

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for addition

APPLICANT: Jennifer Sheridan and Robert Palute

LOCATION: Parker-Gray District
435 North Fayette Street

ZONE: RB/Townhouse Zone

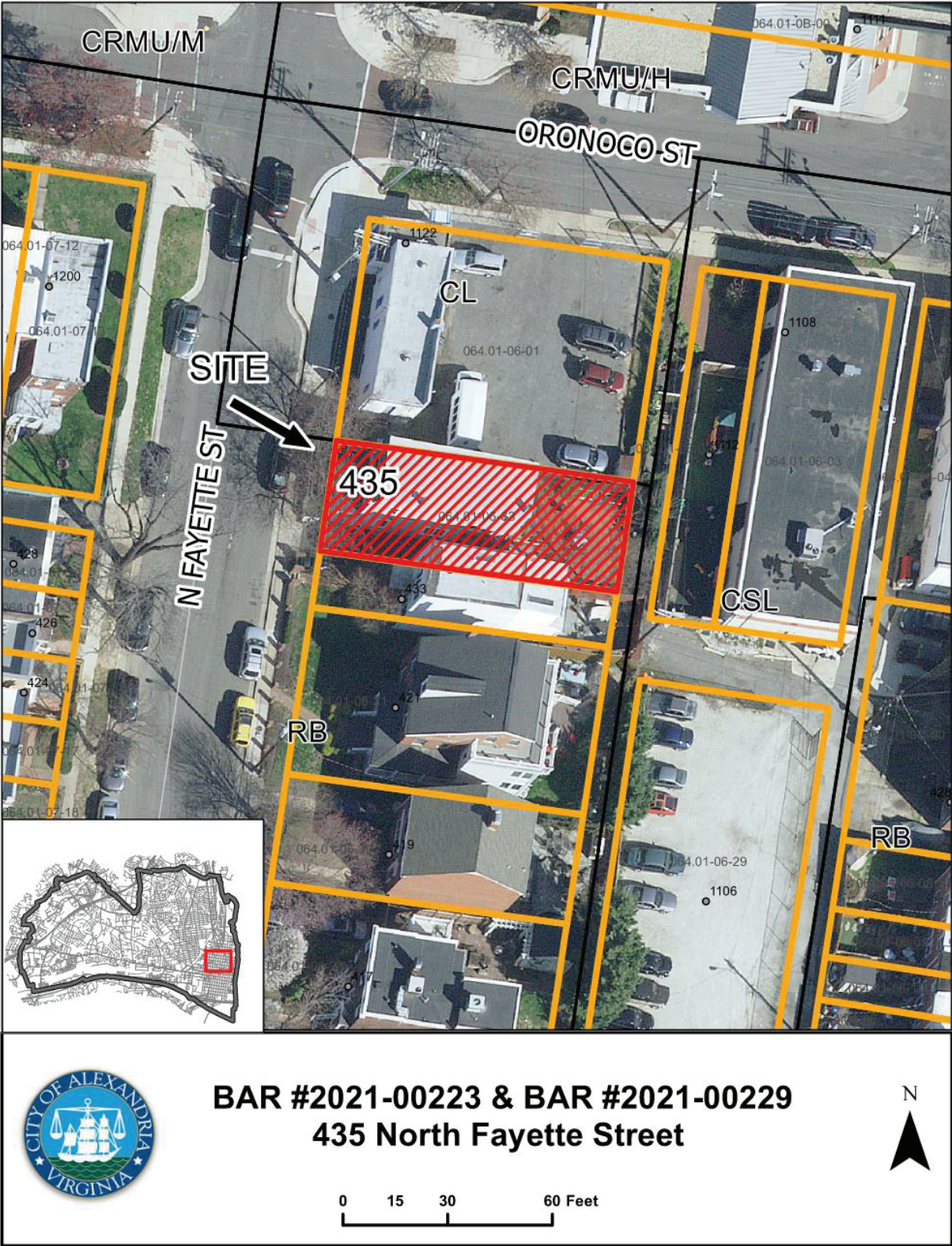
STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for an addition with the following conditions:

1. The statements below marked with an asterisk “*” shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.
 - a. *The applicant/developer shall call Alexandria Archaeology immediately (703.746.4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. *The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
 - c. All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



Note: Staff coupled the applications for a Permit to Demolish (BAR #2021-00229) and Certificate of Appropriateness (BAR #2021-00223) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to add a two-story addition to the rear/east elevation of 435 North Fayette Street.

Permit to Demolish/Capsulate

The project includes encapsulating the rear/east wall with the new addition, converting a window to a door on the south elevation of the ell (not visible from a public right of way), and removing a chimney, for a total demolition area of 279.61 square feet. A non-historic waste riser at the intersection of the ell and the main block of the house will also be removed.

Certificate of Appropriateness

Addition The proposed two-story, frame, slab-on-grade addition will be appended to the rear/east ell of the house. It will measure approximately 13'8" deep by 17' wide and will extend just over 1' beyond the south elevation of the original ell.

Alterations There will be no alterations to the house other than the addition, but a fence at the top of the gravel drive on the south elevation will be replaced with a new matching fence and gate.

Site context

The house backs to a private alley to the east. However, the rear of the property is clearly visible from Oronoco Street, beyond the parking lot for the New Life Missionary Baptist Church. See Figure 1.



Figure 1: North elevation of 435 North Fayette (blue) as seen from Oronoco

II. HISTORY

Building permit #28, dated February 10, 1930, indicates that owner/builder John Wair constructed this two-story, three-bay, frame, Italianate style townhouse in **1930**. The 1941 Sanborn map, the earliest one to include this area, indicates that this is one of only two buildings on this block; the other is at 417 North Fayette. Based on that Sanborn map, 435 North Fayette has changed little over time. The map depicts a two-story frame dwelling with a rear ell and a one-story front porch. Building permits from 1936 through 2018 list basic repairs and minor changes. The house is a contributing resource in the National Register Uptown/Parker-Gray Historic District.

Previous BAR Approvals

| | | |
|---------------|--------|---|
| BAR2017-00184 | 6/2/17 | administrative approval for in-kind fence replacement |
| BAR2018-00157 | 4/2/18 | administrative approval for siding repair |

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-205(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

| Standard | Description of Standard | Standard Met? |
|----------|---|---------------|
| (1) | Is the building or structure of such architectural or historic interest that its removal would be to the detriment of the public interest? | No |
| (2) | Is the building or structure of such interest that it could be made into an historic shrine? | No |
| (3) | Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty? | No |
| (4) | Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city? | No |
| (5) | Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place to live? | No |

| | | |
|-----|---|----|
| | | |
| (6) | Would retention of the building or structure help maintain the scale and character of the neighborhood? | No |

City building permits indicate that the rear ell of the house has been re-sided at least three times: In September of 1945, the owner re-sided with bricktex (permit # 6667, 9/7/45). In 1961, the bricktex on the rear/east ell was replaced with stucco (permit #17065, 4/10/61). Finally, in 1989, owner Harvey Smith personally replaced all siding with the help of his friends (permit #3779, 8/2/89). These numerous changes indicate that the historic materials are gone, and the ell walls have lost all historic integrity. Permit #17065 from 1961 also approves siding both chimneys with brick. This indicates that, like the walls of the ell, the chimney to be removed does not retain its historic integrity. The non-historic waste riser at the intersection of the ell and the main block of the house to be removed has no historic value. Therefore, staff supports the application for a Permit to Demolish/Capsulate, as submitted.

Certificate of Appropriateness

The *Design Guidelines* state that “The design of an addition should respect the heritage of the historic building to which it is attached as well as adjacent buildings. The Boards generally prefer addition designs that are respectful of the existing structure and which seek to be background statements or which echo the design elements of the existing structure. They further say that “An addition to a historic building should be clearly distinguishable from the original structure. An addition should not obscure or dilute the architectural and historic importance of an existing building by creating a false sense of the past.”

The design for the proposed addition respectfully echoes the original structure while at the same time providing differentiation to mark it as an addition. The roof of the addition will have the same slope as the existing roof, complementing the original form. The roof framing and sheathing on the main block of the house will be repaired as needed and reroofed with a low slope, high SRI, TPO roof membrane, which will also extend to the addition. Due to its slope, the roof is not visible from the ground. The double hung, aluminum-clad windows with Low-E 272 glazing fully comply with our window specifications and will have the same light configuration and widths as the original windows. The new door on the south elevation of the addition also complies with our guidelines.

In differentiating the addition from the original structure, the addition will be offset from the existing house by slightly more than one foot and the roof of the addition will be at least 6” shorter than that of the existing house. The applicant initially intended to match the existing siding, as indicated on the submitted plans, but after discussion with staff, decided to use smooth HardiePlank lap siding in order to differentiate the addition from the original house.

As noted above, the existing 72” wood fence at the top of the gravel drive on the south elevation will be replaced with a new matching fence and gate. The applicant will also add a brick patio at the new doorway on the south elevation.

Staff recommends approval of the project, as submitted, while noting the recommendations of Alexandria Archaeology.

STAFF

Susan Hellman, Historic Preservation Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 The property currently has 1,107 square feet of open space. The proposed addition will decrease the open space by 250 square feet, leaving 857 square feet of open space.

F-1 The proposed two-story rear addition complies with zoning.

F-2 A revised FAR form with the correct open space will be required when applying for building permit.

Code Administration

C-1 A building permit and plan review are required prior to the start of construction.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 The lot appears to have remained largely vacant throughout the nineteenth century as this part of town was considered an outskirts. A house was standing on the lot by 1937. There is a remote chance that archaeological materials related to the development of early Alexandria could be present on the lot.
- R-1 The statements below marked with an asterisk "*" shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheet piling and Shoring) so that on-site contractors are aware of the requirements
 - a. *The applicant/developer shall call Alexandria Archaeology immediately (703.746.4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. *The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
- C - 1 All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

V. ATTACHMENTS

- 1 – Application Materials*
- 2 – Supplemental Materials*

ADDRESS OF PROJECT: 435 N. Fayette St

DISTRICT: ☐ Old & Historic Alexandria ☒ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 064.01-06-33 lots 17 + 18 ZONING: RB

APPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: Jennifer Sheridan + Robert Palute

Address: 435 N Fayette St

City: Alexandria State: VA Zip: 22314

Phone: _____ E-mail: sheridanjr@gmail.com

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☒ Design/Build Team

Name: C.J. LaMora Phone: 703-537-6375

E-mail: cj@fourbrothersdc.com

Legal Property Owner:

Name: Jennifer Sheridan + Robert Palute

Address: 435 N Fayette St

City: Alexandria State: VA Zip: 22314

Phone: _____ E-mail: sheridanjr@gmail.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☐ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☐ EXTERIOR ALTERATION: *Please check all that apply.*

☐ awning
☒ doors
☐ lighting
☐ other _____

☒ fence, gate or garden wall
☒ windows
☐ pergola/trellis

☒ HVAC equipment
☒ siding
☐ painting unpainted masonry

☐ shutters
☐ shed

☒ ADDITION
☒ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

THIS PROJECT INCLUDES A NEW 2 STORY REAR ADDITION TO AN EXISTING 2 STORY FRAMED DWELLING. INTERIOR RENOVATION INCLUDES A NEW KITCHEN, RENOVATED PULL AND REPLACE BATHROOM ON THE GROUND LEVEL, AND AN ENLARGED 2ND FLOOR HALL BATHROOM. THE WORK INCLUDES STRUCTURAL, LIGHTING, MECHANICAL, ELECTRICAL, AND PLUMBING.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐
☐
☐
☐
☐
☐

☒ Survey plat showing the extent of the proposed demolition/encapsulation.
☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☒ Description of the reason for demolition/encapsulation.
☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☒ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Christopher J. LaMora

Printed Name: _____

Date: 30 April 2021

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

| Name | Address | Percent of Ownership |
|-------------------------------|---|----------------------|
| 1. Jennifer Sheridan + Robert | 435 N Fayette St. Alexandria, VA. 22314 | 100% |
| 2. | | |
| 3. | | |

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 435 N. Fayette St (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

| Name | Address | Percent of Ownership |
|-------------------------------|---|----------------------|
| 1. Jennifer Sheridan + Robert | 435 N Fayette St. Alexandria, VA. 22314 | 100% |
| 2. | | |
| 3. | | |

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

| Name of person or entity | Relationship as defined by Section 11-350 of the Zoning Ordinance | Member of the Approving Body (i.e. City Council, Planning Commission, etc.) |
|--------------------------|---|---|
| 1. N / A | | |
| 2. | | |
| 3. | | |

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

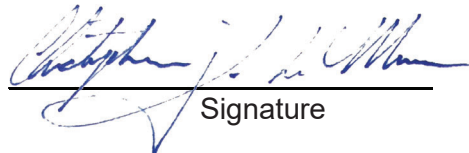
As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

30 April 2021

Date

Christopher J. LaMora

Printed Name


Signature



Department of Planning & Zoning

Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. 435 N Fayette St
Street Address

RB
Zone

A2. 2,765.00 x 0.75 = 2,073.75
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

| <u>Existing Gross Area</u> | | <u>Allowable Exclusions**</u> | | |
|----------------------------|----------|-------------------------------|----------|---|
| Basement | 803.00 | Basement** | 803.00 | B1. 3,315.00 Sq. Ft. |
| First Floor | 758.52 | Stairways** | | Existing Gross Floor Area* |
| Second Floor | 759.22 | Mechanical** | 0.00 | B2. 1,759.00 Sq. Ft. |
| Third Floor | 0.00 | Attic less than 7'*** | 803.00 | Allowable Floor Exclusions** |
| Attic | 803.00 | Porches** | 103.00 | B3. 1,556.00 Sq. Ft. |
| Porches | 103.00 | Balcony/Deck** | 0.00 | Existing Floor Area Minus Exclusions (subtract B2 from B1) |
| Balcony/Deck | 0.00 | Lavatory*** | 50.00 | |
| Lavatory*** | 88.26 | Other** | 0.00 | Comments for Existing Gross Floor Area |
| Other** | 0.00 | Other** | 0.00 | |
| B1. <u>Total Gross</u> | 3,315.00 | B2. <u>Total Exclusions</u> | 1,759.00 | |

C. Proposed Gross Floor Area

| <u>Proposed Gross Area</u> | | <u>Allowable Exclusions**</u> | | |
|----------------------------|--------|-------------------------------|------|---|
| Basement | 0.00 | Basement** | 0.00 | C1. 448.00 Sq. Ft. |
| First Floor | 224.00 | Stairways** | 0.00 | Proposed Gross Floor Area* |
| Second Floor | 224.00 | Mechanical** | 0.00 | C2. 0.00 Sq. Ft. |
| Third Floor | 0.00 | Attic less than 7'*** | 0.00 | Allowable Floor Exclusions** |
| Attic | 0.00 | Porches** | 0.00 | C3. 448.00 Sq. Ft. |
| Porches | 0.00 | Balcony/Deck** | 0.00 | Proposed Floor Area Minus Exclusions (subtract C2 from C1) |
| Balcony/Deck | 0.00 | Lavatory*** | 0.00 | |
| Lavatory*** | 0.00 | Other** | 0.00 | |
| Other | 0.00 | Other** | 0.00 | |
| C1. <u>Total Gross</u> | 448.00 | C2. <u>Total Exclusions</u> | 0.00 | |

D. Total Floor Area

D1. 2,004.00 Sq. Ft.
Total Floor Area (add B3 and C3)

D2. 2,073.75 Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

E1. 1,849.00 Sq. Ft.
Existing Open Space

E2. 800.00 Sq. Ft.
Required Open Space

E3. 1,625.00 Sq. Ft.
Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____

Date: _____

31 March 2021

Ordered By:

**RGS
TITLE**

Diligence. Experience. Convenience. Integrity.

Arlington, VA

P.703-351-0300

F. 703-351-9978



PROPERTY ADDRESS: 435 N. FAYETTE STREET

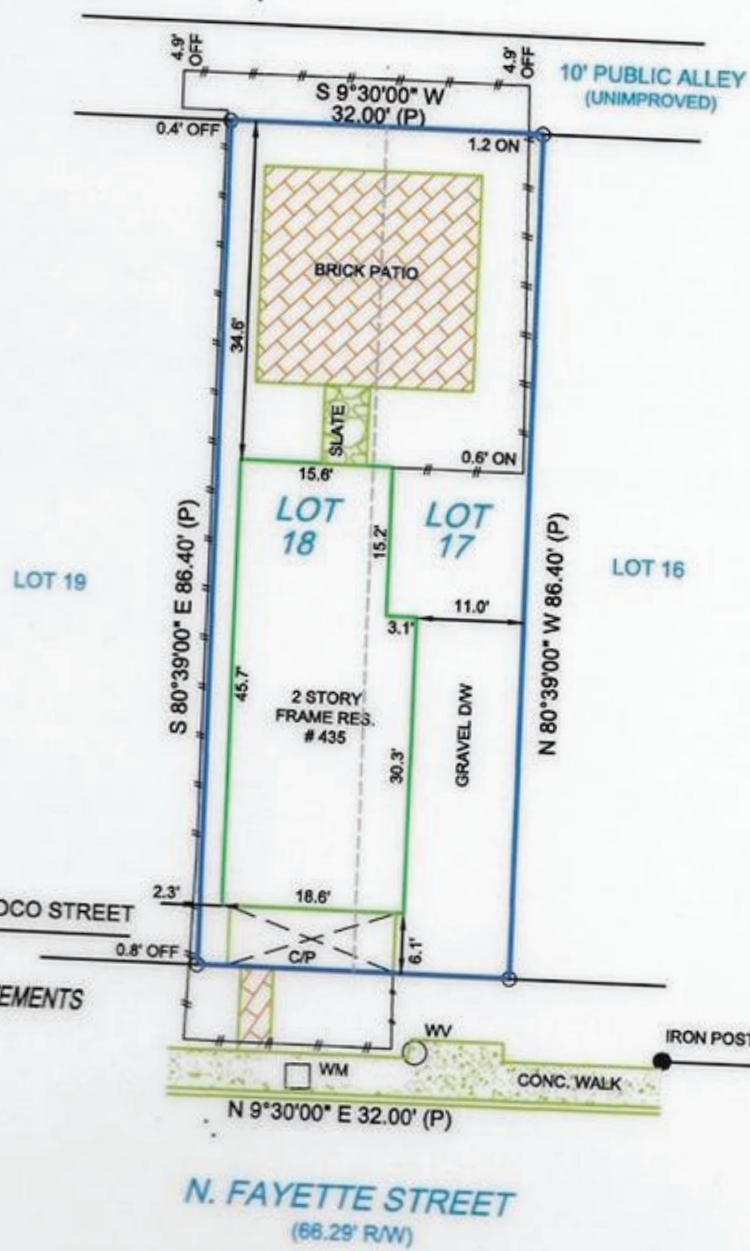
ALEXANDRIA, Virginia 22314

SURVEY NUMBER: VA1108.0062

FIELD WORK DATE: 8/12/2011

REVISION HISTORY: (rev.1 8/14/2011) (rev.1 8/10/2011)

1108.0062
LOCATION DRAWING
LOTS 17 & 18
435 N. FAYETTE STREET
ARLINGTON COUNTY, VIRGINIA
08-09-2011 SCALE 1"=20'



08-14-2011 REVISED LOCATION OF IMPROVEMENTS



John E. Kroboth



GRAPHIC SCALE (In Feet)
1 inch = 20' ft.

POINTS OF INTEREST:
A PORTION OF THE REAR FENCE APPEARS TO BE OVER THE PROPERTY LINE AND IN THE ALLEY.

CLIENT NUMBER: 563824RL

DATE: 8/10/2011

Jim McGowan

1108.0062

DISTURBED AREA CERTIFICATION:

I HEREBY CERTIFY THAT THE LIMITS OF DISTURBANCE ASSOCIATED WITH THIS PROJECT REPRESENT A TOTAL LAND DISTURBANCE OF LESS THAN 2,500 SQUARE FEET. I FURTHER CERTIFY THAT NO CONSTRUCTION WORK, MATERIAL STORAGE, DUMPSTER PLACEMENT, CONSTRUCTION ACCESS OR DISTURBANCE OF ANY OTHER KIND WILL TAKE PLACE BEYOND THE LIMITS OF DISTURBANCE AS DEPICTED. I ACKNOWLEDGE THAT SHOULD THIS PROJECT RESULT IN LAND DISTURBANCE EQUAL TO OR GREATER THAN 2,500 SQUARE FEET, THE CITY WILL ISSUE A STOP WORK ORDER AND WORK ON THE PROJECT WILL NOT BE ALLOWED TO RESUME UNTIL A GRADING PLAN HAS BEEN SUBMITTED TO AND APPROVED BY THE CITY OF ALEXANDRIA, DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES.

OWNER SIGNATURE:

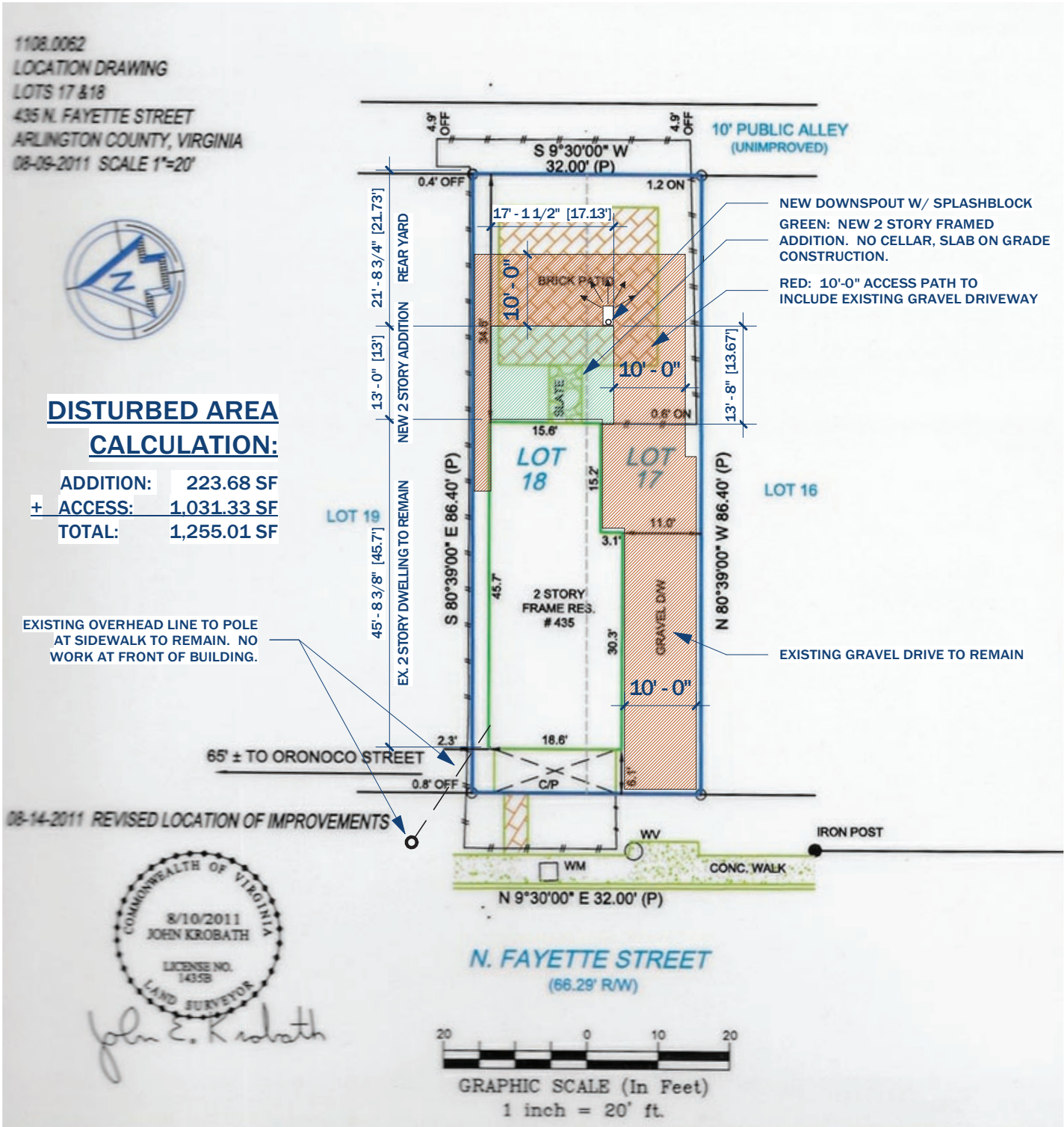
SIGNATURE: Robert L Palute
PRINTED NAME: Robert L Palute
DATE: 4/1/21

DRAINAGE CERTIFICATION:

I HEREBY CERTIFY THAT THE EXISTING AND PROPOSED DRAINAGE PATTERNS ASSOCIATED WITH THIS PROJECT ARE AS DEPICTED HEREIN, THAT CONSTRUCTION OF THIS PROJECT WILL NOT CREATE A NUISANCE TO ADJACENT OR DOWNSTREAM PROPERTIES EITHER PUBLIC OR PRIVATE AND THAT ANY EXISTING DRAINAGE PROBLEMS ON ADJACENT OR DOWNSTREAM PROPERTIES EITHER PUBLIC OR PRIVATE WILL NOT BE EXACERBATED BY CONSTRUCTION OF THIS PROJECT. I ACKNOWLEDGE THAT SHOULD THIS PROJECT RESULT IN THE CREATION OF ANY NUISANCE, OR EXACERBATION IF ANY EXISTING DRAINAGE PROBLEM, THE CITY WILL ISSUE A STOP WORK ORDER AND WORK ON THIS PROJECT WILL NOT BE ALLOWED TO RESUME UNTIL A GRADING PLAN HAS BEEN SUBMITTED TO AND APPROVED BY THE CITY OF ALEXANDRIA, DEPARTMENT OF TRANSPORTATION AND ENVIRONMENTAL SERVICES.

OWNER SIGNATURE:

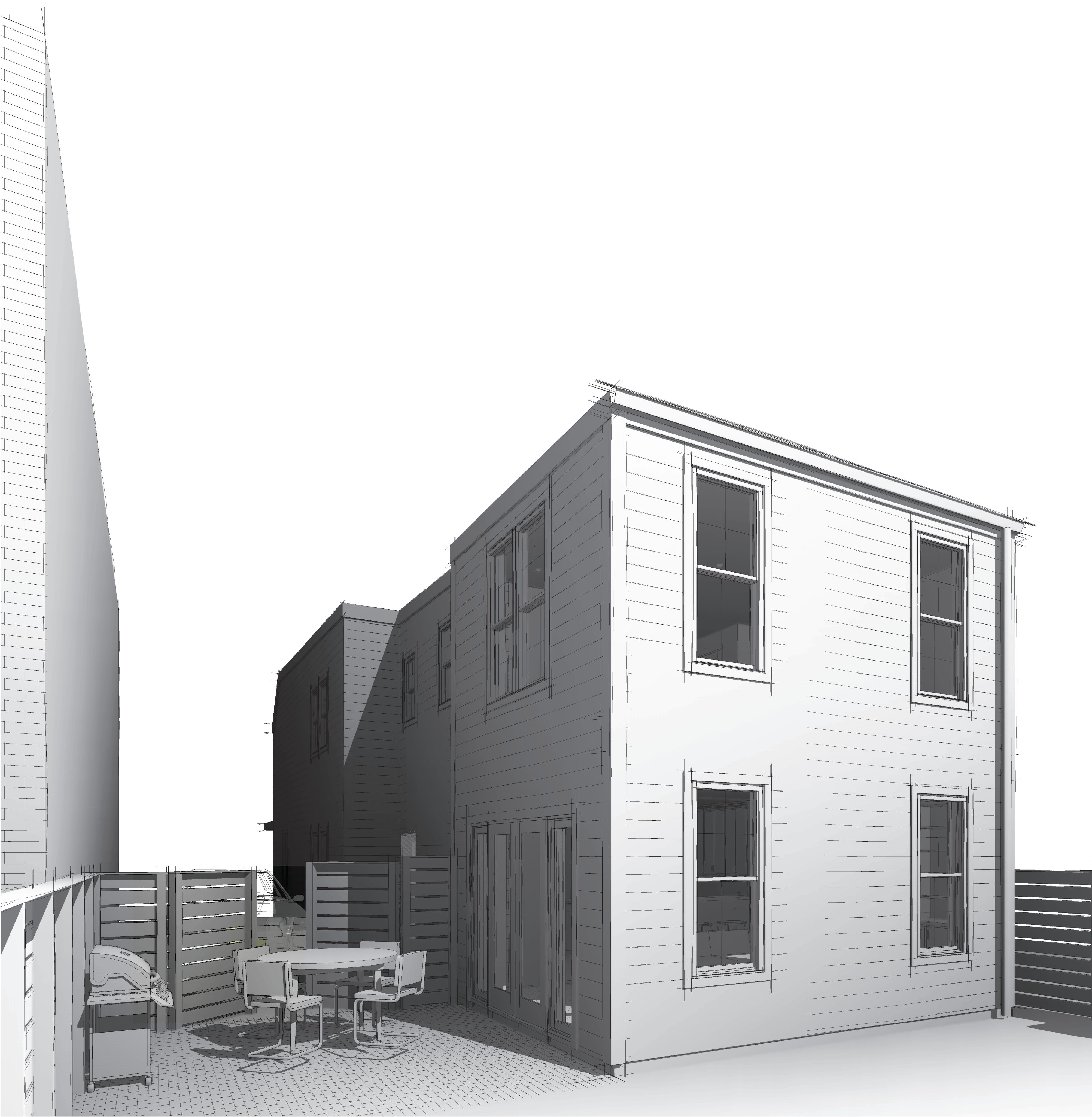
SIGNATURE: Robert L Palute
PRINTED NAME: Robert L Palute
DATE: 4/1/21



1
PLAT

PLAT

SCALE: 1" = 20'-0"



3D VIEW

SHERIDAN-PALUTE RES.

Rear Addition

ISSUANCE: ISSUE FOR B.A.R.
DATE: 30 APRIL 2021
ADDRESS: 435 N. FAYATTE ST.
ALEXANDRIA VA, 22314

Project Narrative:

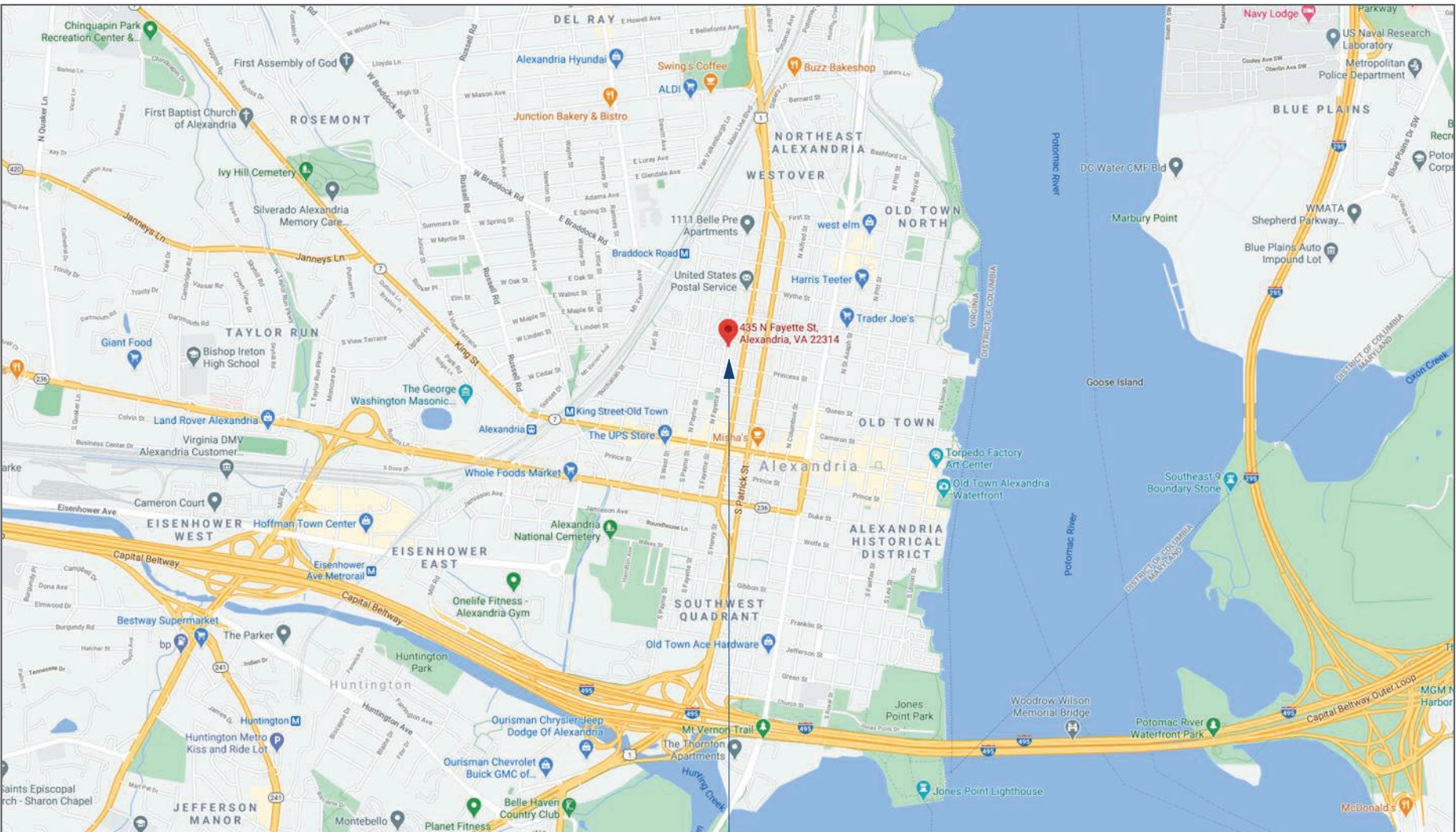
THIS PROJECT INCLUDES A NEW 2 STORY REAR ADDITION TO AN EXISTING 2 STORY FRAMED DWELLING. INTERIOR RENOVATION INCLUDES A NEW KITCHEN, RENOVATED PULL AND REPLACE BATHROOM ON THE GROUND LEVEL, AND AN ENLARGED 2ND FLOOR HALL BATHROOM. THE WORK INCLUDES STRUCTURAL, LIGHTING, MECHANICAL, ELECTRICAL, AND PLUMBING AS SHOWN.

| CLIENT / OWNER | BUILDER / CONTRACTOR | STRUCTURAL |
|---|---|--|
| JENNIFER SHERIDAN ROBERT PALUTE sheridanjr@gmail.com rpalute@hotmail.com | FOUR BROTHERS CARPENTRY LLC. 4009 GEORGIA AVE. NW WASHINGTON, DC 20011 CHRISTOPHER LAMORA (703) 537-6375 cj @ fourbrothersdc.com | RATHGEBER/GOSS ASSOCIATES, P.C. 15871 CRABBS BRANCH WAY ROCKVILLE, MD 20855 BILL DUVAL, P.E. (301) 590-0071 gwd @ rath-goss.com |

AHJ APPROVAL STAMP

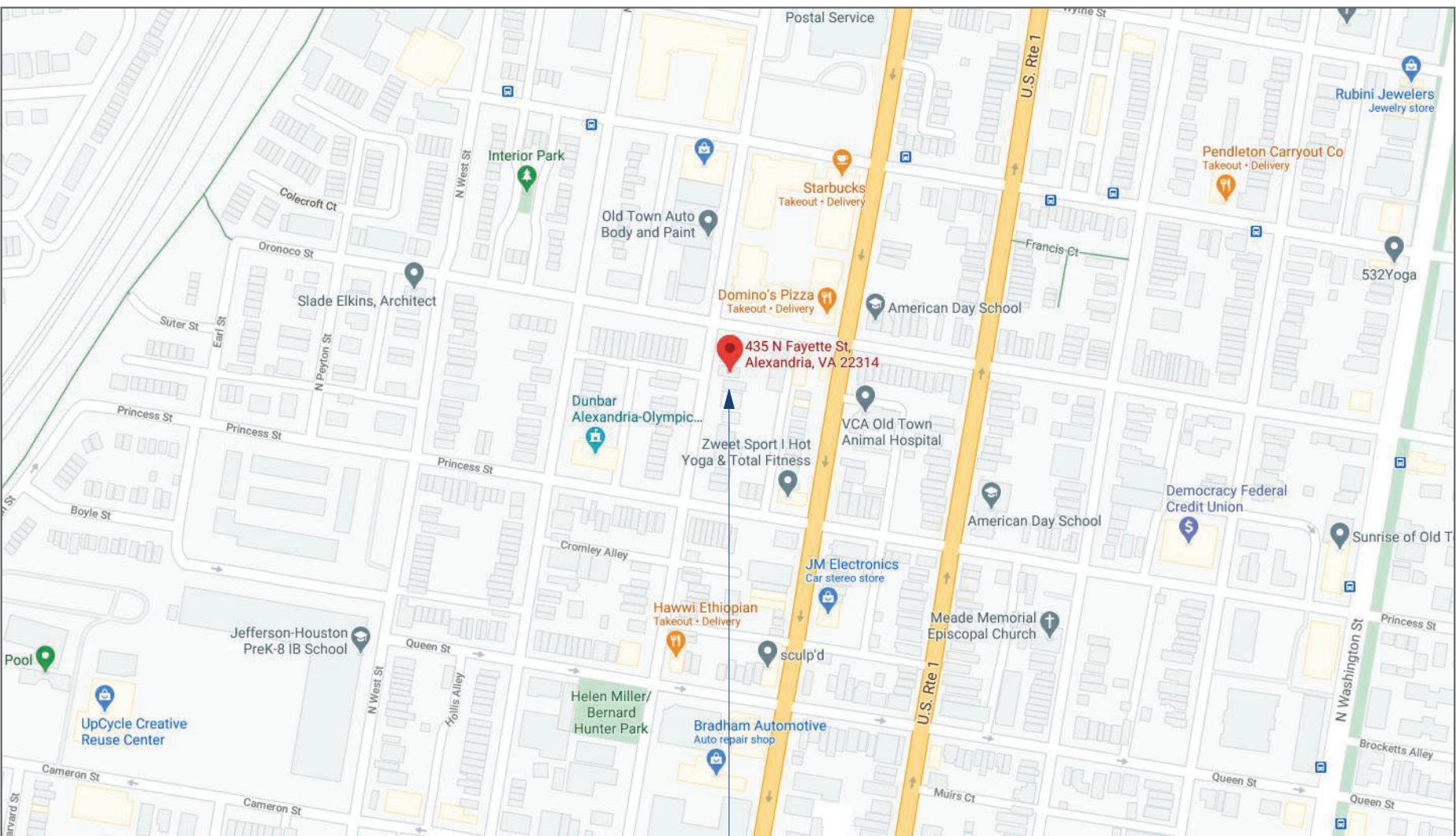
| | |
|-------------|--------------|
| DATE: | 26 MAR. 2021 |
| PROJECT NO: | 20.14 |
| REVISION | DATE |

DESIGN TEAM



CITY MAP

PROJECT LOCATION



LOCATION MAP

PROJECT LOCATION

COVER SHEET

CS01

Four Brothers LLC
4009 GEORGIA AVE. NW
WASHINGTON DC 20011
202-423-8703
www.fourbrotherscarpentry.com

FOUR BROTHERS CARPENTRY LLC. 6/2020

PROJECT:
REAR ADDITION

435 N. FAYETTE ST.
ALEXANDRIA, VA. 22314

DATE: 26 MAR. 2021
PROJECT NO: 20.14
REVISION DATE

DESIGN TEAM

DESIGN PROFESSIONAL STAMP

| MARK | TYPE | UNIT SIZE | | RGH OPEN'G | | MATERIAL | | |
|------|-------------|-----------|-----|------------|---------|-----------|-----------|------------------------------|
| | | WD | HT | WD | HT | EXT. FIN. | INT. FIN. | NOTES |
| A | DOUBLE-HUNG | 32" | 68" | 32 1/2" | 68 1/2" | | | |
| B | DOUBLE-HUNG | 64" | 68" | 64 1/2" | 68 1/2" | AL | WD | FACTORY MULLED |
| PD.1 | PATIO DOOR | 108" | 80" | 108 1/2" | 80 1/2" | AL | WD | W/ FACTORY MULLED SIDE LITES |

WINDOW NOTES:

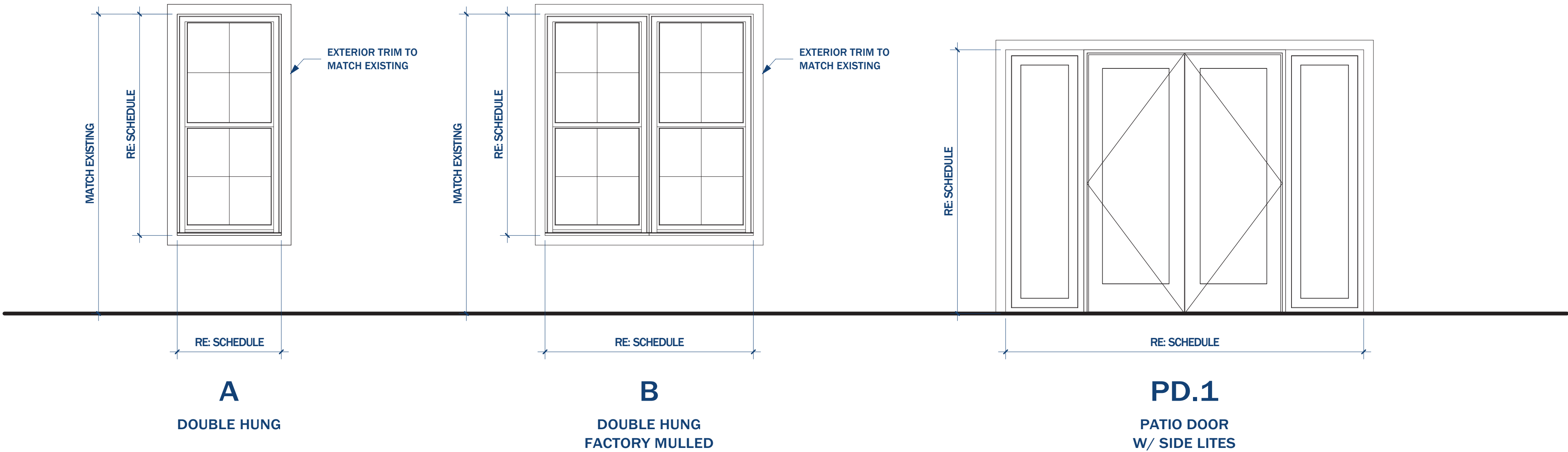
1. BASIS OF DEISGN: LINCOLN WOOD PRODUCTS. WIDE RAIL DOUBLE HUNG WITH 7/8" SIMULATED DIVIDED LIGHT.
2. ALL WINDOWS ARE ALUMINUM CLAD WOOD (UNLESS OTHERWISE NOTED)
3. EXTERIOR FINISH: WHITE
4. INTERIOR FINISH: WHITE
5. HARDWARE FINISH: WHITE
6. REFER TO ELEVATIONS / TYPES FOR OPERABLE HANDING CONFIGURATION.
7. REFER TO ELEVATIONS FOR TEMPERED / PRIVACY GLASS LOCATIONS
8. REFER TO ELEVATIONS FOR EMERGENCY ESCAPE WINDOW LOCATIONS
9. CUT LIGHTS SHALL BE 7/8" SIMULATED DIVIDED LIGHTS (SDL) (NO SNAP-IN GRILLES OR GRILLES BETWEEN THE GLASS)
10. PROVIDE COLOR MATCHED HALF-SCREENS WITH DOUBLE-HUNG WINDOWS
11. PROVIDE HIGH VISIBILITY MESH SCREENS
12. VERIFY ALL EXISTING AND NEW FRAMED OPENINGS PRIOR TO ORDERING
13. REFER TO MANUFACTURER'S PRODUCT LITERATURE FOR ALL ROUGH OPENINGS
14. PROVIDE WINDOWS GREATER THAN 36" HIGHER THAN ADJACENT GRADE WITH WINDOW OPENING CONTROL DEVICES.
15. SEAL PERIMETER OF ALL DOORS / WINDOWS AND SKYLIGHTS WITH SELF-EXPANDING FOAM MADE FOR DOORS AND WINDOWS. CLOSED CELL INSULATION WILL NOT BE ACCEPTED.
16. SWINGING PATIO DOORS SHALL HAVE MULTI-POINT LOCKS (UNLESS NOTED OTHERWISE)

EGRESS NOTES:

1. ALL EGRESS WINDOWS WILL PROVIDE MINIMUM CLEAR OPENINGS OF 20" WIDE, 24" HIGH, AND 5.7 SF
2. ALL EGRESS WINDOWS SHALL HAVE A MAXIMUM SILL HEIGHT OF 44" ABOVE THE ADJACENT FINISHED FLOOR.
3. ALL EMERGENCY ENSCAPE AND RESCUE OPENINGS SHALL HAVE SILLS NO HIGHER THAN 44" ABOVE THE FINISHED FLOOR PER IRC 2015 R310.2.2

WINDOW
SCHEDULE

A011



PROJECT:
REAR ADDITION

435 N. FAYETTE ST.
ALEXANDRIA, VA. 22314

DATE: 26 MAR. 2021
PROJECT NO: 20.14
REVISION DATE

DESIGN TEAM

DESIGN PROFESSIONAL STAMP

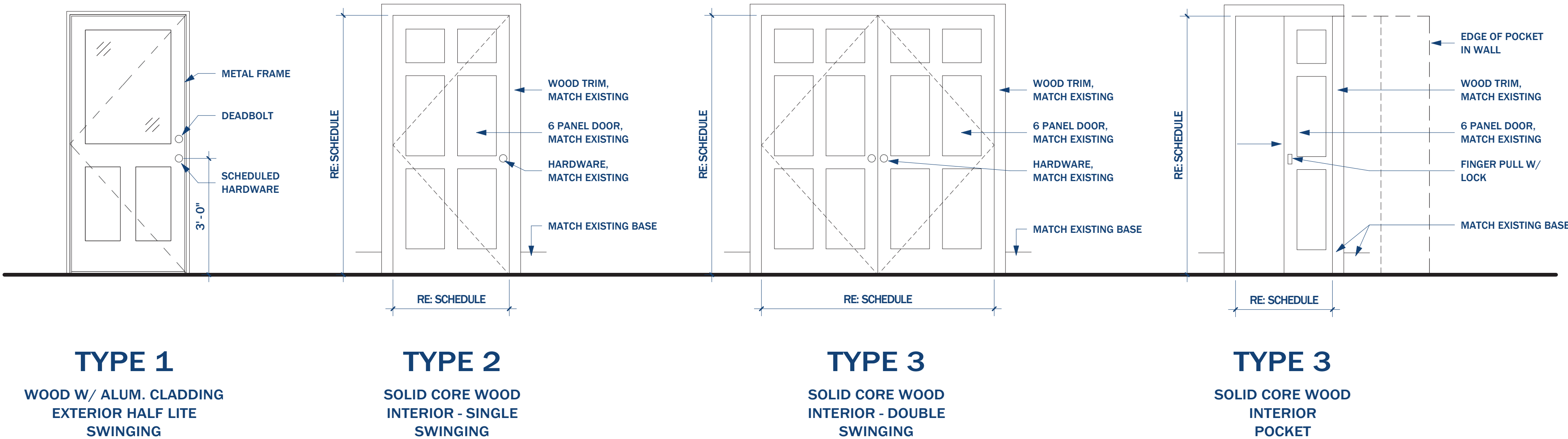
| MARK | TYPE | DIMENSIONS | | | MATERIAL | | HARDWARE | NOTES |
|------|------|------------|-----|--------|----------|-------|----------------|---------------|
| | | WD | HT | THK | DOOR | FRAME | | |
| 101 | 1 | 36" | 80" | 1 3/4" | WD | WD | | |
| A1 | 2 | 32" | 80" | 1 3/8" | WD | WD | PRIVACY | |
| B1 | 4 | 30" | 80" | 1 3/4" | WD | WD | SLIDER W/ LOCK | |
| C1 | 2 | 24" | 80" | 1 3/8" | WD | WD | PASSAGE | |
| C2 | 3 | 36" | 80" | 1 3/8" | WD | WD | DUMMY | |
| C01 | | 36" | 80" | | | | | CASED OPENING |

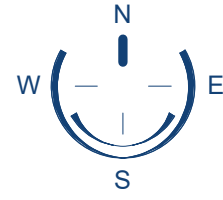
DOOR SCHEDULE

DOOR NOTES:

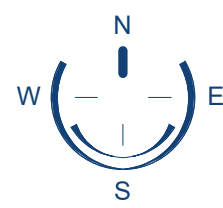
- REFER TO WINDOW SCHEDULE FOR SLIDING AND SWINGING PATIO DOORS.
- INTERIOR DOOR SLABS SHALL BE SOLID MDF CORE WITH PAINT GRADE VENEER, U.N.O.
- PROVIDE HEAVY DUTY POCKET DOOR HARDWARE BY JOHNSON HARDWARE (OR EQ). POCKET DOORS SHALL BE IN 2X6 WALLS UNLESS NOTED OTHERWISE. POCKET DOORS IN 2X4 WALLS AND WALLS RECEIVING HARDWARE OR TILE SHALL HAVE PLYWOOD STIFFENER PANELS AND CLIPS BETWEEN SPLIT STUDS.
- ALL DOORS INTO BATHROOM AREAS SHALL BE PROVIDED WITH 4.5" MARBLE THRESHOLD
- LOUVERS SHALL BE PROVIDED IN DOOR AS REQUIRED FOR AIR RETURN; REFER TO MECH. DRAWINGS.
- ALL DEADBOLTS SHALL BE KEYED FROM THE EXTERIOR AND HAVE THUMB TURNS ON EGRESS SIDE; DOUBLE KEY CYLINDER DEADBOLTS ARE PROHIBITED.
- INSTALL TEMPERED SAFETY GLASS AT ALL EXTERIOR AND INTERIOR LOCATIONS AS REQUIRED BY DCBC SECTIONS 2406 AND 2407.
- SEAL PERIMETER OF ALL DOORS / WINDOWS WITH SELF EXPANDING FOAM MADE FOR DOORS AND WINDOWS (NO CLOSED CELL).
- ENERGY COMPLIANCE - REFER TO ENERGY COMPLIANCE SHEETS CS03 + CS04.

A021





SCALE: 1" = 10'-0"



SCALE: 1" = 10'-0"

PROJECT:
REAR ADDITION

435 N. FAYETTE ST.
ALEXANDRIA, VA. 22314

DATE: 26 MAR. 2021
PROJECT NO: 20.14

REVISION DATE

DESIGN TEAM

DESIGN PROFESSIONAL STAMP

**DEMOLITION
PLAN**

A201

SHEET NOTES:

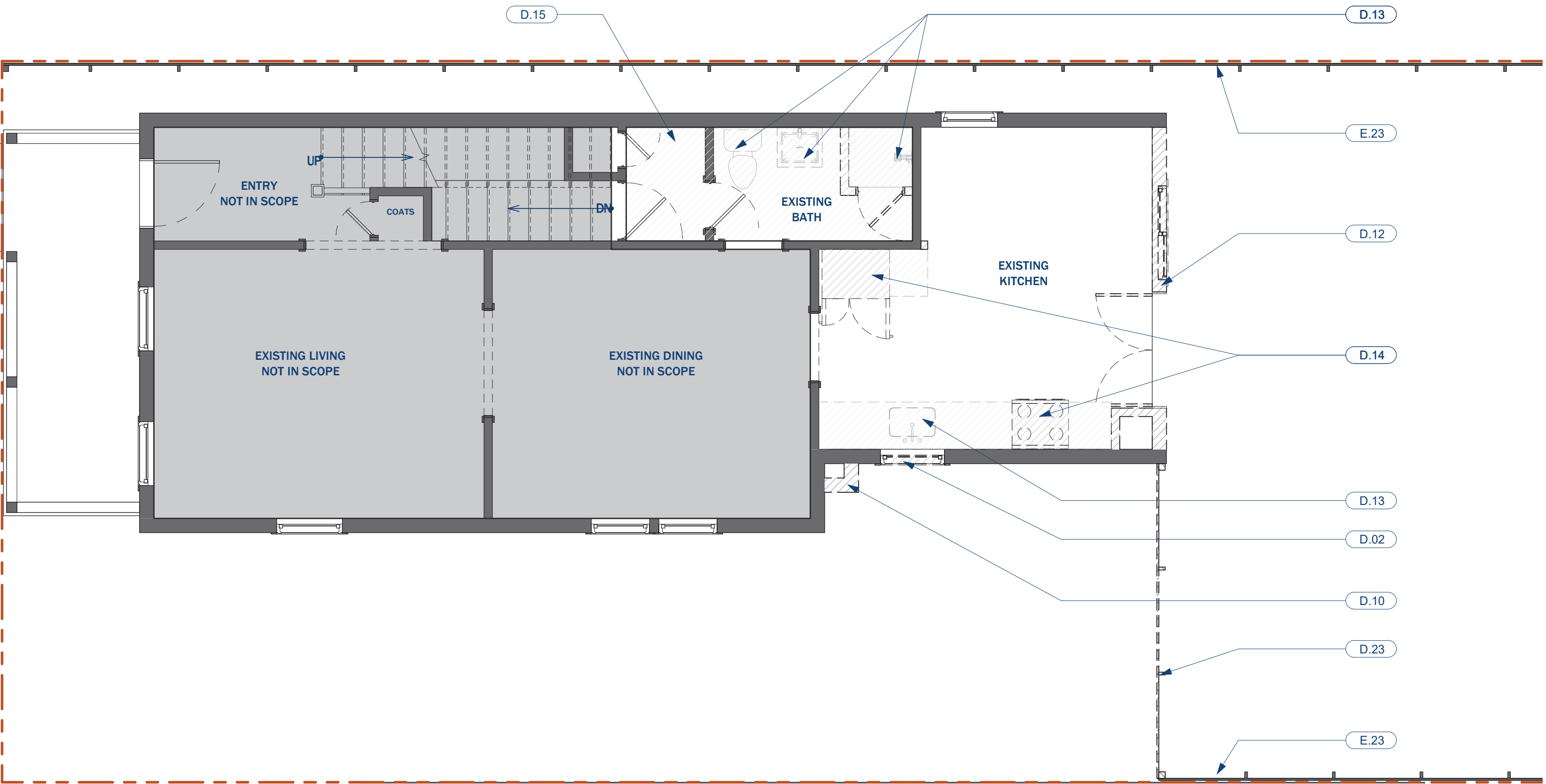
1. UNDER NO CIRCUMSTANCE SHALL ANY PORTION OF THE LOAD BEARING STRUCTURE BE REMOVED THAT WOULD COMPROMISE THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING.
2. REFER TO STRUCTURAL DRAWINGS FOR PROPER REMOVAL, BRACING AND INFILL DETAILS.
3. ALL DIMENSIONS SHOWN ARE +/-, VERIFY EXACT DIMENSIONS IN THE FIELD. NOTIFY ARCHITECT IMMEDIATELY REGARDING ANY DISCREPANCIES.
4. REMOVE ABANDONED OR OBSOLETE MISC ITEMS, STEEL HANGERS AND SUPPORTS THROUGHOUT SPACE (AS ALLOWABLE) PRIOR TO INSTALLING NEW WORK.
5. PROTECT EXISTING FIREPROOFING. REPLACE MISSING OR DAMAGED FIREPROOFING.

LEGEND:

- AREA EXCLUDED FROM SCOPE
- EXISTING WALL TO REMAIN
- TO BE DEMOLISHED
- PROPERTY LINE

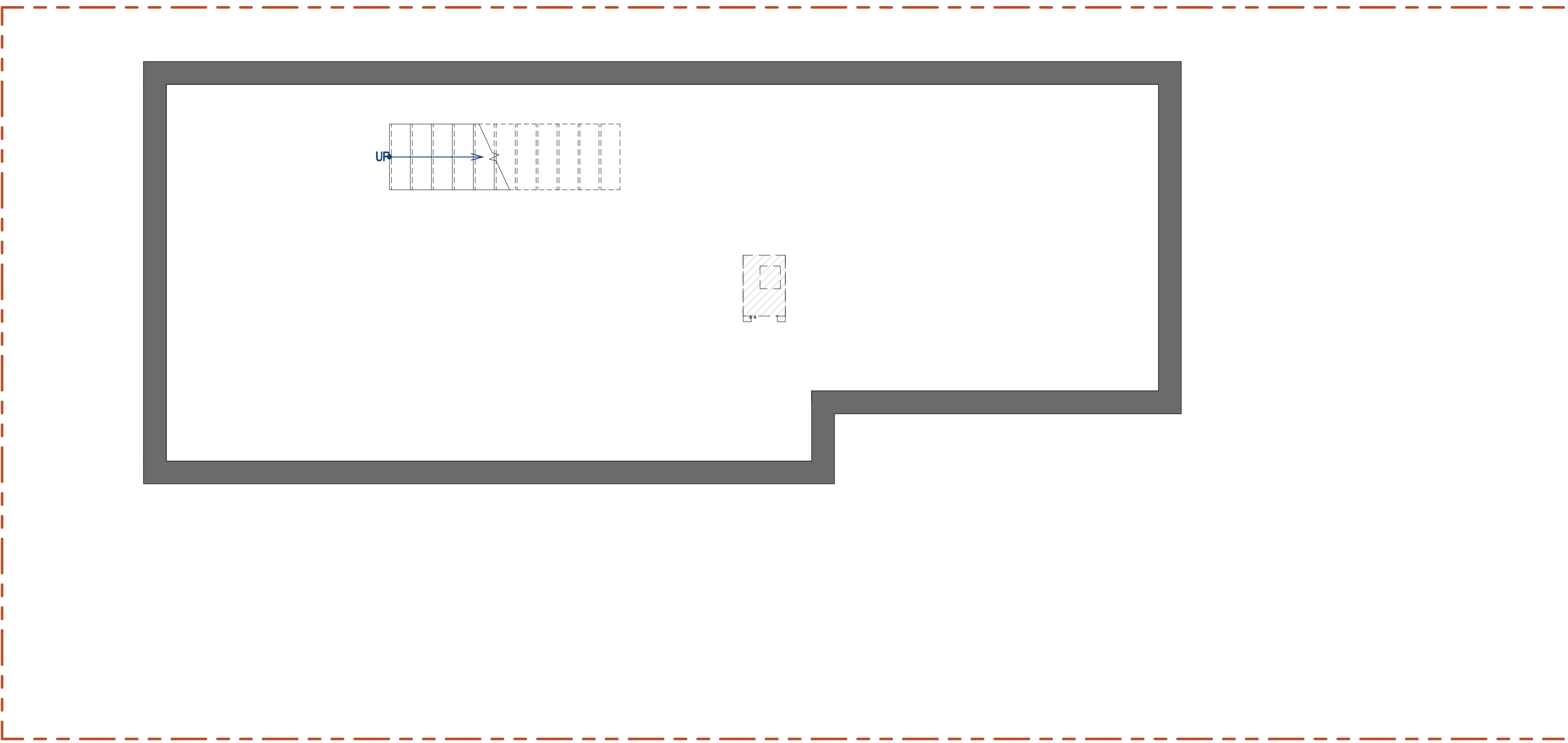
VALUE KEYNOTE

- | | |
|------|--|
| D.02 | EXISTING WINDOW TO BE DEMOLISHED, V.I.F. |
| D.10 | EXISTING WASTE STACK AT EXTERIOR OF STRUCTURE TO BE DEMOLISHED |
| D.12 | EXISTING REAR WALL TO BE DEMOLISHED, REFER TO STRUCTURAL FOR TEMPORARY BRACING |
| D.13 | EXISTING PLUMBING FIXTURES TO BE DEMOLISHED AND LINES CAPPED. PREPARE FOR RECONFIGURATION. |
| D.14 | EXISTING KITCHEN; DEMOLISH ALL CABINETS AND APPLIANCES. |
| D.15 | DEMOLISH FLOOR AND SUBFLOOR AT BATH AND STAIR LANDING, LEVEL EXPOSED JOISTS BELOW |
| D.23 | EXISTING FENCE TO BE DEMOLISHED, V.I.F. |
| E.23 | EXISTING FENCE TO REMAIN, V.I.F. |



2
01 - GROUND DEMOLITION

SCALE: 1/4" = 1'-0"



1
00 - CELLAR DEMOLITION

SCALE: 1/4" = 1'-0"

PROJECT:
REAR ADDITION

435 N. FAYETTE ST.
ALEXANDRIA, VA. 22314

DATE: 26 MAR. 2021
PROJECT NO: 20.14

REVISION DATE

DESIGN TEAM

DESIGN PROFESSIONAL STAMP

**DEMOLITION
PLAN**

A202

SHEET NOTES:

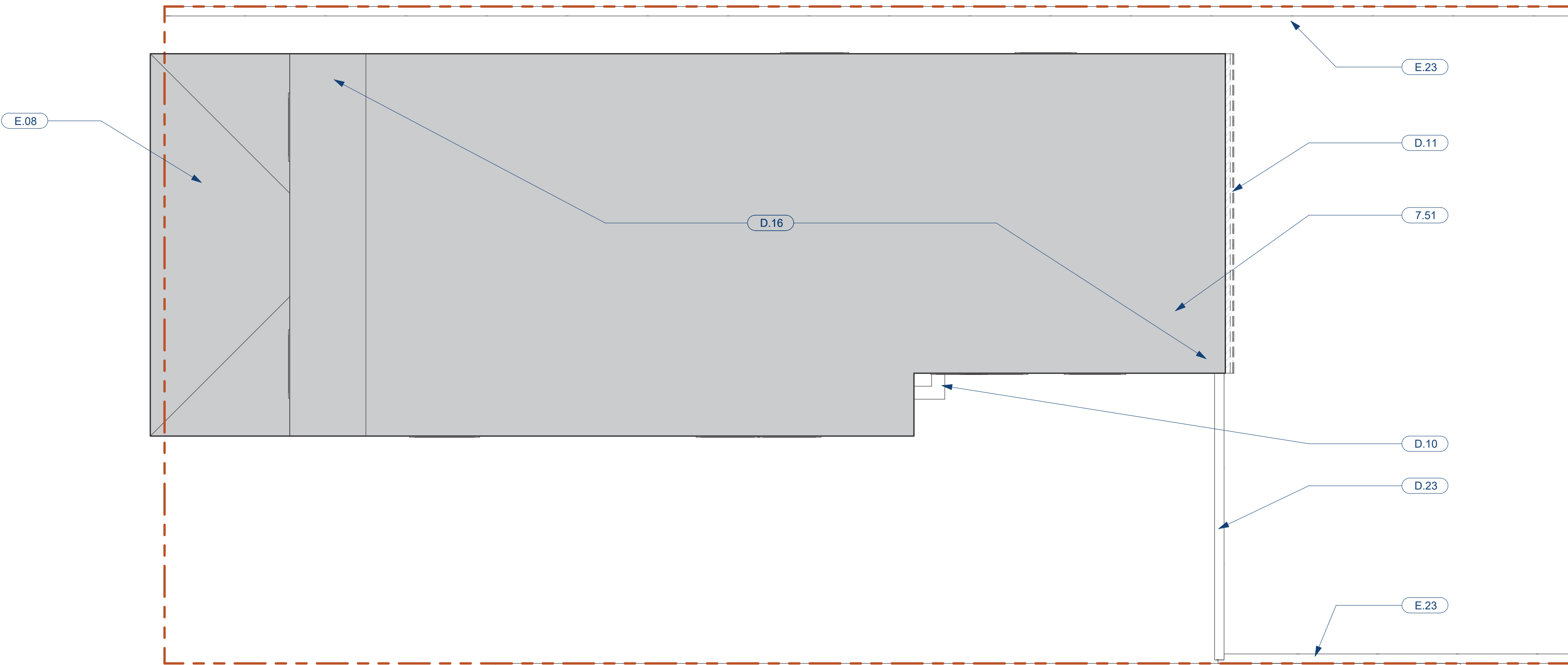
1. UNDER NO CIRCUMSTANCE SHALL ANY PORTION OF THE LOAD BEARING STRUCTURE BE REMOVED THAT WOULD COMPROMISE THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING.
2. REFER TO STRUCTURAL DRAWINGS FOR PROPER REMOVAL, BRACING AND INFILL DETAILS.
3. ALL DIMENSIONS SHOWN ARE +/-, VERIFY EXACT DIMENSIONS IN THE FIELD. NOTIFY ARCHITECT IMMEDIATELY REGARDING ANY DISCREPANCIES.
4. REMOVE ABANDONED OR OBSOLETE MISC ITEMS, STEEL HANGERS AND SUPPORTS THROUGHOUT SPACE (AS ALLOWABLE) PRIOR TO INSTALLING NEW WORK.
5. PROTECT EXISTING FIREPROOFING. REPLACE MISSING OR DAMAGED FIREPROOFING.

LEGEND:

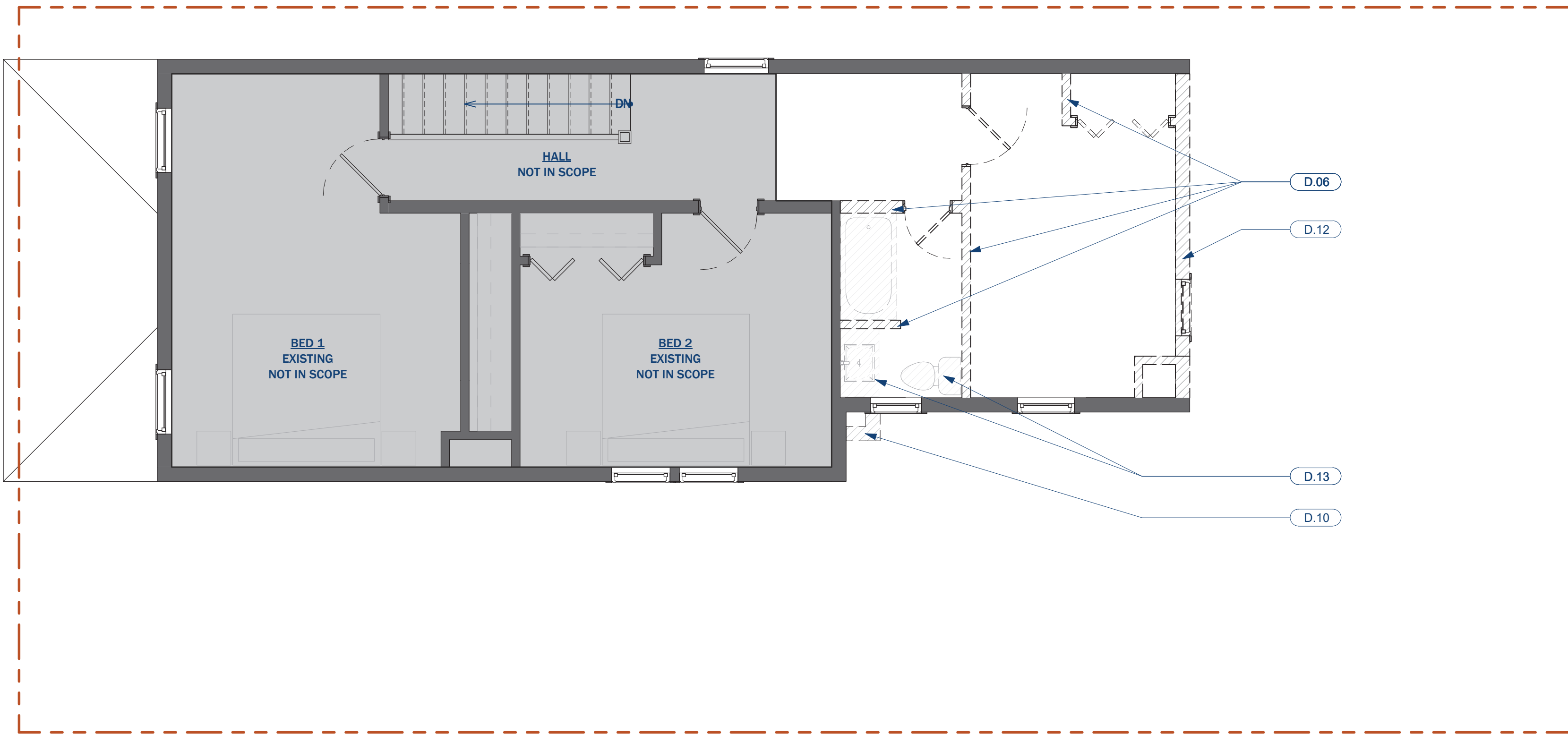
- AREA EXCLUDED FROM SCOPE
- EXISTING WALL TO REMAIN
- TO BE DEMOLISHED
- PROPERTY LINE

VALUE KEYNOTE

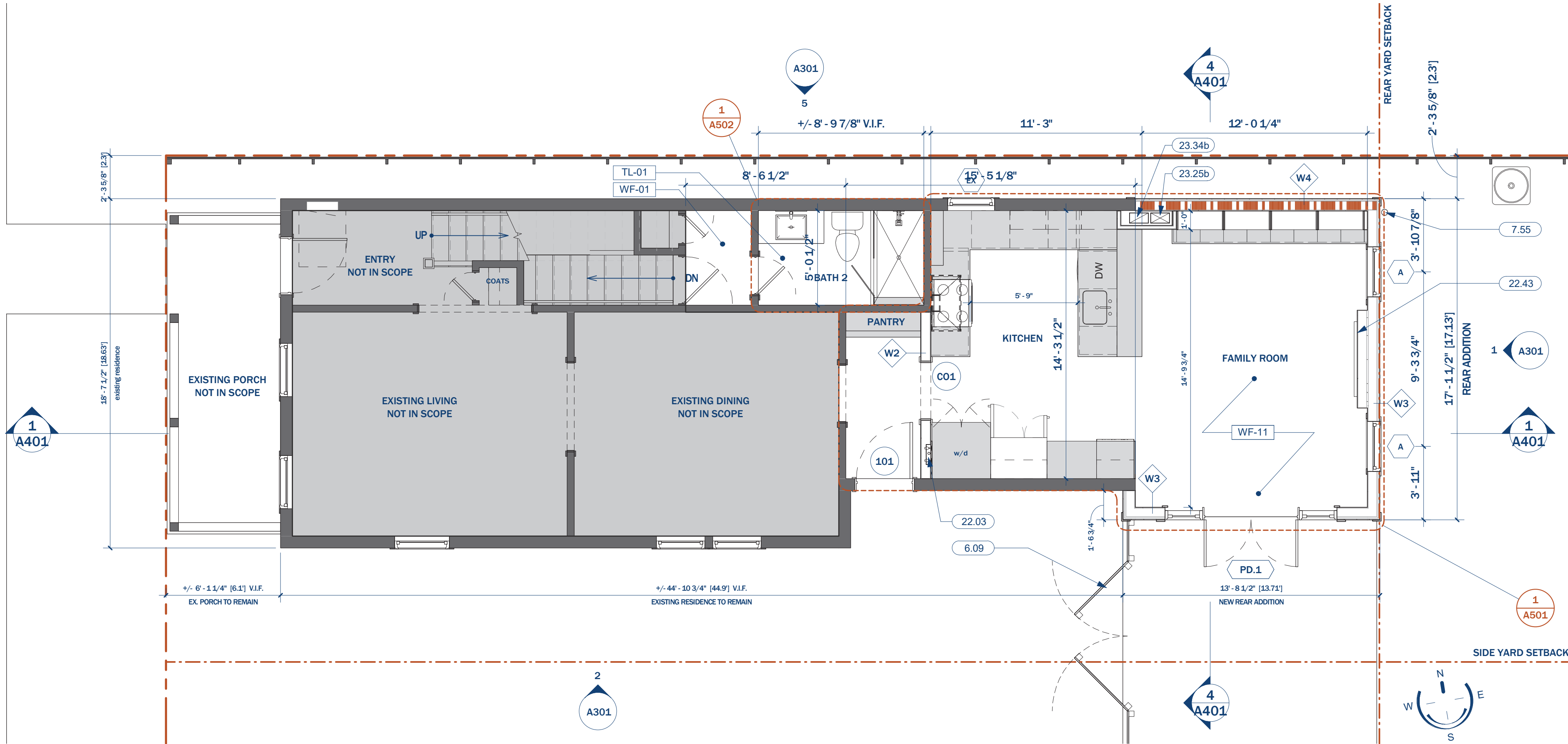
- | | |
|------|---|
| 7.51 | NEW ROOF MEMBRANE. RE: ASSEMBLIES |
| D.06 | EXISTING NON-LOADING BEARING WALL TO BE DEMOLISHED, V.I.F. |
| D.10 | EXISTING WASTE STACK AT EXTERIOR OF STRUCTURE TO BE DEMOLISHED |
| D.11 | EXISTING GUTTER AND DOWNSPOUT TO BE DEMOLISHED |
| D.12 | EXISTING REAR WALL TO BE DEMOLISHED, REFER TO STRUCTURAL FOR TEMPORARY BRACING |
| D.13 | EXISTING PLUMBING FIXTURES TO BE DEMOLISHED AND LINES CAPPED. PREPARE FOR RECONFIGURATION. |
| D.16 | REMOVE EXISTING ROOF MEMBRANE TO BE REPLACED. ASSESS EX. ROOF SHEATHING AND REPLACE AS NEEDED |
| D.23 | EXISTING FENCE TO BE DEMOLISHED, V.I.F. |
| E.08 | EXISTING PORCH / PORCH ROOF TO REMAIN, V.I.F. |
| E.23 | EXISTING FENCE TO REMAIN, V.I.F. |



2 04 - ROOF DEMOLITION
SCALE: 1/4" = 1'-0"



1 02 - SECOND DEMOLITION
SCALE: 1/4" = 1'-0"



2 PROPOSED PLAN - FIRST FLOOR
SCALE: 1/4" = 1'-0"

SHEET NOTES:

- 1. CONTRACTOR TO ASSUME THAT ALL WORK IS NEW, UNLESS NOTED AS "EXISTING" OR "EX".
- 2. PROTECT EXISTING STRUCTURE DURING ALTERATION / RENOVATION.
- 3. CONTRACTORS TO FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS, NOTIFY ARCHITECT / OWNER OF ANY DISCREPANCIES.
- 4. ALL DIMENSIONS ARE TO FACE OF FINISH, U.N.O.
- 5. ALL INTERIOR PARTITION WALLS ARE TYPE W1 UNLESS NOTED OTHERWISE
- 6. PATCH / REPAIR ALL EXISTING G.W.B. WALLS.

LEGEND:

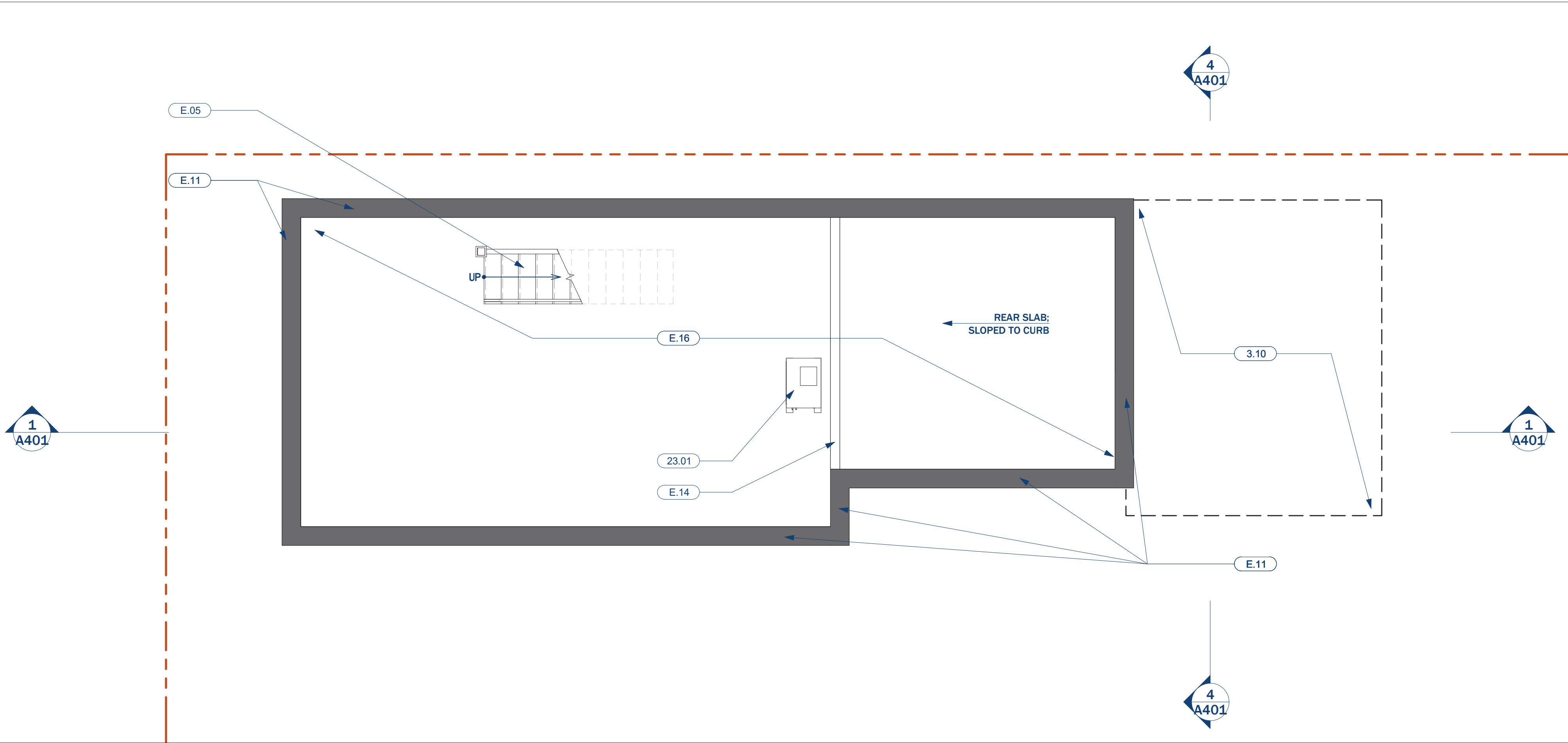
- AREA EXCLUDED FROM SCOPE
- EXISTING WALL TO REMAIN
- NEW WALL
- 1 HOUR RATED WALL
- PROPERTY LINE
- ASSEMBLY TAG
- WINDOW TAG
- DOOR TAG
- KEYNOTE TAG
- EQUIPMENT TAG

KEYNOTE LEGEND:

- | VALUE | KEYNOTE |
|--------|---|
| 3.10 | AREA OF NEW SLAB ON GRADE ADDITION ABOVE, REFER TO STRUCTURAL DRAWINGS FOR NEW FOOTING AND FOUNDATION INFORMATION S210 |
| 6.09 | 72" WOOD PRIVACY FENCE W/ GATE TO MATCH EXISTING |
| 7.55 | DOWNSPOUT - RECTANGULAR |
| 22.03 | LAUNDRY BOX RE: PLUMB. FIXTURE SCHEDULE |
| 22.43 | NATURAL GAS FIREPLACE WITH DIRECT VENT THROUGH WALL |
| 23.01 | NEW HVAC TO REPLACE EXISTING, SIZE TO SUPPLY EXISTING + NEW ADDITION. RECONNECT EXISTING DUCTS. REFER TO M211 FOR NEW DUCTS CONFIGURATION |
| 23.25b | NEW SUPPLY RISER BY MECHANICAL SUBCONTRACTOR |
| 23.34b | NEW RETURN RISER BY MECHANICAL SUBCONTRACTOR |
| E.05 | EXISTING STAIRS TO REMAIN, V.I.F. |
| E.11 | EXISTING FOUNDATION WALL TO REMAIN |
| E.14 | EXISTING KING BEAM TO REMAIN |
| E.16 | EXISTING UNFINISHED CELLAR, NOT IN SCOPE OF WORK. EXISTING CLEAR CEILING TO BOTTOM OF OPEN JOISTS = ~6' - 6" V.I.F. |

MATERIAL LEGEND:

- | VALUE | MATERIAL |
|-------|--|
| TL-01 | TILE, FLOOR RE: ENLARGED BATHROOM DRAWINGS |
| WF-01 | SOLID WOOD FLOOR, MATCH ADJACENT DINING ROOM |
| WF-11 | ENGINEERED 3 1/2" WHITE OAK WOOD FLOOR |



1 00 - CELLAR F.F.
SCALE: 1/4" = 1'-0"

AHJ APPROVAL STAMP

PROJECT:
REAR ADDITION

435 N. FAYETTE ST.
ALEXANDRIA, VA. 22314

DATE: 26 MAR. 2021

PROJECT NO: 20.14

REVISION DATE

DESIGN TEAM

DESIGN PROFESSIONAL STAMP

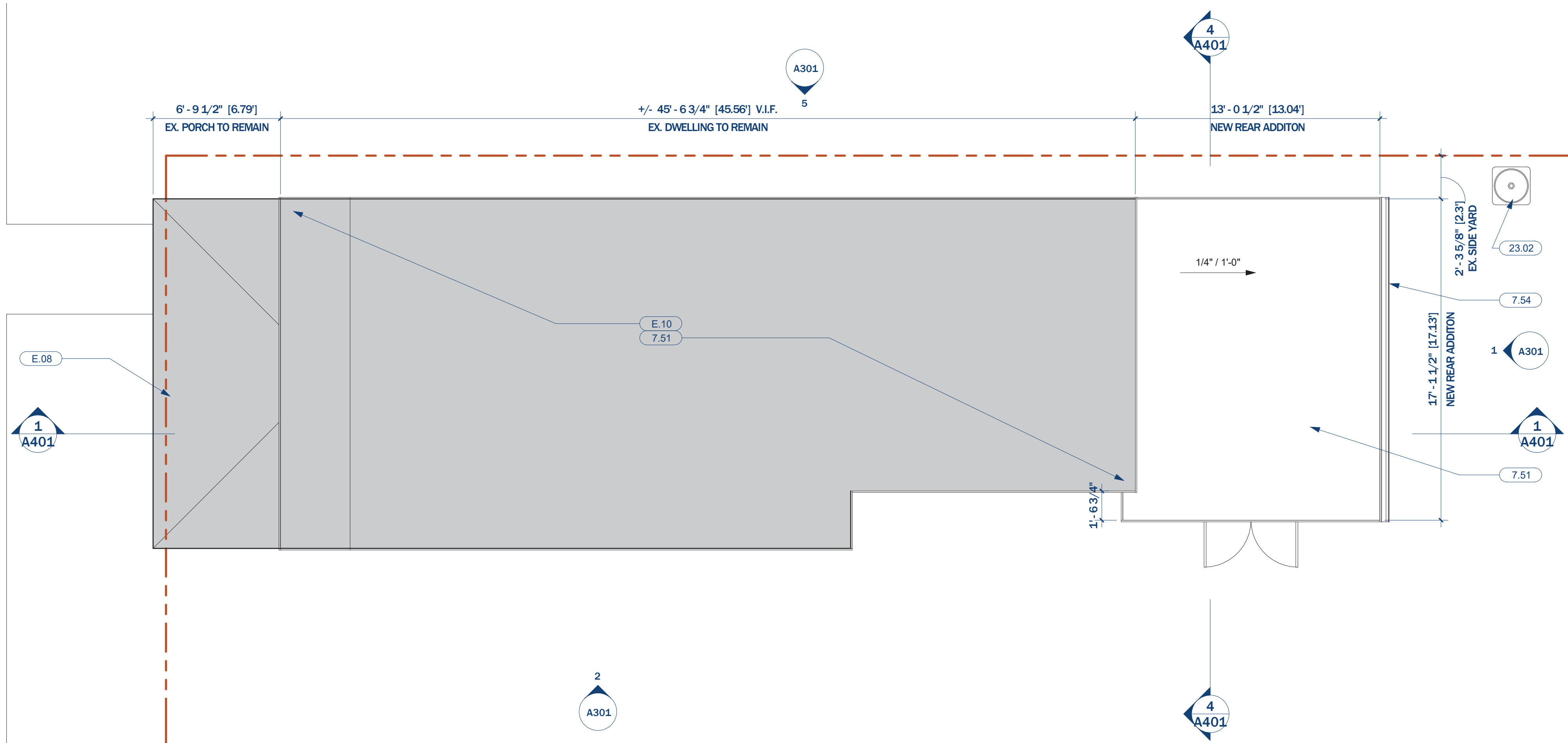
PROPOSED
PLANS

A211

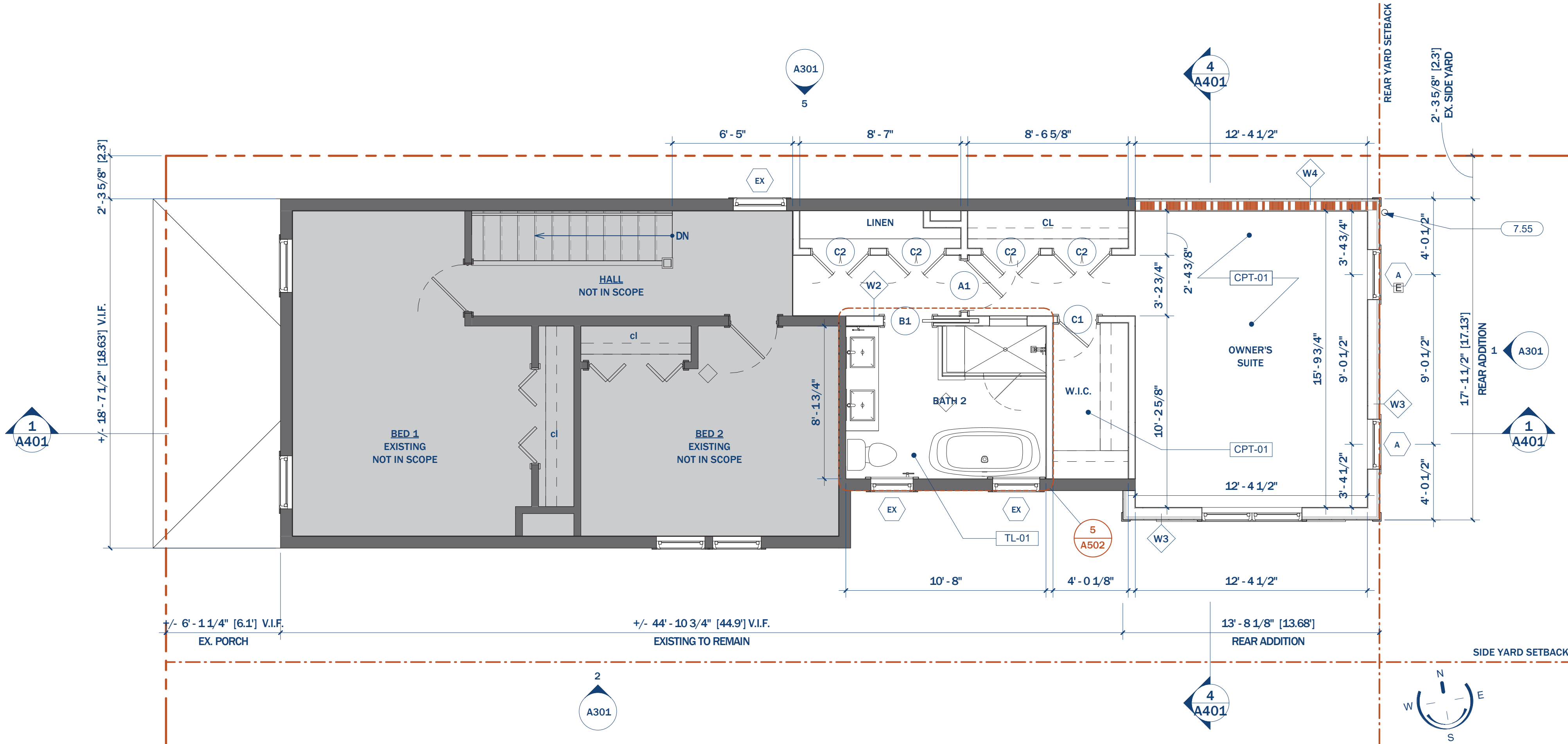
Four
Brothers LLC

4009 GEORGIA AVE, NW
WASHINGTON DC 20011
202-423-8703
www.fourbrotherscarpentry.com

FOUR BROTHERS CARPENTRY ©2020



2 03 - ROOF H.P.
A212 SCALE: 1/4" = 1'-0"



1 PROPOSED PLAN - SECOND FLOOR
A212 SCALE: 1/4" = 1'-0"

SHEET NOTES:

1. CONTRACTOR TO ASSUME THAT ALL WORK IS NEW, UNLESS NOTED AS "EXISTING" OR "EX".
2. PROTECT EXISTING STRUCTURE DURING ALTERATION / RENOVATION.
3. CONTRACTORS TO FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS, NOTIFY ARCHITECT / OWNER OF ANY DISCREPANCIES.
4. ALL DIMENSIONS ARE TO FACE OF FINISH, U.N.O.
5. ALL INTERIOR PARTITION WALLS ARE TYPE W1 UNLESS NOTED OTHERWISE
6. PATCH / REPAIR ALL EXISTING G.W.B. WALLS.

LEGEND:

| | | | |
|--|--------------------------|--|---------------|
| | AREA EXCLUDED FROM SCOPE | | ASSEMBLY TAG |
| | EXISTING WALL TO REMAIN | | WINDOW TAG |
| | NEW WALL | | DOOR TAG |
| | 1 HOUR RATED WALL | | KEYNOTE TAG |
| | PROPERTY LINE | | EQUIPMENT TAG |

KEYNOTE LEGEND:

| VALUE | KEYNOTE |
|-------|--|
| 7.51 | NEW ROOF MEMBRANE. RE: ASSEMBLIES |
| 7.54 | CONTINUOUS GUTTER - K-STYLE |
| 7.55 | DOWNSPOUT - RECTANGULAR |
| 23.02 | OUTDOOR CONDENSING UNIT / COMPRESSOR |
| E.08 | EXISTING PORCH / PORCH ROOF TO REMAIN, V.I.F. |
| E.10 | EXISTING ROOF STRUCTURE AND SHEATHING TO REMAIN; REPLACE MEMBRANE ONLY |

MATERIAL LEGEND:

| VALUE | MATERIAL |
|--------|--|
| CPT-01 | CARPET TO MATCH EXISTING |
| TL-01 | TILE, FLOOR RE: ENLARGED BATHROOM DRAWINGS |

AHJ APPROVAL STAMP

PROJECT:
REAR ADDITION

435 N. FAYETTE ST.
ALEXANDRIA, VA. 22314

DATE: 26 MAR. 2021
PROJECT NO: 20.14
REVISION DATE

DESIGN TEAM

DESIGN PROFESSIONAL STAMP

PROPOSED
PLANS

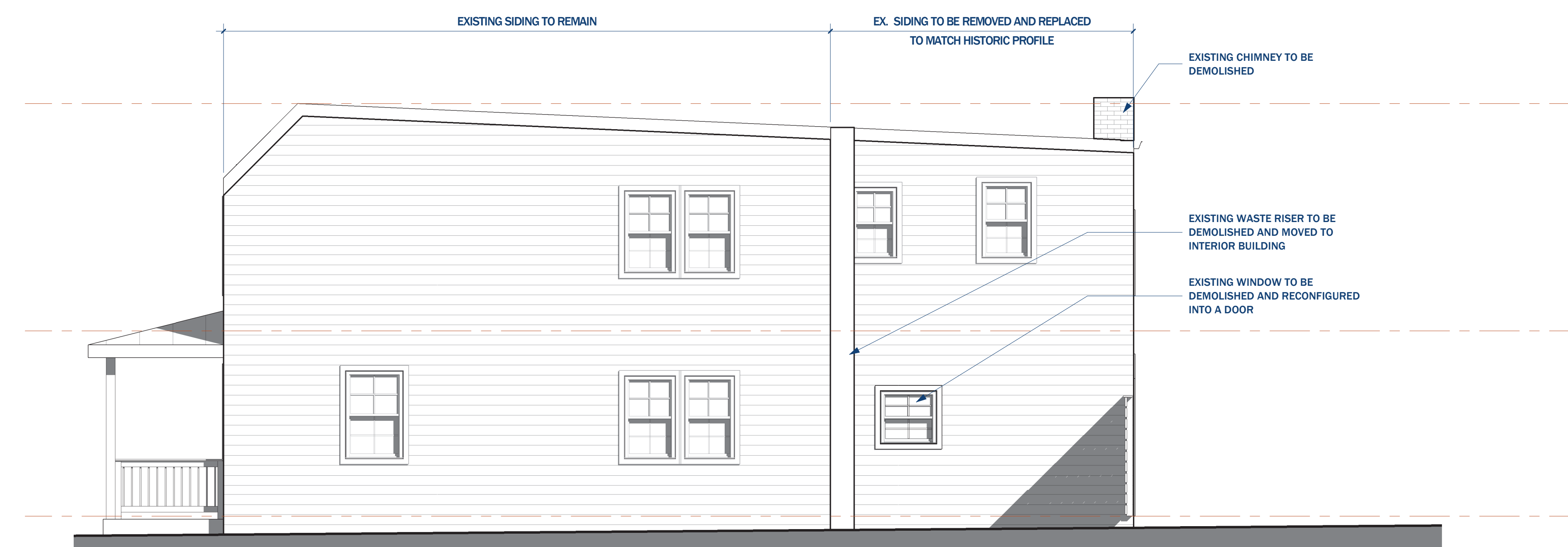
A212

Four
Brothers LLC
4009 GEORGIA AVE, NW
WASHINGTON DC 20011
202-423-8703
www.fourbrotherscarpentry.com

FOUR BROTHERS CARPENTRY ©2020



3
A302
EXISTING ELEVATION - NORTH
SCALE: 1/4" = 1'-0"

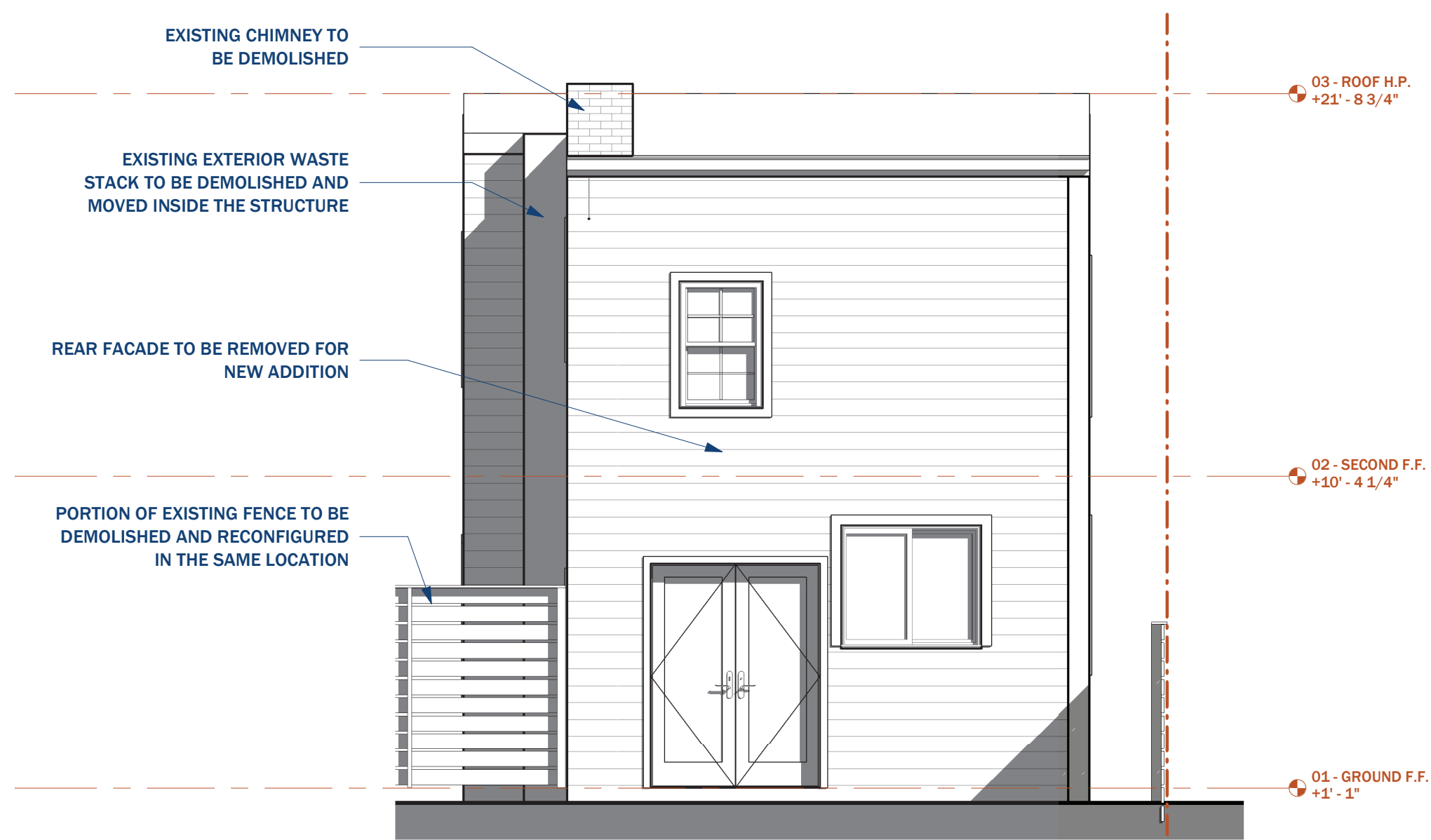


2
A302
EXISTING ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

CHIMNEY TO BE DEMOLISHED
REAR FACADE TO BE REMOVED



EXISTING FRONT CHIMNEY TO REMAIN
EXISTING EXTERIOR WASTE AND VENT STACK TO BE MOVED INSIDE THE STRUCTURE
EXISTING SIDING TO BE DEMOLISHED AND REPLACED IN KIND FROM EXISTING REAR FACADE TO INSIDE CORNER
EXISTING WINDOW TO BE RECONFIGURED TO DOOR



1
A302
EXISTING ELEVATION - EAST
SCALE: 1/4" = 1'-0"

AHJ APPROVAL STAMP

PROJECT:
REAR ADDITION

435 N. FAYETTE ST.
ALEXANDRIA, VA. 22314

DATE: 04/30/21
PROJECT NO: 20.14
REVISION DATE

DESIGN TEAM

NOT FOR CONSTRUCTION

DESIGN PROFESSIONAL STAMP

ELEVATIONS - EXISTING

A302

Four Brothers LLC
4009 GEORGIA AVE, NW
WASHINGTON DC 20011
202-423-8703
www.fourbrotherscarpentry.com
FOUR BROTHERS CARPENTRY ©2020

PROJECT:
REAR ADDITION

435 N. FAYETTE ST.
ALEXANDRIA, VA. 22314

DATE: 26 MAR. 2021

PROJECT NO: 20.14

REVISION DATE

DESIGN TEAM

SHEET NOTES:

- 1. ALL DIMENSIONS ARE TO BE FIELD VERIFIED. NOTIFY DESIGNER OF ANY DESCREPARNCIES.
- 2. ALL MATERIALS SHALL BE INSTALLED AS PER MANUFACTURER INSTRUCTIONS AND GUIDELINES.
- 3. REFER TO WALL SECTIONS FOR DESCRIPTION OF ROOF / WALL ASSEMBLIES.
- 4. ALL EXISTING SURFACES INDICATED FOR PAINTING SHALL BE COMPLETELY STRIPPED USING CHEMICAL STRIPPER PRIOR TO NEW PAINT APPLICATION.

LEGEND:

##-##

KEYNOTE TAG

AB-##

MATERIAL / FINISH TAG

AB-##

EQUIPMENT TAG

TI

TEMPERED GLAZING

E

EMERGENCY ESCAPE + RESCUE
OPENING, 5.7 SF MIN.

W1

WINDOW TAG

PD.#

PATIO DOOR TAG

101B

DOOR TAG

24" MIN.

20" MIN.

MIN. EER DIMENSIONS

5.7 SF MIN.

KEYNOTE LEGEND:

| VALUE | KEYNOTE |
|-------|--|
| 6.09 | 72" WOOD PRIVACY FENCE W/ GATE TO MATCH EXISTING |
| 7.51 | NEW ROOF MEMBRANE. RE: ASSEMBLIES |
| 7.54 | CONTINUOUS GUTTER - K-STYLE |
| 7.55 | DOWNSPOUT - RECTANGULAR |
| 32.07 | NEW BRICK PATIO |
| E.23 | EXISTING FENCE TO REMAIN, V.I.F. |

MATERIAL LEGEND:

| VALUE | MATERIAL |
|-------|--|
| WD-01 | WOOD SIDING, TW PERRY PRIMELOCK PROFILE #1062; PAINT TO MATCH EXISTING |
| WT-01 | EXT. COMPOSIT TRIM; MATCH EXISTING WIDTHS. PAINTED WHITE |

DESIGN PROFESSIONAL STAMP

EXTERIOR
ELEVATIONS

A301



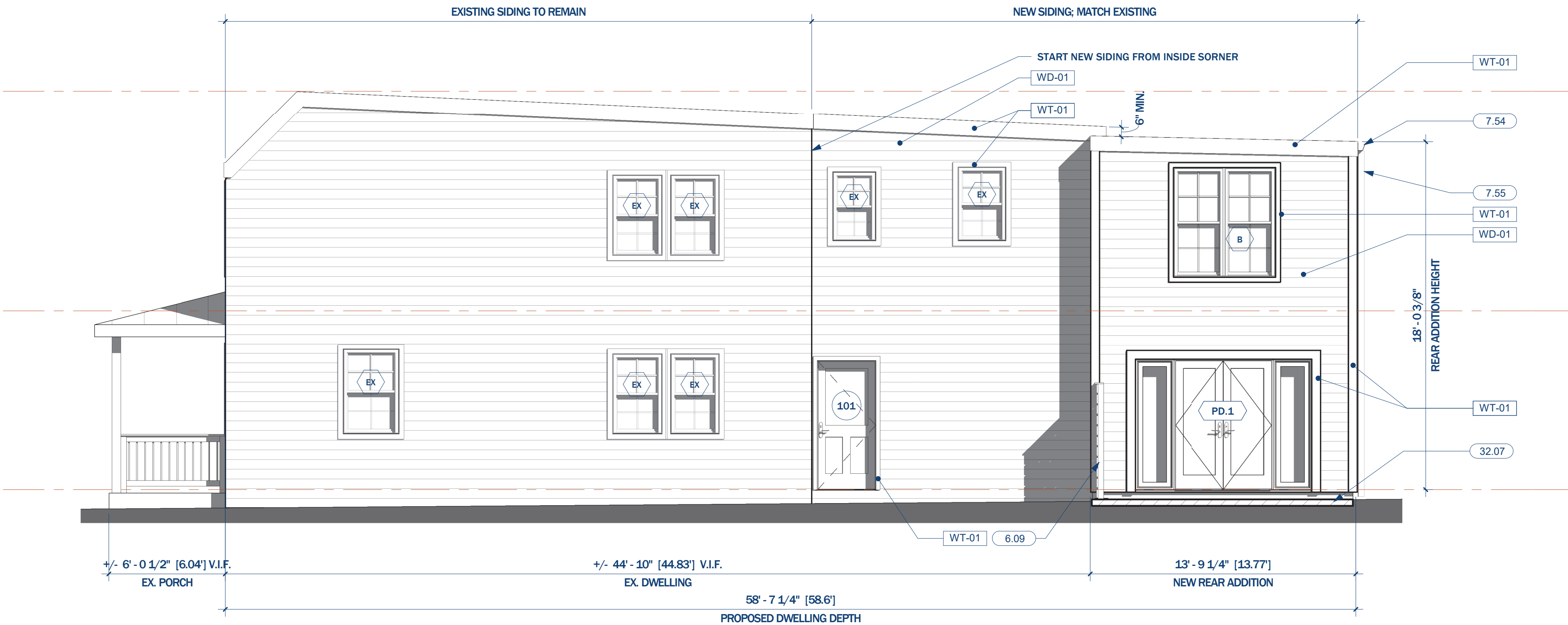
4009 GEORGIA AVE, NW
WASHINGTON DC 20011
202.423.8703
www.fourbrotherscarpentry.com

FOUR BROTHERS CARPENTRY 6/2020



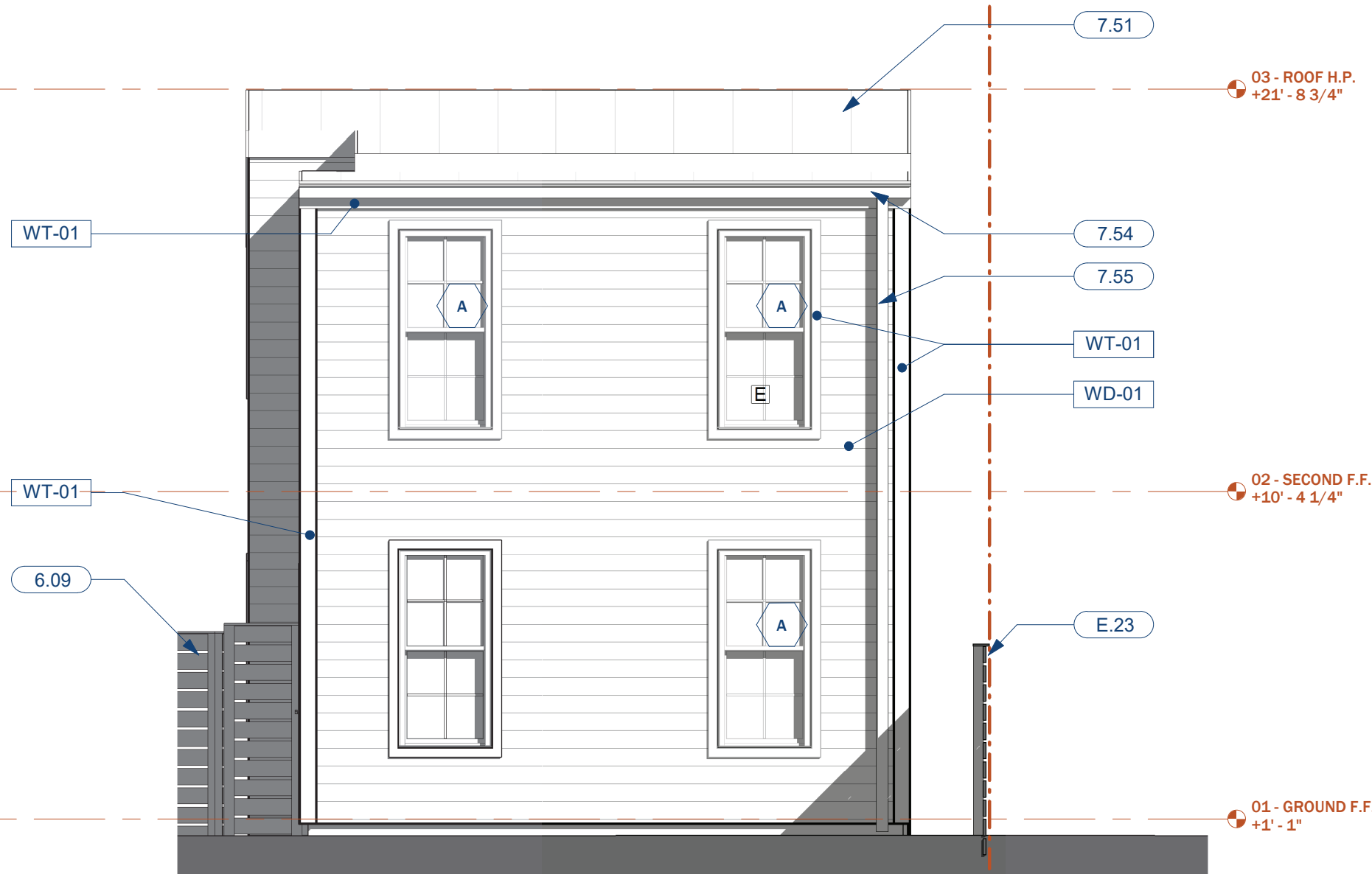
5 ELEVATION - NORTH

SCALE: 1/4" = 1'-0"



2 ELEVATION - SOUTH

SCALE: 1/4" = 1'-0"



1 ELEVATION - EAST

SCALE: 1/4" = 1'-0"

SMOOTH

Countrylane Red

| | | | | |
|-----------------------|---------------|----------|----------|----------|
| Thickness | 5/16 in. | | | |
| Length | 12 ft. planks | | | |
| Width | 5.25 in. | 6.25 in. | 7.25 in. | 8.25 in. |
| Exposure | 4 in. | 5 in. | 6 in. | 7 in. |
| ColorPlus Pcs./Pallet | 324 | 280 | 252 | 210 |
| Prime Pcs./Pallet | 360 | 308 | 252 | 230 |
| Pcs./Sq. | 25.0 | 20.0 | 16.7 | 14.3 |

Available Colors

View all HardiePlank Lap Siding Products

Color TBD



4/4 NT3® SMOOTH

Arctic White

| | | | | |
|-------------|---------------|---------|----------|-----------|
| Thickness | .75 in. | | | |
| Length | 12 ft. boards | | | |
| Width | 3.5 in. | 5.5 in. | 7.25 in. | 11.25 in. |
| Pcs./Pallet | 322 | 184 | 138 | 92 |

Exterior Corners

Windows + Doors

Available Colors



View all HardieTrim Boards