light and ventilation to the top floor of a building and can increase the usable floor area. At the same time, dormers are particularly visible elements of a roof and can have adverse impacts on a building if not properly designed and sited. As a general rule, dormers should not be too large for the structure." Furthermore, "The style of the dormer should be appropriate to the architectural style of the existing structure." And "Shed dormers are strongly discouraged."

Although shed dormers are strongly discouraged, the proposed dormers will mostly be visible on the secondary west elevation, on the garage addition's roof which has not acquired historic significance on its own merit and does not have a distinguished architectural design.

The side of the proposed northernmost dormer will be visible from the Franklin Street main elevation; however, staff does not believe that the projection of the dormer's side on the garage roof will impact the overall property visual integrity.

Therefore, with the condition that the applicant submit updated window specifications with the building permit to confirm that the proposed windows meet the Alexandria New and Replacement Window Performance Specifications in the Historic District, staff recommends approval of the project.

**STAFF**

Marina Novaes, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

**IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

**Zoning**

F-1 The proposed addition and alterations comply with zoning.

**Code Administration**

C-1 A building permit and plan review are required prior to the start of construction.

**Transportation and Environmental Services**

No comments received.

**Alexandria Archaeology**

F-1 This property was once the site a commercial garden and nursey, one of the first such businesses in Alexandria. Established around 1800 by Peter Billy, the business passed to William Yeates in 1813 who operated it for many years, long enough for the site to be dubbed Yeates Gardens. The property may contain significant archaeological information pertaining to early nineteenth century Alexandria.

R-1.\* Alexandria Archaeology recommends that the applicant/property owner call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work should cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

R-2.\* The applicant/property owner shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.

*\*The statements in archaeology conditions above marked with an asterisk "\*" shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition,*



*Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the recommendations.*

**V. ATTACHMENTS**

- 1 – Application Materials*
- 2 – Supplemental Materials*

ADDRESS OF PROJECT: 414 FRANKLIN STREET, ALEXANDRIA, VA 22314

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 080.02-08-19 ZONING: RM

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: CAMILLE CHAPMAN AND DWIGHT DUNTON

Address: 414 FRANKLIN STREET

City: ALEXANDRIA State: VA Zip: 22314

Phone: E-mail: dwight@bonaventure.com

Authorized Agent *(if applicable)*: ☐ Attorney ☒ Architect ☐ \_\_\_\_\_

Name: KAREN CONKEY Phone: 703-589-4550

E-mail: kconkey@conkeyarchitects.com

### Legal Property Owner:

Name: DWIGHT DUNTON

Address: 414 FRANKLIN STREET

City: ALEXANDRIA State: VA Zip: 22314

Phone: E-mail: dwight@bonaventure.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?  
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?  
☐ Yes ☐ No Is there a homeowner's association for this property?  
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☐ NEW CONSTRUCTION  
☒ EXTERIOR ALTERATION: *Please check all that apply.*  

☐ awning  
☐ doors  
☐ lighting  
☐ other \_\_\_\_\_

☐ fence, gate or garden wall  
☐ windows  
☐ pergola/trellis  
ADDITION OF DORMERS TO EXISTING GARAGE

☐ HVAC equipment  
☐ siding  
☐ painting unpainted masonry

☐ shutters  
☐ shed

☐ ADDITION  
☒ DEMOLITION/ENCAPSULATION  
☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

The applicant proposes the following exterior modifications to 414 Franklin St. Remove and replace the existing roof structure due to structural issues above the attached garage. The proposed new roof framing will be approximately 6 1/2" higher than the current roof to allow for more interior ceiling height, modern framing sizes and better insulation. The existing masonry gable ends will remain and will be patched as required for the new roof structure, and the existing slate roofing will be reused to extent possible.

The applicant also proposes to add 3 shed dormers on the east side of the existing garage roof, and 1 larger shed dormer on the west side of the garage facing an interior court. A masonry and frame addition is proposed for the rear façade.

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒  
☒  
☒  
☒  
☒

☐ Survey plat showing the extent of the proposed demolition/encapsulation.  
☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.  
☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.  
☐ Description of the reason for demolition/encapsulation.  
☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- ☐ ☒ Square feet of existing signs to remain: \_\_\_\_\_.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.



**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**Signature:  \_\_\_\_\_Printed Name: KAREN CONKEYDate: 6/21/2021

# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.DWIGHT DUNTON	414 FRANKLIN STREET	100%
2. CAMILLE CHAPMAN		
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 414 FRANKLIN STREET (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.DWIGHT DUNTON	414 FRANKLIN STREET	100%
2.		
3.		

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. DWIGHT DUNTON	N/A	N/A
2. CAMILLE CHAPMAN	N/A	N/A
3. KAREN CONKEY		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

6/21/21

Date

KAREN CONKEY

Printed Name



Signature





# Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

**B**

## A. Property Information

A1. 414 FRANKLIN STREET, ALEXANDRIA, VA 22314 RM  
Street Address Zone  
A2. 19,920.00 x 1.50 = 29,880.00  
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

## B. Existing Gross Floor Area

### Existing Gross Area

Basement 464.00  
First Floor 3,103.00  
Second Floor 2,457.00  
Third Floor 0.00  
Attic  
Porches  
Balcony/Deck  
Lavatory\*\*\*  
Other\*\* SHED 65.00

### Allowable Exclusions\*\*

Basement\*\* 464.00  
Stairways\*\* 173.00  
Mechanical\*\* 93.00  
Attic less than 7\*\*\*  
Porches\*\*  
Balcony/Deck\*\*  
Lavatory\*\*\* 222.00  
Other\*\* SHED 65.00  
Other\*\*

B1. 6,089.00 Sq. Ft.  
Existing Gross Floor Area\*  
B2. 1,017.00 Sq. Ft.  
Allowable Floor Exclusions\*\*  
B3. 5,072.00 Sq. Ft.  
Existing Floor Area Minus Exclusions  
(subtract B2 from B1)

### Comments for Existing Gross Floor Area

B1. **Total Gross** 6,089.00 B2. **Total Exclusions** 1,017.00

## C. Proposed Gross Floor Area

### Proposed Gross Area

Basement 0.00  
First Floor 0.00  
Second Floor 236.00  
Third Floor 0.00  
Attic 0.00  
Porches  
Balcony/Deck 0.00  
Lavatory\*\*\*  
Other 0.00

### Allowable Exclusions\*\*

Basement\*\* 0.00  
Stairways\*\* 69.00  
Mechanical\*\*  
Attic less than 7\*\*\*  
Porches\*\*  
Balcony/Deck\*\* 0.00  
Lavatory\*\*\* 50.00  
Other\*\*  
Other\*\* 0.00

C1. 236.00 Sq. Ft.  
Proposed Gross Floor Area\*  
C2. 119.00 Sq. Ft.  
Allowable Floor Exclusions\*\*  
C3. 117.00 Sq. Ft.  
Proposed Floor Area Minus Exclusions  
(subtract C2 from C1)

C1. **Total Gross** 236.00 C2. **Total Exclusions** 119.00

## D. Total Floor Area

D1. 5,189.00 Sq. Ft.  
Total Floor Area (add B3 and C3)  
D2. 29,880.00 Sq. Ft.  
Total Floor Area Allowed  
by Zone (A2)

## E. Open Space (RA & RB Zones)

E1. 16,364.00 Sq. Ft.  
Existing Open Space  
E2. 6,972.00 Sq. Ft.  
Required Open Space  
E3. 16,364.00 Sq. Ft.  
Proposed Open Space

## Notes

\*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

\*\*\*Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

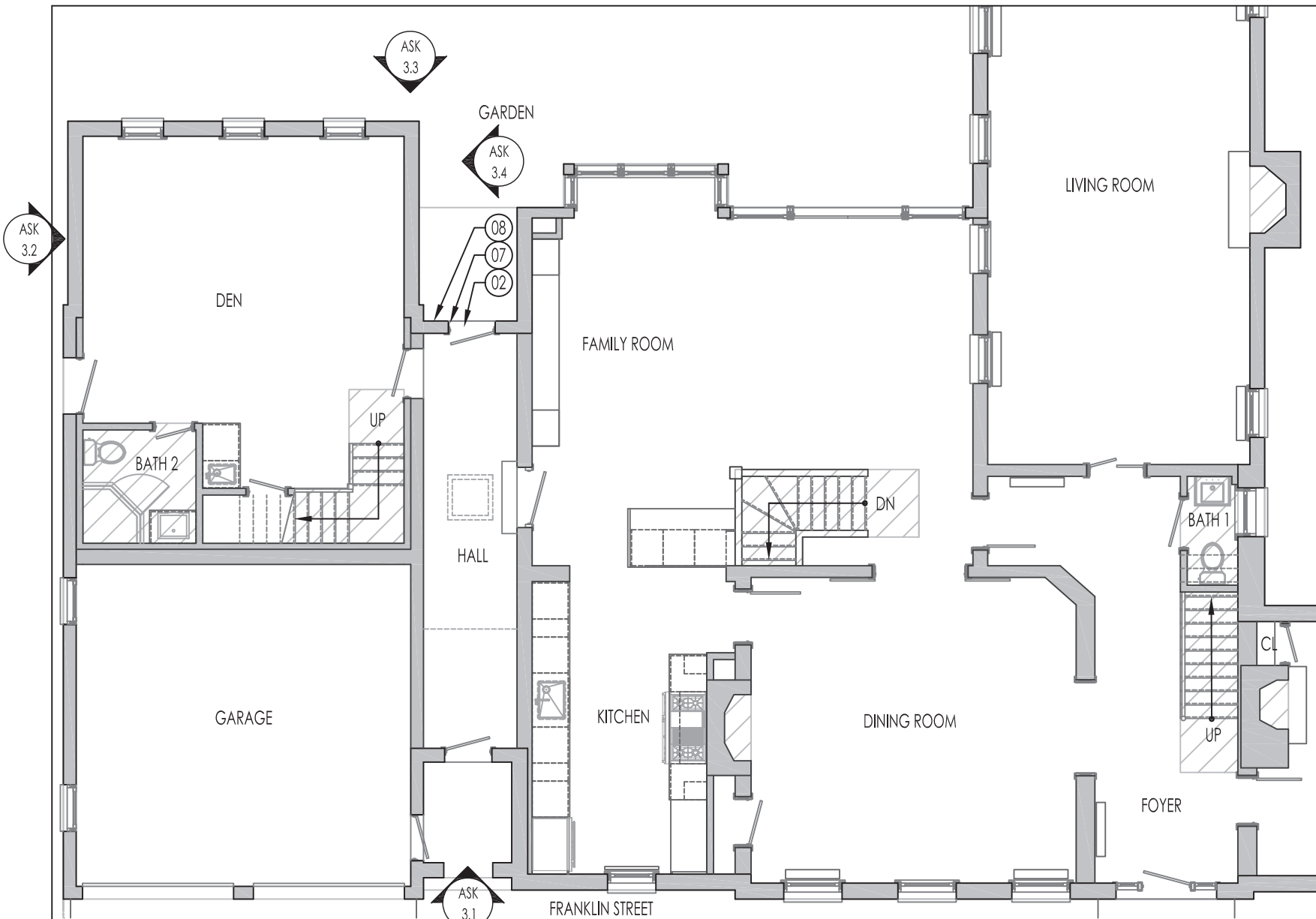
The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: \_\_\_\_\_

*[Handwritten Signature]*

Date: 6/21/2021





- KEYNOTES**
- 01 ALUM CLAD WINDOW
  - 02 ALUM CLAD WINDOW TO REPLACE DOOR - BRICK INFILL TO MATCH SHED DORMER W/ FIBER CEMENT SIDING & TRIM W/ STANDING SEAM COPPER ROOF / GUTTER & DOWNSPOUT
  - 03 SHED DORMER W/ FIBER CEMENT SIDING & TRIM W/ STANDING SEAM COPPER ROOF / GUTTER & DOWNSPOUT
  - 04 ROOF STRUCTURE TO BE RAISED APPROX.  $6\frac{5}{8}"$  W/ SLATE ROOF - REUSE EXISTING SLATE MATERIAL TO EXTENT POSSIBLE & MATCH ANY NEW MATERIAL AS REQ'D
  - 05 STANDING SEAM COPPER ROOF / GUTTER & DOWNSPOUT
  - 06 FIBER CEMENT SIDING & TRIM
  - 07 EXISTING BRICK ARCH TO BE RETAINED
  - 08 BRICK WALL TO BE EXTENDED TO ENCLOSE NEW STAIR - BRICK & MORTAR TO MATCH
  - 09 EXISTING LOW SLOPE ROOF TO BE EXTENDED

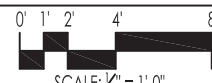
- EXISTING AREA DEDUCTED
- NEW AREA DEDUCTED
- NEW ADDITIONAL AREA TO BE DEDUCTED

# 414 Franklin St, Alexandria, VA 22314

EXISTING 1ST FLOOR PLAN

CLIENT:  
**Camille Chapman & Dwight Dunton**  
 414 Franklin Street  
 Alexandria, VA 22314

THESE DRAWINGS AND SPECIFICATIONS, AND THE IDEAS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, CONKEY ARCHITECTS. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT, OR BY ANY OTHER PERSON FOR ANY PURPOSE OTHER THAN FOR THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



SCALE:  $\frac{1}{8}" = 1'-0"$

21 JUNE 2021

ARCHITECT:

325 north patrick street  
 alexandria, va 22314  
 703 . 589 . 4550  
 info@conkeyarchitects.com

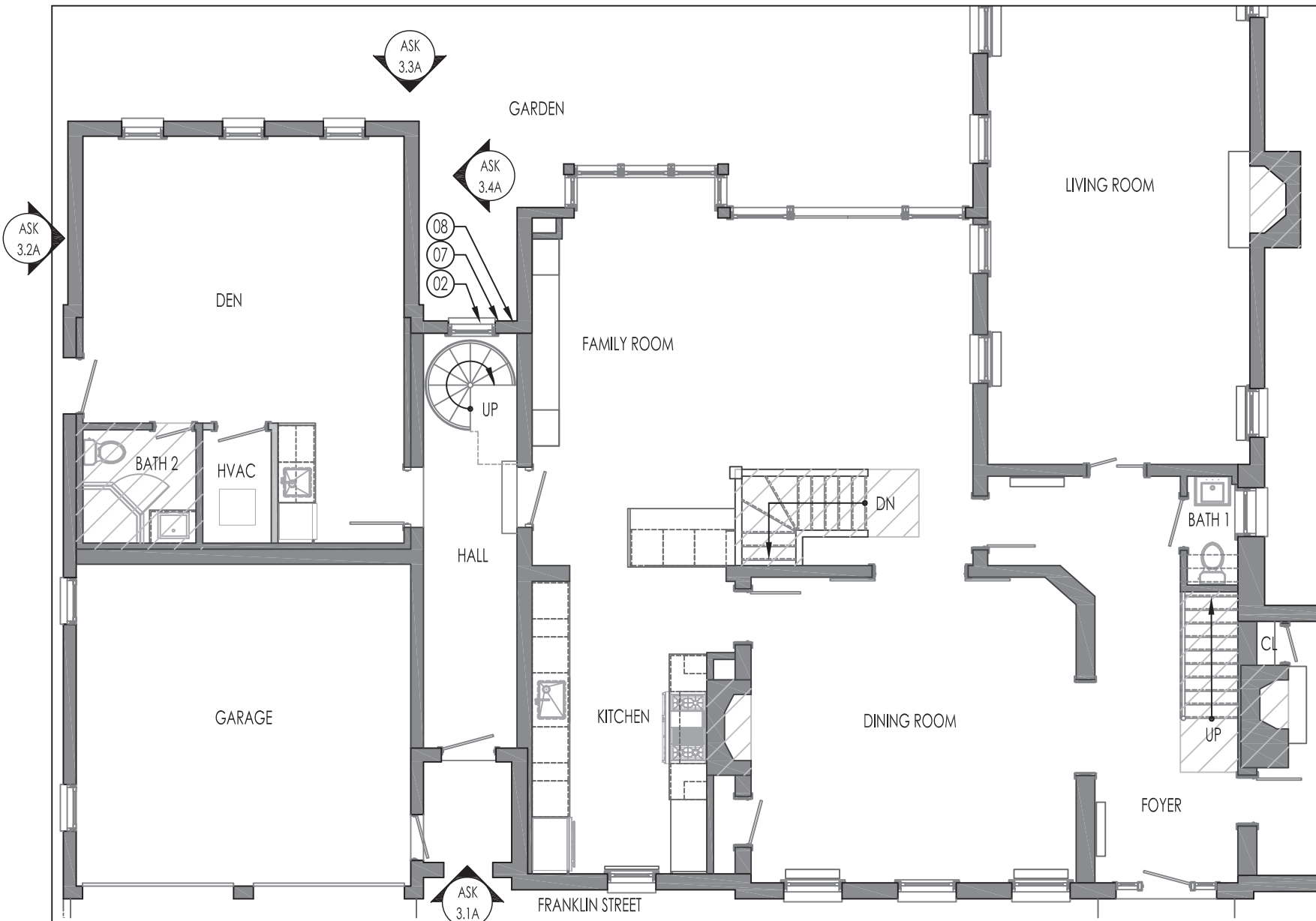
**Conkey | architects**

BAR SUBMISSION




**ASK**  
**2.1**

NOT FOR CONSTRUCTION





- KEYNOTES
- 01 ALUM CLAD WINDOW
  - 02 ALUM CLAD WINDOW TO REPLACE DOOR - BRICK INFILL TO MATCH SHED DORMER W/ FIBER CEMENT SIDING & TRIM W/ STANDING SEAM COPPER ROOF / GUTTER & DOWNSPOUT
  - 03 SHED DORMER W/ FIBER CEMENT SIDING & TRIM W/ STANDING SEAM COPPER ROOF / GUTTER & DOWNSPOUT
  - 04 ROOF STRUCTURE TO BE RAISED APPROX.  $6\frac{5}{8}"$  W/ SLATE ROOF - REUSE EXISTING SLATE MATERIAL TO EXTENT POSSIBLE & MATCH ANY NEW MATERIAL AS REQ'D
  - 05 STANDING SEAM COPPER ROOF / GUTTER & DOWNSPOUT
  - 06 FIBER CEMENT SIDING & TRIM
  - 07 EXISTING BRICK ARCH TO BE RETAINED
  - 08 BRICK WALL TO BE EXTENDED TO ENCLOSE NEW STAIR - BRICK & MORTAR TO MATCH
  - 09 EXISTING LOW SLOPE ROOF TO BE EXTENDED

-  EXISTING AREA DEDUCTED
-  NEW AREA DEDUCTED
-  NEW ADDITIONAL AREA TO BE DEDUCTED

414 Franklin St, Alexandria, VA 22314

PROPOSED 1ST FLOOR PLAN

CLIENT:  
Camille Chapman & Dwight Dunton  
414 Franklin Street  
Alexandria, VA 22314

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0' 1' 2' 4' 8'  
SCALE:  $\frac{1}{8}" = 1'-0"$

21 JUNE 2021

ARCHITECT:

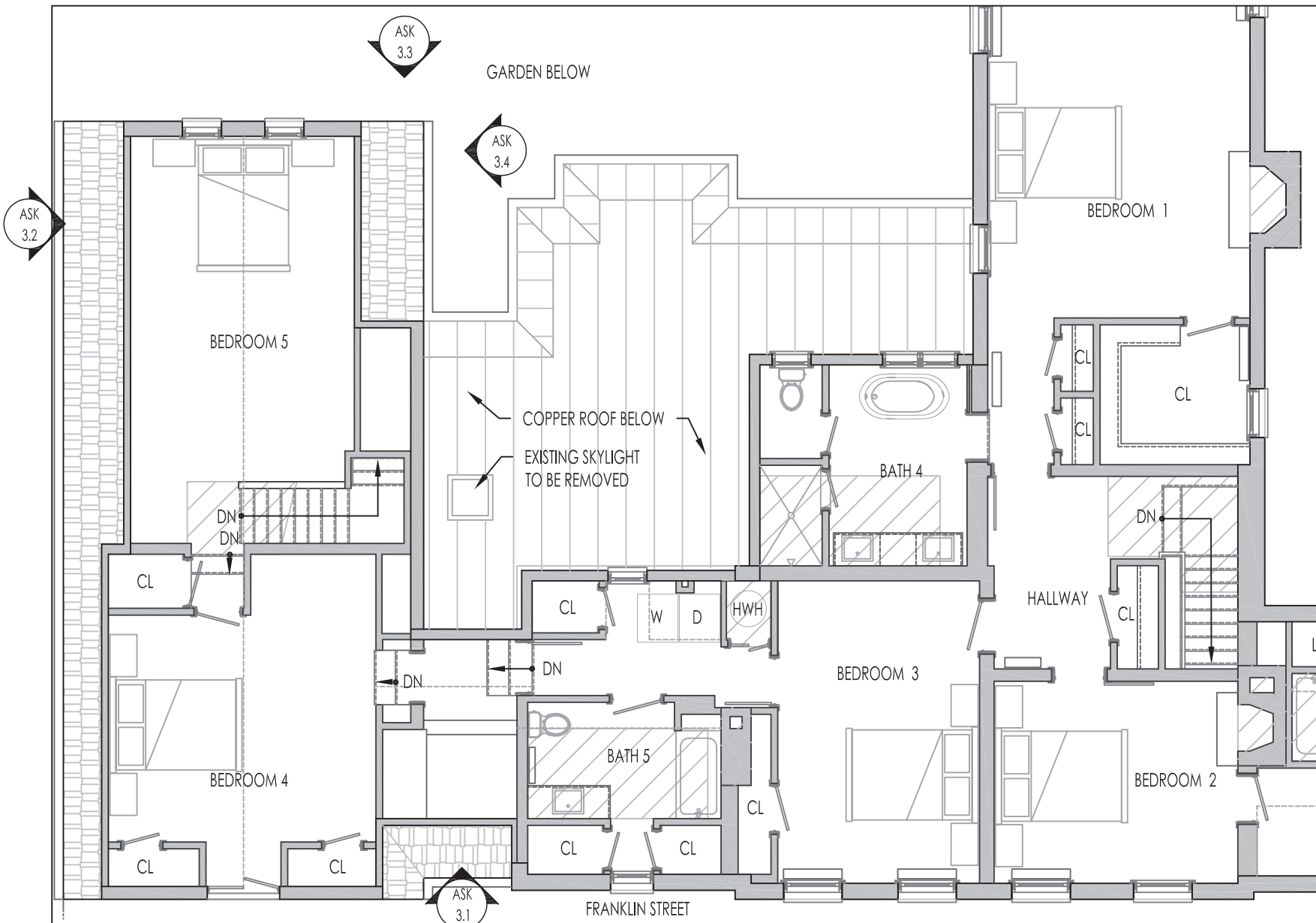
325 north patrick street  
alexandria, va 22314  
703 . 589 . 4550  
info@conkeyarchitects.com

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BAR SUBMISSION

**ASK  
2.1A**

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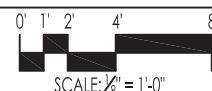
KEYNOTES	
01	ALUM CLAD WINDOW
02	ALUM CLAD WINDOW TO REPLACE DOOR - BRICK INFILL TO MATCH SHED DORMER W/ FIBER CEMENT SIDING & TRIM W/ STANDING SEAM COPPER ROOF / GUTTER & DOWNSPOUT
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09	EXISTING LOW SLOPE ROOF TO BE EXTENDED
	EXISTING AREA DEDUCTED
	NEW AREA DEDUCTED
	NEW ADDITIONAL AREA TO BE DEDUCTED

# 414 Franklin St, Alexandria, VA 22314

EXISTING 2ND FLOOR PLAN

CLIENT:  
**Camille Chapman & Dwight Dunton**  
 414 Franklin Street  
 Alexandria, VA 22314

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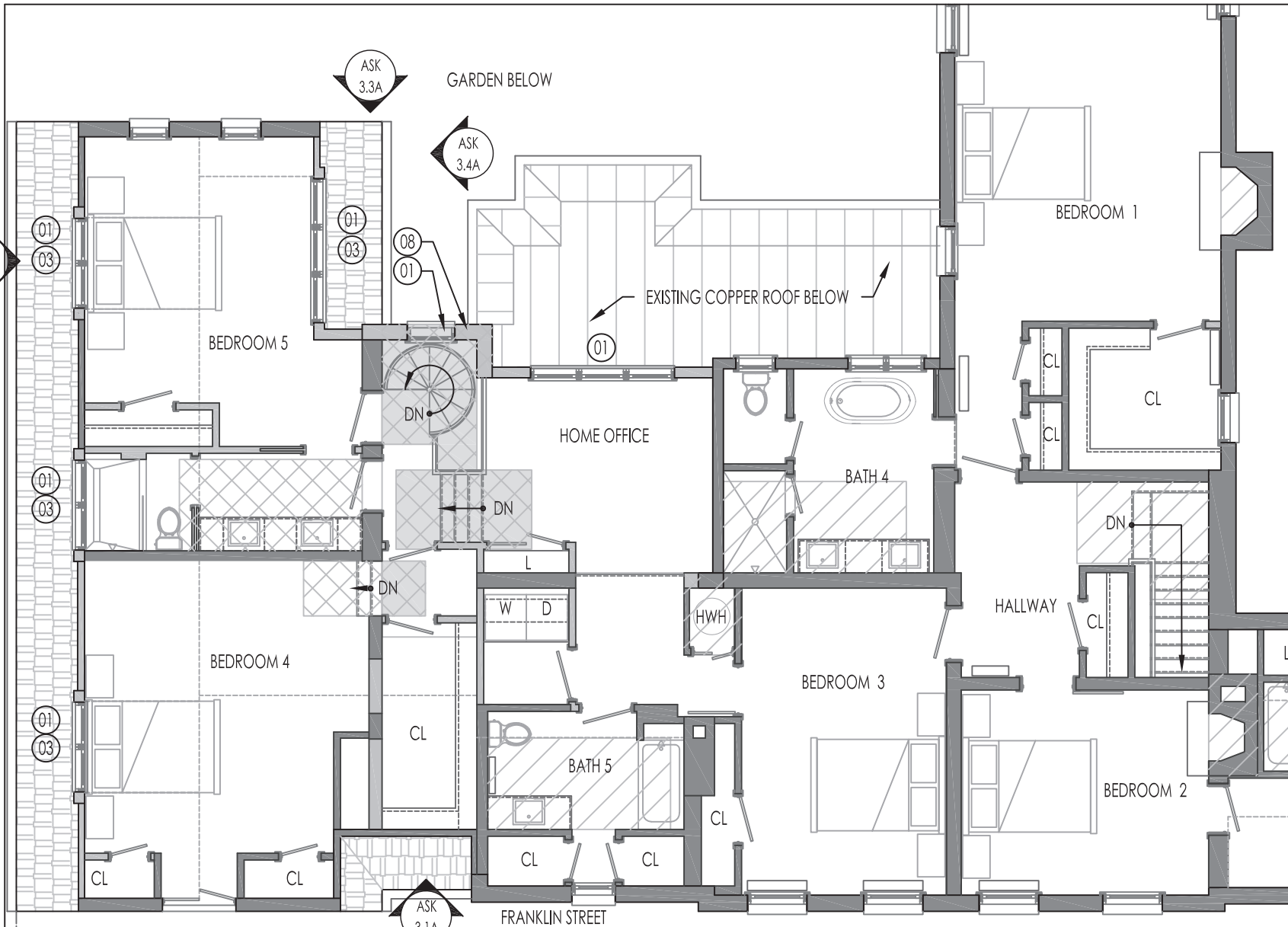
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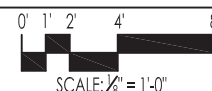
- KEYNOTES**
- 01 ALUM CLAD WINDOW
  - 02 ALUM CLAD WINDOW TO REPLACE DOOR - BRICK INFILL TO MATCH SHED DORMER W/ FIBER CEMENT SIDING & TRIM W/ STANDING SEAM COPPER ROOF / GUTTER & DOWNSPOUT
  - 03 SHED DORMER W/ FIBER CEMENT SIDING & TRIM W/ STANDING SEAM COPPER ROOF / GUTTER & DOWNSPOUT
  - 04 ROOF STRUCTURE TO BE RAISED APPROX. 6' 5" W/ SLATE ROOF - REUSE EXISTING SLATE MATERIAL TO EXTENT POSSIBLE & MATCH ANY NEW MATERIAL AS REQ'D
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- EXISTING AREA DEDUCTED
  - NEW AREA DEDUCTED
  - NEW ADDITIONAL AREA TO BE DEDUCTED

# 414 Franklin St, Alexandria, VA 22314

PROPOSED 2ND FLOOR PLAN

CLIENT:  
**Camille Chapman & Dwight Dunton**  
 414 Franklin Street  
 Alexandria, VA 22314

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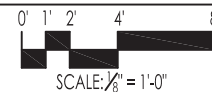
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## 414 Franklin St, Alexandria, VA 22314

EXISTING FRONT ELEVATION

CLIENT:  
Camille Chapman & Dwight Dunton  
414 Franklin Street  
Alexandria, VA 22314

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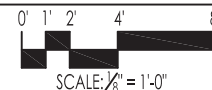
- KEYNOTES**
- 01 ALUM CLAD WINDOW
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## 414 Franklin St, Alexandria, VA 22314

PROPOSED FRONT ELEVATION

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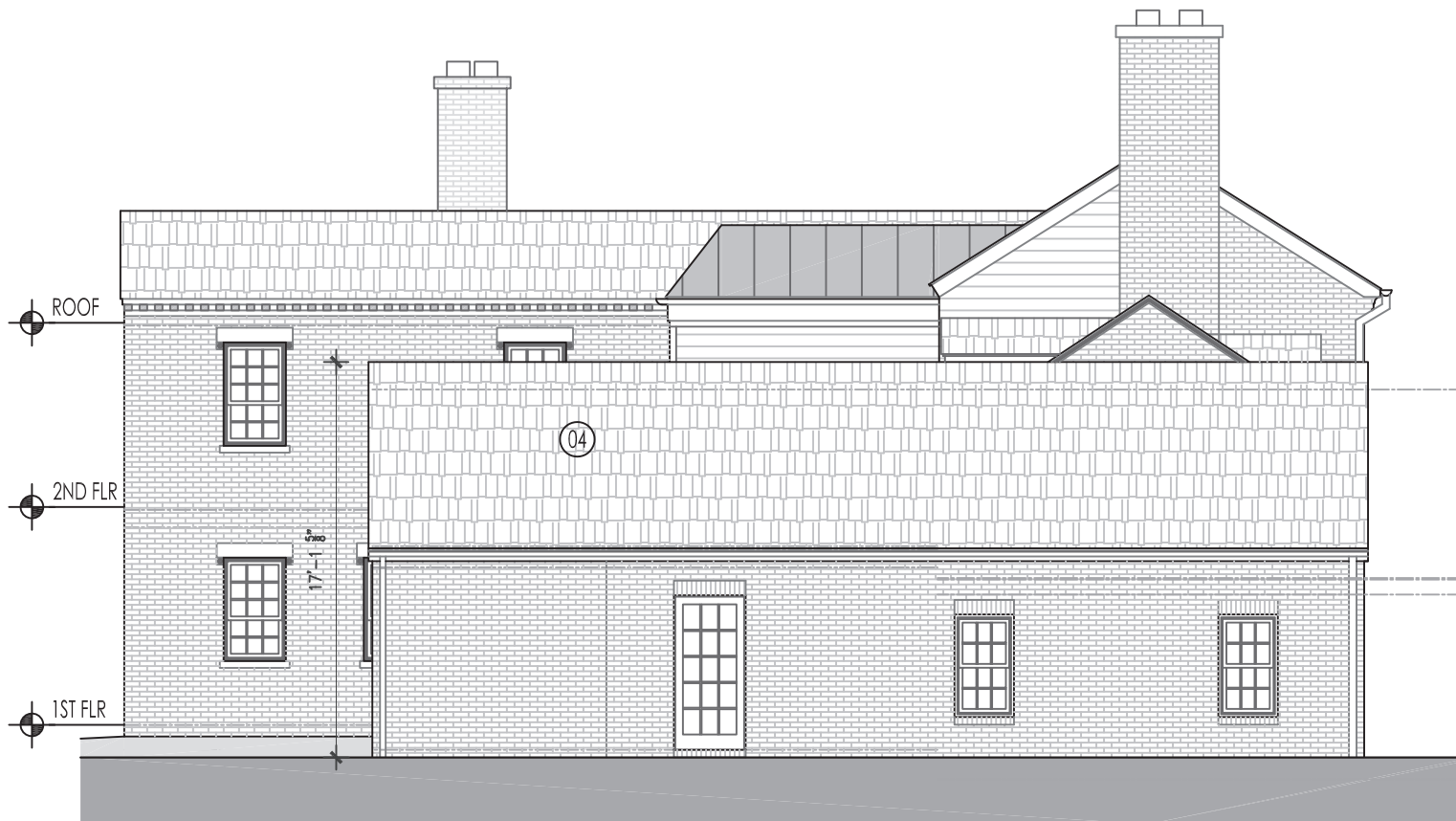
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


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**ASK  
3.1A**

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- KEYNOTES**
- 01 ALUM CLAD WINDOW
  - 02 ALUM CLAD WINDOW TO REPLACE DOOR - BRICK INFILL TO MATCH SHED DORMER W/ FIBER CEMENT SIDING & TRIM W/ STANDING SEAM COPPER ROOF / GUTTER & DOWNSPOUT
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-  EXISTING AREA DEDUCTED
-  NEW AREA DEDUCTED
-  NEW ADDITIONAL AREA TO BE DEDUCTED

## 414 Franklin St, Alexandria, VA 22314

EXISTING EAST ELEVATION

CLIENT:  
Camille Chapman & Dwight Dunton  
414 Franklin Street  
Alexandria, VA 22314

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0' 1' 2' 4' 8'  
SCALE:  $\frac{1}{8}" = 1'-0"$

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ARCHITECT:

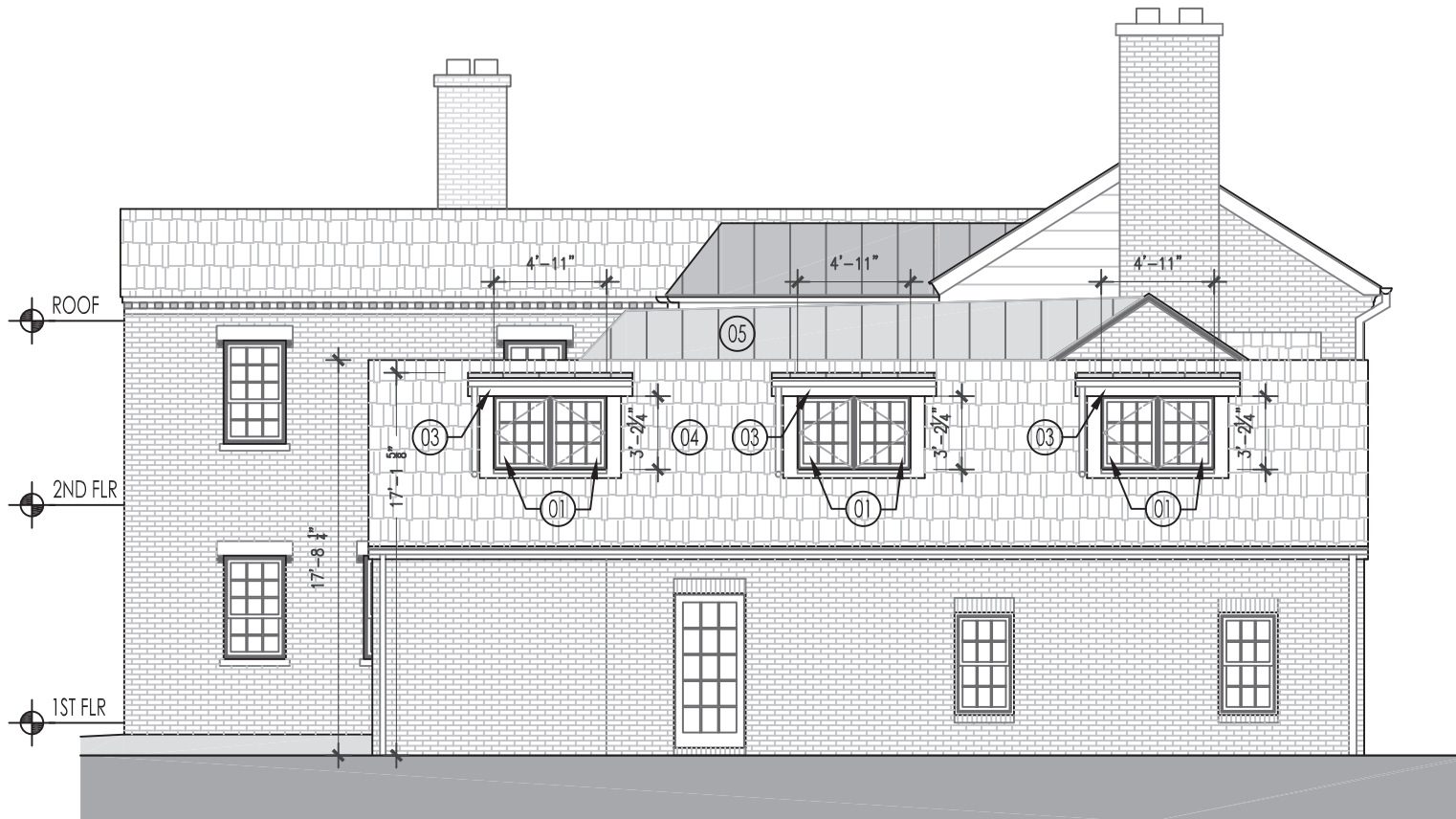
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**ASK  
3.2**

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- KEYNOTES**
- 01 ALUM CLAD WINDOW
  - 02 ALUM CLAD WINDOW TO REPLACE DOOR - BRICK INFILL TO MATCH SHED DORMER W/ FIBER CEMENT SIDING & TRIM W/ STANDING SEAM COPPER ROOF / GUTTER & DOWNSPOUT
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## 414 Franklin St, Alexandria, VA 22314

PROPOSED EAST ELEVATION

CLIENT:  
Camille Chapman & Dwight Dunton  
414 Franklin Street  
Alexandria, VA 22314

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0' 1' 2' 4' 8'  
SCALE:  $\frac{1}{8}" = 1'-0"$

21 JUNE 2021

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**ASK**  
**3.2A**

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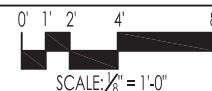


# 414 Franklin St, Alexandria, VA 22314

EXISTING REAR ELEVATION

CLIENT:  
Camille Chapman & Dwight Dunton  
414 Franklin Street  
Alexandria, VA 22314

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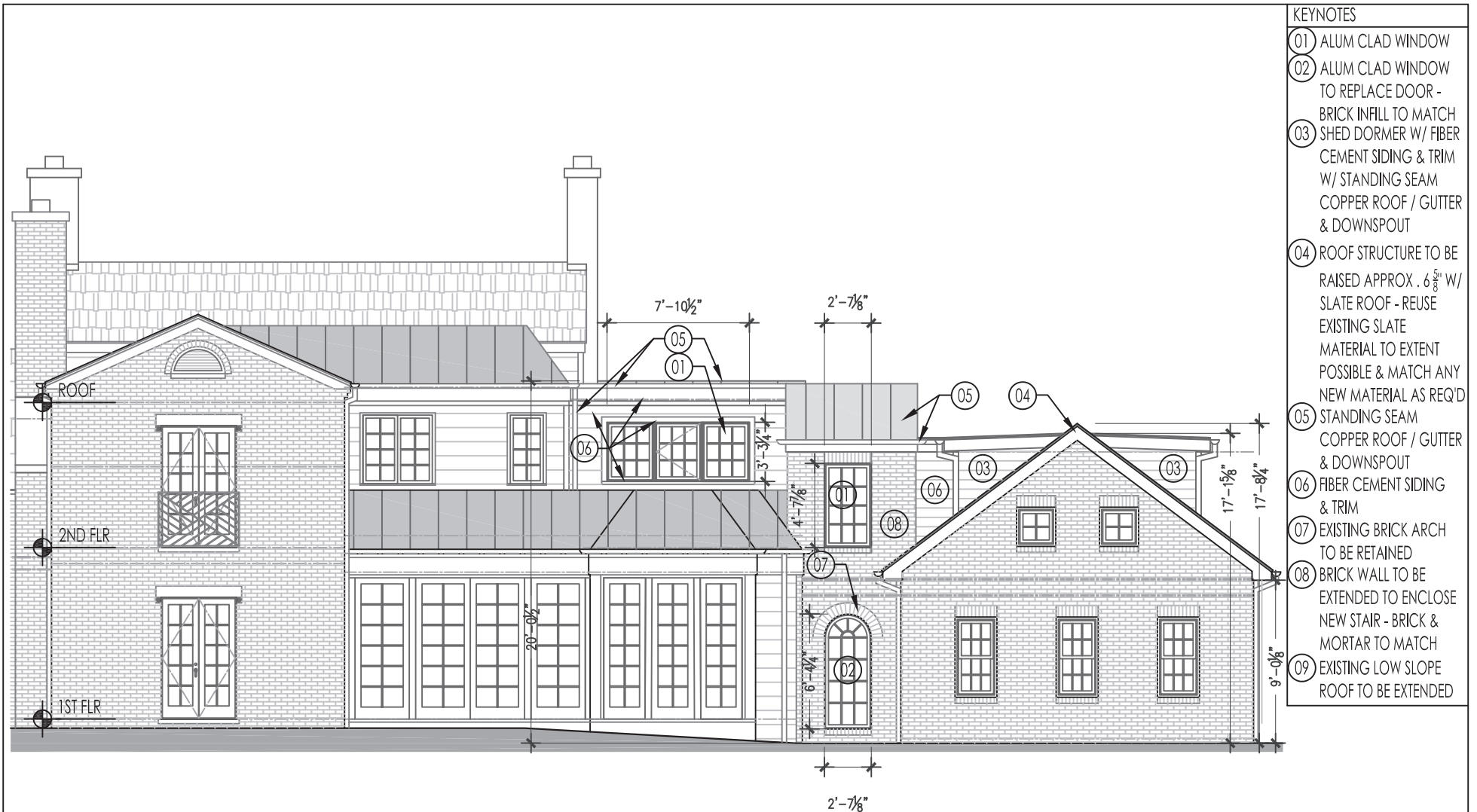
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**ASK**  
**3.3**

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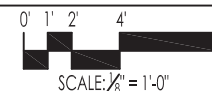


# 414 Franklin St, Alexandria, VA 22314

PROPOSED REAR ELEVATION

CLIENT:  
Camille Chapman & Dwight Dunton  
414 Franklin Street  
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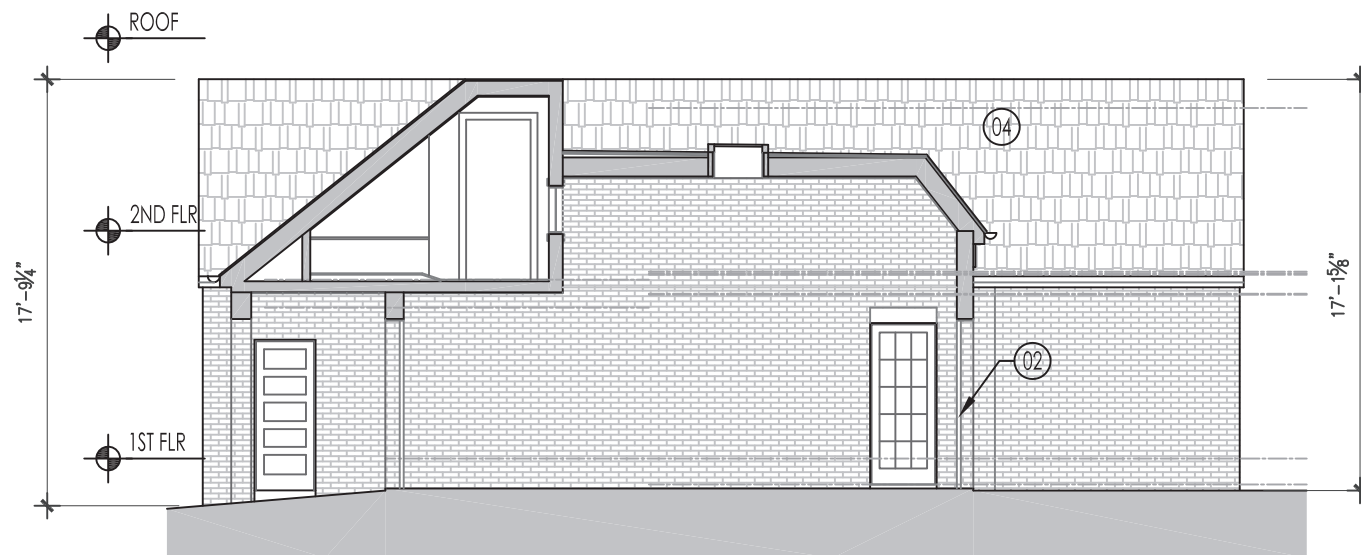
325 north patrick street  
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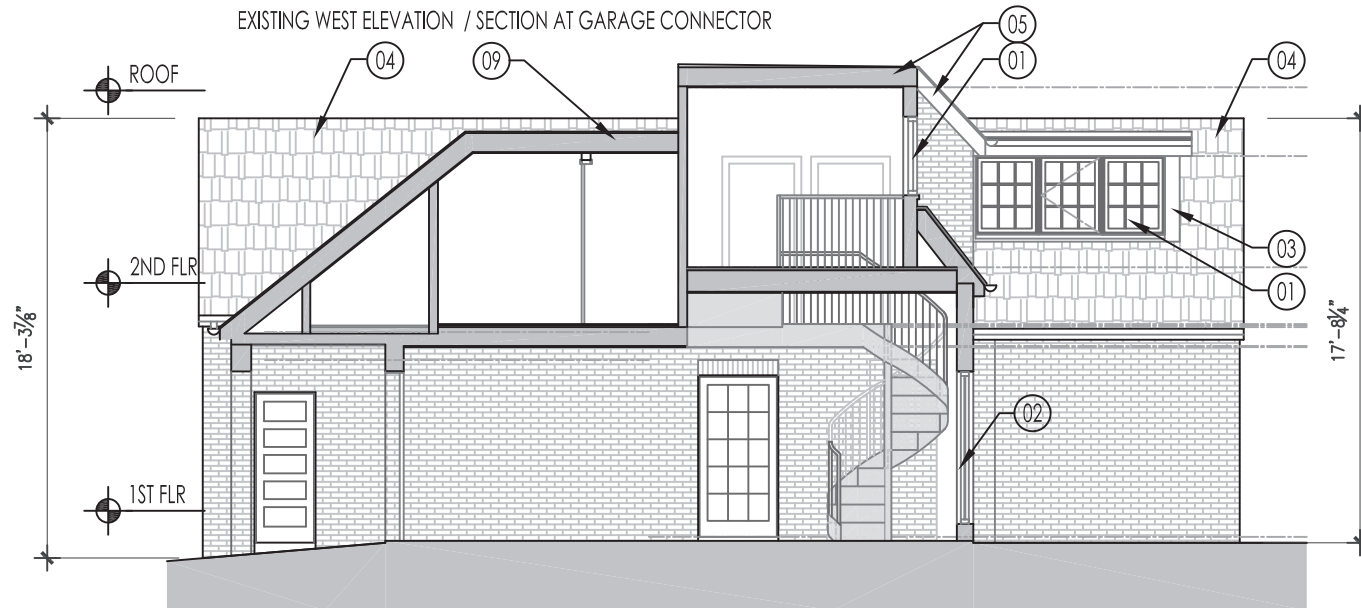
BAR SUBMISSION

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**3.3A**

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EXISTING WEST ELEVATION / SECTION AT GARAGE CONNECTOR



PROPOSED WEST ELEVATION / SECTION AT GARAGE CONNECTOR

#### KEYNOTES

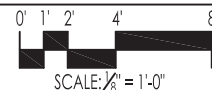
- 01 ALUM CLAD WINDOW
- 02 ALUM CLAD WINDOW TO REPLACE DOOR - BRICK INFILL TO MATCH
- 03 SHED DORMER W/ FIBER CEMENT SIDING & TRIM W/ STANDING SEAM COPPER ROOF / GUTTER & DOWNSPOUT
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## 414 Franklin St, Alexandria, VA 22314

EXISTING & PROPOSED WEST ELEVATION / SECTION AT GARAGE CONNECTOR

CLIENT:  
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# ULTIMATE

MARVIN SIGNATURE™ COLLECTION



# ULTIMATE DOUBLE HUNG G2



Double Hung G2 window with Oil Rubbed Bronze hardware



Double Hung G2 windows in Ebony

## ULTIMATE DOUBLE HUNG G2

The Ultimate Double Hung G2 window is an embodiment of our dedication to the craft of creating windows and doors. Influenced by the rich, historical significance of this window style and inspired by innovative design, each feature is thoughtfully added and every detail is carefully considered. This is all in service of shaping a window that deserves to be in the unique homes our customers desire.



INTERIOR



EXTERIOR



WASH MODE WITH SASH LOCK IN ANTIQUE BRASS



# ULTIMATE CASEMENT



Casement and Picture windows with Satin Nickel hardware



Casement windows with Matte Black hardware

## ULTIMATE CASEMENT

The Ultimate Casement window is offered in some of the largest sizes in the industry, with a secure multi-point lock, durable hardware that ensures smooth operation, and Marvin's exclusive Wash Mode for easy cleaning—even on upper floors. With many design options, including round top shapes, the Ultimate Casement window flexes to fit your vision and can be sized to complement the most expansive views.



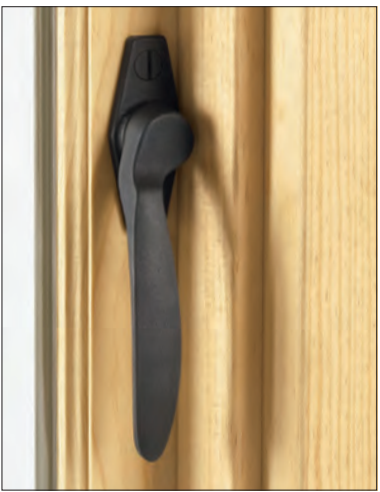
ULTIMATE CASEMENT INTERIOR WITH FOLDING HANDLE



ULTIMATE CASEMENT EXTERIOR WITH FOLDING HANDLE



ULTIMATE CASEMENT PUSH OUT INTERIOR WITH PUSH OUT HANDLE





# EXTERIOR FINISH OPTIONS

STONE WHITE

COCONUT CREAM

SIERRA WHITE

CASHMERE

PEBBLE GRAY

HAMPTON SAGE

CADET GRAY

CLAY

CASCADE BLUE

SUEDE

GUNMETAL

WINEBERRY

BRONZE

BAHAMA BROWN

EVERGREEN

EBONY

BRIGHT SILVER (PEARLESCENT)

COPPER (PEARLESCENT)

LIBERTY BRONZE (PEARLESCENT)

CUSTOM COLOR: ANY COLOR YOU WANT

## EXTRUDED ALUMINUM

Extruded aluminum is an extremely tough cladding that protects wood windows, mimics the profiles of wood, and provides superior durability. It is the most commonly ordered Marvin material.

Select a color from our palette of 19 durable extruded aluminum colors, including a spectrum of rich hues and three pearlescent finishes. If you have more specialized needs, we can also work with you to create a custom color.

## WOOD SPECIES

Wood is a premium material for windows and doors, offering classic aesthetic appeal, many options for customization, and design versatility.

We treat exposed millwork with a water repellent wood preservative to help it last longer. Choose from one of the four options below. Each is ready to be finished to match your project's exacting requirements.

PINE

VERTICAL GRAIN  
DOUGLAS FIR

MAHOGANY

WESTERN RED CEDAR  
Exterior trim package only



Ultimate Double Hung G2 window in Ebony

Ultimate Double Hung G2 window in Suede





# DIVIDED LITES



Casement windows with custom Simulated Divided Lites



## DIVIDED LITES

The look of multiple, individual panes of glass in a window sash is popular in a wide range of architectural styles—from historic replications to modern farmhouses. For those who seek historical accuracy, authentic divided lites utilize many individual glass panes in a single window. Simulated divided lites, available in a number of different styles, mimic the look of individual panes of glass in a window sash without sacrificing the energy efficiency of a single pane of glass. Our custom capabilities allow us to create almost any divided lite pattern to match your design style.



### SIMULATED DIVIDED LITE (SDL)

SDL bars are permanently adhered to both sides of the glass. Simulated Divided Lites with Spacer Bars (SDLs) are an energy-efficient way to create the look of authentic divided lites.



### AUTHENTIC DIVIDED LITE (ADL)

Separate panes of glass are glazed between bars—the way windows have been made since the beginning. Available exclusively with wood exterior units.



### GRILLES-BETWEEN-THE-GLASS (GBG)

Grilles are permanently installed between the glass panes. This low-maintenance grille offers the look of a divided lite pattern with the ease of cleaning just one pane of glass. Available with different interior and exterior colors.

### FIVE STANDARD BAR WIDTHS



### STICKING AND PROFILES

Sticking refers to the interior profiles of your wood window. Choose from the standard Ogee profile (used on traditional projects) or the optional clean, contemporary Square sticking.



OGEE



SQUARE



SQUARE STICKING



SCREENS

SCREENS

Choose from an aluminum surround in three finishes or a wood interior surround that complements warm wood interiors and comes factory-prepped for staining and painting. A variety of screen mesh options in aluminum or fiberglass allow for further customization for aesthetics or to ensure you're choosing a mesh that's fine enough to keep even the littlest bugs away.

CASEMENT SCREEN OPTIONS



**RETRACTABLE SCREEN**  
The innovative Retractable Screen from Marvin lets the breeze in and easily retracts out of sight when not in use. A tight seal and a strong adjustable pull bar ensure extraordinary performance. Marvin's unique concealed design makes the screen nearly undetectable when it is in the retracted position.

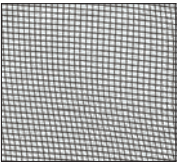


**INSWING CASEMENT SCREEN**  
The beautifully crafted inswing screen can bring in fresh air along with its classic appearance to standard or round top casement windows.

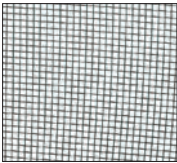


**WOOD SCREEN SURROUND**  
The patented wood screen surround with Hi-Transparency screen mesh and aluminum exterior creates a seamless wood interior.

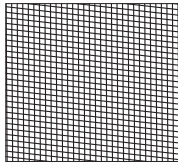
SCREEN MESH OPTIONS



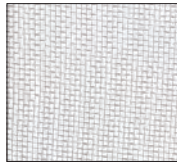
**CHARCOAL FIBERGLASS**



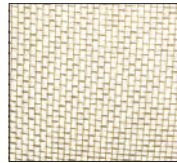
**CHARCOAL ALUMINUM WIRE**



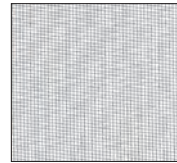
**BLACK ALUMINUM WIRE**



**BRIGHT ALUMINUM WIRE**



**BRIGHT BRONZE WIRE**



**HI-TRANSPARENCY MESH**

Double Hung Insert G2 windows with Full Screens



DOUBLE HUNG SCREEN OPTIONS



RETRACTABLE SCREEN

The innovative Retractable Screen, available on the Ultimate Double Hung G2 window, is a factory-installed screen that easily retracts out of sight when not in use. The screen can be drawn to rest at one of two stop points, resulting in a seal at either the sill or at the checkrail.



FULL OR HALF SCREEN

Exterior screen with an aluminum surround. The full screen covers both the top and bottom sash. The half screen only covers the bottom sash.

DOOR SCREEN OPTIONS



ULTIMATE SWINGING SCREEN DOOR

Featuring panels of extruded aluminum for a beautiful millwork appearance with traditional shadow-lines, this easy-to-install, easy-to-remove panel system requires no tools and has a clean exterior that blends into the door frame. Classic oval exterior handle and storm insert options are also available.



STANDARD SWINGING SCREEN DOOR

This tough, extruded aluminum swinging screen door matches the door, made of the same thick metal as the cladding. Solid protection and outstanding performance, with die cast handles, automatic closer, and aluminum hinges.



ULTIMATE SLIDING SCREEN DOOR

Aluminum top hung sliding screen with roller bar, adjustable rollers and unmatched sliding operation. The exterior profile replicates the look of a traditional wood screen. Also available in a standard top hung version for Ultimate Sliding French doors, Sliding Patio doors, and Ultimate Inswing doors.

DOUBLE HUNG STORM OPTIONS



TWO-LITE WOOD STORM SASH OR SCREEN

A wood frame containing non-removable glass. The storm sash can be removed during the summer and replaced with a wood framed screen. Available only for wood windows.



STORM AND SCREEN COMBINATIONS

A combination unit is composed of two glass panels and one screen panel that can be easily removed from the interior for cleaning. Available with a wood (bare or primed) or aluminum surround, panels can be configured multiple ways, glass above screen, screen above glass, or glass above glass.



ENERGY PANEL

Often confused with storm windows, an energy panel is technically a glazing option. It is a removable, exterior glass panel finished on the edges by a surround. Energy panels cover the exposed glass surface of each sash and offer added energy efficiency for wood windows with single glazing.



STANDARD SLIDING SCREEN (NOT SHOWN)

Aluminum top hung sliding screen with adjustable rollers and replaceable bottom guide. Available on wood and clad-wood sliding and inswing doors.

TOP-HUNG SCREEN (NOT SHOWN)

Aluminum top hung sliding screens come with adjustable rollers and replaceable bottom guide for flawlessly smooth operation.

SCENIC DOOR SLIDING SCREEN (SHOWN ON LEFT)

The Marvin Ultimate Sliding Screen operates with ease and conceals when not in use. The screen is unobtrusive even in large sizes measuring up to 12 feet wide and up to 10 feet high uni-directional or up to 24 feet wide bi-parting.



**JamesHardie**

Siding | Trim



Achieve authentic character and  
**UNCOMPROMISING PERFORMANCE.**



**NORTHEAST**  
Product  
Catalog



**HardiePlank®**

Sleek and strong, HardiePlank® lap siding is not just our best-selling product – it's the most popular brand of siding in America.

With a full spectrum of colors and textures, homeowners can enjoy protection from the elements and the versatility to make their dream home a reality. From Victorians to Colonials, HardiePlank lap siding sets the standard in exterior cladding.

HardieTrim®  
5/4 x 3.5 in.  
Arctic White

HardiePlank®  
6.25 in. Smooth  
Arctic White

A classic look for  
**THE HOME OF THEIR DREAMS.**

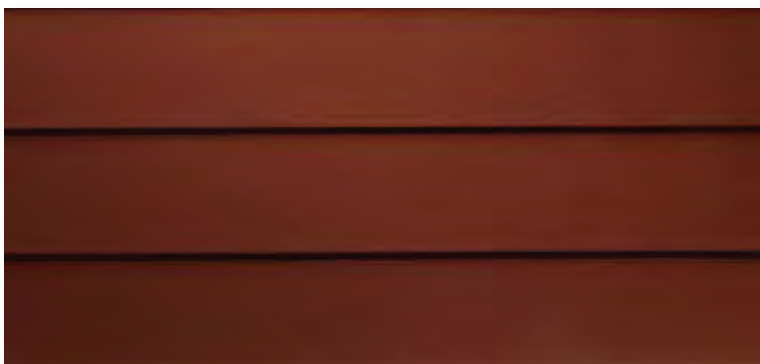




### SELECT CEDARMILL®

*Khaki Brown*

Thickness	5/16 in.			
Length	12 ft. planks			
Width	5.25 in.	6.25 in.	7.25 in.	8.25 in.
Exposure	4 in.	5 in.	6 in.	7 in.
ColorPlus Pcs./Pallet	324	280	252	210
Prime Pcs./Pallet	360	308	252	230
Pcs./Sq.	25.0	20.0	16.7	14.3



### SMOOTH

*Countrylane Red*

Thickness	5/16 in.			
Length	12 ft. planks			
Width	5.25 in.	6.25 in.	7.25 in.	8.25 in.
Exposure	4 in.	5 in.	6 in.	7 in.
ColorPlus Pcs./Pallet	324	280	252	210
Prime Pcs./Pallet	360	308	252	230
Pcs./Sq.	25.0	20.0	16.7	14.3



### BEADED CEDARMILL®\*

*Light Mist*

Thickness	5/16 in.			
Length	12 ft. planks			
Width	8.25 in.			
Exposure	7 in.			
ColorPlus Pcs./Pallet	210			
Prime Pcs./Pallet	240			
Pcs./Sq.	14.3			



### BEADED SMOOTH\*

*Heathered Moss*

Thickness	5/16 in.			
Length	12 ft. planks			
Width	8.25 in.			
Exposure	7 in.			
ColorPlus Pcs./Pallet	210			
Prime Pcs./Pallet	240			
Pcs./Sq.	14.3			

\*Beaded Cedarmill® and Beaded Smooth are available exclusively with ColorPlus Technology in Pittsburgh, Philadelphia and New England districts.

Products are available primed or with ColorPlus Technology finishes. For more details, visit [jameshardiepros.com](http://jameshardiepros.com)

## HardieTrim®

Form meets function at every angle with HardieTrim® boards. With an authentic look, HardieTrim boards provide design flexibility for columns, friezes, doors, windows and other accent areas.

Better than wood, it will complement your long-lasting, lower maintenance James Hardie siding – adding punctuation to your design statement.

HardieTrim®  
5/4 x 3.5 in.  
Khaki Brown

HardiePlank®  
6.25 in. Smooth  
Navajo Beige

The performance you require  
**THE DISTINCTIVENESS YOU DESIRE.**

HARDIETRIM® BOARDS



4/4 NT3® SMOOTH

Arctic White

Thickness	.75 in.				
Length	12 ft. boards				
Width	3.5 in.	5.5 in.	7.25 in.	9.25 in.	11.25 in.
Pcs./Pallet	312	208	156	104	104



5/4 NT3® SMOOTH

Arctic White

Thickness	1 in.					
Length	12 ft. boards					
Width	3.5 in.	4.5 in.	5.5 in.	7.25 in.	9.25 in.	11.25 in.
Pcs./Pallet	240	200	160	120	80	80



CROWN MOULDING

Arctic White

Thickness	.75 in.	
Length	12 ft. boards	
Width	3.25 in.	5.25 in.
Pcs./Pallet	50	48

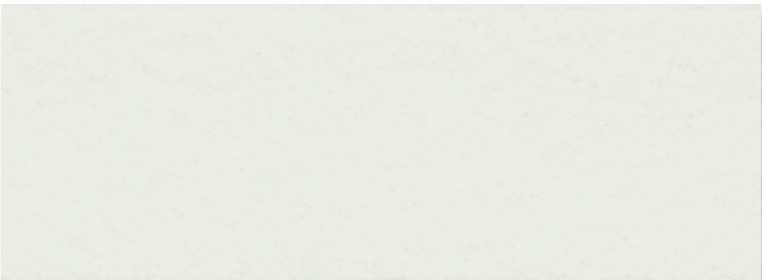
HARDIETRIM® BATTEN BOARDS



RUSTIC GRAIN®

Arctic White

Thickness	.75 in.
Length	12 ft. boards
Width	2.5 in.
Pcs./Pallet	437



SMOOTH

Arctic White

Thickness	.75 in.
Length	12 ft. boards
Width	2.5 in.
Pcs./Pallet	437

HardieTrim Boards are available primed or with ColorPlus Technology in DC/Baltimore and Virginia districts. For other districts, HardieTrim Boards are exclusively available with ColorPlus Technology. HardieTrim Batten Boards are available primed or with ColorPlus Technology. HardieTrim Crown Mouldings are available exclusively in ColorPlus Technology.