

ISSUE: Permit to Demolish/Capsulate (partial), Certificate of Appropriateness for alterations

APPLICANT: 601 South Washington, LLC and Stevens Companies LLC

LOCATION: Old and Historic Alexandria District
601 ad 607 South Washington Street

ZONE: CL/Commercial Low zone.

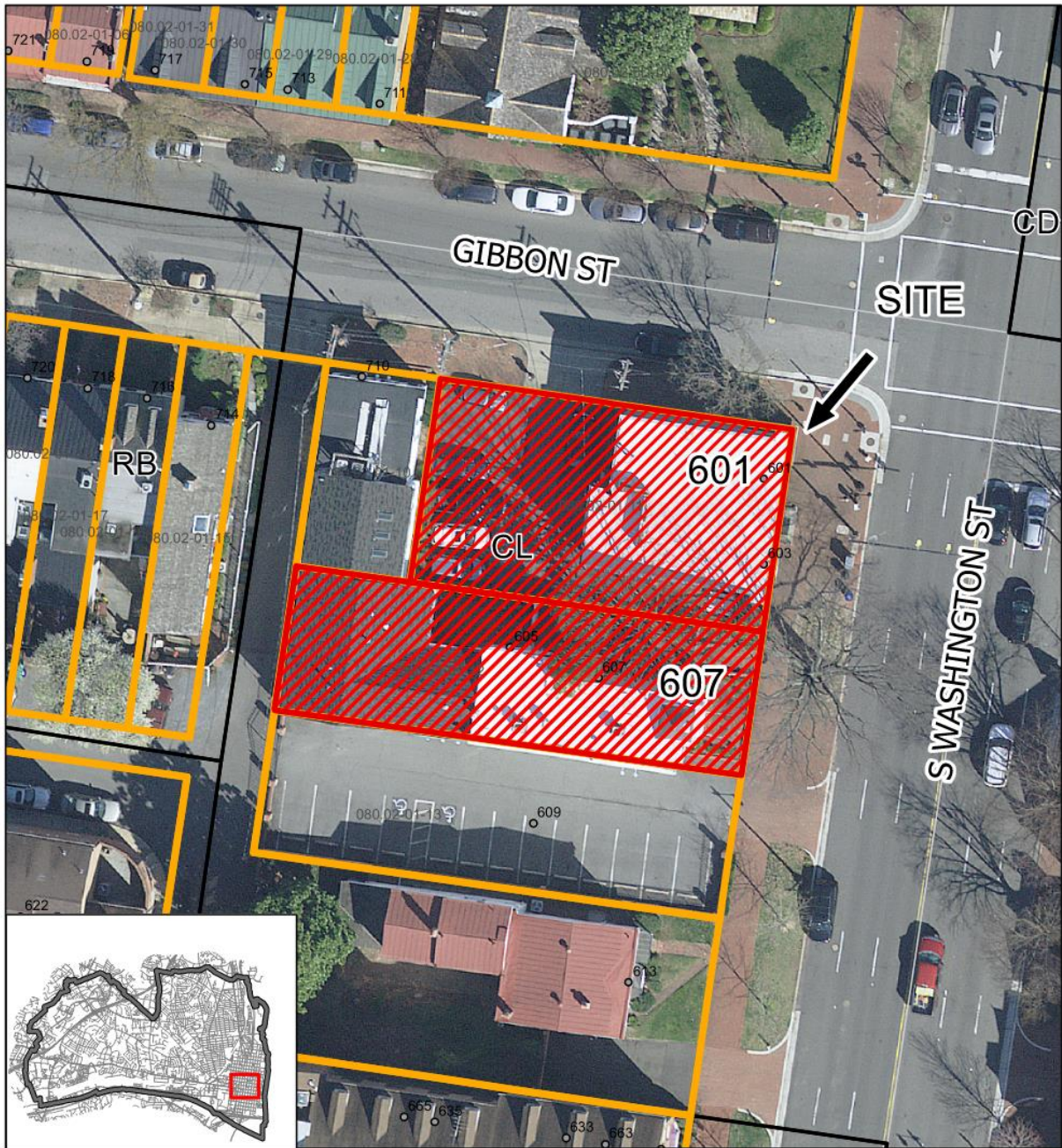
STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations with the following conditions:

1. Replacement shutters must be wood, sized to fit the opening, and operable;
2. Prior to submitting for the building permit, the applicant should submit details of the tooth in of the building corner on the east elevation of 607 S. Washington for staff review; and,
3. The new and replacement windows must comply with the *Alexandria New and Replacement Window Performance Specifications in the Historic Districts*. The applicant must submit specifications with the building permit.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



**BAR #2021-00298, BAR #2021-00299
& BAR #2021-00303
601 and 607 South Washington Street**

0 15 30 60 Feet



Note: Staff coupled the applications for a Permit to Demolish (BAR2021-00303) and Certificate of Appropriateness (BAR2021-00298, BAR2021-00299) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to enlarge existing doors and alterations, at **601 and 607 South Washington Street**.

601 South Washington Street (alterations)

Replace existing pair of 30" w doors with new 36"x84" doors with raised panels and sidelites.

The following alterations are included in the application and comply with the *BAR Policies for Administrative Approval in The Old and Historic Alexandria District*:

1. Repaint existing brick façade and trim to match existing color at 607 S. Washington St.,
2. Re-glaze existing windows as needed,
3. In-kind replacement/repair of rotted wood casings, fascia and soffits,
4. In-kind replacement/repair treads at exterior stairway,
5. Remove existing surface mid. CCTV conduit and equipment, and,
6. In-kind replacement/repair of double hung window on the west elevation.

607 South Washington Street (partial demolition & alterations)

- New aluminum clad wood casement window to match existing on west elevation,
- New wood door with simulated divided lites and wood frame with brick mould casings lintel on east elevation,
- New aluminum clad wood casement window on east elevation to match existing,
- Remove existing garden walls on east elevation and,
- Tooth-in building corner as required on east elevation.

The following alterations are included in the application and comply with the *BAR Policies for Administrative Approval in The Old and Historic Alexandria District*:

1. Repair existing plaster cracks and remove metal supports protruding from the plaster,
2. In-kind replacement/repair of beveled siding, trim and soffits as needed,
3. Repaint existing brick, plaster and beveled siding to match existing,
4. Re-glaze existing windows as needed,
5. In-kind replacement/repair of rotted wood casings, fascia and soffits,
6. In-kind replacement/repair of double hung window on the west elevation,
7. In-kind replacement/repair of existing gutters and downspouts, and,
8. In-kind replacement/repair of existing shutters as needed.

II. HISTORY

The building at **601 South Washington Street** was originally two buildings, 601 and 603 South Washington Street. At least a portion of the Italianate style buildings may date from before 1877. They long served as a grocery and residence, and, prior to the change to office in 2005, functioned as an antique shop. Over the years, the buildings have undergone a variety of alterations, most

significantly in 1964, when the storefront windows were added, and the buildings were combined into a single commercial building.

The Victorian brick structure at **607 South Washington Street** was constructed between 1897 and 1898. The wood frame townhouse on Gibbon Street was built before 1877, perhaps as early as 1870. The buildings on Gibbon and Washington Street were at one time the location of the former Scotland House, owned by John K. Magruder. Magruder made a series of improvements to the property, including additions in 1960 and 1972 that connected the formerly freestanding buildings on Washington and Gibbon Streets. The south wall of the Washington Street building was stuccoed in 1972.

Previous BAR Approvals

601 S. Washington St.

BAR2005-0221/0222 – Board approved a permit to demolish and alterations (10/20/2004).

BAR2005-0294 – Board approved a Certificate of Appropriateness for after-the-fact alterations to the previously approved plans (12/14/2005).

BAR2009-0287 – Board approved a Certificate of Appropriateness for after-the-fact alterations to the previously approved plans (12/16/2009).

607 S. Washington St.

BAR99-0053/0055 – Board approved an addition and rooftop mechanical screening (5/19/1999).

BAR2000-0001 – Board approved alterations (2/2/2000).

BAR2021-0044 – Administrative approval for signage (2/23/2012).

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No

(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	No
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The applicant proposes a limited amount of demolition (233.61 SF) and the areas that will be demolished are not of unusual or uncommon design and could be reproduced easily.

Certificate of Appropriateness

The *Design Guidelines* state that “windows are a principal character defining feature of a building and serve both functional and aesthetic purposes.” The document also states that the “size, location, type and trim of windows are a defining element of historic architectural styles.” Additionally, it states that “exterior doors constitute prominent visual details of the main facade of a building and should complement the architecture of the structure and not detract from it.” The proposed new windows and doors are architecturally appropriate and proportional to the existing windows and doors. The proposed configurations and materials will match the existing.

The applicant is also proposing to tooth-in the building corner on the east elevation. The mortar used to tooth-in the building corner must match the historic mortar color, composition, texture and profile. Prior to submitting for the building permit, the applicant should submit a detailing for the building corner for approval.

Staff has no objections to the proposed alterations. With the conditions noted above, staff recommends approval of the project.

STAFF

Amirah Lane, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

F-1 The proposed repair and maintenance, new doors, new window and demolition of existing garden wall all comply with zoning.

Code Administration

C-1 No code comment for door replacement in existing opening.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties

and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

No archaeological oversight will be necessary for this undertaking.

V. ATTACHMENTS

- 1 – Application Materials*
- 2 – Supplemental Materials*

ADDRESS OF PROJECT: 601 S. Washington St.DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old BuildingTAX MAP AND PARCEL: 080.02-01-11ZONING: CLAPPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
*(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)*Applicant: ☐ Property Owner ☒ Business *(Please provide business name & contact person)*Name: Linder AcademyAddress: 1400 Chain Bridge RdCity: McLean State: VA Zip: 22101

Phone: _____ E-mail: _____

Authorized Agent *(if applicable)*: ☐ Attorney ☒ Architect ☐ _____Name: Rust|Orling Architecture, Inc. Phone: 703-836-3205E-mail: admin@rustorling.com

Legal Property Owner:

Name: 601 S. Washington LLCAddress: 601 S. Washington StCity: Alexandria State: VA Zip: 22314

Phone: _____ E-mail: _____

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☐ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☒ EXTERIOR ALTERATION: *Please check all that apply.*

☐ awning
☒ doors
☐ lighting
☐ other _____

☐ fence, gate or garden wall
☐ windows
☐ pergola/trellis

☐ HVAC equipment
☐ siding
☐ painting unpainted masonry

☐ shutters
☐ shed

☐ ADDITION
☐ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Replace the existing front door with a new door in the existing opening, re-painting the building (including a color change), and various "in-kind" maintenance items to repair damaged or deteriorating elements.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☒ Survey plat showing the extent of the proposed demolition/encapsulation.
☐ ☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.

☐ ☒ Description of the reason for demolition/encapsulation.
☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☒ FAR & Open Space calculation form.
- ☐ ☒ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☒ Existing elevations must be scaled and include dimensions.
- ☐ ☒ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☒ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☒ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☒ ☒ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☒ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☐ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:Signature: Laurn StapletonPrinted Name: LAURYN STAPLETON, RUST ORLING ARCHITECTUREDate: 06/01/21

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. KRISTIN CARPENTER, LINDER	1400 CHAIN BRIDGE RD, MCLEAN, VA	100
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 601 S. Washington St. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. WILLIAM D WALSH	601 S WASHINGTON ST	100
2. KRISTIN CARPENTER, LINDER	1400 CHAIN BRIDGE RD, MCLEAN, VA	100
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. KRISTIN CARPENTER, LINDER	N/A	N/A
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

06/01/21

Date

LAURYN STAPLETON, RUST ORLING ARCHITECTURE

Printed Name

Lauryn Stapleton
Signature

PROPOSED NEW WORK

- 1 as required by code, replace existing pair of 30" w doors with new 36"w x 84"h mahogany Victorian style door with raised panels and sidelites. existing door opening to remain.

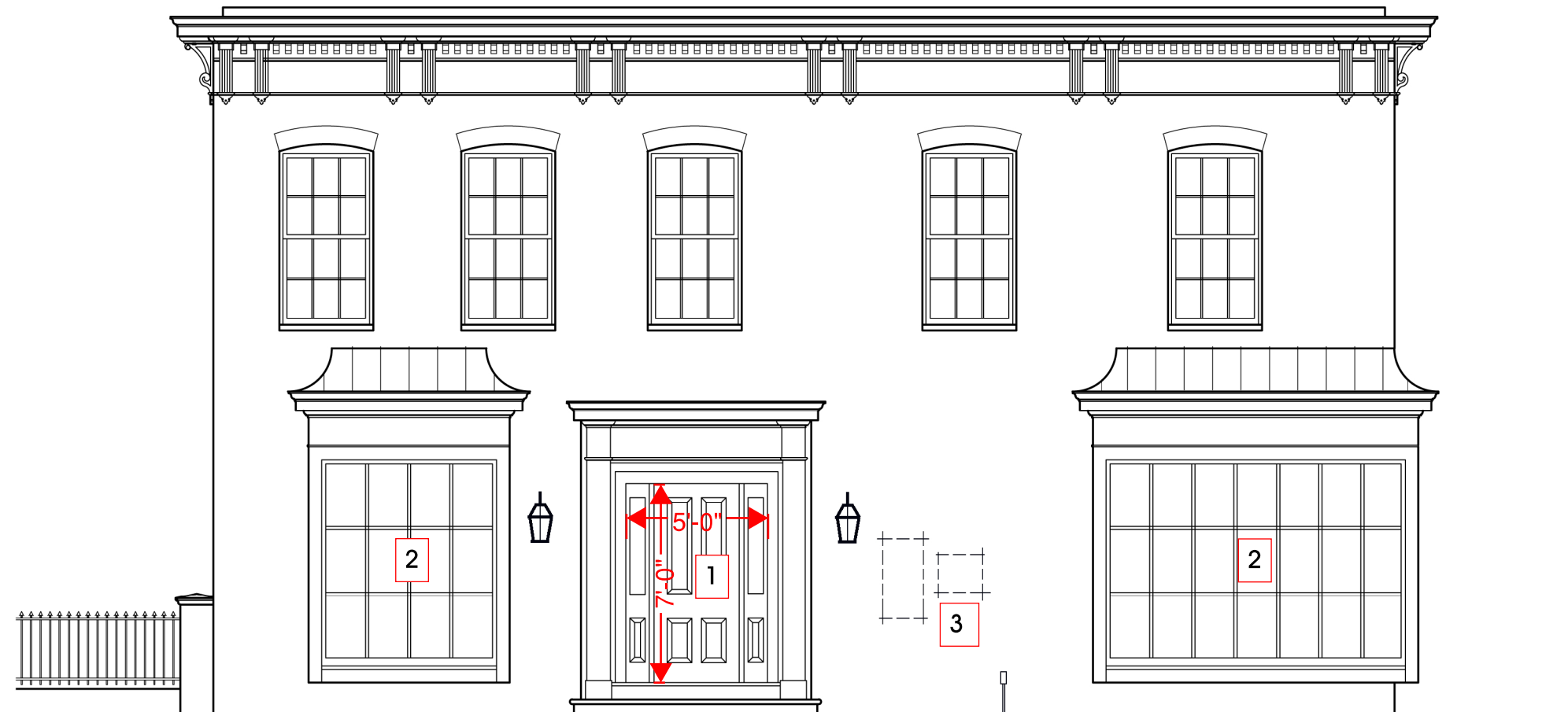


DETAIL ELEVATION @ ENTRY

1/2" = 1'-0"

PROPOSED MAINTENANCE

- prep and paint existing brick facade, trim, etc color to be white to match existing color at 607 S. Washington Street
- 2 Reglaze existing windows as required
- 3 Remove previous tenant ID plaques
- Replace/repair rotted wood casings, fascia and soffits as required
- replace/repair rusted treads at exterior stairway
- remove existing surface mtd. CCTV conduit and equipment
- replace/repair rotted double hung window at west elevation in-kind



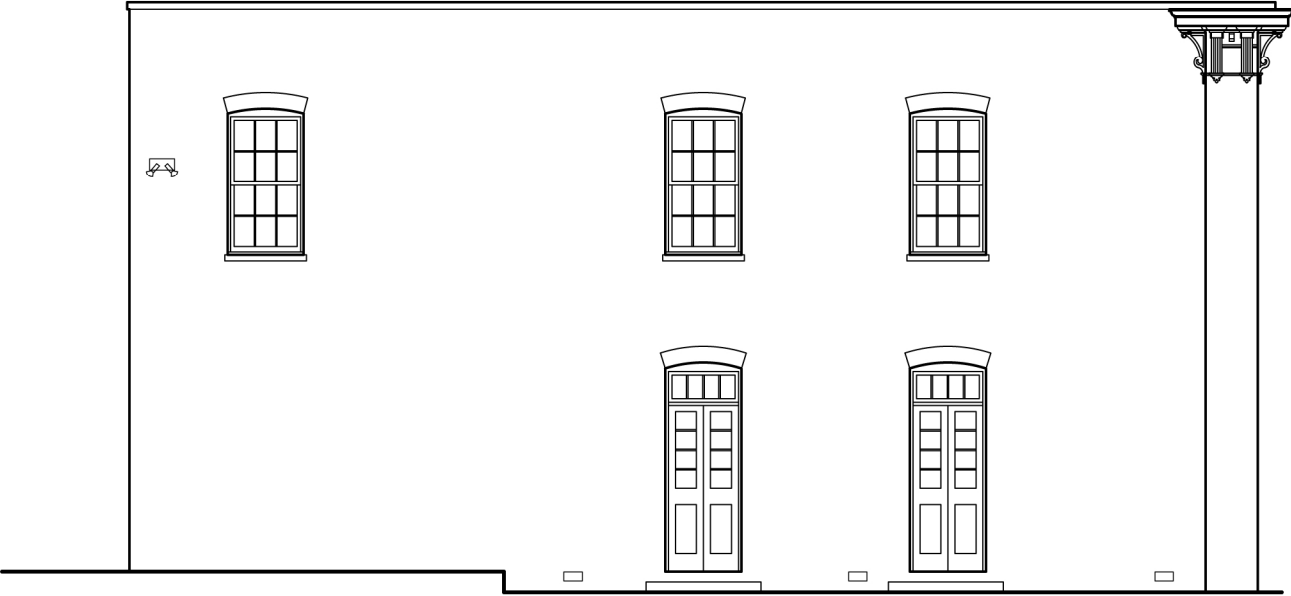
S. WASHINGTON STREET/EAST ELEVATION

3/16" = 1'-0"

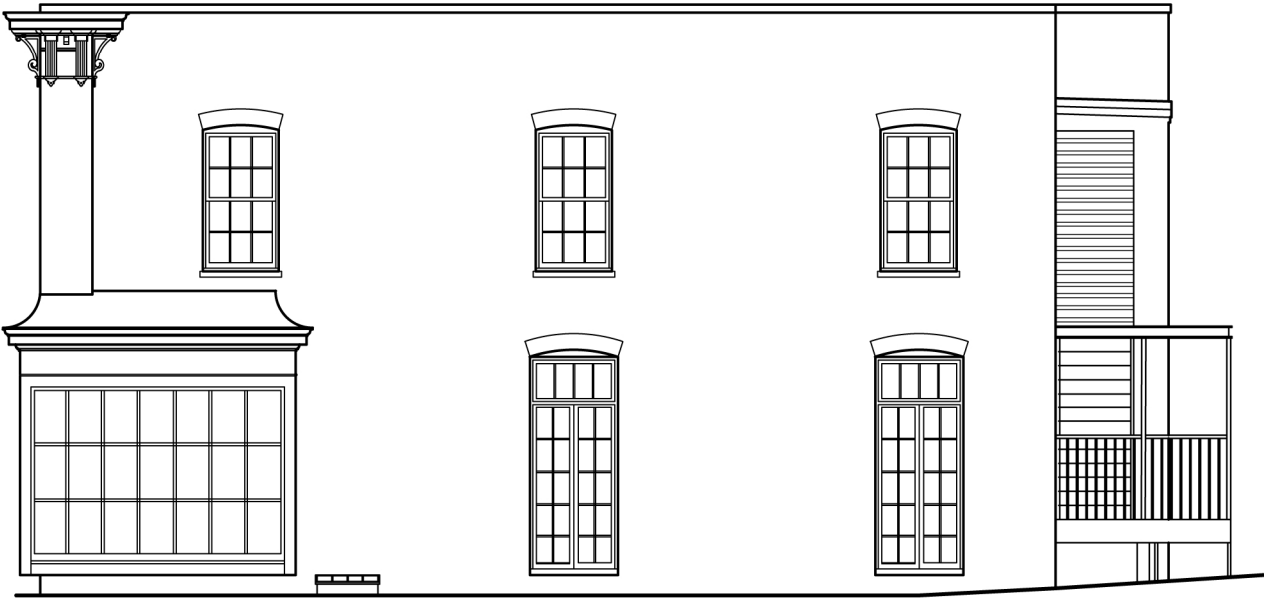
601 S. Washington Street Proposed Scope of Work



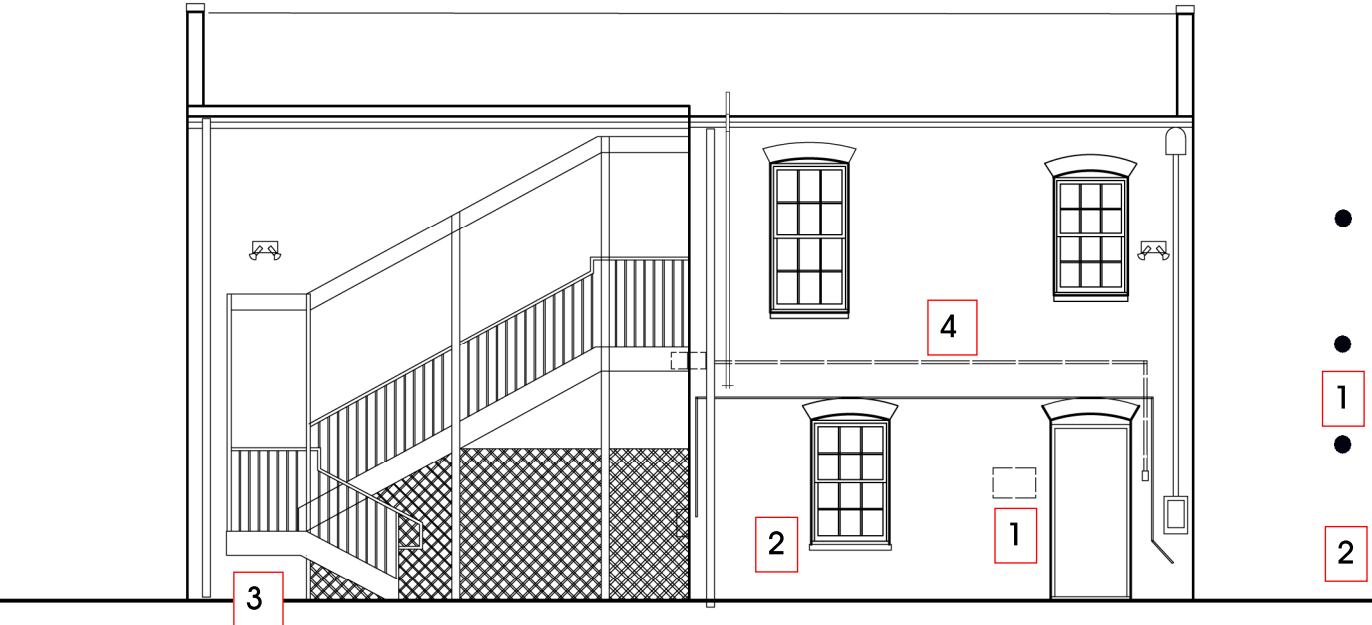
RUST | ORLING
ARCHITECTURE



SOUTH ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"

PROPOSED MAINTENANCE

- prep and paint existing brick facade, trim, etc color to be white to match existing color at 607 S. Washington Street
- Reglaze existing windows as required
- 1 Remove previous tenant ID plaques
- Replace/repair rotted wood casings, fascia and soffits as required
- 2 replace/repair rotted double hung window at west elevation in-kind
- 3 replace/repair rusted treads at exterior stairway
- 4 remove existing surface mtd. CCTV conduit and equipment

601 S. Washington Street
Proposed Scope of Work



east elevation/Washington Street view



main entry detail view

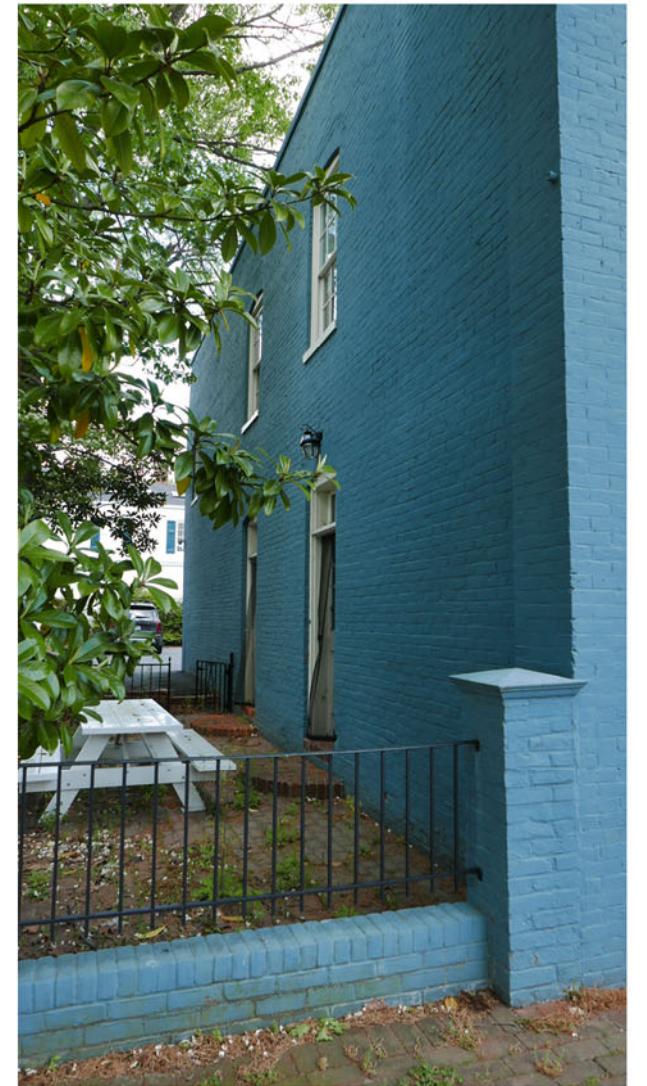


601 S. Washington Street

1

Existing conditions

RUST | ORLING
ARCHITECTURE



- ▲ north elevation/Gibbon Street view
- south elevation/interior lot line view ▲
- ◀ west elevation/ interior lot line view



601 S. Washington Street

Existing conditions

RUST | ORLING
ARCHITECTURE

2

ADDRESS OF PROJECT: 607 S. Washington St.

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 080.02-01-12

ZONING: CL

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☐ Property Owner ☒ Business (Please provide business name & contact person)

Name: Linder Academy

Address: 1400 Chain Bridge Rd

City: McLean State: VA Zip: 22101

Phone: N/A E-mail: _____

Authorized Agent (if applicable): ☐ Attorney ☒ Architect ☐ _____

Name: Rust|Orling Architecture, Inc.

Phone: 7 03 8 363 05

E-mail: admin@rustorling.com

Legal Property Owner:

Name: Stevens Companies LLC

Address: 316 Windover Ave NW

City: Vienna State: VA Zip: 22180

Phone: _____ E-mail: _____

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☐ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☒ EXTERIOR ALTERATION: *Please check all that apply.*

☐ awning
☒ doors
☐ lighting
☐ other _____

☐ fence, gate or garden wall
☒ windows
☐ pergola/trellis

☐ HVAC equipment
☐ siding
☐ painting unpainted masonry

☐ shutters
☐ shed

☐ ADDITION
☒ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Add a new door to the east facing facade (of the Gibbon Street portion of the building), removal of an existing site wall, adding a new window on the west facade, re-painting the building (maintaining existing color), and various "in-kind" maintenance items to repair damaged or deteriorating elements.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- ☐
☒
☒

☐
☐

N/A

☐ Survey plat showing the extent of the proposed demolition/encapsulation.
☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☐ Description of the reason for demolition/encapsulation.
☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A
- ☐ ☒ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☒ FAR & Open Space calculation form.
- ☐ ☒ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☒ Existing elevations must be scaled and include dimensions.
- ☐ ☒ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☒ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A
- ☐ ☒ Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☒ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet or bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☒ ☒ N/A
- ☐ ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☐ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:Signature: Lauryn StapletonPrinted Name: LAURYN STAPLETONDate: 6/1/21

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. KRISTIN CARPENTER, LINDER ACADEMY	1400 CHAIN BRIDGE RD, MCLEAN, VA 22101	0
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 607 S. Washington St. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Stevens Companies LLC	316 Windover Ave NW, Vienna, VA 22180	100
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. KRISTIN CARPENTER	N/A	N/A
2. STEVENS COMPANIES LLC	N/A	N/A
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

6/1/21

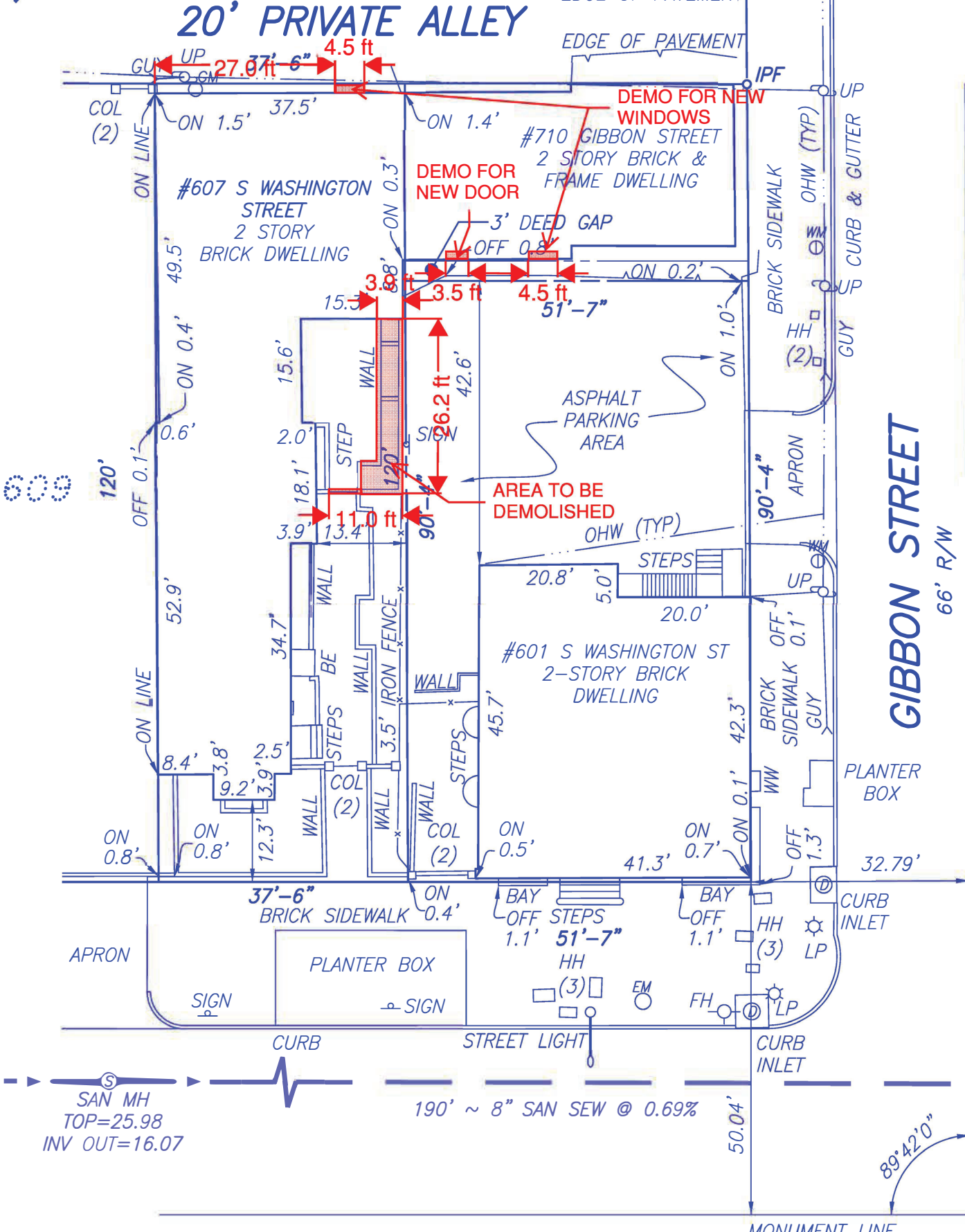
Date

LAURYN STAPLETON, RUST ORLING

Printed Name

Lauryn Stapleton
Signature

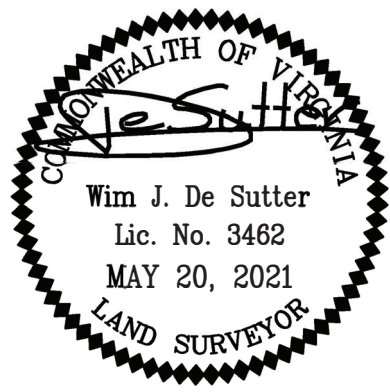
NOTE: TAX ASSESSMENT MAP NUMBER: 080-02-01-11 (601 S WASHINGTON ST)
080-02-01-12 (607 S WASHINGTON ST)
LOT AREA: 4,659 SF (601 S WASHINGTON ST)
4,500 SF (607 S WASHINGTON ST)



SOUTH WASHINGTON STREET
100' R/W
PLAT

SHOWING PHYSICAL IMPROVEMENT SURVEY
ON THE PROPERTIES LOCATED AT 601 & 607
SOUTH WASHINGTON STREET
INSTR #040039037 (601 S WASHINGTON ST)
DB 1687, PG 1564 (607 S WASHINGTON ST)
CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1" = 20' DATE: MAY 20, 2021	OWNERS: 601 S WASHINGTON LLC (601) STEVENS COMPANIES LLC (607)
NOTES: DEED BOOK REF: INSTR #040039037 (601); 1687/1564 (607) PLAT SUBJECT TO RESTRICTIONS OF RECORD. TITLE REPORT NOT FURNISHED, THUS ALL EASEMENTS MAY NOT BE SHOWN.	RCF FIELDS & ASSOCIATES, INC. ENGINEERING • LAND SURVEYING • PLANNING 700 S. Washington Street, Suite 220 www.rcfassoc.com Alexandria, Virginia 22314 (703) 549-6422
I HEREBY CERTIFY THAT THE LOCATION OF THE PHYSICAL IMPROVEMENTS SHOWN HEREON IS CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, AND COMPLIES WITH THE MINIMUM STANDARDS AND PROCEDURES SET FORTH IN CHAPTER 18VAC10-20-380 OF THE VIRGINIA CODE. NO PROPERTY CORNERS WERE SET.	

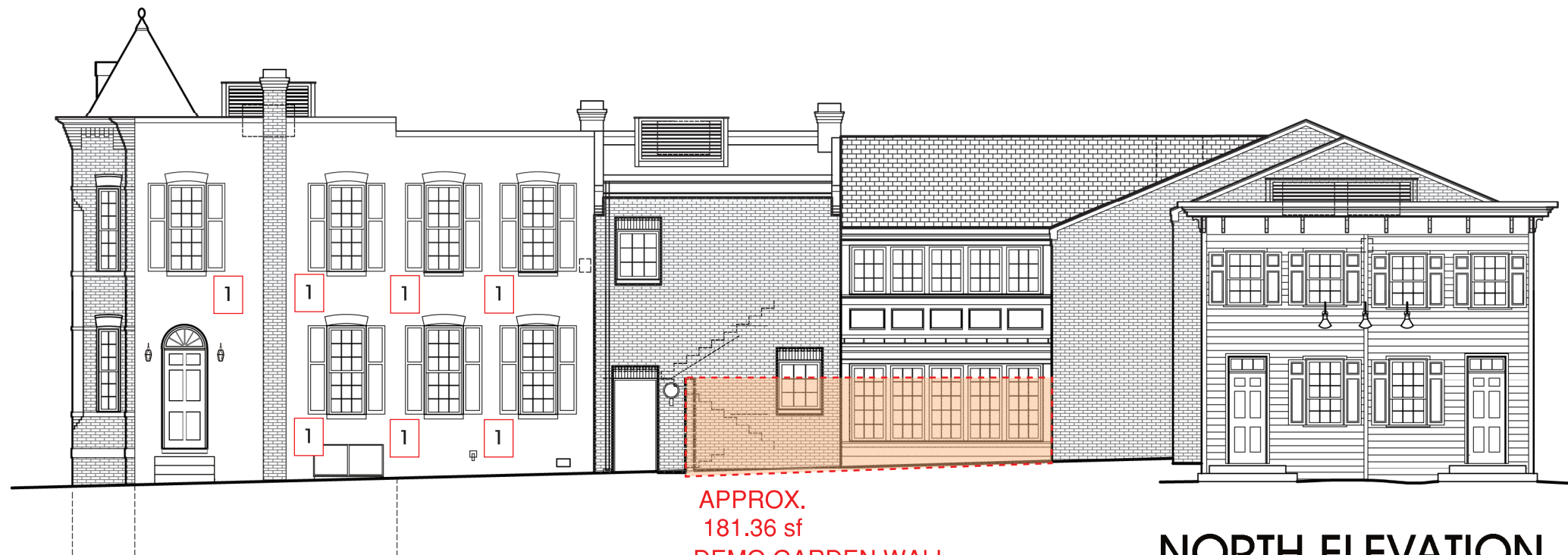


J:\2021\21074\DWG\SURVEY\21074.dwg
Thu, May 20 2021 11:44:49am



SOUTH ELEVATION

3/32" = 1'-0"



APPROX.
181.36 sf
DEMO GARDEN WALL
IN FOREGROUND-
SEE PLAT PLAN FOR
LOCATION

NORTH ELEVATION

3/32" = 1'-0"

PROPOSED MAINTENANCE

- repair existing plaster cracks and remove metal supports protruding from existing plaster
- repair/replace existing beveled siding, trim and soffits in-kind as required.
- prep and paint existing brick, plaster and beveled siding white (to match existing.)
- 2 Reglaze existing windows as required
- Remove previous tenant ID plaques
- Replace/repair rotted wood casings, fascia and soffits as required
- replace/repair rotted double hung window at west elevation in-kind
- repair/replace existing gutters and downspouts in-kind
- repair/replace or remove existing non-functional shutters. Restore all functional shutters as required.

1 functional shutters noted.

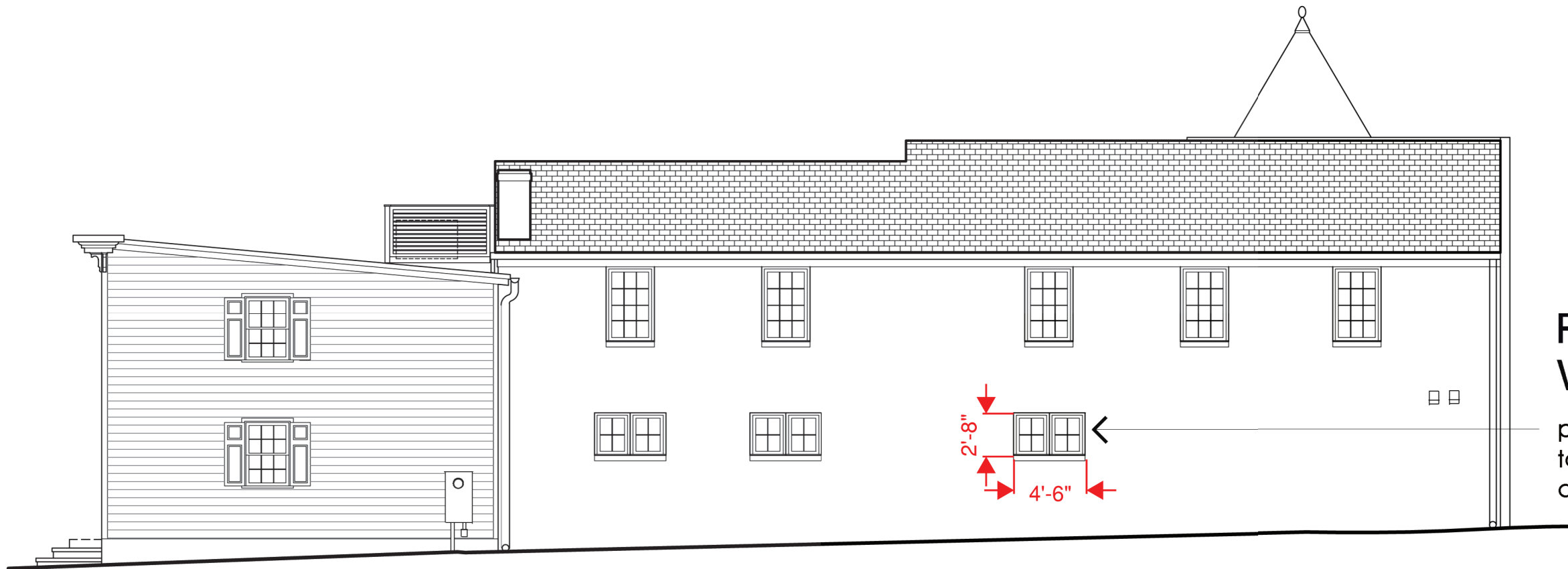
607 S. WASHINGTON STREET/710 GIBBON STREET PROPOSED SCOPE OF WORK



RUST | ORLING
ARCHITECTURE

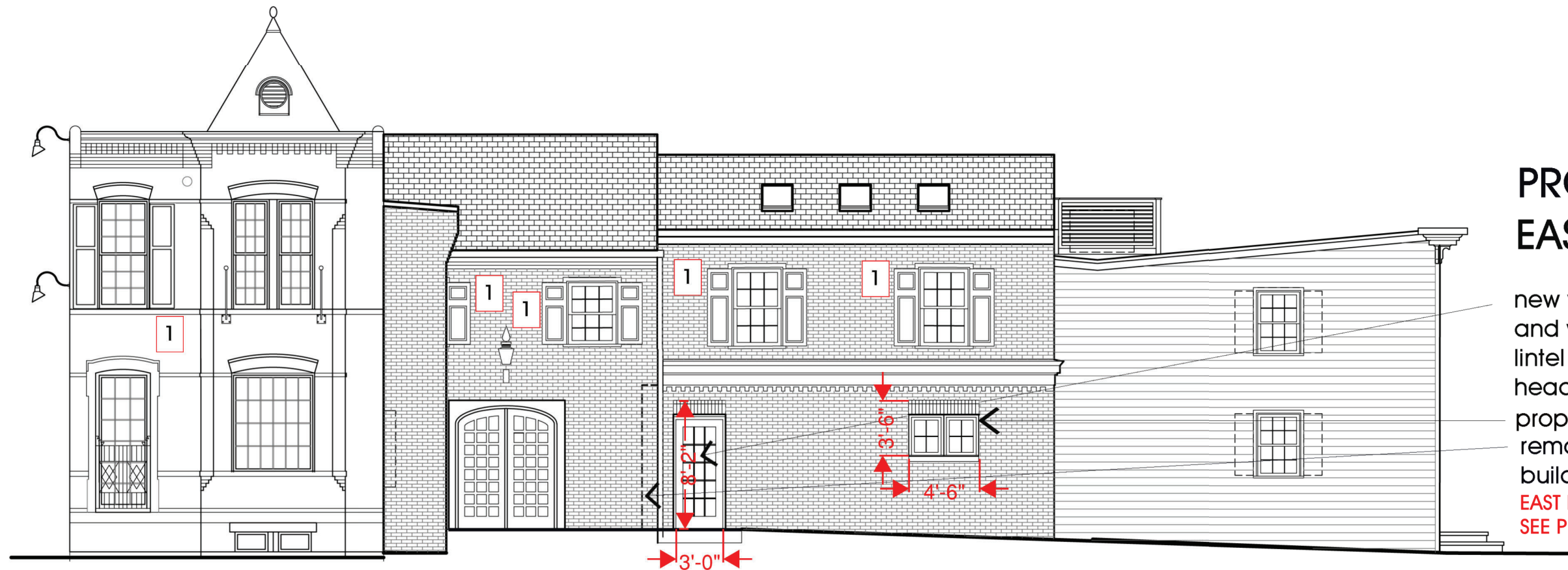
See North South Elevation sheet for list of maintenance items applicable to these elevations

1 functional shutters noted.



PROPOSED NEW WORK WEST ELEVATION 1/8" = 1'-0"

proposed new window
to match existing repair plaster
as required. **WEST ELEVATION DEMO AREA= ~12 SF**



PROPOSED NEW WORK EAST ELEVATION 1/8" = 1'-0"

new wood door with simulated divide lites
and wood frame with brick mould casings
lintel to be rowlok over soldier crs. to match
header at adjacent 1999 stair addition
proposed new window to match existing
remove existing garden walls. tooth in
building corner as required
EAST ELEVATION DEMO AREA= ~40.25 SF
SEE PLAT PLAN FOR GARDEN PLANTER DEMO AREA

607 S. WASHINGTON STREET/710 GIBBON STREET PROPOSED SCOPE OF WORK



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east elevation interior lot line view



west elevation alley view



607 S. Washington Street

1

Existing conditions





GARDEN WALL TO
BE REMOVED.



north elevation/ interior lot line view

north elevation/ Gibbon Street view



607 S. Washington Street
710 Gibbon Street

2

Existing conditions

RUST | ORLING
ARCHITECTURE



GARDEN WALL TO
BE REMOVED.



south elevation/interior lot line view ▲

◀ ▲ east elevation/ S.Washington Street view

 **LINDER**
EDUCATIONAL COACHING

607 S. Washington Street 3

Existing conditions

RUST | ORLING
ARCHITECTURE