

ISSUE: Permit to Demolish/Capsulate (partial), Certificate of Appropriateness for alterations and Waiver of Rooftop HVAC Screening Requirement

APPLICANT: Anne Toth

LOCATION: Old and Historic Alexandria District
413 North Washington Street

ZONE: CL/Commercial Low Zone

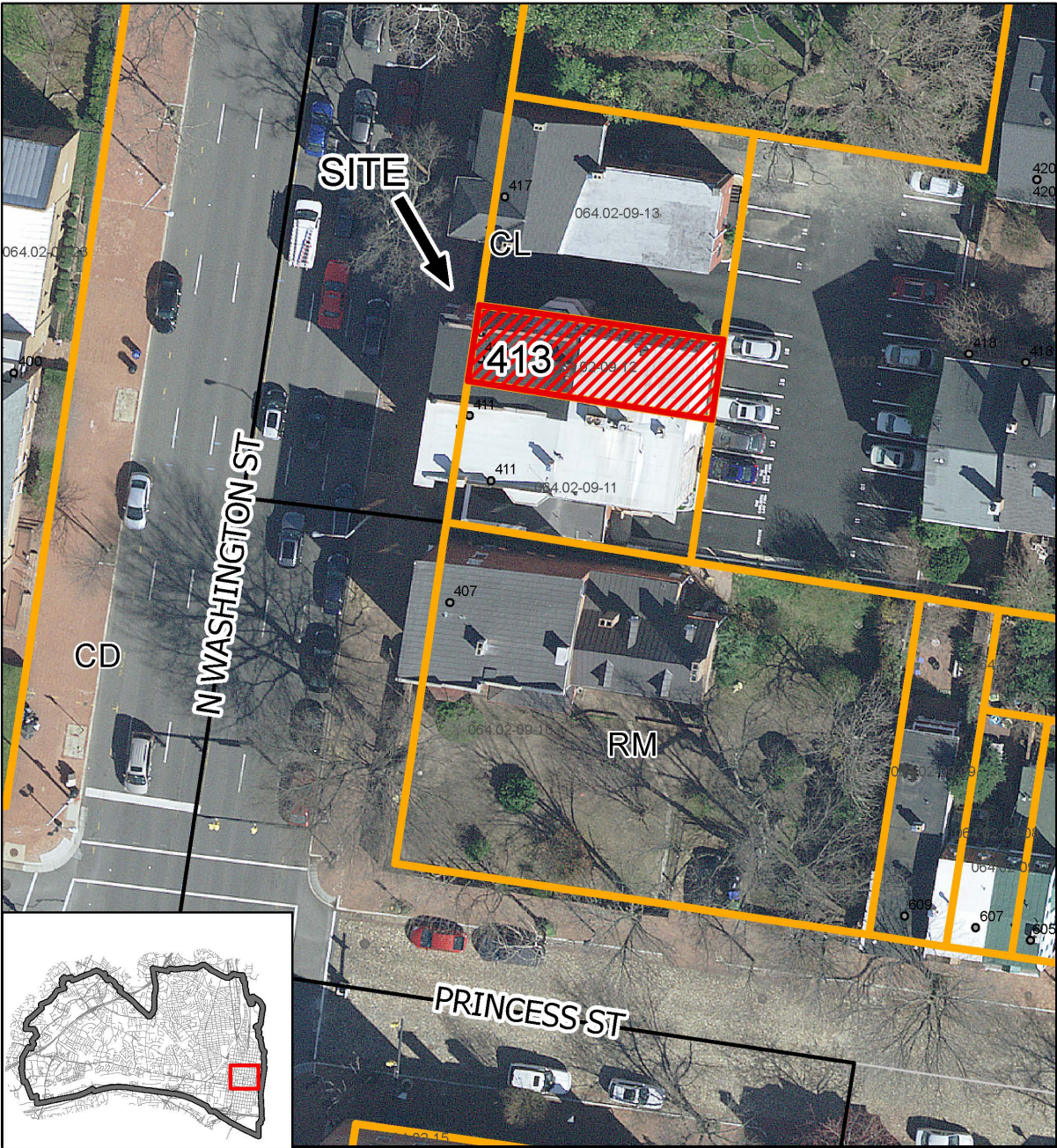
STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial), Certificate of Appropriateness and Waiver of Rooftop HVAC Screening Requirements for alterations with the following conditions:

1. All historic windows on the first floor must be retained and repaired;
2. The windows on the second floor (two-over-two) may be replaced with new six-over-six wood windows;
3. All historic windows on the third floor must be retained and repaired;
4. Glass from the two-over-two windows should be retained and used to replace broken glass in the windows which will be retained;
5. All new and replacement windows must meet the Board's *New and Replacement Window Performance Specifications*;
6. That the applicant provide documentation with the building permit materials that the adjacent property owner (415/417 N. Washington Street) will allow for the encroachment of the new stoop and railings on the north elevation of the property.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR #2021-00236 & BAR #2021-00261
413 North Washington Street

0 15 30 60 Feet



Note: *Staff coupled the applications for a Permit to Demolish (BAR #2021-00236) and Certificate of Appropriateness (BAR #2019-00261) for clarity and brevity. The Permit to Demolish requires a roll call vote.*

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial), Certificate of Appropriateness and a Waiver of Rooftop HVAC Screening Requirement for alterations at 413 North Washington Street.

Permit to Demolish/Capsulate

Demolition is proposed in the following locations:

North elevation:	Demolition of masonry on the third floor for a new window
East elevation:	Demolition of entire rear elevation; bricks to be salvaged and reused on the rear elevation.
Roof:	Demolition of the back portion of the flat roof to create a sunken roof deck in the currently enclosed third floor interior space

Certificate of Appropriateness

The applicant proposes a number of alterations to the building in an attempt to return the building to a residence. The following is proposed:

Front façade

Alterations are limited to repairing missing wood trim details and joining the double door panels to create a single door.

Side (north) elevation

On the first floor, a new stoop will be constructed at the easternmost door and simple metal railings will be installed here, as well as at the stoop further to the west. The existing six-over-six wood windows will be replaced with new six-over-six windows. Material not specified.

On the second floor, the existing two-over-two wood windows will be replaced with new two-over-two, single-glazed metal windows.

On the third floor, the existing six-over-six wood windows will be replaced with new two-over-two double-glazed metal windows. The single new window will match the replacement windows.

Rear (east) elevation

The rear elevation will be entirely rebuilt using salvaged bricks to the greatest extent possible. Fenestration on the first and second floors will be a modern full-light storefront system, abutting

new casement windows to the south under transoms. The top floor will have new two-over-two single-glazed metal windows.

Roof

A portion of the existing flat roof at the front of the house will be removed for a skylight and the existing ground mounted HVAC condensers will be relocated to the roof.

The rear portion of the roof will be demolished, and a new roof deck built at the level of the third floor. The walls surrounding this roof deck will be existing to remain.

Site context

The drive aisle to the north of the subject property is addressed as 415 North Washington Street and is owned by 417 North Washington Street. There is an access easement over the drive aisle for the owners of Lee Mews Condominium (addressed off of North St. Asaph Street) to access their parking lot in the interior of the block. Views to the impacted areas are limited to what can be seen from North Washington Street and from Oronoco Street over the open space of the Lee-Fendall House museum and Princess Street over the open space behind 407 North Washington Street.



Figure 1: Site context

II. HISTORY

413 North Washington Street is one of a pair of three-story, three-bay high style brick Italianate rowhouses that were originally constructed as residences and date from **ca. 1872**. Sometime in the mid-20th century an early two-story rear porch was removed, and the building was converted to office uses.

Previous BAR Approvals

February 9, 2011: Administrative Approval for a hanging sign (BAR Case #2011-00034)

May 22, 2012: Administrative Approval for ground mounted HVAC condenser (BAR Case #2012-00171).

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	No
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in	No

	American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	
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While staff does not typically support the wholesale demolition and reconstruction of historic walls, the accompanying structural report identifies significant problems and past repairs that have made this wall structurally unsound. Therefore, staff supports the demolition of the rear wall, particularly because historic brick will be salvaged and used in the reconstruction of the wall. Staff also supports the minor demotion on the top floor of the north elevation to add a single window, and the removal of a portion of the flat roof to create the sunken roof deck. While significant, the removal of the roof does not change the appearance of the building and it could easily be replaced in the future. The masonry material that will be demolished for the project is limited to secondary elevations with limited visibility from the right-of-way and is not of unusual or uncommon design and the affected portions it could be reproduced easily today. In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted.

Certificate of Appropriateness

Staff is pleased that the applicant proposes to rehabilitate this well-preserved but somewhat neglected historic house and return it to its original residential use. Staff has met with the applicant on more than one occasion and the program has evolved to cause only a minimal impact on this historic building, with the exception of the rear elevation. The creation of a sunken roof deck is unusual in the historic district but in this case, because the original fenestration pattern is retained on the third floor, the deck is not likely to be perceived by the public.

Rear Elevation

Staff supports the proposed modern fenestration changes on the rebuilt rear elevation. This elevation will only be visible, and minimally so, from oblique views from Princess, Oronoco and St. Asaph Street. While the rear wall will contain some historic brick, it is essentially a blank canvas and the use of modern fenestration helps to differentiate this part of the house from the largely untouched side and front elevations. While this elevation is not an addition, it is consistent with the *Design Guidelines* recommendation that “An addition to a historic building should be clearly distinguishable from the original structure. An addition should not obscure or dilute the architectural and historic importance of an existing building by creating a false sense of the past.”

Windows

Staff’s only concern has to do with the replacement of some of the historic windows on the north elevation, east of the existing two-story bay window. New windows are proposed on all three floors, some will be metal and be either single or double-glazed, and the material of the first-floor windows is unknown. Staff and the applicant walked through the interior of the house to inspect

each window on the north elevation and the majority are either original or very old, and most have cylinder glass. One aspect that staff was particularly interested in understanding as part of the site visit was why the first and third floor had six-over-six windows and the second floor had two-over-two windows. Staff has determined that it is likely that the two-over-two windows are very early replacement windows and that these windows were all probably six-over-six, which is the case with the twin townhouse at 411 North Washington Street. This is not unusual as builders typically used the most modern and most expensive materials on the fronts of buildings, or in this case, the side of the building up to and including the projecting bay.

Per the Board's policy and general preservation philosophy, staff does not support the replacement of historic wood windows that can be retained and repaired. However, since the two-over-two windows were early replacement staff does not object to the replacement of the second-floor windows with wood six-over-six windows, provided that the applicant preserve the glass in the windows to be removed to replace the various pieces of broken glass in the historic six-over-six windows. In summary, staff finds the following with respect to the proposed new windows on the *north* elevation:

- All historic windows on the first floor must be retained and repaired
- The windows on the second floor (two-over-two) may be replaced with new six-over-six wood windows
- All historic windows on the third floor must be retained and repaired
- Glass from the two-over-two windows should be retained and used to replace broken glass in the windows which will be retained
- All new and replacement windows must meet the Board's *New and Replacement Window Performance Specifications*.

Stoop/railing Encroachment

While staff has no objection to the replacement stoop or the historically appropriate metal railing, this portion of the site is not located on the applicant's property, but rather is part of the 415-417 North Washington Street property. The building permit documentation must include proof that the neighboring property owner will permit these features to encroach.

Waiver of Roof top Mechanical Screening Requirement

The applicant proposes to relocate the ground mounted HVAC units to the flat roof. The units will likely not be visible from the right of way because they will be located on the flat roof which has an existing parapet.

With the conditions noted above, staff recommends approval of the application.

STAFF

Stephanie Sample, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

- F-1 Per section 2-154(E), height is taken to the roof line in the case of flat roofs with parapet walls three feet in height or less. The proposed parapet wall is less than three feet in height, therefore; the overall height of the rear portion of the roof is not being increased.
- F-2 The submitted FAR is filled out incorrectly. A revised FAR sheet will be required at time of building permit.
- F-3 The proposed alterations comply with zoning.

Code Administration

- F-1 A building permit and plan review are required prior to the start of construction.

Transportation and Environmental Services **CONDITIONS**

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

FINDINGS:

- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

CODE REQUIREMENTS

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 No archaeological oversight is needed for this project as proposed.

V. ATTACHMENTS

- 1 – Application Materials*
- 2 – Supplemental Materials*

ADDRESS OF PROJECT: 413 North Washington StreetDISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old BuildingTAX MAP AND PARCEL: 064-02-09-12 ZONING: CLAPPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☒ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*Name: Anne TothAddress: 413 N Washington StCity: Alexandria State: VA Zip: 22314Phone: _____ E-mail: annetoth@gmail.comAuthorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ _____Name: Robert Cole Phone: 202.234.1090E-mail: rc@coleprevost.com

Legal Property Owner:

Name: Anne TothAddress: 413 N Washington StCity: Alexandria State: VA Zip: 22314Phone: _____ E-mail: annetoth@gmail.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☒ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☒ No Is there a homeowner's association for this property?
- ☒ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- | | | | |
|--|---|---|-----------------------------------|
| <input type="checkbox"/> NEW CONSTRUCTION | | | |
| <input checked="" type="checkbox"/> EXTERIOR ALTERATION: <i>Please check all that apply.</i> | | | |
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input checked="" type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input checked="" type="checkbox"/> doors | <input checked="" type="checkbox"/> windows | <input checked="" type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
| <input type="checkbox"/> ADDITION | | | |
| <input checked="" type="checkbox"/> DEMOLITION/ENCAPSULATION | | | |
| <input type="checkbox"/> SIGNAGE | | | |

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

FRONT (West) Elevation- Add missing wood bracket and detail to existing cornice
 SIDE (North) Elevation- 3rd F: Add 2-over-2 metal window, to match existing
 2nd F: Replace 2-over-2 windows with 2-over-2 insulated windows in metal frames
 Ground F- Rebuild stair on East: Add stone treads and landing. and bronze handrails
 BACK (East)- Carefully remove entire painted, damaged brick wall. Rebuild using
 salvaged historic bricks and new windows set in new white painted metal structure.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- | | | |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Survey plat showing the extent of the proposed demolition/encapsulation. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Description of the reason for demolition/encapsulation. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible. |

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☒ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet or bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Robert Cole

Printed Name: Robert Cole

Date: 03 May 2021

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Anne Toth	413 N Washington St., Alexandria, VA 22314	100
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 413 N Washington St., Alexandria, VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Anne Toth	413 N Washington St., Alexandria, VA 22314	100
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Anne Toth	n/a	n/a
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

03 May 2021
Date

Robert Cole
Printed Name

Robert Cole
Signature



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations

as of 12/20/18

B

A. Property Information

A1. 413 N Washington Street
Street Address

CL
Zone

A2. 1,292.00 x 0.75 = 969.00
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**		
Basement	1,299.37	Basement**		B1. 5,269.94 Sq. Ft.
First Floor	1,335.60	Stairways**	168.65	Existing Gross Floor Area*
Second Floor	1,335.60	Mechanical**		B2. 293.37 Sq. Ft.
Third Floor	1,299.37	Attic less than 7'***		Allowable Floor Exclusions**
Attic		Porches**		B3. 4,976.57 Sq. Ft.
Porches		Balcony/Deck**		Existing Floor Area Minus Exclusions (subtract B2 from B1)
Balcony/Deck		Lavatory***	124.72	Comments for Existing Gross Floor Area
Lavatory***		Other**		
Other**		Other**		
B1. Total Gross	5,269.94	B2. Total Exclusions	293.37	

C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**		
Basement	1,299.37	Basement**	1,299.37	C1. 5,266.34 Sq. Ft.
First Floor	1,335.00	Stairways**	169.96	Proposed Gross Floor Area*
Second Floor	1,335.60	Mechanical**		C2. 2,303.78 Sq. Ft.
Third Floor	773.87	Attic less than 7'***		Allowable Floor Exclusions**
Attic		Porches**		C3. 2,962.56 Sq. Ft.
Porches		Balcony/Deck**	522.50	Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Balcony/Deck	522.50	Lavatory***	311.95	
Lavatory***		Other**		
Other		Other**		
C1. Total Gross	5,266.34	C2. Total Exclusions	2,303.78	

D. Total Floor Area

D1. 7,939.13 Sq. Ft.
Total Floor Area (add B3 and C3)

D2. 969.00 Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space

E1. 0.00 Sq. Ft.
Existing Open Space

E2. 516.80 Sq. Ft.
Required Open Space

E3. 522.50 Sq. Ft.
Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____

Date: **03 May 2021**



Toth Residence

413 N Washington St, Alexandria, VA 22314

Proposed Renovations for Historic Exterior

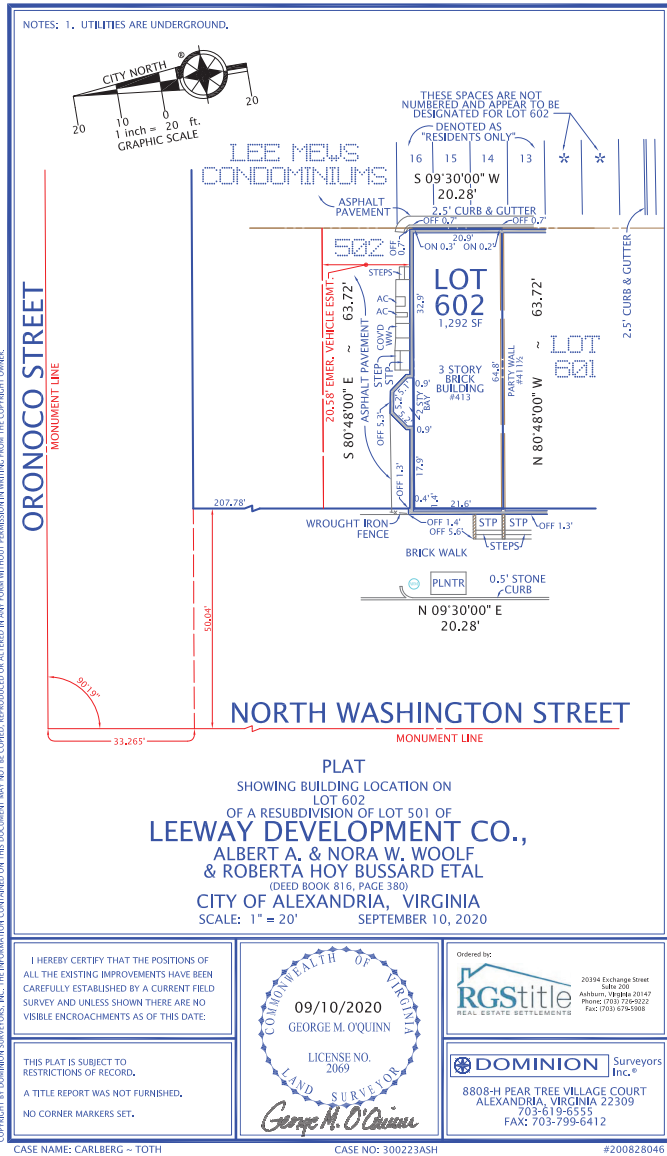
REV #	DATE	DESCRIPTION	REVISED SHEETS
21	05.03	BAR Review	

21|05.03 BAR Review
date Toth Residence 20.11



COLEPRÉVOST

T 202 234 1090 E cp@coleprevost.com



PROJECT DESCRIPTION

Address: 413 N Washington Street,
Arlington, VA 22314

Scope of Work: Renovation of Interior and East Elevation

Study Group: 088

Zoning: MU-2

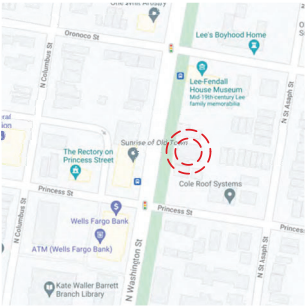
Site Parcel: 06402-090-12

PROJECT DIRECTORY

CLIENT
Anne Toth
413 N Washington Street,
Arlington, VA 22314

DESIGNER
ColePrévost Incorporated
1635 Connecticut Avenue NW
Washington, DC 20009
202.234.1090

LOCATION MAP



DRAWING LIST

Title Sheet		
Survey		
D1.01	Existing Floor Plan - Level I + II	3/16" = 1'-0"
D1.02	Existing Floor Plan - Level III + Roof	3/16" = 1'-0"
Existing Photos		
D2.01	Existing Exterior Elevations	3/16" = 1'-0"
D2.02	Existing Rear Conditions	
Proposed		
A1.01	Proposed Floor Plan - Level I + II	3/16" = 1'-0"
A1.02	Proposed Floor Plan - Level III + Roof	3/16" = 1'-0"
A2.01	Proposed Exterior Elevations	3/16" = 1'-0"
Perspective		
V.01	Perspective - N Washington Street	
V.02	Perspective - N St. Asaph Street	
V.03	Perspective - Oronoco Street	

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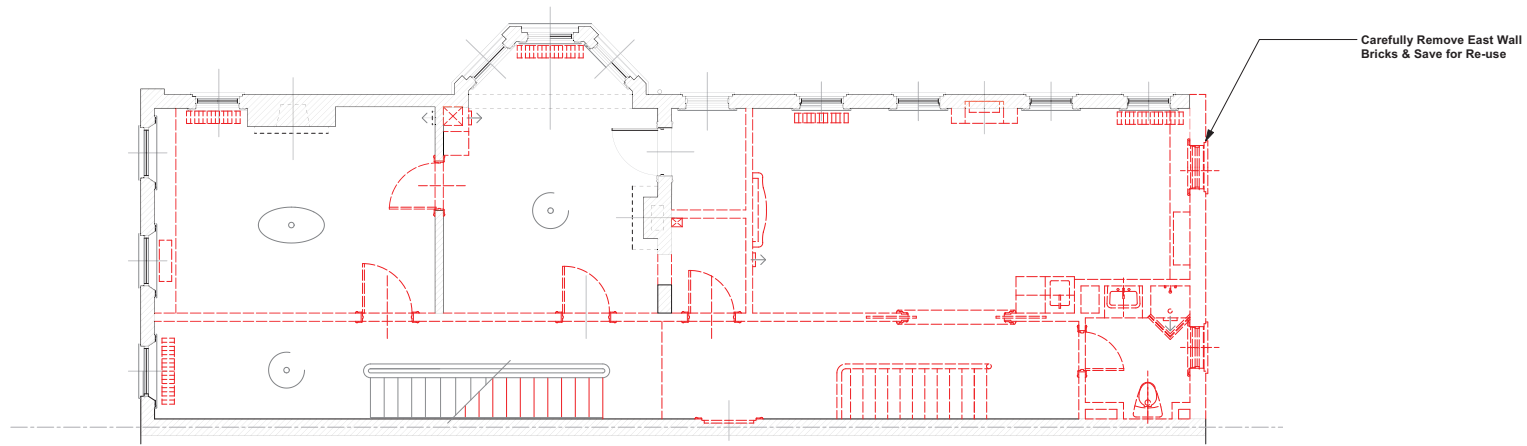
Survey

Toth Residence

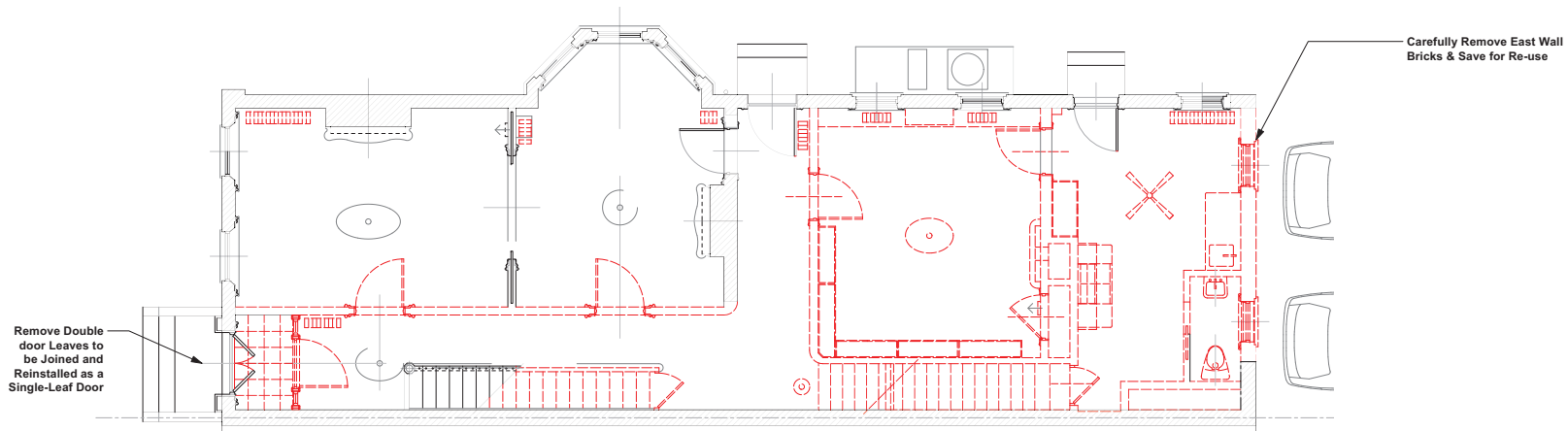
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Alexandria, VA 22314

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2 Existing Second Floor Plan



1 Existing First Floor Plan



Existing/Demo Plans

Scale: 3/16" = 1'-0"

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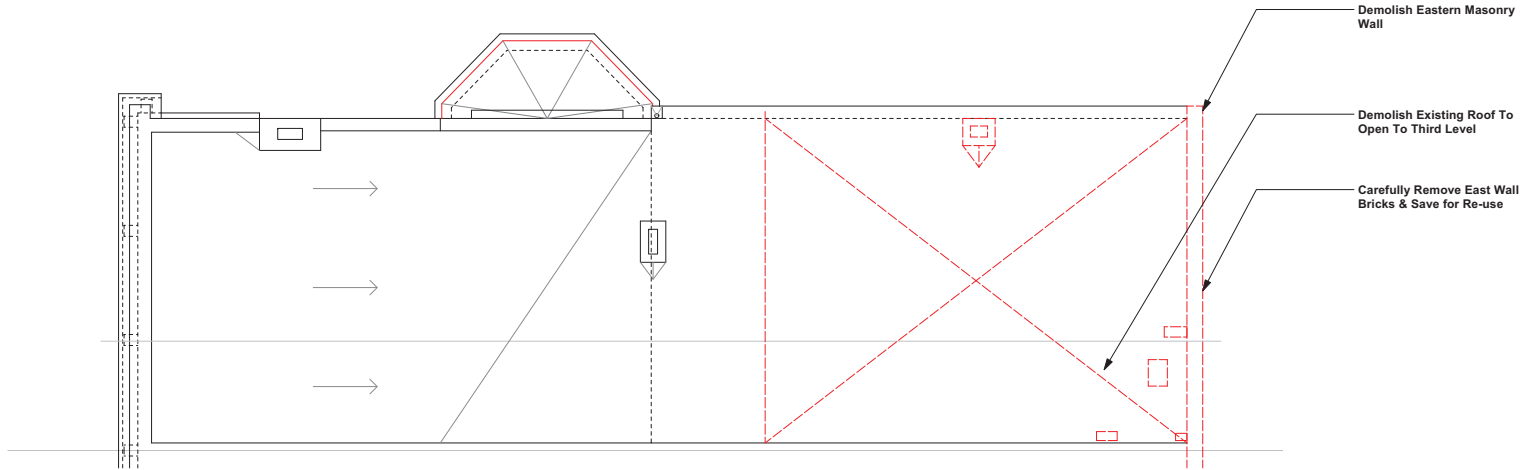
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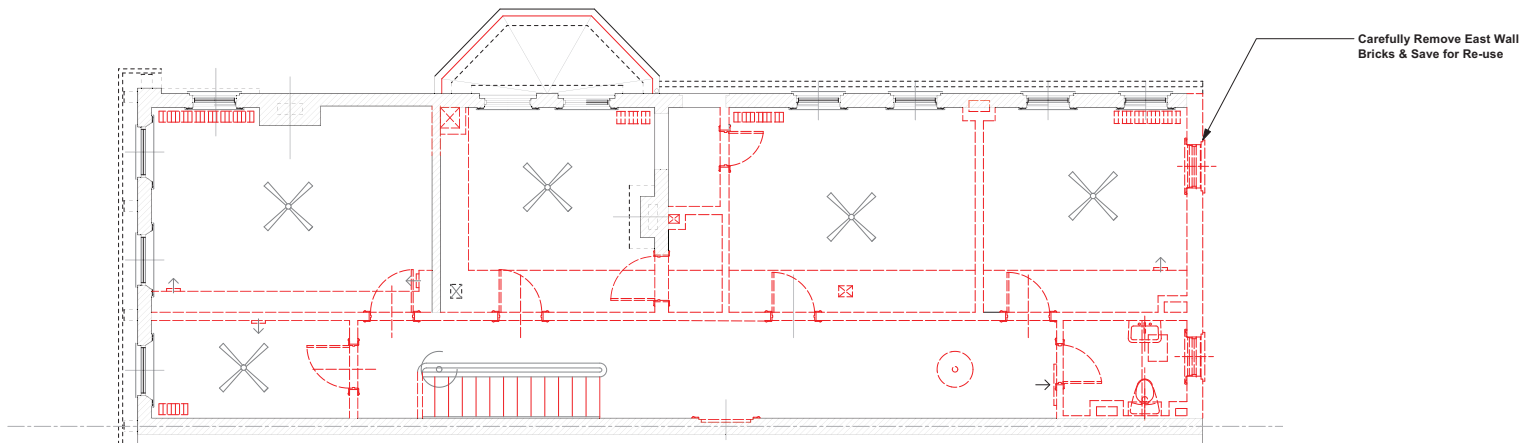
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2 Existing Roof Plan



1 Existing Third Floor Plan



Existing/Demo Plans

Scale: 3/16" = 1'-0"

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Front (North Elevation)



Front (NW Corner)



Side (NE Corner)



Rear (East Elevation)



Rear (East Elevation)



Existing Photos

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3

Side (North) Elevation



1

Front (West) Elevation



2

Rear (East) Elevation

Existing Elevations

Scale: 3/16" = 1'-0"

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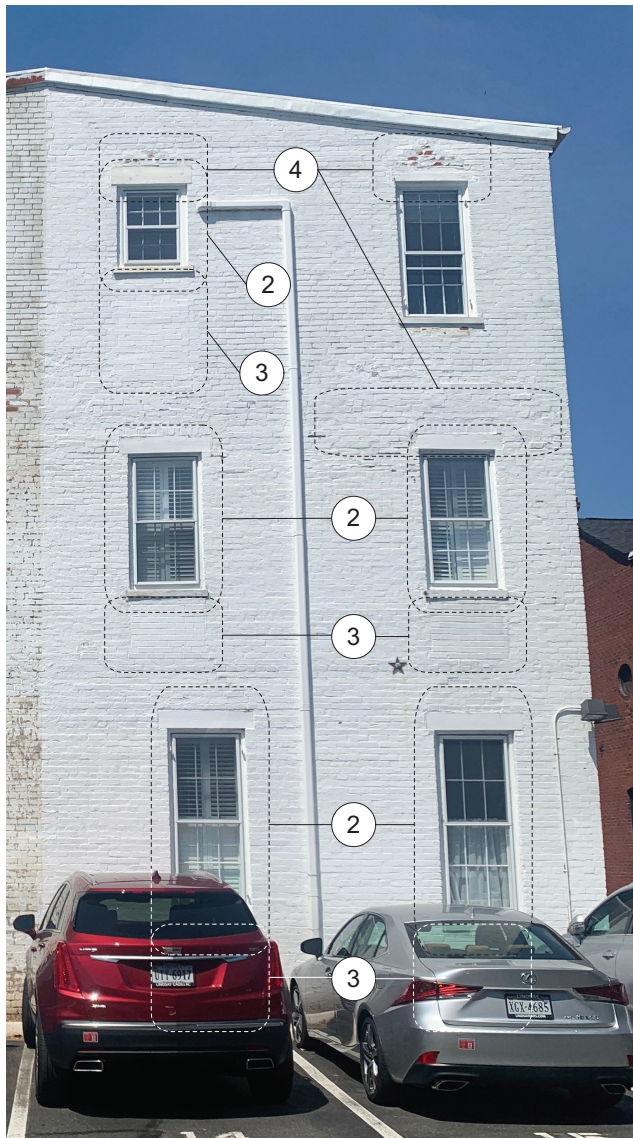
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1 Historic Brick Has Been Painted Over

2 Historic Openings Closed in with New Window Replacements

3 Historic Brick Replaced in Several Places

4 • Spalled Brick
• Structural Repairs Needed (Reference Structural Engineer)



1 Rear (East) Elevation
Scale: 1/8" = 1'-0"

1



2



3



3



4

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Existing Conditions

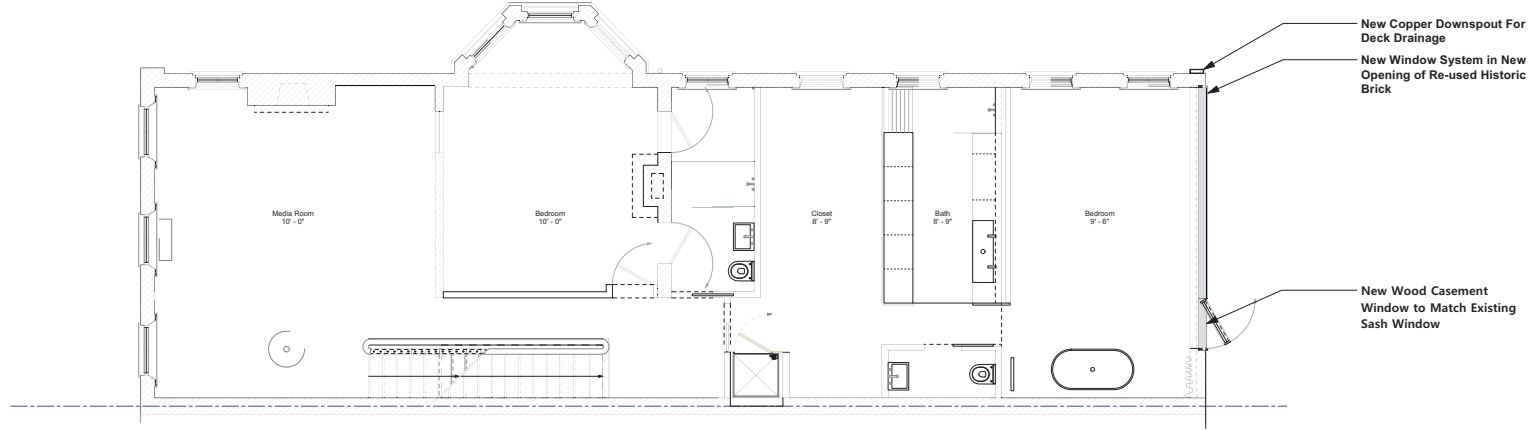
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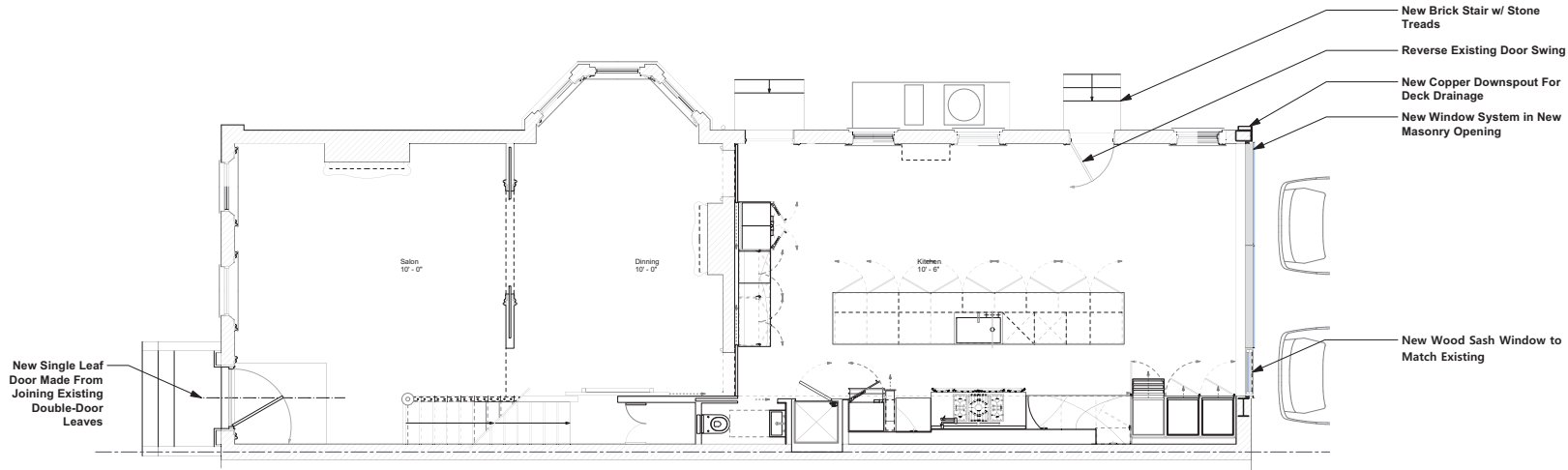
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2

Proposed Second Floor Plan



1

Proposed First Floor Plan



Proposed Floor Plans

Scale: 3/16" = 1'-0"

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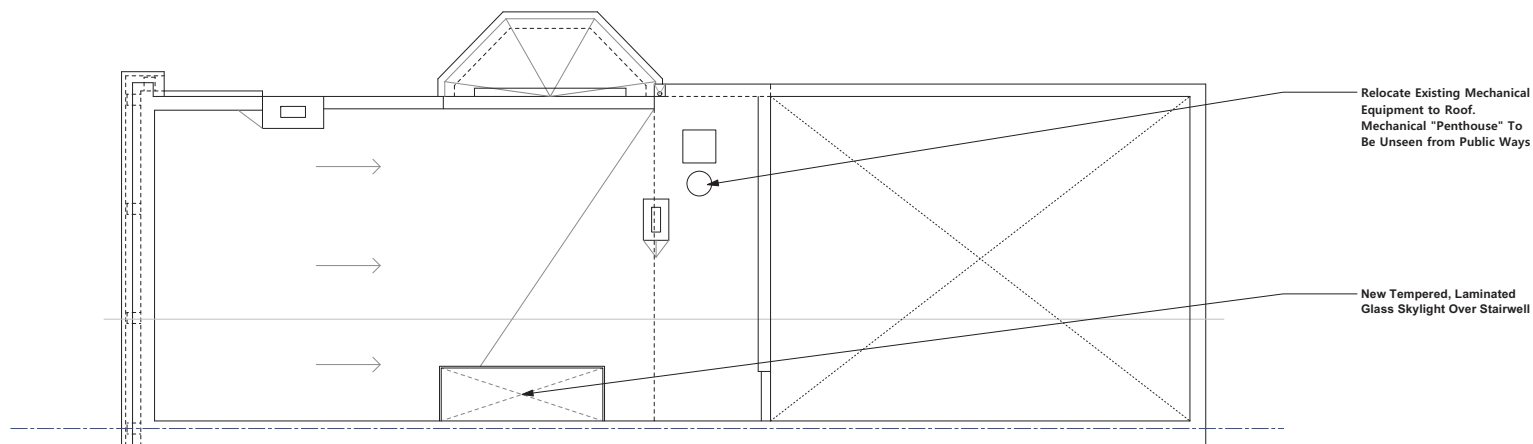
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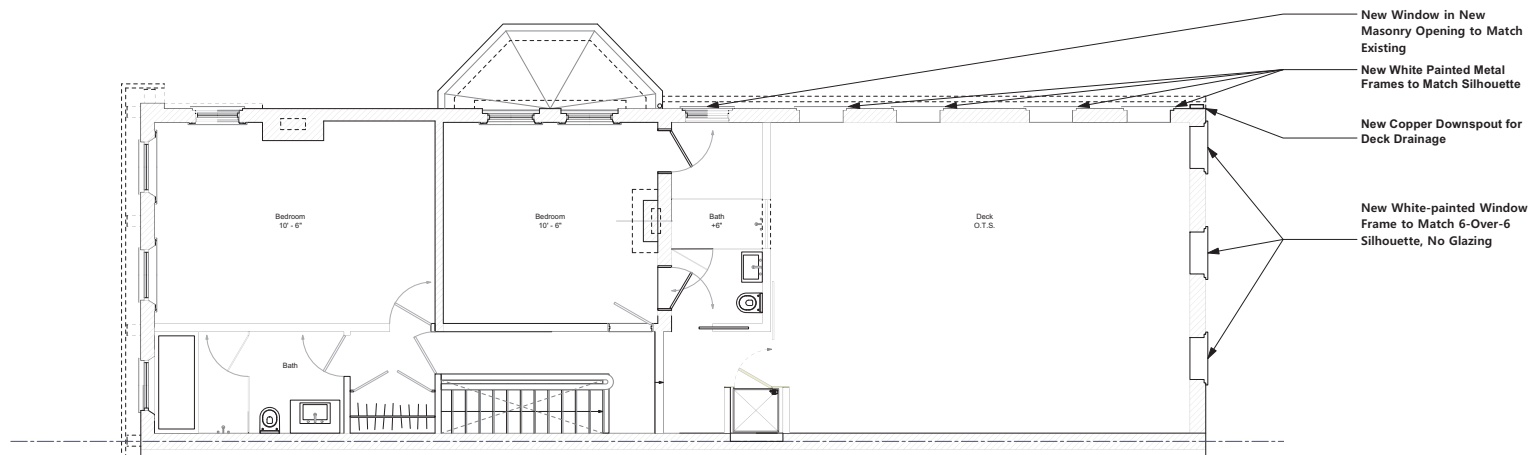
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2

Proposed Roof Plan



1

Proposed Third Floor Plan



Proposed Floor Plans

Scale: 3/16" = 1'-0"

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3

Side (North) Elevation



1

Front (West) Elevation



2

Rear (East) Elevation

Proposed Elevations

Scale: 3/16" = 1'-0"

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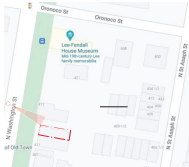
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Current View From N. Washington



Proposed View From N. Washington



Proposed Perspective - Front Looking SE

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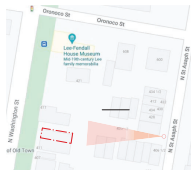
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Current View From St. Asaph - Building Circled in Red



Proposed View From St. Asaph - Building Circled in Red



Proposed Perspective - Back Looking West

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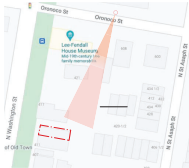
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View From Oronoco St. - Building Circled in Red



Proposed View From Oronoco St. - Building Circled in Red



Proposed Perspective - Oronoco Street

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V

1.03

FIELD REPORT

Date:	June 4, 2021	Date(s) on site:	May 21, 2021
Attention:	Robert Cole	Project name:	Toth Residence
Company:	Cole Prevost	1200AE Proj. #:	20-162.1
Weather:	Sunny and warm	Location:	413 N. Washington St. Alexandria, VA
Submitted by:	John Matteo, PE	Present on site:	J. Matteo, 1200AE; R. Cole & D. Fernandez- Barbara, Cole Prevost; W. Cromley, WC Restoration; S. Sample and BAR Reps.
Cc:	John Thibau, 1200AE		



OBSERVATIONS	IMAGES
<p>John Matteo of 1200 Architectural Engineers, PLLC visited the site on May 21, 2021 to review and discuss the structural condition of the east wall at the above residence. As depicted in Photo 1, the wall is currently painted white and integral with the adjacent brick masonry wall to the south. The wall is currently in poor structural condition and in need of significant repair. The conditions are broadly shown in Figure 1 and then described with detailed photos. The historic residence is being renovated and modifications to the east wall are proposed that will address the current structural weaknesses while also introducing changes to fit with the interior renovation. As the rear wall of the property, the visibility of the proposed changes for the general public is very limited.</p> <p>Of note in Photo 1, and shown in detail in Photo 2, is the fact that the wall to the south has been substantially rebuilt. The painted white portions of the wall consist of some portions that were left in place along the centerline of the combined façade, with the scattered white brick perhaps representing salvaged brick. The red brick appears newer and no longer is constructed with the common bond pattern of the original construction. The wood lintels have been replaced with steel angles over the windows.</p>	 <p>Photo 1: East Elevation</p>  <p>Photo 2: Transition to Rebuilt Wall to the South</p>



Figure 1: East Elevation with Structural Conditions Noted

Figure 1 shows the conditions of the east wall in broad perspective.

The red lines represent larger scale cracking that is generally focused around the window openings (shown in some detail in Photo 3). The cracking is likely the result of several factors, the first of which is the apparent replacement of the wood lintels at some point in the past. The current lintels, with smooth finish and sharp 90 degree edges, are clearly newer and sawn from modern machinery. The original wood likely rotted from the sustained presence of moisture in the wall. As the rear wall functions as a primary component of lateral resistance for the building, the cracking may also be associated with stresses imposed on the façade from wind and seismic loadings (recalling the 2011 Mineral, VA earthquake as a fairly recent, significant event). The loose connection of the east façade to the floor and roof diaphragms and its resulting bowing, as discussed below, is also likely a factor contributing to the masonry cracking. An important note is that the cracking observed is clearly subsequent to the latest painting effort, and also after the lintel replacement.

The green arrows show examples of paint loss that is the result of brick deterioration. The loss of coating is fairly widespread, with concentrations above the upper two windows (Photo 4). However, the coating loss is less important structurally than the material disintegration of the brick units and mortar that appears to be the root cause within the wall construction. This is likely the result of sustained moisture within the wall, perhaps even being retained by the coating, and then the resulting stressing from freeze-thaw cycling. As retained water freezes it expands volumetrically, inducing internal stresses to the moisture-containing masonry.

The yellow arrows show areas of infill below windows. It appears that there was some sort of accessible porch as the windows were previously serving as doorways. The new brick has not been toothed into the original jambs, providing a



Photo 3



Photo 4: Brick deterioration over lintels



Photo 5:

natural discontinuity and avenue for cracking and water penetration. Note that at least one of the documented larger cracks follows along the lines of one of these infill areas.

The orange arrow shows a single star anchor located at the 2nd floor level. Star anchors are a traditional way of bracing the exterior masonry façade to the floor and roof diaphragms, particularly along facades where the interior framing does not bear on the exterior wall, and instead runs parallel to the wall. The wood joists and rafters of the interior floor and roof framing run north-south here and, as such, provide limited bracing to the east wall. The single star anchors appears to have been installed in reponse to outward bowing of the wall, however would not fully address the bowing as currently observed.

Using a 4 foot level and tape measure, Matteo measured the wall at the first floor level to be out of plumb on the order 1 inch over the 4 foot length. As such, the wall is estimated to be bowing on the order of 3 inches at around the mid-height of the second floor. This bowing imposes bending stresses in the wall as the result of an eccentricity between the weight of the wall above and its misaligned position below, rendering the wall more susceptible to failure when subjected to larger loadings.

Photo 5 show both the deterioration of the masonry and its outward displacement at the second floor level.

Photo 6 shows a rapid outward displacement at the ground level, as the bowed wall realigns itself with foundation level masonry that is kept in place by the surrounding soil.

Photo 7 shows that the bowing is restrained at the return walls (both the north wall and the south demising wall between the connected buildings) but increases substantially toward the middle of the façade, both north to south, and from ground to roof.



Photo 6:



Photo 7: Outward Bowing of East Wall

RECOMMENDATIONS

The structural conditions noted above warrant significant structural repair and stabilization as part of the upcoming renovation and preservation work. Of particular concern is the outward bowing of the façade, which needs to be minimally addressed with more robust connection to the floor and roof diaphragms. Also very significant, but less easily quantified, is the apparent deterioration of the mortar and masonry units that has resulted from a long history of moisture infiltration and entrapment. The combined effects of these structural conditions and the history of modification (window infills, lintel replacements) makes a more substantial rebuilding much more appropriate and offers an opportunity to restore physical integrity to this essential component to the building structure.

If you should have any questions or concerns related to the content of this report, please feel free to contact us at (703) 350-4151.

Site observation visits are conducted for the purpose of observing the general nature of and the technical progress of the work and do not replace regular quality control inspections.



