

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

APPLICANT: King West Properties Inc., William B. Hatherill

LOCATION: Old and Historic Alexandria District
124 South West Street

ZONE: CD/Commercial Downtown Zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness, as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR #2021-00070 & BAR #2021-00071
124 South West Street

0 15 30 60 Feet



Note: Staff coupled the applications for a Permit to Demolish (BAR#2021-00070) and Certificate of Appropriateness (BAR#2021-00071) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to construct a roof deck on the existing second floor roof at 124 South West Street.

Demolition consists of the removal of two windows and the surrounding masonry to create two vestibules allowing access to the new roof deck. The portion of the existing roof with mechanical unit will remain and will be screened by a stain wood fence while the roof deck portion will be enclosed with a modern cable rail system. The vestibule additions will have shed roofs, aluminum storefront doors, Kichler exterior lights and will be clad with stucco.

Site context

The subject property is located at the intersection of S. West, Commerce and Prince streets and a leg of the Y-shaped public alley that dissects the block runs adjacent to the building. The area of work is located at the NE corner of the building and is minimally visible from the alley and adjacent public streets.

II. HISTORY

The four-story modern masonry office building was originally approved in 2001 and re-approved due to the expiration of the Certificate of Appropriateness in 2002 prior to the start of construction. The triangular-shaped building contains approximately 32,000 sq. ft. was constructed in **2003**.

Previous BAR Approvals

BAR Case #2000-0284: Approval of a four-story office building

BAR Case #2001-0197: Reapproval of the office building

BAR Case #2008-0145: Signage

BAR Case #2012-0329: Generator and screening

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No

(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The applicant proposes to demolish a limited amount of wall area which dates to the early 21st century, so the materials are not of unusual or uncommon design and could be reproduced easily.

Certificate of Appropriateness

The *Design Guidelines* reference to roof decks addresses roof decks on historic structures, noting “Material should not be used on a roof deck that detracts from the historic architecture of a structure.” Given the age of the building, the limited visibility of the deck and the use of high-quality compatible 21st century materials, staff recommends approval of the application as submitted. The roof deck will provide an amenity space for building tenants and will utilize an unused space over the underground garage entry. Staff notes that the minor site plan amendment to the original Development Site Plan approval must be released prior to the request for a building permit.

STAFF

Stephanie Sample, Historic Preservation Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

F-1 The proposed addition, roof deck, guardrails, and screening were all reviewed and approved through a minor site plan amendment to DSP2000-00051 in February 2021 and therefore the proposal complies with zoning.

Code Administration

C-1 A building permit and plan review are required prior to the start of construction.

Transportation and Environmental Services

F-1 Comply with all requirements of DSP2000-00051. (T&ES)

F-2 The Minor Amendment to the Site Plan must be approved and released and a copy of that plan must be attached to the demolition permit application. No demolition permit will be issued in advance of the building permit unless the Minor Amendment to the Site Plan includes a demolition plan which clearly represents the demolished condition. (T&ES)

V. ATTACHMENTS

1 – Application Materials

2 – Supplemental Materials

BAR Case # _____

ADDRESS OF PROJECT: 124 South West Street

TAX MAP AND PARCEL: 074.01-02-27

ZONING: CD

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A
VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: King West Properties Inc

Address: 124 South West Street

City: Alexandria State: VA Zip: 22314

Phone: (703) 299-3100 E-mail: WHatherill@fsbpt.org

Authorized Agent *(if applicable)*: ☐ Attorney ☒ Architect ☐ _____

Name: STEPHEN W. KULINSKI, AIA

Phone: (703) 836-7243

E-mail: steve@kulinskigroup.com

Legal Property Owner:

Name: King West Properties Inc., William B. Hatherill

Address: 124 South West Street

City: Alexandria State: VA Zip: 22314

Phone: (703) 299-3100 E-mail: WHatherill@fsbpt.org

☐ Yes ☒ No Is there an historic preservation easement on this property?

☐ Yes ☒ No If yes, has the easement holder agreed to the proposed alterations?

☐ Yes ☒ No Is there a homeowner's association for this property?

☐ Yes ☒ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

☐ NEW CONSTRUCTION

☒ EXTERIOR ALTERATION: *Please check all that apply.*

☐ awning

☐ fence, gate or garden wall

☐ HVAC equipment

☐ shutters

☒ doors

☐ windows

☐ siding

☐ shed

☐ lighting

☐ pergola/trellis

☐ painting unpainted masonry

☒ other Roof Deck

☒ ADDITION

☒ DEMOLITION/ENCAPSULATION

☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Addition of roof deck at second story of existing building. New vestibules added to access the new roof deck from the egress stairs.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

N/A

☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.

☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.

☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.

☒ ☐ Description of the reason for demolition/encapsulation.

☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.*

N/A

- ☒ ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

N/A

- ☐ ☒ Linear feet of building: Front: _____ Secondary front (if corner lot): _____
- ☐ ☒ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

N/A

- ☒ ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

BAR Case # _____

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee)
 - ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
 - ☒ I, the applicant, or an authorized representative will be present at the public hearing.
 - ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.
-

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Stephen Kulinski

Printed Name: STEPHEN W. KULINSKI, AIA

Date: February 16, 2021

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. King-West Properties	124 S. West Street Alexandria, VA 22314	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 124 S. West Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. King-West Properties	124 S. West Street Alexandria, VA 22314	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. King-West Properties	None	None
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

02/16/21

STEPHEN W. KULINSKI, AIA

Stephen Kulinski

Date

Printed Name

Signature



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. 124 South West Street
Street Address

CL
CD

A2. 10,692.00 x 2.50 = 26,730.00
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	B1. 31,690.00 Sq. Ft.
First Floor	8,418.00	Stairways**	<input type="text"/>	Existing Gross Floor Area*
Second Floor	8,236.00	Mechanical**	<input type="text"/>	B2. 4,968.00 Sq. Ft.
Third Floor	8,236.00	Attic less than 7'***	<input type="text"/>	Allowable Floor Exclusions**
Attic	6,800.00	Porches**	<input type="text"/>	B3. 26,722.00 Sq. Ft.
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	Existing Floor Area Minus Exclusions (subtract B2 from B1)
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>	
Lavatory***	<input type="text"/>	Other**	4,968.00	
Other**	<input type="text"/>	Other**	<input type="text"/>	
B1. <u>Total Gross</u>	31,690.00	B2. <u>Total Exclusions</u>	4,968.00	

Comments for Existing Gross Floor Area

Original FAR Calculated from DSP#2000-051

C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	C1. 81.00 Sq. Ft.
First Floor	<input type="text"/>	Stairways**	81.00	Proposed Gross Floor Area*
Second Floor	81.00	Mechanical**	<input type="text"/>	C2. 81.00 Sq. Ft.
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	Allowable Floor Exclusions**
Attic	<input type="text"/>	Porches**	<input type="text"/>	C3. 0.00 Sq. Ft.
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>	
Lavatory***	<input type="text"/>	Other**	<input type="text"/>	
Other	<input type="text"/>	Other**	<input type="text"/>	
C1. <u>Total Gross</u>	81.00	C2. <u>Total Exclusions</u>	81.00	

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

D. Total Floor Area

D1. 26,722.00 Sq. Ft.
Total Floor Area (add B3 and C3)

D2. 26,730.00 Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

E1. Sq. Ft.
Existing Open Space

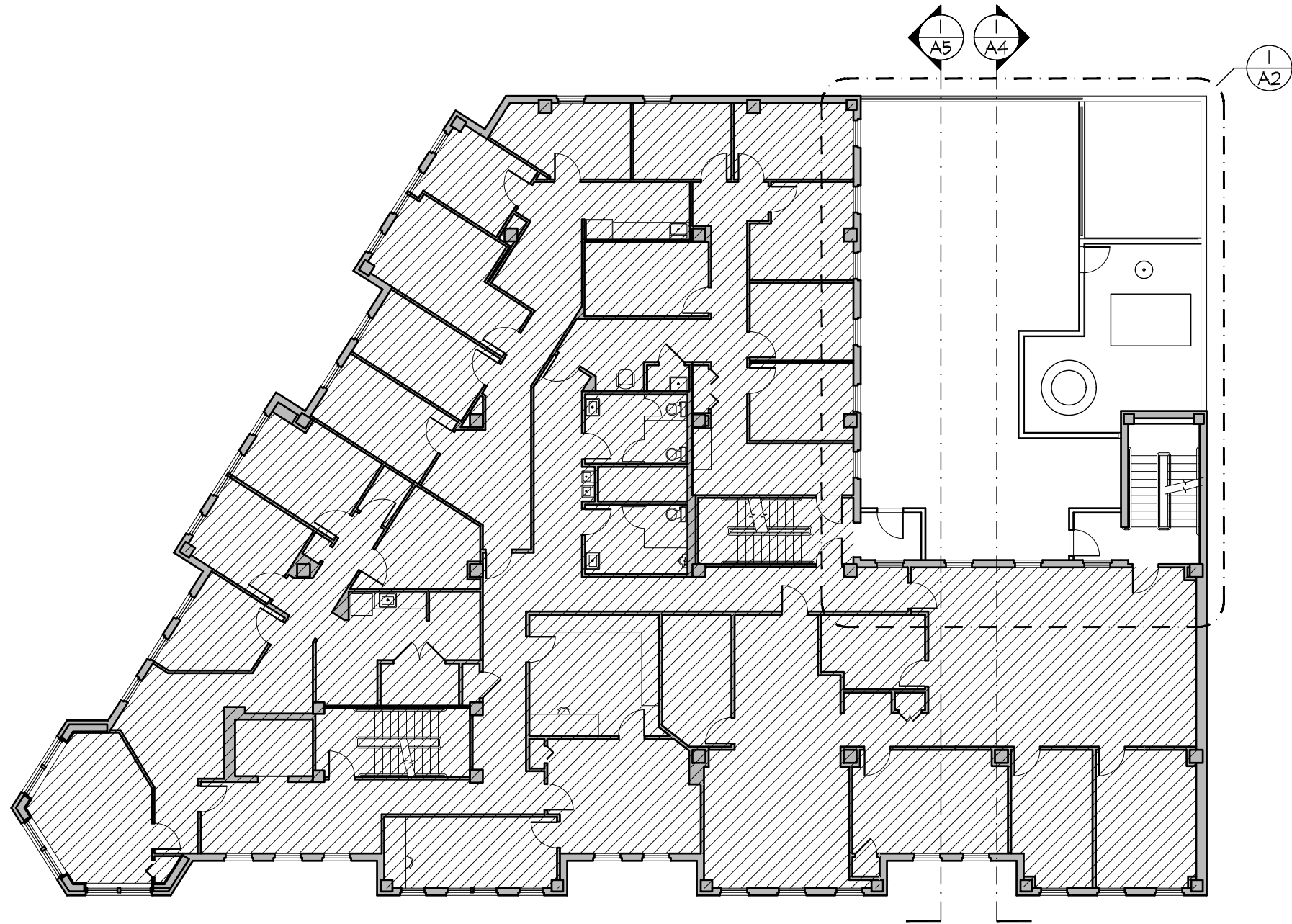
E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

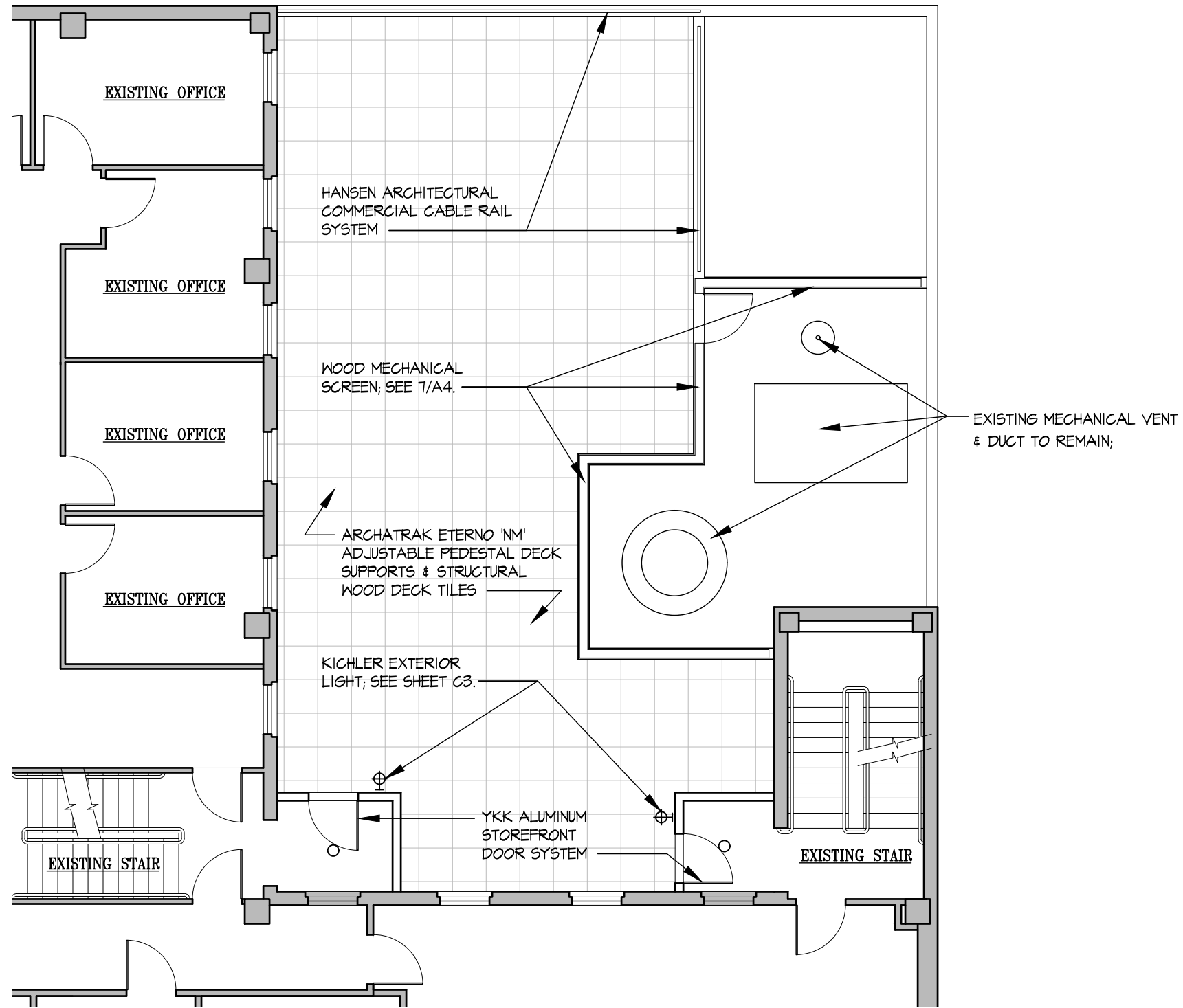
Signature: 

Date: 2/15/2021



1 BUILDING FLOOR PLAN - SECOND FLOOR
 A1 SCALE: 1/16" = 1'-0"
 1. SEE THE ATTACHED MATERIAL SPECIFICATIONS PACKET FOR DETAILED MATERIAL INFORMATION.

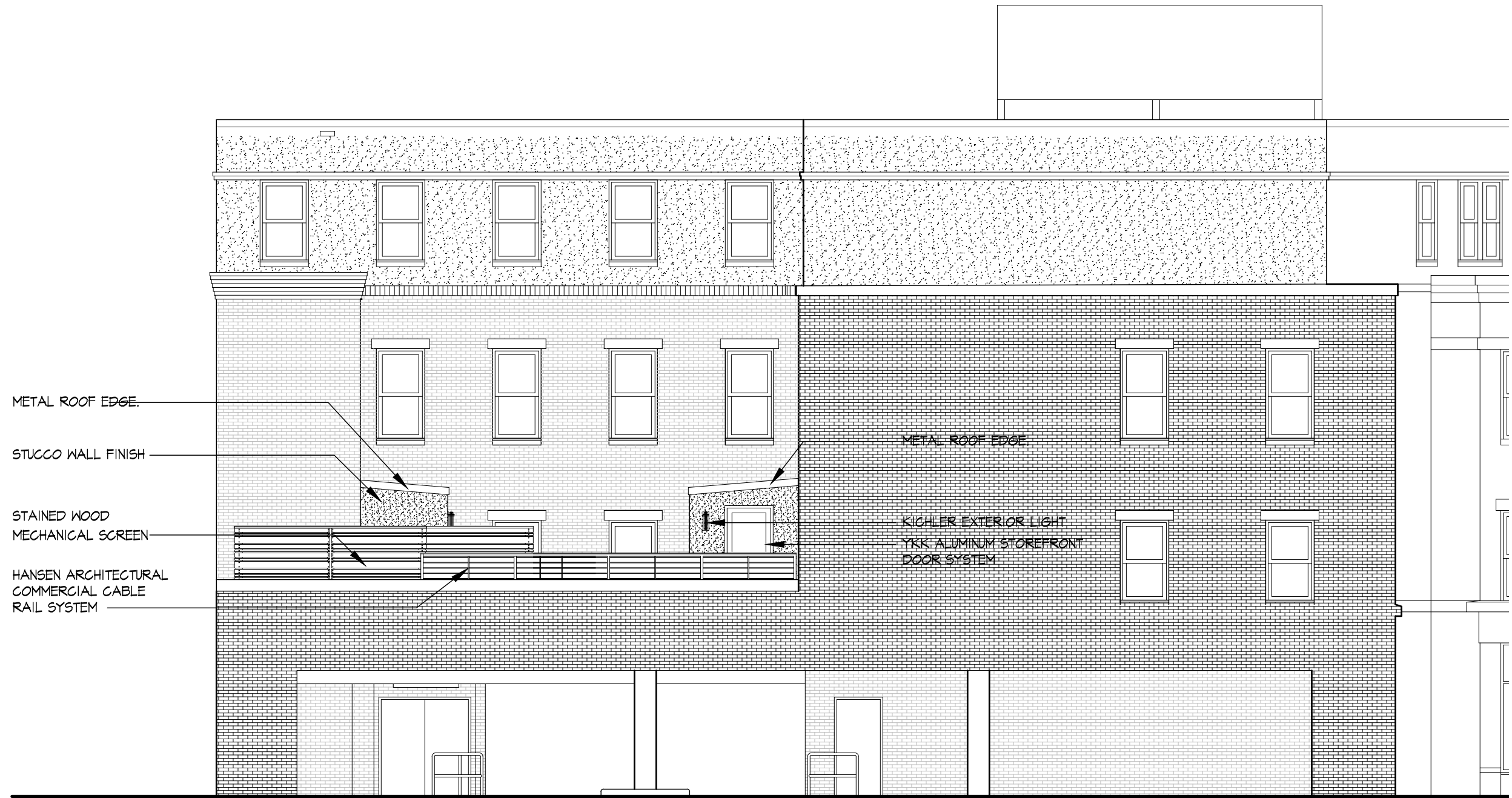
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1 SECOND FLOOR (NEW WORK) PLAN
A2 SCALE: 1/8" = 1'-0"

1. SEE THE ATTACHED MATERIAL SPECIFICATIONS PACKET FOR DETAILED MATERIAL INFORMATION.

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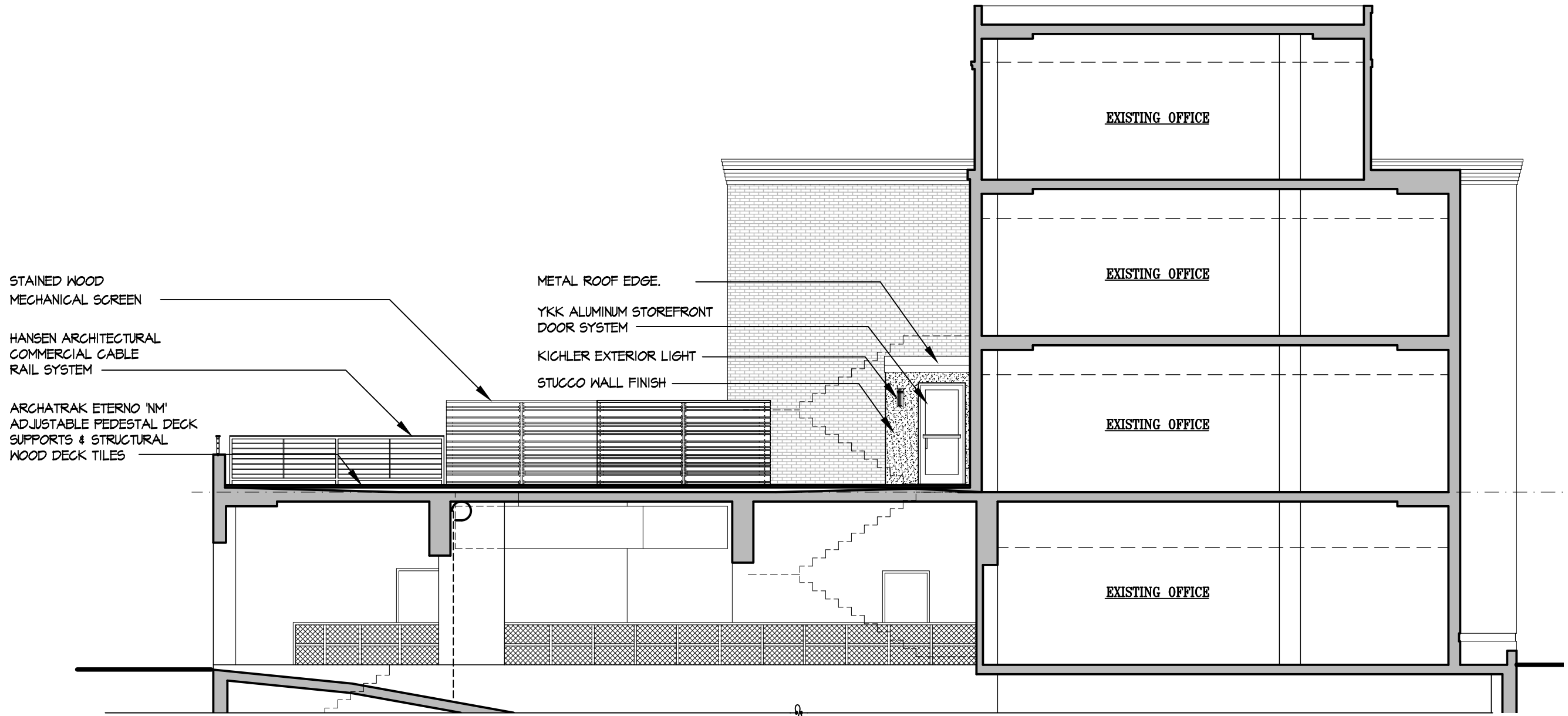
1
A3

PROPOSED NORTH (REAR) ELEVATION

SCALE: 1/8" = 1'-0"

1. SEE THE ATTACHED MATERIAL SPECIFICATIONS PACKET FOR DETAILED MATERIAL INFORMATION.

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1 PROPOSED SECTION / WEST ELEVATION

A4

SCALE: 1/8" = 1'-0"

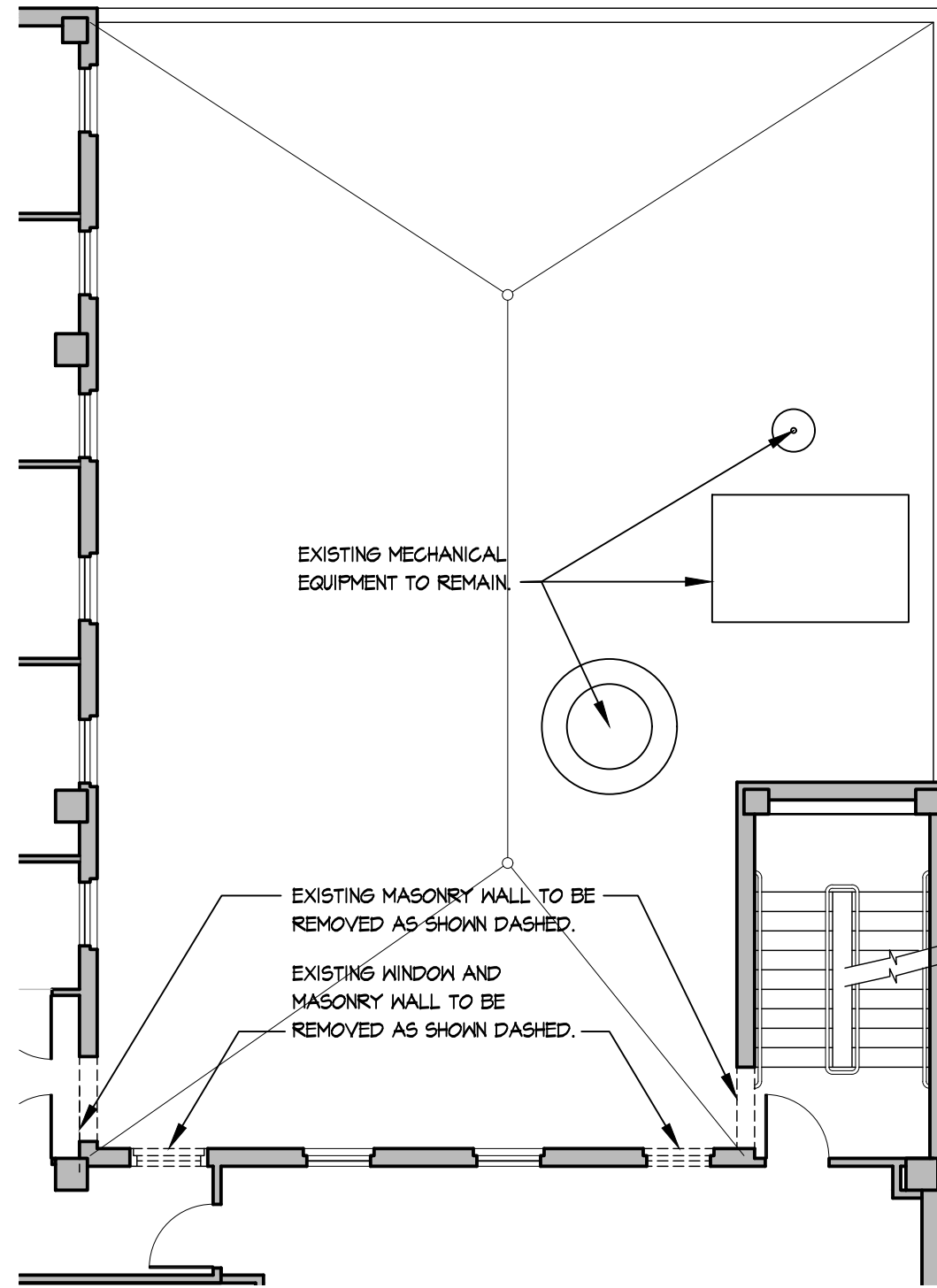
1. SEE THE ATTACHED MATERIAL SPECIFICATIONS PACKET FOR DETAILED MATERIAL INFORMATION.

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1 PROPOSED SECTION / EAST ELEVATION
 A5 SCALE: 1/8" = 1'-0"
 I. SEE THE ATTACHED MATERIAL SPECIFICATIONS PACKET FOR DETAILED MATERIAL INFORMATION.

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1 SECOND FLOOR (DEMOLITION) PLAN
 A6 SCALE: 1/8" = 1'-0"

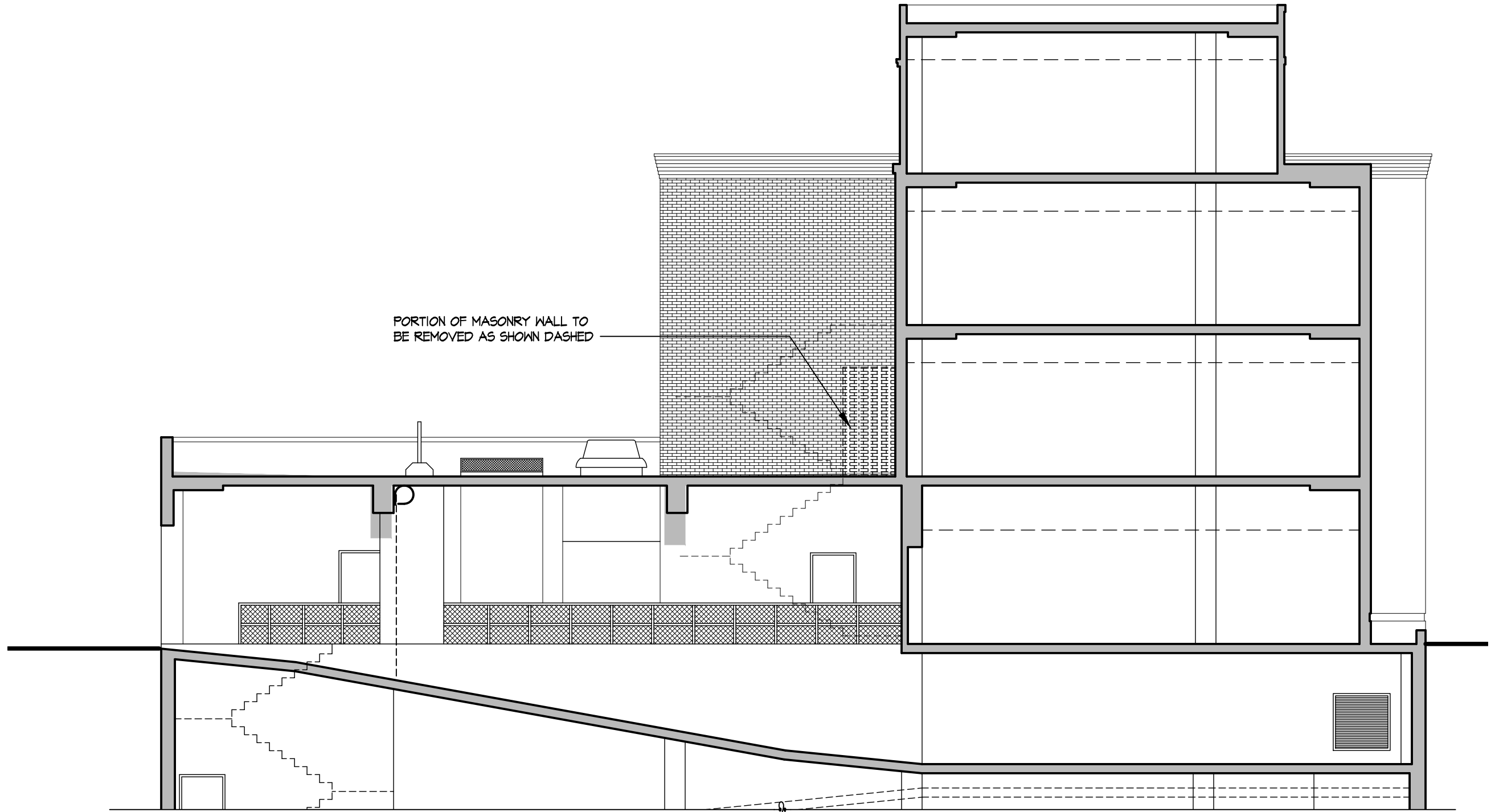
1. SEE THE ATTACHED MATERIAL SPECIFICATIONS PACKET FOR DETAILED MATERIAL INFORMATION.

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1 NORTH (REAR) DEMOLITION ELEVATION
 A7 SCALE: 1/8" = 1'-0"

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1 WEST DEMOLITION SECTION / ELEVATION
 A8 SCALE: 1/8" = 1'-0"

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1 EAST DEMOLITION SECTION / ELEVATION
 A8 SCALE: 1/8" = 1'-0"

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VIEW FROM ROOF LOOKING NORTH



VIEW FROM ROOF LOOKING NORTHEAST



VIEW FROM ROOF LOOKING EAST



VIEW LOOKING NORTHWEST
 FROM COMMERCE STREET



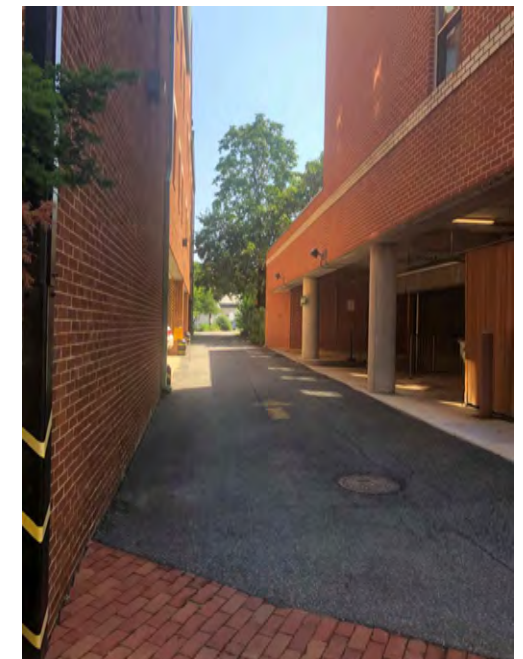
VIEW FROM ALLEY LOOKING WEST



VIEW FROM ALLEY LOOKING SOUTHWEST



VIEW LOOKING SOUTHWEST



VIEW DOWN ALLEY LOOKING
 NORTHEAST FROM WEST STREET

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