

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

APPLICANT: John and Emily Galer

LOCATION: Old and Historic Alexandria District
314 Commerce Street

ZONE: CD/Commercial Downtown Zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations as submitted.

BOARD ACTION: Deferred from February 17, 2021 hearing

By unanimous consent, the Board of Architectural Review accepted the request for deferral of BAR #2021-00020 and BAR #2021-00023.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.

Note: Staff coupled the applications for a Permit to Demolish (BAR #2021-00023) and Certificate of Appropriateness (BAR #2021-00020) for clarity and brevity. The Permit to Demolish requires a roll call vote.

UPDATE This case was deferred from the February 17, 2021 hearing due to illness. Additionally, the applicant has modified the previous design after discussing the project with an adjacent neighbor who had expressed concern about the project.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to replace the roof of an existing one-story structure on the rear/south elevation with a new roof deck and convert a window to a door to access said deck at 314 Commerce Street.

Site context

The property abuts the parking lot of Shiloh Baptist Church at 1401 Duke Street to the south. As such, the rear of the property is visible from Duke and West streets and minimally visible from Commerce Street. See Figures 1, 2, and 3.



Figure 1: View from Duke Street with proposed deck area circled



Figure 2: Aerial view from Duke showing overall context with proposed deck area circled; note that nearby buildings on West and Duke and the west end of Commerce are modern.



Figure 3: View from Commerce with proposed deck area circled

II. HISTORY

Code Enforcement permit number 1881, dated November 27, 1985 and issued to the Hart Development Corporation, approved the construction of this dwelling on the previously vacant lot, which had been divided from the adjacent 316 Commerce Street. Electrical and plumbing permits indicate that construction was completed in early **1986**.

Previous BAR Approvals

The BAR approved the construction of this building on January 15, 1986 (BAR-85-256). The applicant was Harry Hart of the Hart Development Corporation.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility. Figure 3 depicts the proposed demolition and encapsulation to allow egress.

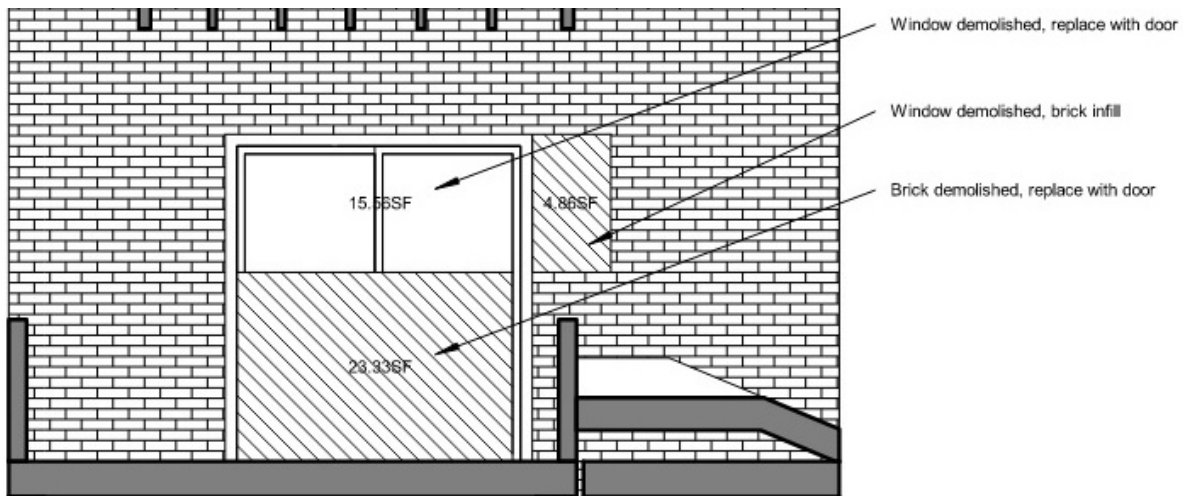


Figure 4: Proposed demolition and encapsulation

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No

(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The house was built in 1986 and therefore no historic fabric will be affected. The applicant proposes a limited amount of demolition and the small area that will be demolished is not of unusual or uncommon design and could be reproduced easily.

Certificate of Appropriateness

On May 10, 2021, the Board of Zoning Appeals approved a Special Exception to construct a roof deck and pergola in the required rear yard (BZA2021-00005). Due to the unusual shape of the lot, without the special exception, the guardrails and pergola would have to end 3.15 feet from the west property line, resulting in a lower quality design for the sake of accommodating an uncommon and odd rear lot line configuration (see site map for lot lines).

The *Design Guidelines* indicate that “Decks should not hide, obscure or cause the removal of historic architectural details.” While this criterion does not necessarily apply to a building constructed in 1986, the proposed minimalist design and appropriate materials blend in with the home and do not negatively affect its appearance. Frankly, in comparing the proposed roof deck to the existing roof of the one-story rear/south addition, staff finds the roof deck to be an improvement (see Figures 4 and 5). While technically a roof deck, the proposed terrace will be constructed on a one-story rear addition, not the main roof of the three-story house, making it less conspicuous. The *Design Guidelines* also specify that “Open decks are generally only appropriate on residential structures,” and “As a general rule, decks are only appropriate on buildings postdating ca. 1950.” The proposed deck also fulfills these criteria.



Figure 4: Existing rear elevation (neighbor garage to far left)



Figure 5: Proposed rear elevation

The proposed material of painted pressure-treated wood also adheres to the guideline that “... painted wood is an appropriate material for porch construction.” The applicant intends to stain the wood to match the brick, fulfilling the *Design Guideline* that “Decks should generally be painted the predominant color of the building...” Although the horizontal slats on the east side of the terrace make it appear more prominent, those were added at the request of the adjacent neighbor at 310 Commerce Street. The wood door with Low-E glazing complies with the *Alexandria New and Replacement Window Performance Specifications in the Historic Districts*.

Over the years, the BAR has approved numerous decks in the Old and Historic Alexandria District including those at 110 North Columbus, 1221 Prince, 317 – 325 North Columbus, 1228 Prince, 228 North Columbus, 1015 King, and 6 Prince, to name a few. All of the afore-mentioned properties are residential, with the exception of The Hour Shop at 1015 King and Misha’s Coffee

House at 6 Prince. The proposed roof deck at 314 Commerce therefore does not detract from the historic district and fully complies with BAR *Design Guidelines*.

Staff recommends approval of the project as submitted.

STAFF

Susan Hellman, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

- C-1 Special Exception BZA2021-00005 for a new roof deck, guardrails, and pergola within the required rear yard was approved by the Board of Zoning Appeals on May 10, 2021.
- C-2 A 2.3-foot portion of the existing building falls within the required east side yard. Because this proposal will decrease the height of the one-story side portion of the building within the required side yard, the decrease in the roof height and change to the roof pitch is allowed.
- F-1 The property has 1,130 square feet of open space and the proposal will decrease the open space by 30 square feet. A revised FAR form reflecting the correct existing and proposed open space (1,100 square feet) will be required when submitting for building permit.
- F-2 The proposed new roof deck, guard rails, stairs, and pergola comply with zoning.

Code Administration

- C-1 A building permit and plan review are required prior to the start of construction.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 No archaeological oversight will be necessary for this undertaking.

V. ATTACHMENTS

1– Application Materials

2 – Supplemental Materials

ADDRESS OF PROJECT: 314 Commerce StreetDISTRICT: ☒ **Old & Historic Alexandria** ☐ **Parker – Gray** ☐ **100 Year Old Building**TAX MAP AND PARCEL: Map 074.01 Block 12 Lot 03ZONING: CDAPPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
*(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)*Applicant: ☐ Property Owner ☒ Business *(Please provide business name & contact person)*Name: Moore Construction Group - Rachel DeBaunAddress: 913 Duke StreetCity: Alexandria State: VA Zip: 22314Phone: 703-960-0253 E-mail: rachel@moorecg.comAuthorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☒ **contractor**Name: Rachel DeBaun Phone: 703-960-0253E-mail: rachel@moorecg.com

Legal Property Owner:

Name: John and Emily GalerAddress: 314 Commerce StreetCity: Alexandria State: VA Zip: 22314Phone: 217-556-5755 E-mail: jpgaler@gmail.com

- ☐ **Yes** ☒ **No** Is there an historic preservation easement on this property?
- ☐ **Yes** ☐ **No** If yes, has the easement holder agreed to the proposed alterations?
- ☐ **Yes** ☒ **No** Is there a homeowner's association for this property?
- ☐ **Yes** ☐ **No** If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☒ EXTERIOR ALTERATION: *Please check all that apply.*
 ☐ awning ☐ fence, gate or garden wall ☐ HVAC equipment ☐ shutters
 ☐ doors ☐ windows ☐ siding ☐ shed
 ☐ lighting ☐ pergola/trellis ☐ painting unpainted masonry
 ☒ other _____ Roof Deck to Replace Roof
- ☐ ADDITION
☒ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Replace existing rear roof structure over 1 story rear office with new roof deck to
 provide access to back yard from main level kitchen. Demo brick in order to replace window with door.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☐ ☐ Description of the reason for demolition/encapsulation.
☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ☐ ^{N/A} ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ^{N/A} ☐ Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet or bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☒ ^{N/A} ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Rachel A DeBaun

Printed Name: Rachel DeBaun

Date: 01/18/21

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Rachel DeBaun	913 Duke Street	0%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. John Galer	314 Commerce Street	50%
2. Emily Galer	314 Commerce Street	50%
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. n/a		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

1/18/21

Date

Rachel DeBaun

Printed Name

Rachel A DeBaun

Signature



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations

as of 12/20/18

B

A. Property Information

A1. 314 Commerce Street CL
Street Address Zone

A2. 2,549.00 x 1.50 = 3,823.50
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**		
Basement	920.00	Basement**		B1. 2,486.00 Sq. Ft. Existing Gross Floor Area*
First Floor	783.00	Stairways**		B2. 0.00 Sq. Ft. Allowable Floor Exclusions**
Second Floor	783.00	Mechanical**		B3. 2,486.00 Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)
Third Floor		Attic less than 7'***		Comments for Existing Gross Floor Area
Attic		Porches**		
Porches		Balcony/Deck**		
Balcony/Deck		Lavatory***		
Lavatory***		Other**		
Other**		Other**		
B1. Total Gross	2,486.00	B2. Total Exclusions	0.00	

C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**		
Basement		Basement**		C1. 0.00 Sq. Ft. Proposed Gross Floor Area*
First Floor		Stairways**		C2. 0.00 Sq. Ft. Allowable Floor Exclusions**
Second Floor		Mechanical**		C3. 0.00 Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Third Floor		Attic less than 7'***		
Attic		Porches**		
Porches		Balcony/Deck**		
Balcony/Deck		Lavatory***		
Lavatory***		Other**		
Other		Other**		
C1. Total Gross	0.00	C2. Total Exclusions	0.00	

D. Total Floor Area

D1. 2,486.00 Sq. Ft.
Total Floor Area (add B3 and C3)

D2. 3,823.50 Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space

E1. 872.00 Sq. Ft.
Existing Open Space

E2. 892.00 Sq. Ft.
Required Open Space

E3. 840.00 Sq. Ft.
Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____

Date: 01/18/21



DEPARTMENT OF PLANNING AND ZONING

Alexandriava.gov

301 King Street, Room 2100

P.O. Box 178

Alexandria, VA 22313

Phone (703) 746-4666

Fax (703) 838-6393

May 17, 2021

Rachel DeBaun
913 Duke Street
Alexandria, VA 22314

Dear Rachel:

On March 10, 2021, the Alexandria Board of Zoning Appeals approved your application, BZA #2021-00005, request for a Special Exception to construct a roof deck and pergola in the required rear yard at 314 Commerce Street.

Your next step is to record the approved Special Exception in the City of Alexandria land records. You must complete and sign the attached land records recordation form. This form must be notarized and then recorded with the deed in Land Records at 520 King Street, Alexandria, VA 22314. Please note that the Land Records Division of the Circuit Court may charge a fee to process the recordation form. Proof of recordation must be submitted to the Planning and Zoning Department within 15 days of recordation and before building permits can be released.

Please note that the approval(s) will expire one year from the date of the hearing. If you have further questions, please contact me at 703.746.4333 or email me at mary.christesen@alexandriava.gov.

Sincerely,

Mary Christesen
Zoning Manager

Attachments: Variance or Special Exception Approval Land Records Recordation

cc: Tony LaColla, Land Use Services Division Chief
Margaret Cooper, Urban Planner
Anh Vu, Supervisory Program Analyst
Kaliah Lewis, Senior Planning Technician

CITY OF ALEXANDRIA, VIRGINIA
DEPARTMENT OF PLANNING AND ZONING
VARIANCE OR SPECIAL EXCEPTION APPROVAL LAND RECORDS RECORDATION
***This document must be notarized and then recorded with the deed in Land Records,
520 King Street, Alexandria, VA 22314***

DATE: May 10, 2021			
OWNER OF RECORD: John Galer & Emily Galer			
PROPERTY ADDRESS: 314 Commerce Street			
TAX MAP: 074.01	BLOCK: 12	LOT: 03	ZONE: CD
ACQUIRED BY DEED RECORDED AT DEED BOOK:			PAGE:

DESCRIPTION OF VARIANCE OR SPECIAL EXCEPTION:
BZA #2021-00005– Public Hearing and consideration of a Special Exception to construct a roof deck and pergola in the required rear yard; zoned: CD/Commercial Downtown.

The undersigned owners hereby acknowledge that the real property described above is subject the variance/ special exception stated herein.

The undersigned owners agree to record this notice among the land records of the City of Alexandria on or before June 4, 2021, to be indexed in their chain of title, and to give proof to the Planning Director within 15 days of such recordation.

SIGNATURE:	
NAME:	
STREET ADDRESS:	
CITY, STATE & ZIP:	

SIGNATURE:	
NAME:	
STREET ADDRESS:	
CITY, STATE & ZIP:	

XXXXXXXXXXXXXXXXXXXXTHIS DOCUMENT MUST BE NOTARIZED PRIOR TO FILING XXXXXXXXXXXXXXXXXXXX
CITY OF _____ Subscribed, sworn to and acknowledged before me

by _____

this _____ day of _____, 20_____. My Commission Expires _____.

Notary Public

Pergola - 4x4 Pressure Treated Posts and 1x6 pergola rafters stained to match brick facade. Maintaining 80% open across coverage of pergola per City of Alexandria ordinance.



Decking - 1x6 Pressure Treated Decking Stained to match brick facade

Privacy Railing (east) - 1x4 Pressure Treated Slats Stained to match brick facade alternating with Black Metal Balusters - max spacing between components 4" per IRC to extend up to lowest point of pergola.

Guardrail / Stair Rail (south) - 4x4 newel posts, termination / cap style tbd, 1x4 top and bottom rail with black metal balusters in between with 4" max spacing. 1x4 horizontal drink rail 4" above top rail of balusters. All non-metal components to be pressure treated wood stained to match brick facade.

Stairwell - All stair treads, risers, stringers etc to be assembled by IRC 311 of Pressure Treated Wood stained to match brick facade.



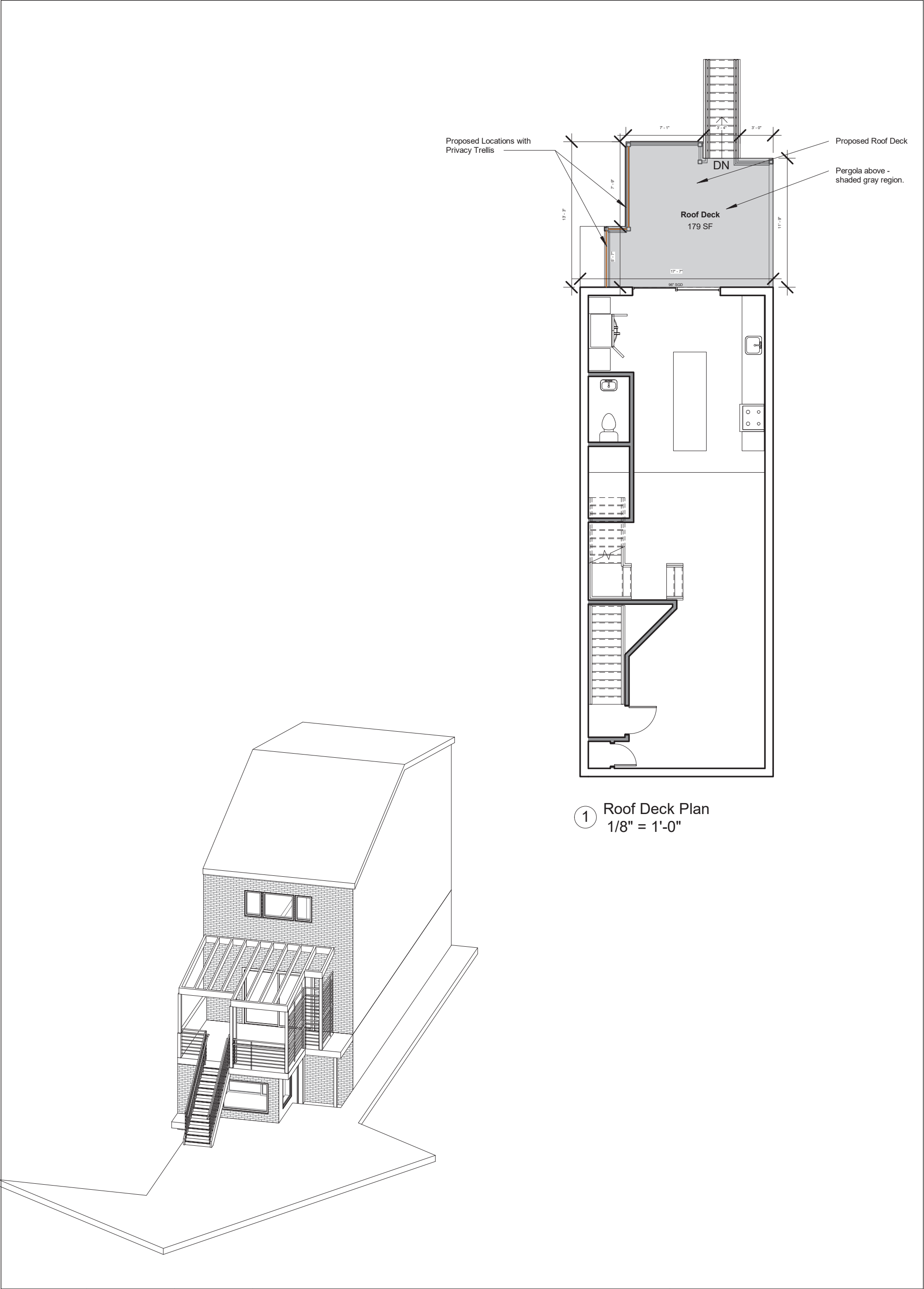




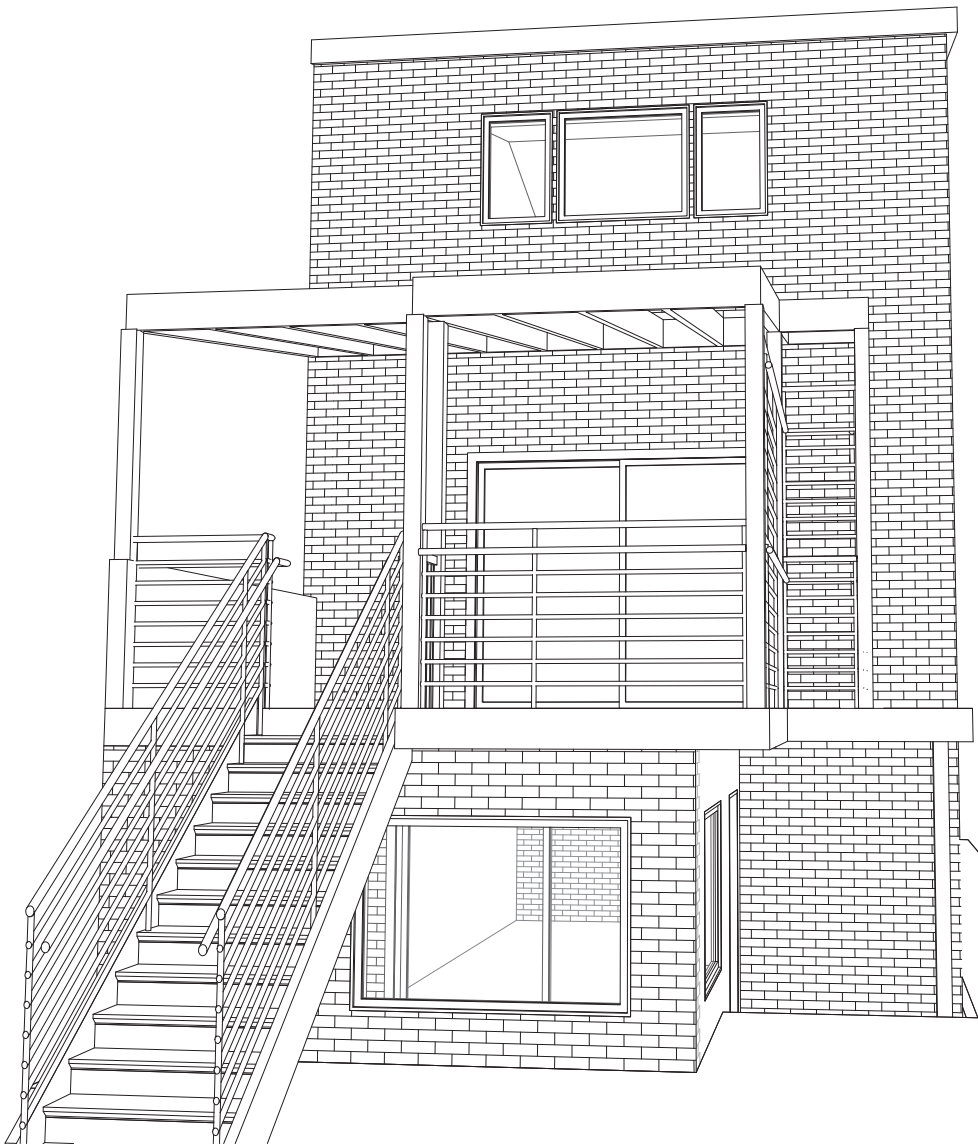
View from West St sidewalk



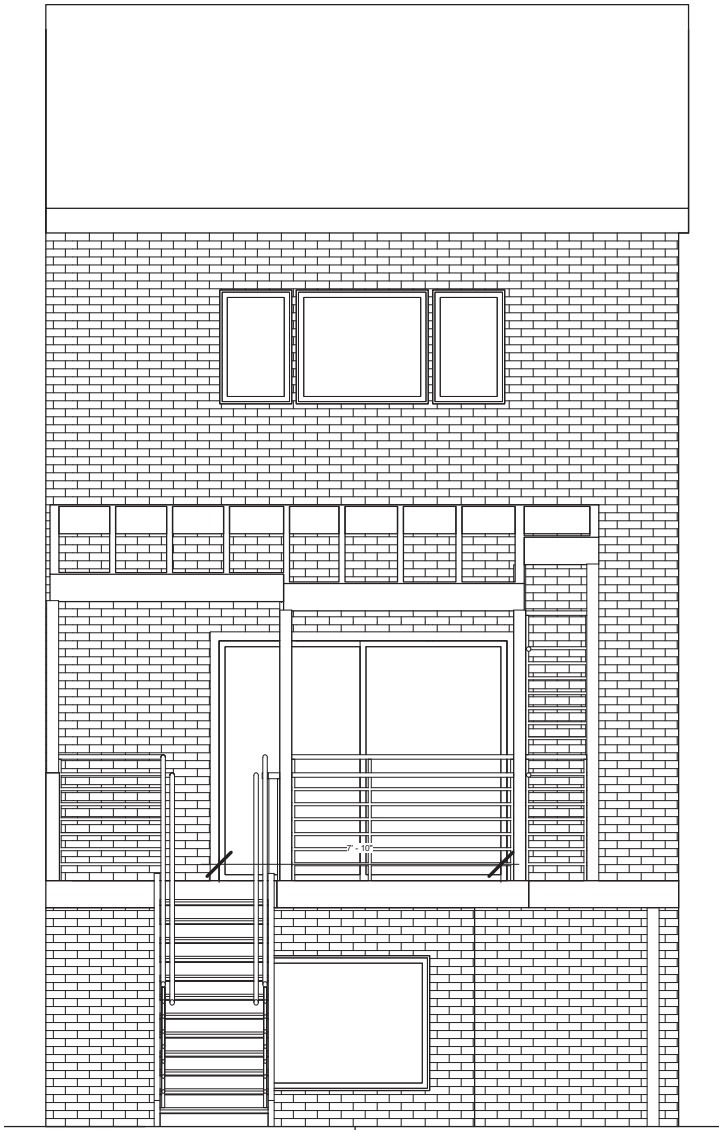
View from Duke Street



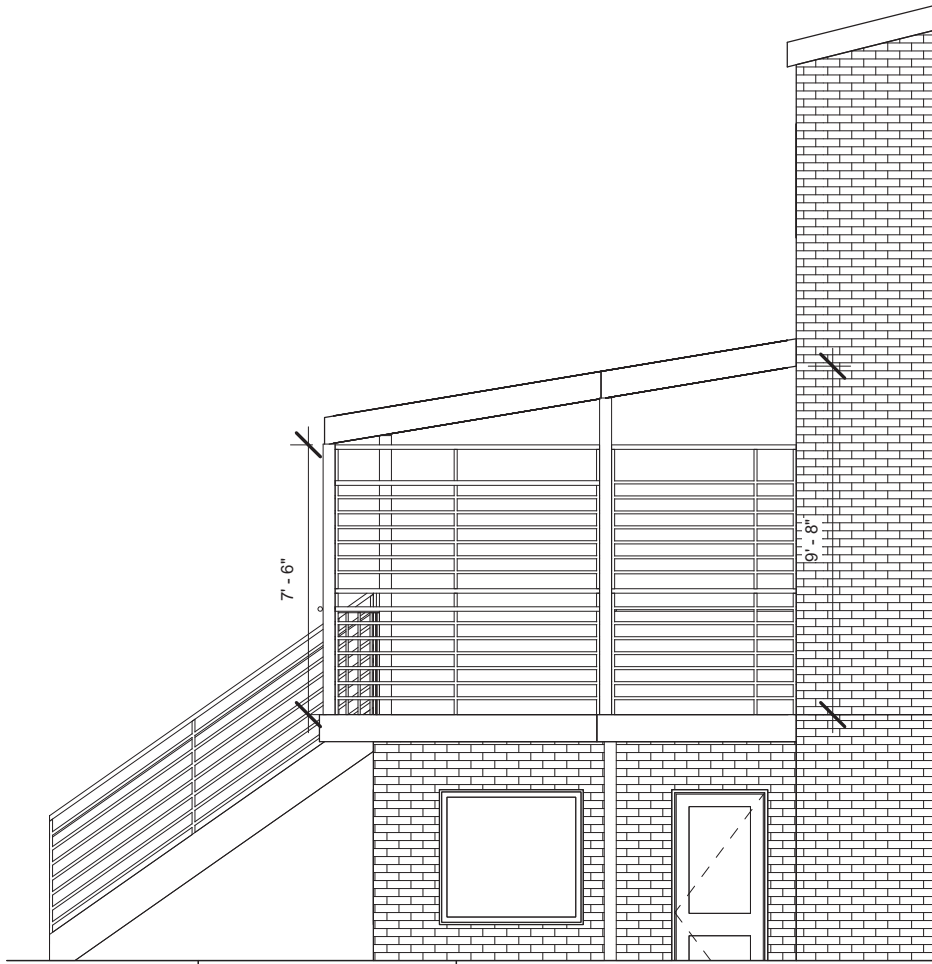
Schematic Design DRAWING STATUS:	Moore Construction Group 913 Duke St Alexandria VA, 22314 CONTRACTOR:	John & Emily Galer 314 Commerce St Alexandria, VA 22314 OWNER:	<table><tr><td colspan="2">Roof Deck Plan</td><td>A201</td></tr><tr><td colspan="2"></td><td rowspan="3">Scale 1/8" = 1'-0"</td></tr><tr><td>Date</td><td>06/10/21</td></tr><tr><td>Drawn by</td><td>R.DeBaun</td></tr><tr><td colspan="2"></td><td></td></tr></table>	Roof Deck Plan		A201			Scale 1/8" = 1'-0"	Date	06/10/21	Drawn by	R.DeBaun				314 Commerce St Alexandria, VA 22314
Roof Deck Plan		A201															
		Scale 1/8" = 1'-0"															
Date	06/10/21																
Drawn by	R.DeBaun																



Railing drawn for location only. See rendering for proposed railing and privacy trellis details and visual



2 New - Rear Elevation
3/16" = 1'-0"



1 New - Left Elevation
3/16" = 1'-0"

Schematic
Design

DRAWING STATUS:

Moore Construction Group
913 Duke St
Alexandria VA, 22314

CONTRACTOR:

John & Emily Galer
314 Commerce St
Alexandria, VA 22314
OWNER:

Elev and Views_Reno

A202

Date 06/10/21
Drawn by R.DeBaun

Scale 3/16" = 1'-0"

314 Commerce St
Alexandria, VA 22314

Need Help? | 1-800-525-5000 | Explore Features

THE HOME DEPOT

Pro

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Hello,

Rachel

Cart

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Home / Doors & Windows / Exterior Doors / Patio Doors

Internet #206531912 Model #JW2201-01099 UPC Code #733213091281





Interior View

Hover Image to Zoom

Feedback

60 in. x 80 in. W-2500 Contemporary White Clad Wood Left-Hand Full Lite Sliding
Patio Door w/White Paint Interior

by JELD-WEN > (Brand Rating: 3.8/5) ⓘ

★★★★★ (1) Write the First Review Questions & Answers (8)

⊕ Save to List

\$1941⁰⁰

26

Color/Finish: **White**



Door Hanging: **60 x 80**

Right-Hand/Slide

How to Get It

Ship to Store
Pickup
Mar 12 - Mar 17
FREE

Ship to Home
Expect it
Mar 18 - Mar 23
Standard Delivery

Express Delivery
Not available for this item

We'll send up to **99** to **Hybla Valley** for free pickup
Curbside pickup available.
[Change Store](#)

-

1

+

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We're unable to ship this item to homes and stores in: AK, GU, HI, PR, VI

Product Overview

JELD-WEN W-2500 wood sliding patio doors combine beauty with performance. They're made with our exclusive AuraLast Pine wood which has guaranteed protection from termites, rotting and water saturation. The exterior has corrosion-resistant aluminum cladding for added protection and ease of maintenance. They're built to be energy efficient, durable and secure to give you peace of mind. Our wood patio doors are as attractive as they are reliable to enhance the style and function of any home.

Info & Guides

You will need Adobe® Acrobat® Reader to view PDF documents. [Download a free copy from the Adobe Web site.](#)

✕ Shop This Collection from JELD-WEN (4)

All Items (4)

Patio Doors (4)



Feedback



Interior View



Interior View



Interior View



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× Get Everything You Need ⁽¹¹⁾



Andersen
Tribeca 2-Panel Gliding Patio Door Hardware Set in Stone

★★★★★ (119)

\$62²⁴

Kwikset
Tustin Satin Nickel Exterior Entry Door Lever and Single...

★★★★★ (652)

\$62⁹⁷

3M
84 in. x 112 in. Outdoor Patio Door Insulator Kit

★★★★★ (39)

\$13⁵⁷

Kwikset
Balboa Satin Nickel Entry Door Lever and Single Cylinder Lock

★★★★★ (453)

\$39⁹⁷

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Feedback

Compare Similar Patio Doors

	CURRENT PRODUCT			
				
Brand	JELD-WEN	JELD-WEN	JELD-WEN	JELD-WEN

Name	60 in. x 80 in. W-2500 Contemporary White Clad Wood Left-Hand Full Lite Sliding Patio Door w/White Paint Interior	60 in. x 80 in. W-2500 Contemporary White Clad Wood Left-Hand Full Lite Sliding Patio Door w/Unfinished Interior	60 in. x 80 in. W-2500 Contemporary White Clad Wood Right-Hand Full Lite Sliding Patio Door w/Unfinished Interior	60 in. x 80 in. W-2500 Contemporary Vanilla Clad Wood Left-Hand Full Lite Sliding Patio Door w/Unfinished Interior
Price	\$1941 ⁰⁰	\$2065 ⁰⁰	\$2065 ⁰⁰	\$2065 ⁰⁰
Ratings	★★★★★ (1)	★★★★★ (4)	★★★★★ (4)	★★★★★ (4)
Door Type	Sliding Patio Door	Sliding Patio Door	Sliding Patio Door	Sliding Patio Door
Door Handing	Left-Hand/Slide	Left-Hand/Slide	Right-Hand/Slide	Left-Hand/Slide
Door Configuration	Single Door	Single Door	Single Door	Single Door
Material	Pine	Pine	Pine	Pine
Finish Type	Painted	Painted	Painted	Painted
Features	Argon Filled Glass	Blinds Between the Glasses	Blinds Between the Glasses	Blinds Between the Glasses
Included	Handle Set,Instructions,Lockset,Screen	Handle Set,Instructions,Lockset,Screen	Handle Set,Instructions,Lockset,Screen	Handle Set,Instructions,Lockset,Screen
Bore Type	No Bore	No Bore	No Bore	No Bore
Frame Material	Wood	Wood	Wood	Wood
Number of Lites	1 Lite	1 Lite	1 Lite	1 Lite
	View Product	View Product	View Product	View Product



Specifications

Dimensions

Actual Door Height (in.)	79.5
Actual Door Thickness (in.)	4.563
Actual Door Width (in.)	59.5
Door Height (in.)	80
Door Thickness (in.)	4.563
Door Width (in.)	60
Nominal Door Height (in.)	80
Nominal Door Thickness (in.)	4.563
Nominal Door Width (in.)	60
Rough Opening Height (In.)	80
Rough Opening Width (In.)	60

Details

Bore Type	No Bore
Color Family	White
Color/Finish	White
Core Type	Solid Core
Door Configuration	Single Door
Door Glass Insulation	Low-E,Tempered
Door Handing	Left-Hand/Slide
Door Type	Sliding Patio Door
Features	Argon Filled Glass
Finish Type	Painted
Frame Material	Wood
Hinge Type	No Hinge
Included	Handle Set,Instructions,Lockset,Screen
Material	Pine
Number of Lites	1 Lite
Product Weight (lb.)	305.23
Returnable	180-Day


Feedback

Warranty / Certifications

Energy Star Qualified	North-Central,Northern,South-Central,Southern
Manufacturer Warranty	20 Year Limited

Customers Who Viewed This Also Viewed


Top Rated



MasterPiece 72 in. x 80 in. Smooth White Right-Hand

★★★★★ (791)


\$578⁰⁰



MP Doors 60 in. x 80 in. Woodgrain Interior and

★★★★★


\$849⁰⁰



MP Doors 60 in. x 80 in. Woodgrain Interior, Smooth

★★★★★


\$1137⁸¹



Stanley Doors 72 in. x 80 in. Double Sliding Patio Door

★★★★★ (163)


\$1099⁰⁰



JELD-WEN 60 in. x 80 in. W-2500 Contemporary

★★★★★ (3)


\$2342⁰⁰



MP Doors 60 in. x 80 in. Woodgrain Interior and

★★★★★

\$1057⁸⁹



American Crafts 80 in.

★★★★★

\$1250⁰⁰

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More Like This



Interior View




JELD-WEN 72 in. x 80 in. W-2500 Contemporary

★★★★★ (0)

\$2109⁰⁰

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JELD-WEN 72 in. x 80 in. W-2500 Contemporary

★★★★★ (3)

\$2584⁰⁰

Add To Cart




JELD-WEN 72 in. x 80 in. W-2500 Contemporary

★★★★★ (0)

\$2717⁰⁰

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JELD-WEN 72 in. x 80 in. W-2500 Contemporary

★★★★★ (3)

\$2187⁰⁰

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Feedback

Current Item



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- ✓ Easy to apply
- ✓ Long-lasting results, durability and adhesion.
- ✓ Fast drying times.*
- ✓ Perfect for a variety of wood surfaces.
- ✓ A wide range of deck stain colors.
- ✓ IR Reflective Technology helps keep surfaces cool even when temperatures are hot.**
- ✓ Features Premium Duckback Technology

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TRANSPARENT? SOLID COLOR?

Want the natural beauty of your wood grain to show through? Or do you prefer a solid coat of color on your deck to coordinate with your home

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PRODUCT	WATERBORNE CLEAR DECK SEALER	OIL-BASED TRANSPARENT	OIL-BASED SEMI-TRANSPARENT	WATERBORNE SEMI-TRANSPARENT 3-YEAR WARRANTY	WATERBORNE SEMI-SOLID	WATERBORNE SOLID
FEATURES	<ul style="list-style-type: none"> Allows wood to gray naturally Repels water Soap and water cleanup 	<ul style="list-style-type: none"> Provides lightly “toned” but transparent appearance that highlights wood grain Penetrating Tung oil for lasting protection Repels water Solvent cleanup 	<ul style="list-style-type: none"> Allows wood grain texture to show through Repels water Solvent cleanup 	<ul style="list-style-type: none"> Advanced UV protection Allows wood grain texture to show through Repels water Can be applied to damp or dry wood Soap and water cleanup 	<ul style="list-style-type: none"> Allows some natural wood grain to show through Repels water Can be applied to damp or dry wood Soap and water cleanup 	<ul style="list-style-type: none"> Provides durable, opaque protection Protects new, weathered or previously stained wood and composite Can be applied to damp or dry wood Soap and water cleanup
WATER REPELLANT	★★★★	★★★★★	★★★★★	★★★★★	★★★★	★★★
OPACITY	Clear	Transparent	Semi-Transparent	Semi-Transparent	Semi-Solid	Solid
MILDEW RESISTANCE	★★	★★★	★★★	★★★★	★★★★★	★★★★★
FADE RESISTANCE	★	★★	★★★	★★★★	★★★★	★★★★★
UV PROTECTION	★	★★	★★★	★★★★	★★★★	★★★★★
DURABILITY	★	★★	★★★	★★★★★	★★★★	★★★★★
COLOR OPTIONS	Clear	5	Tintable	Tintable	IR colors non-tintable	

* = Poor | ** = Good | *** = Average | **** = Great | ***** = Excellent



CLEAR

TRANSPARENT

SEMI- TRANSPARENT

SEMI-SOLID

SOLID

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CLEANING AND RESTORING ITS SURFACE

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DECK & DOCK COATING

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*Specific to waterborne products.

**Specific to Waterborne Semi-Solid Stain and Waterborne Solid Color Stain in specified colors. IR colors non-tintable. Contains pigments that reflect solar rays back into the atmosphere, thereby helping reduce the exterior surface temperature of decks exposed to the constant assault of direct sunlight.

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OK

Lia Niebauer

From: Susie Schneider <sschneider0204@gmail.com>
Sent: Monday, June 28, 2021 1:26 PM
To: Lia Niebauer
Subject: [EXTERNAL]BAR #2021-00020 OHAD

Follow Up Flag: Follow up
Flag Status: Flagged

Hello Lia Niebauer,

I am writing to express my opposition to the request made by John and Emily Galeror for a deck addition to their home that they submitted for the Board Decision that is set for July 7, 2021. My main objection is that the planned appearance of the finished structure is not esthetically in line with the historic value of the surrounding homes. The deck would visibly impair the view of the Shiloh Baptist Church (an important historic landmark of this beautiful city from Duke Street). It would also impair the view from the increasing foot traffic on Commerce Street as the city continues to attract visitors to Upper King Street. Too many homeowners on Commerce Street have worked hard and at great expense to maintain the integrity of this historic neighborhood. This is not suburbia. It is a critical landmark. We need to maintain it as such.

Thank you for your consideration,

Susan Schneider

A 22 year resident of our beloved Old Town

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DO NOT CLICK any links or download attachments unless the contents are from a trusted source.**

Lia Niebauer

From: Janet Thomas <janetgeelan@gmail.com>
Sent: Monday, June 28, 2021 2:47 PM
To: Lia Niebauer
Subject: [EXTERNAL]The Galeror's deck proposal

Follow Up Flag: Follow up
Flag Status: Flagged

>
> Dear Ms. Niebauer:
>
> I am very concerned about Emily and John Galerlor's proposal to build a deck on their residence on Commerce Street.
> Since their home is located in a historic area, a deck visible on Commerce Street and to the Sliloh Baptist Church isn't appropriate.
> It isn't in keeping with the neighboring homes which have been restored and maintained in a manner that respects the legacy of the area, thereby contributing to ever increasing vibrancy of the Upper King Street area.
> The Sliloh Baptist Church is treasured for both its history and its role in the community. The proposed addition would be visible from this treasured landmark .
> The City of Alexandria has always sought to maintain its preserve it's past while introducing the best the present has to offer. As a long time resident who is incredibly proud of how Old Town Alexandria has progressed, I don't think this project is in keeping with your standards.
>
> Thank you
>
>
> Janet Thomas
>
> Sent from my iPhone

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Lia Niebauer

From: Jared Underberg <jared.underberg@gmail.com>
Sent: Tuesday, June 29, 2021 3:13 PM
To: Lia Niebauer
Subject: [EXTERNAL]OPPOSITION TO: BAR #2021-00020 OHAD/ 314 Commerce Street

Follow Up Flag: Follow up
Flag Status: Flagged

Ms. Niebauer,

I hope this email finds you well. I am writing to oppose the request to construct a deck at 314 Commerce Street. I am a long time resident and own properties in Old Town. I own a home on Duke Street where the proposed deck will be in the direct line of sight from my backyard. Looking around there are no other decks in the neighborhood and I believe that this deck will detract from the appeal of living on this block within the historic district. If decks are going to be permitted like the one in question behind my home it will create a slippery slope and will completely change the feel and general appeal of living in the Historic area. It will also infringe on my privacy as it will overlook my fenced in patio along with neighboring properties. Decks may add personal value to a homeowner but they do not add value to the community or the surrounding homeowners at large. The deck will be an eye sore.

Additionally the deck is in the direct view of the Shiloh Baptist church which is a significant historical landmark. The deck at 314 Commerce Street will forever change the view of the Shiloh Baptist Church.

Please do not approve the construction of the deck at 314 Commerce Street and help preserve the integrity of the historic district.

Respectfully,

Jared Underberg, Esq.
585-732-1579

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Pictures for BAR discussion on 314
commerce street proposed deck.
BAR #2021-00023 OHAD and BAR #2021-00020 OHAD
From Tim Foley

110 North Columbus Street



Alley view

Deck view



228 N Columbus Street



Deck view



317-325 N Columbus

Deck view



1015 King Street



Deck view



1221 Prince Street



Deck view



1228 Prince Street



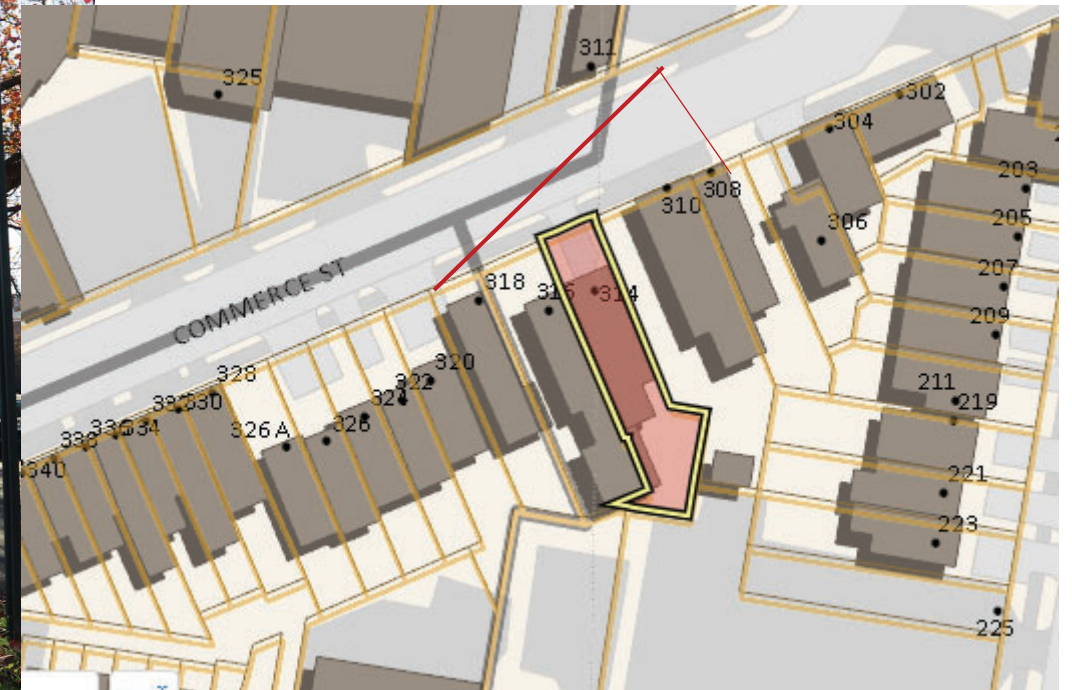
Deck view



314 Commerce street surrounded by Historic homes



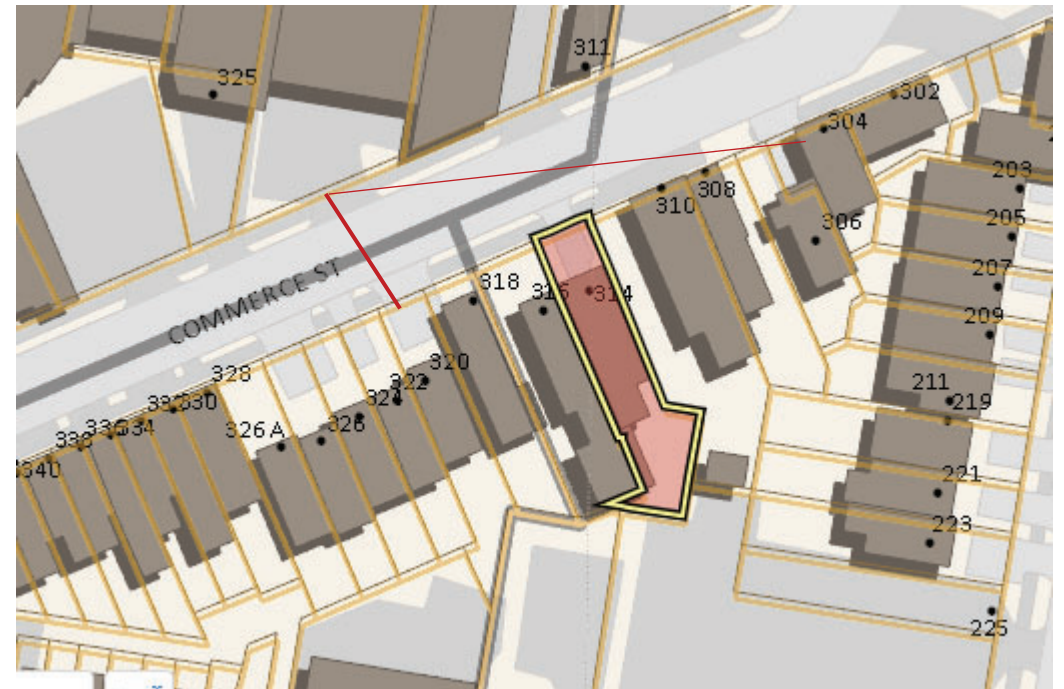
Camera angle



314 Commerce with historic homes on either side



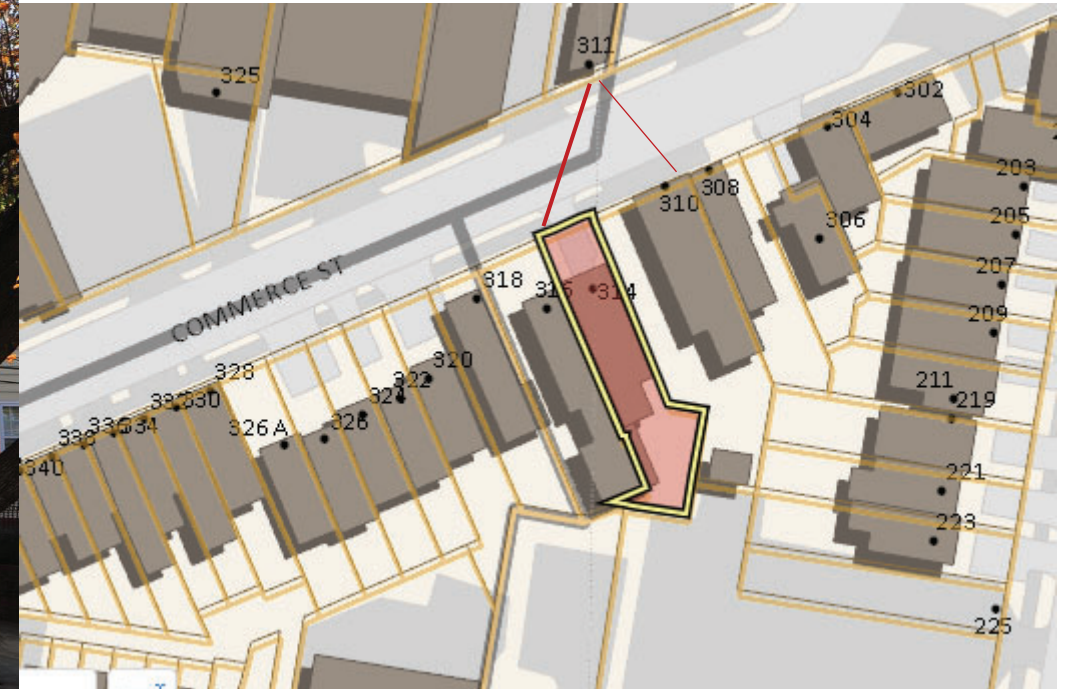
Camera angle



View of proposed deck from Commerce



Camera angle

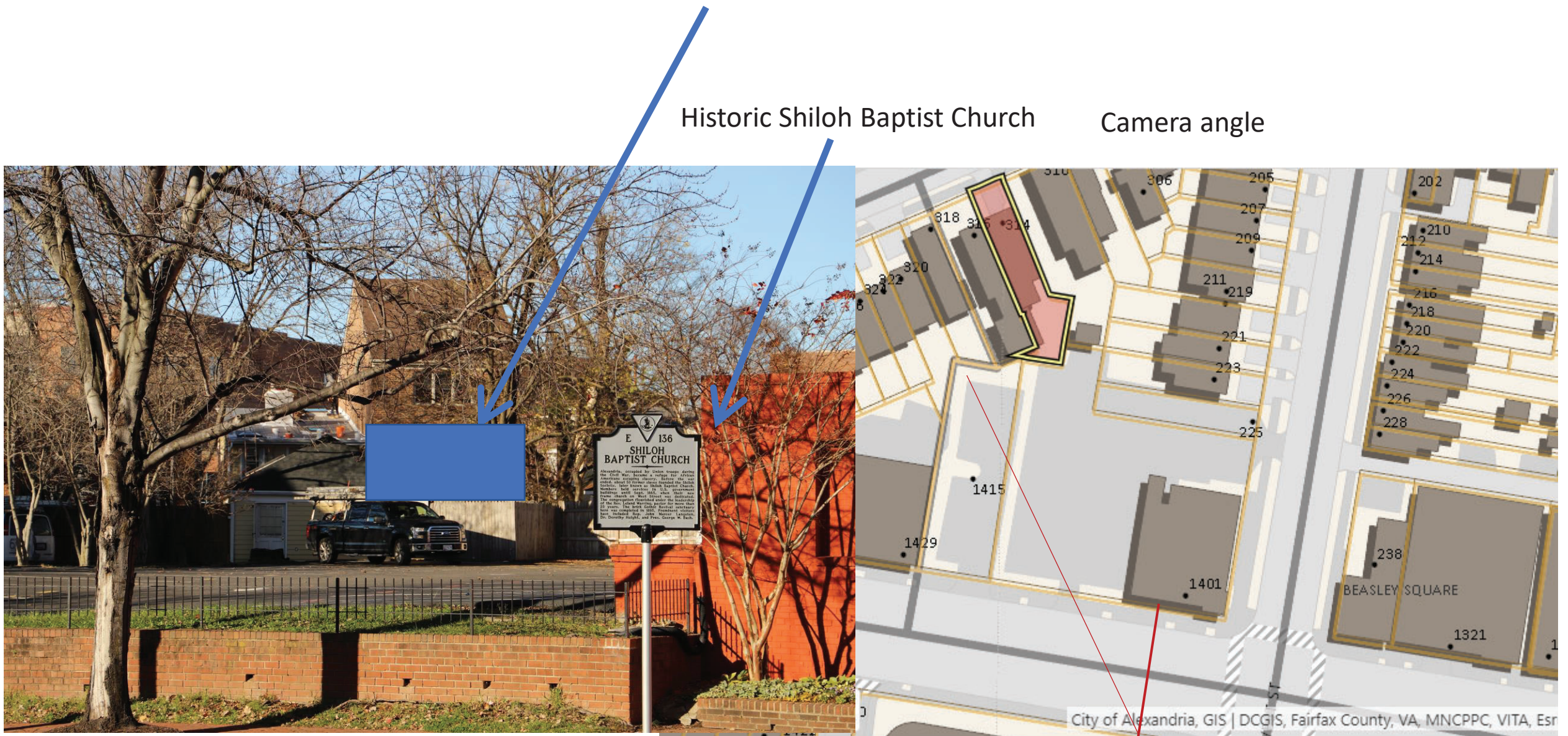


View of proposed deck from S West Street

Camera angle



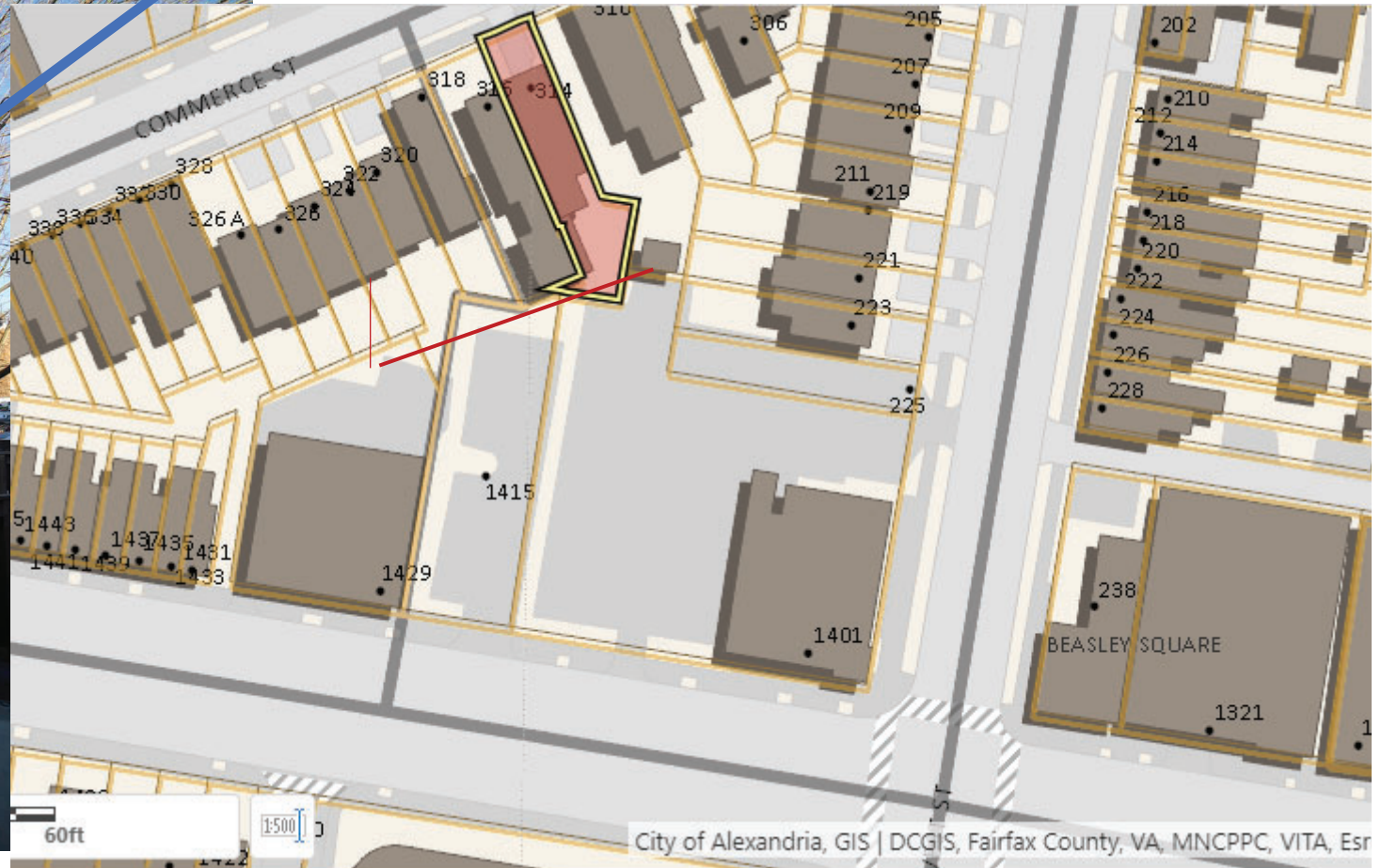
View of proposed deck from Duke Street



Notice other modern homes with sliding glass doors and no deck on the second floor.

Proposed deck

Camera angle

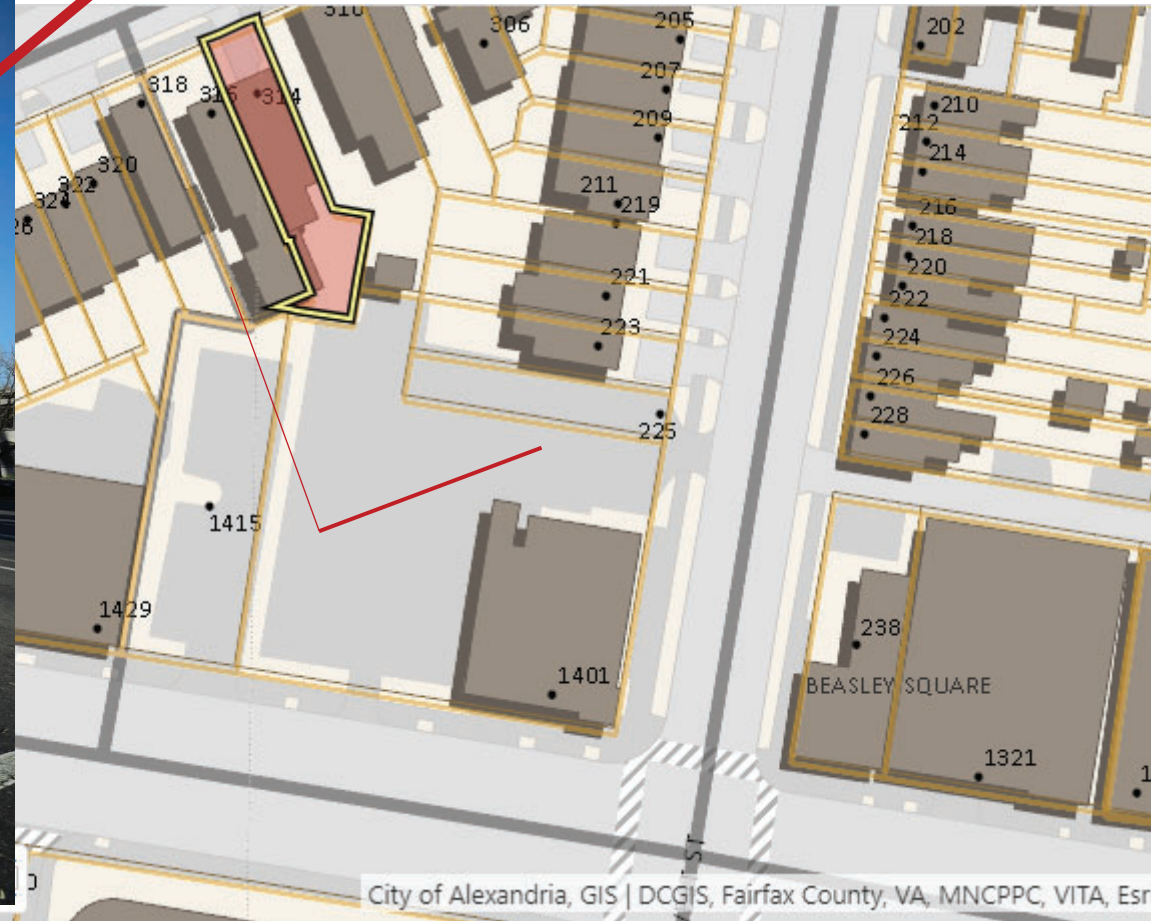


Driving by on Duke street this is what is seen

Proposed deck

Notice other modern homes with no deck on the second floor.

Camera angle



Back on 314 Commerce street with the historic home 316 Commerce Street. The Proposed deck will be at level with the roof of the historic home.

