

**ISSUE:** Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for additions and alterations

**APPLICANT:** Alex Middleton III for Shambhu Aryal

**LOCATION:** Parker-Gray District  
315 North Patrick Street

**ZONE:** RB/Residential Townhouse Zone

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**STAFF RECOMMENDATION**

Staff recommends approval of the Permit to Demolish/Capsulate and Certificate of Appropriateness for additions with the following conditions:

1. Applicant will work with staff to ensure that windows comply with *Alexandria New and Replacement Window Performance Specifications in the Historic Districts*.
2. Fiber cement siding will have smooth finish.
3. Rear porch columns will be simple square columns.
4. Corrected FAR sheet and revised survey must be submitted at time of building permit..
5. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
  - a. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
  - b. The above statements, 2 and 2a, shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

**Minutes from the December 16, 2020 hearing:**

**BOARD ACTION: Deferred**

By unanimous consent, the Board of Architectural Review accepted the request for deferral of BAR #2020-00296 & BAR #2020-00363. There were no speakers or presentations.

**Minutes from the November 4, 2020 hearing:**

**BOARD ACTION: Deferred for Restudy**

By unanimous consent, the Board of Architectural Review accepted the request for deferral of BAR #2020-00296 & BAR #2020-00363.

#### **SPEAKERS**

Alex Middleton represented the applicant, explained the project, and was available to answer questions.

Gail Rothrock, 209 Duke Street, noted that the house has an important history. She did not object to removing the south wall, but objected to losing the ell shape, raising the roof, and changing the roof form from a shed roof to a gable. She recommended that the case be deferred for restudy.

Yvonne Callahan, 735 South Lee Street, reinforced Ms. Rothrock's statement, feeling that the design makes the house too long and too box-like. She agreed the case should be deferred. She also had concerns regarding open space and floor area ratio.

Joseph Chapman, 313 North Patrick Street, had concerns about damage to his house when the porch between the houses would be removed. Mr. Middleton assured him that any damage would be repaired by the contractors. Mr. Chapman also noted that the rear yard of the subject property is now overgrown, rat infested, and used as a dumping ground.

Steve Milone, 907 Prince Street, urged the applicant to retain the original fabric and form of the building. He had concerns that a gable roof would shed onto the neighbor to the north, and cleaning gutters would be difficult as it would require going onto the neighbor's property. He also felt that open space would be lacking.

#### **DISCUSSION**

Ms. Irwin could not support demolishing a 19th century wall to move it 2 ½ feet. Although the siding on the ell may be 20th century, the ell itself is not. She also felt that the new roof over the ell should be a shed roof.

Mr. Sprinkle agreed with Ms. Irwin. He also questioned adding new windows to the south elevation of the main block of the house, wondering if windows had originally been there.

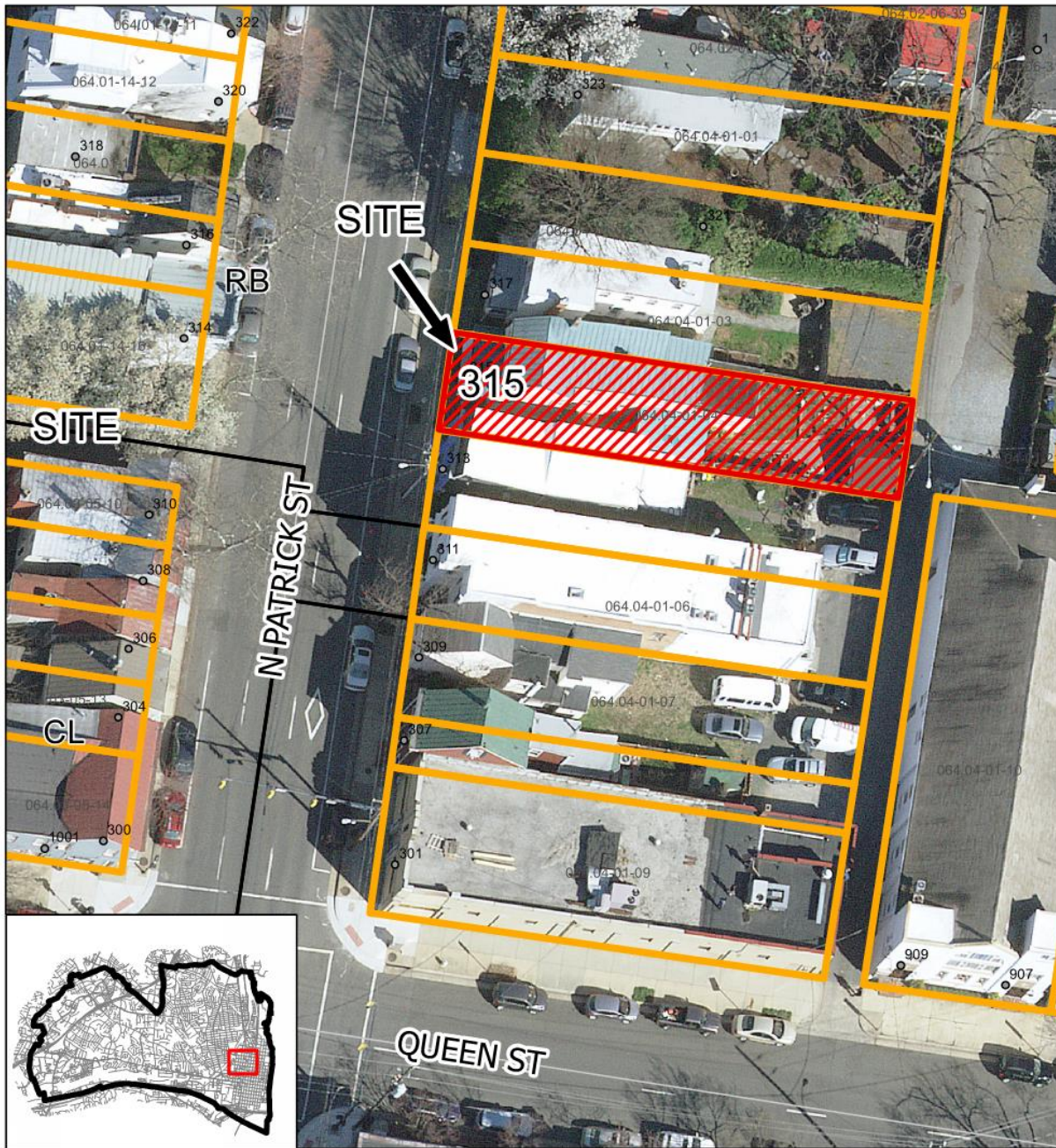
Mr. Spencer agreed with Ms. Irwin and Mr. Sprinkle.

Mr. Adams felt that this should be treated more like a preservation project than a modern addition to a historic house.

Ms. Roberts asked Mr. Middleton if he would like to defer and he agreed. She asked him to please reach out to staff for assistance.

**GENERAL NOTES TO THE APPLICANT**

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



**BAR #2020-00296 & BAR #2020-00363**  
**315 North Patrick Street**



0 15 30 60 Feet



**Note:** Staff coupled the applications for a Permit to Demolish (BAR #2020-00296C) and Certificate of Appropriateness (BAR #2020-00363C) for clarity and brevity. The Permit to Demolish requires a roll call vote.

### **UPDATE**

The applicant requested a deferral at the November 4, 2020 hearing and again at the December 16, 2020 hearing to improve the proposed design based on BAR and staff input.

### **I. APPLICANT'S PROPOSAL**

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to add a rear/east addition and make alterations at 315 North Patrick Street.

#### **Permit to Demolish/Capsulate**

The applicant proposes to demolish a rear one-story addition which was built in 1957. The non-original siding on the east/rear and south/side elevations will also be removed, as will a non-historic shed at the southeast corner of the property and an open porch roof/canopy connected to 313 North Patrick (see Figure 1).



Figure 1: Arrow points to rear shed; side "canopy" circled. Non-historic siding to left.

### Certificate of Appropriateness

#### *Addition*

The applicant proposes replacing the existing one-story rear addition with a two-story addition with a porch on each level. Cellar access stairs and two window wells will be added to the south elevation.

#### *Alterations*

Proposed alterations include changing the window configuration on the south elevation, replacing the roofs on the west/front elevation and the front porch, replacing the existing front door with a six-panel door, and replacing the wood siding on the south elevation with fiber cement.

#### Site context

The alley to the east, behind the subject property, is public and the rear/east addition will be fully visible. The new side/south elevation will be visible from North Patrick Street and the alley.

## **II. HISTORY**

According to the Uptown/Parker-Gray Historic District National Register of Historic Places nomination, the Queen Anne house at 315 North Patrick Street dates to circa 1890 and is a contributing structure to the district. However, based on family history, **1875-80** is a more likely construction date. The two-story, three-bay frame dwelling is clad in wood German siding and has a one-story, hipped roof front porch. A shed-roofed ell extends eastward to the rear. The 1891 Sanborn map indicates that the footprint of the house has not significantly changed since its construction, although it has been extended eastward and a one-story rear addition was added later.

Richard W. Bentley (1850-1939) purchased land on North Patrick Street at some point prior to his 1875 marriage to Susan Craig. He constructed the houses at 313 and 315 North Patrick using railroad boards from the nearby railroad. He and Susan lived in 315 and raised 10 children here, including daughter Cora, who inherited the house when he died in 1939. She in turn passed the house to her daughter and son-in-law, Inez and Howard Dishman, in 1995. The Dishman heirs sold to the current owner in April of 2020. Permits from the 1940s – 1960s describe minor changes and repairs to the house: the porch floor was remodeled in 1943 (permit #5192), rotten wood siding was replaced in 1945 (permit #6188), and the roof was repaired and reroofed in 1958 (permit #13959) and 1968 (permit #25573). Permit #13212, issued March 28, 1957 describes the rear/east one-story addition: “Remove existing frame room at rear of house... size 8’ by 14’6” and replace with concrete and cinderblock room size 10’ by 14’6.”

#### Previous BAR Approvals

While staff found BAR cases regarding this house dating to 2001, 2011, and 2013, all were withdrawn and not approved.

### III. ANALYSIS

#### Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, or §10-205(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historic interest that its removal would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into an historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(5)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage and making the city a more attractive and desirable place to live?	No
(6)	Would retention of the building or structure help maintain the scale and character of the neighborhood?	No

While this building is a contributing structure to a National Register district, the area to be demolished will not negatively affect its contributing status. The one-story rear concrete and cinder block addition was constructed in 1957 and could easily be reproduced today. The shed at the rear of the property was mass produced and brings no historic value to the property. Removing the inappropriate side open porch roof/canopy will enhance the historic nature of the house, not detract from it.

## Certificate of Appropriateness

### *Addition*

The *Design Guidelines* state that “An addition to a historic building should be clearly distinguishable from the original structure. An addition should not obscure or dilute the architectural and historic importance of an existing building by creating a false sense of the past.”

The proposed addition for 315 North Patrick Street maintains the general house form while also creating differentiation from the existing residence. The design respects and retains the historic ell on the south elevation by extending the addition’s elevation 3’6” beyond the ell, the same distance that the main block of the house extends beyond the ell.

The existing roofline is in three parts. The main block of the house and the westernmost part of the ell are the same height. A smaller section of the easternmost portion of the ell is lower. See Figure 2. The roof of the addition echoes the shed roof of the historic ell and utilizes the same material, metal. Its height will match that of the taller roofline, therefore slightly higher than the adjacent lower roof of the ell to further differentiate the new addition from the ell. The shed roof form also ensures that the roof will not drain onto the neighbor’s property at 317 North Patrick Street.



**Figure 2: Left arrow main block roof, center arrow westernmost portion of ell, right arrow lowest roof of ell. The addition will be adjacent to the roof indicated by the right arrow and will be the height of the other roofs.**

The east/rear elevation will include a porch on each level, extending just under 6’3” from the east face of the addition. An open second story porch is not unusual in the area; there is one right across the alley at 908 Princess Street (Figure 3, BAR#2006-0205; approved 9/27/06). The traditional symmetrical design with wood porch railings to match the front/west railings and six-panel doors further harmonize with the historic nature of the house. Although the applicant would like to replicate the front porch columns for the addition, that does not work here. Staff recommends that



the decorative columns at the rear of the building be replaced with simple square columns. The cellar entry and window wells on the south elevation will be unobtrusive. Figure 4.



Figure 3: Upper-level open porch at 908 Princess Street



Figure 4: Southeast corner showing proposed addition

Staff has worked closely with the applicant to refine the original design for this project and greatly appreciates the applicant's cooperation and willingness to make significant changes to respect the historic nature of the house and its surroundings.

### Alterations

The proposed alterations generally represent minor changes to the house. The applicant has worked closely with staff to ensure the protection of the historic nature of the structure. In most cases, the applicant will repair the existing fabric. For example, on the west/front elevation, the wood siding, porch rails, door sidelights, and window frames and trim will be repaired, not replaced. The proposed six-panel door is more historically appropriate than the existing door and all new roofing will be metal to match the original.

During a site visit, staff verified that the siding on the south elevation is not original. As noted above, rotten wood siding was replaced in 1945 (permit #6188). The existing siding may therefore be replaced with fiber cement. Staff also found that the existing windows on the south elevation are all modern, but could not determine whether the current window openings are original. The applicant proposes to change the window fenestration on the south elevation to better facilitate the interior floor plan. See Figure 4. This will create a more symmetrical look on this elevation.

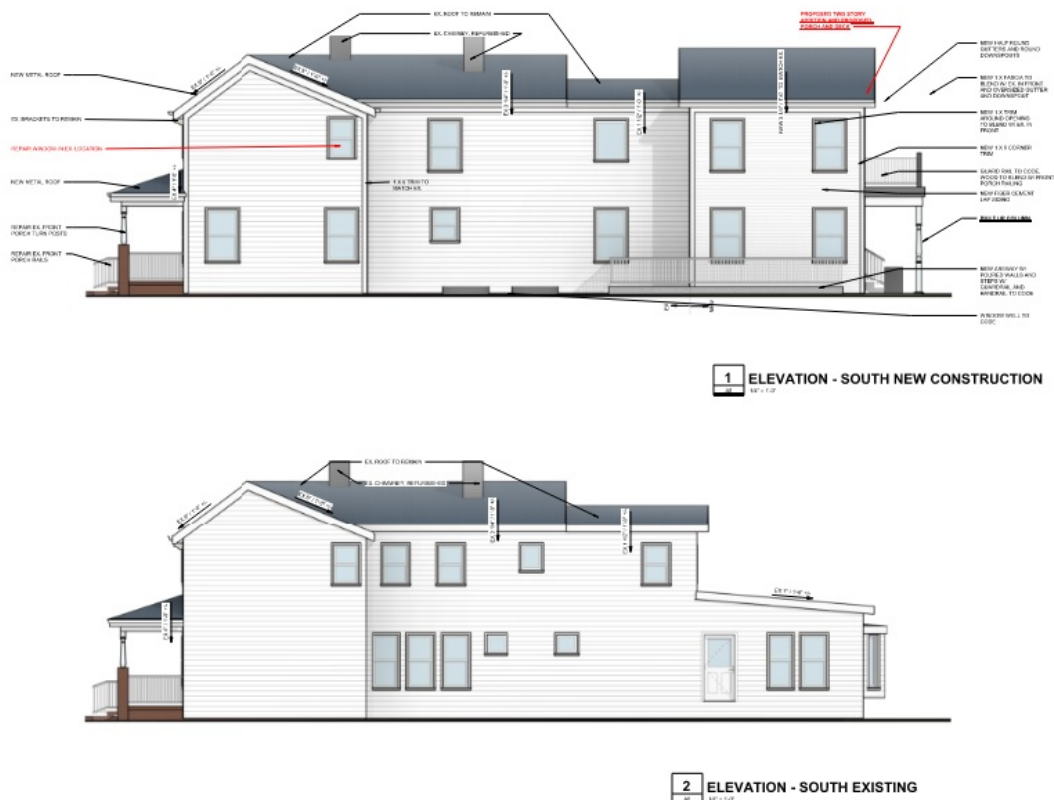


Figure 5: South elevation proposed and existing

Staff recommends approval of the project with the recommendation that the applicant work with staff to ensure that windows comply with *Alexandria New and Replacement Window Performance Specifications in the Historic Districts*, that the fiber cement siding have a smooth finish, and that the decorative rear columns be replaced with simple square columns. In addition, a corrected FAR sheet and revised survey must be submitted at time of building permit. Staff notes the recommendations of Alexandria Archaeology.

**STAFF**

Susan Hellman, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

**IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

**Zoning**

- F-1 Applicant did not submit a survey that shows the correct dimensions of the proposed addition. A revised survey with the correct proposed footprint of the new addition and rear porch, as well as a note saying the shed will be removed to increase open space, must be submitted.
- F-2 Proposed FAR (based on floorplans from 2/5/2021) complies with the maximum allowed .75 FAR, however, the FAR sheet submitted on 11/30/2020 is incorrectly filled out and lists incorrect existing and proposed open space.
- F-3 Corrected FAR sheet and revised survey must be submitted at time of building permit.

**Code Administration**

- C-1 A building permit and plan review are required.

**Transportation and Environmental Services**

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 Previously reviewed under BAR96-00152; BAR96-00069; BAR2016-00452; BAR2016-00451; BAR2013-00446; BAR2001-00241 (T&ES)
- F-2 The applicant should provide a determination of disturbed area per City Guidelines to

T&ES prior to submitting for permits. If the land disturbance meets or exceeds 2500 square feet, a released grading plan will be required prior to submitting for permits. (T&ES)

- F-3 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:  
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.  
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

#### **Alexandria Archaeology**

- F-1 A Civil War-era historic map indicates that a complex of buildings was located at 315 N. Patrick St. at that time, including a 16.5 ft. by 24.5 ft. office and bunkhouse, a 15.5 by 24.5 ft. armory, and a 6 ft. by 10.5 ft. kitchen. By 1877 a single structure stood on the lot fronting on N. Patrick St. That house, heavily modified, appears to still stand today on the property. The property may contain significant archaeological evidence of the Civil War in Alexandria and later nineteenth-century development.
- \*R-1 The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or



concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.

- \*R-2 The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
- R-3 The statements in archaeology conditions above marked with an asterisk “\*” shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

**V. ATTACHMENTS**

- 1 – Application Materials*
- 2 – Supplemental Materials*

BAR Case # \_\_\_\_\_

ADDRESS OF PROJECT: 315 N Patrick Street

DISTRICT: ☐ Old & Historic Alexandria ☒ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 064.04-01-04 ZONING: RB

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☒ Business *(Please provide business name & contact person)*

Name: AMIIIBuilders, LLC Alex Middleton III

Address: 9905 Gable Ridge, Terrance

City: Rockville State: MD Zip: 20850

Phone: 571-431-9189 E-mail: amiiibuilders@yahoo.com

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☒ Project Manager

Name: Alexander Middleton III Phone: 571-431-9189

E-mail: amiiibuilders@yahoo.com

Legal Property Owner:

Name: Shambhu Aryal

Address: 3115 Barbara Lane

City: Fairfax State: VA Zip: 22314

Phone: 703-509-1127 E-mail: shamhuaryal@hotmail.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?  
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?  
☐ Yes ☐ No Is there a homeowner's association for this property?  
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: *Please check all that apply.*
- |  |   |   |                                   |
|--|---|---|-----------------------------------|
| <input checked="" type="checkbox"/> awning               | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment             | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors                           | <input type="checkbox"/> windows                    | <input type="checkbox"/> siding                     | <input type="checkbox"/> shed     |
| <input type="checkbox"/> lighting                        | <input type="checkbox"/> pergola/trellis            | <input type="checkbox"/> painting unpainted masonry |                                   |
| <input type="checkbox"/> other _____ rear porch and deck |   |   |                                   |
- ☐ ADDITION
- ☐ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

The existing 2 Story home in the Parker-Gray Historic district will remain in it's original foot print, all building elevations will remain the same except the existing ~~one~~ story addition at the rear. The front (West) elevation walls to remain and repairs only, left (North ) elevation walls to remain and repairs only, all other exterior walls rear (East) and right (South) will be removed and replaced with Hardy Plank lap siding to match the Historic plank siding on the front (West) and left (North) elevations. The interior will be a complete demolition with insulation, energy efficient windows and doors, a new metal roof will be installed with new gutters and down spouts. The existing one story addition will be demolished and a proposed two story addition will be built with a porch and deck at the rear

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☒ ☐ Description of the reason for demolition/encapsulation.
- ☒ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☒ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ N/A Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- ☐ ☒ Square feet of existing signs to remain: \_\_\_\_\_.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** *Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.



**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☐ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

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The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature:  \_\_\_\_\_

Printed Name: Alexander Middleton III

Date: 11/30/2020

# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Shambhu Aryal	3115 Barbara Lane	100%
2.		
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at \_\_\_\_\_ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Shambhu Aryal	3115 Barbara Lane	100%
2.		
3.		

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
Shambhu Aryal		
1. Shambhu Aryal	N/A	N/A
2.		
3.		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

11/30/2020 ALEXANDER MIDDLETON III  
 Date Printed Name Signature



# Department of Planning and Zoning

## Floor Area Ratio and Open Space Calculations

as of 12/20/18

**B**

### A. Property Information

A1. 315 N Patrick Street  
Street Address

RB  
Zone

A2. 2,975.00 x 0.75 = 2,231.25  
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

### B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**	
Basement		Basement**	
First Floor	1,050.78	Stairways**	48.00
Second Floor	808.84	Mechanical**	40.00
Third Floor		Attic less than 7***	
Attic		Porches**	90.00
Porches	90.00	Balcony/Deck**	
Balcony/Deck		Lavatory***	50.00
Lavatory***		Other**	
Other**		Other**	

B1. 1,949.62 Sq. Ft.  
Existing Gross Floor Area\*

B2. 228.00 Sq. Ft.  
Allowable Floor Exclusions\*\*

B3. 1,721.62 Sq. Ft.  
Existing Floor Area Minus Exclusions  
(subtract B2 from B1)

Comments for Existing Gross Floor Area

B1. Total Gross 1,949.62 B2. Total Exclusions 228.00

### C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**	
Basement	726.40	Basement**	726.40
First Floor	1,110.26	Stairways**	80.00
Second Floor	1,110.26	Mechanical**	40.00
Third Floor		Attic less than 7***	
Attic		Porches**	90.00
Porches	90.00	Balcony/Deck**	72.00
Balcony/Deck	72.00	Lavatory***	100.00
Lavatory***		Other**	
Other	200.00	Other**	

C1. 3,308.92 Sq. Ft.  
Proposed Gross Floor Area\*

C2. 1,108.40 Sq. Ft.  
Allowable Floor Exclusions\*\*

C3. 2,200.52 Sq. Ft.  
Proposed Floor Area Minus Exclusions  
(subtract C2 from C1)

C1. Total Gross 3,308.92 C2. Total Exclusions 1,108.40

### D. Total Floor Area

D1. 3,922.14 Sq. Ft.  
Total Floor Area (add B3 and C3)

D2. 2,231.25 Sq. Ft.  
Total Floor Area Allowed  
by Zone (A2)

### E. Open Space

E1. 1,858.00 Sq. Ft.  
Existing Open Space

E2. 880.00 Sq. Ft.  
Required Open Space

E3. 1,692.00 Sq. Ft.  
Proposed Open Space

### Notes

\*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

\*\*\*Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

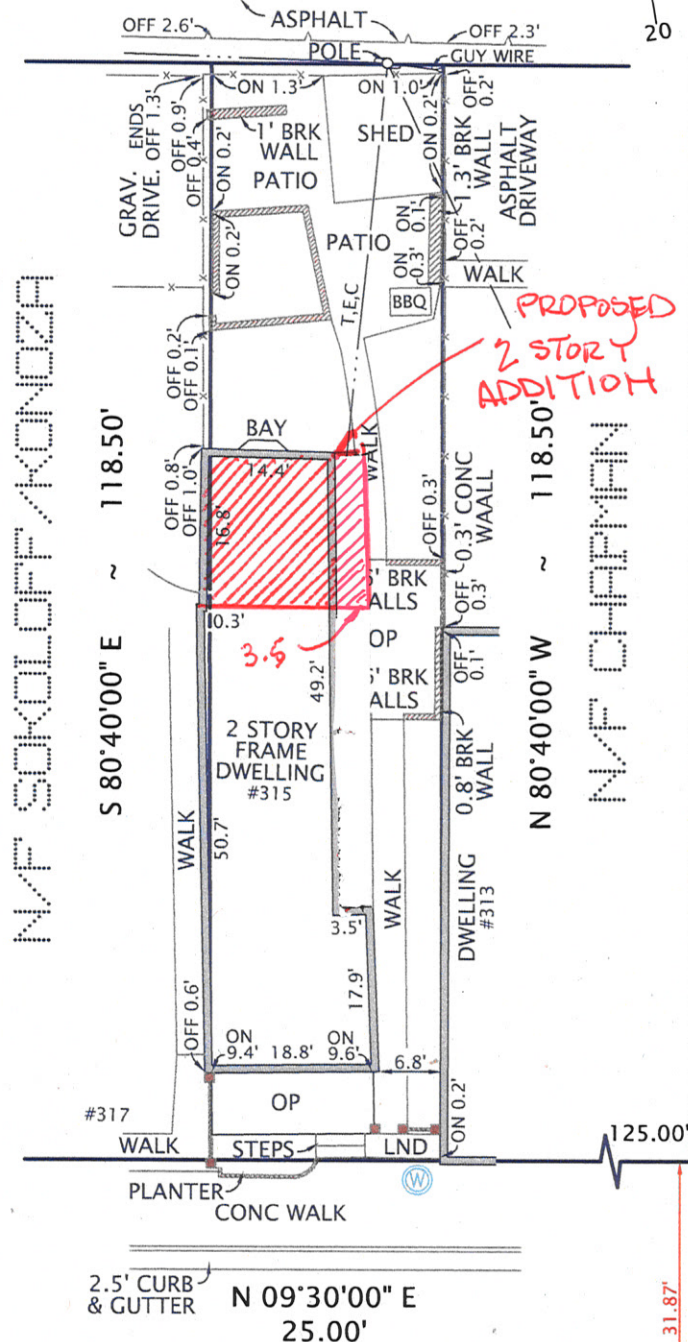
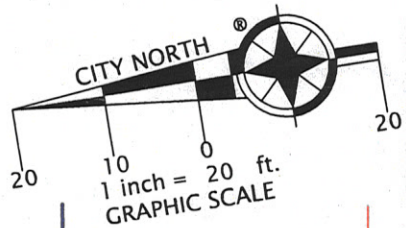
11/30/2020



- NOTES: 1. FENCES ARE FRAME.  
2. WALLS ARE 0.3' BRICK UNLESS NOTED.  
3. PILLARS ARE 1' BRICK.

ALLEY

S 09°30'00" W  
25.00'



NORTH PATRICK STREET

MONUMENT LINE

PLAT

SHOWING HOUSE LOCATION ON  
THE PROPERTY LOCATED AT

#315 NORTH PATRICK STREET

(INST. #170015324)

CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1" = 20'

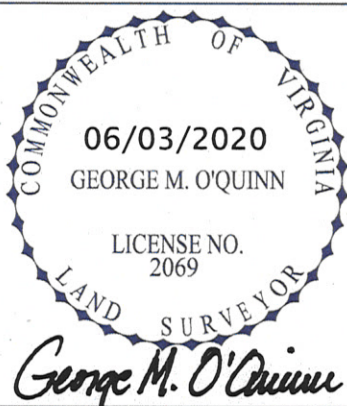
JUNE 3, 2020

I HEREBY CERTIFY THAT THE POSITIONS OF  
ALL THE EXISTING IMPROVEMENTS HAVE BEEN  
CAREFULLY ESTABLISHED BY A CURRENT FIELD  
SURVEY AND UNLESS SHOWN THERE ARE NO  
VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO  
RESTRICTIONS OF RECORD.

A TITLE REPORT WAS NOT FURNISHED.

NO CORNER MARKERS SET.



ORDERED BY:

DISHMAN/CAMPBELL

AMIII BUILDERS, LLC

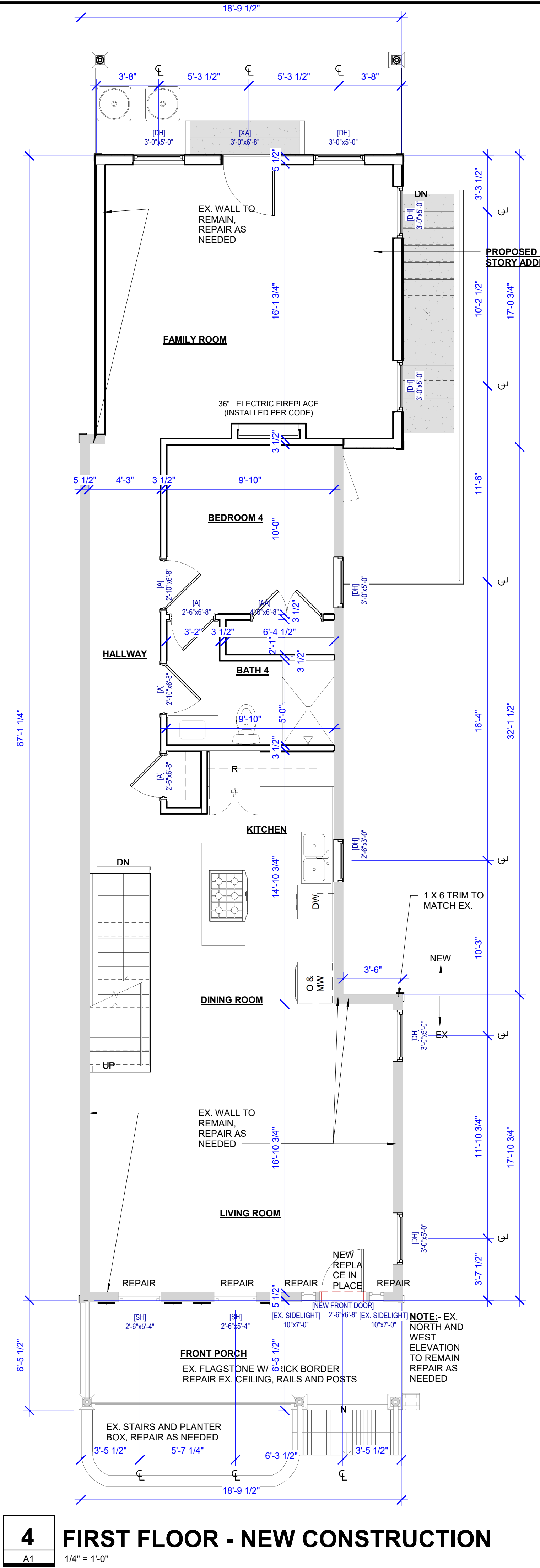
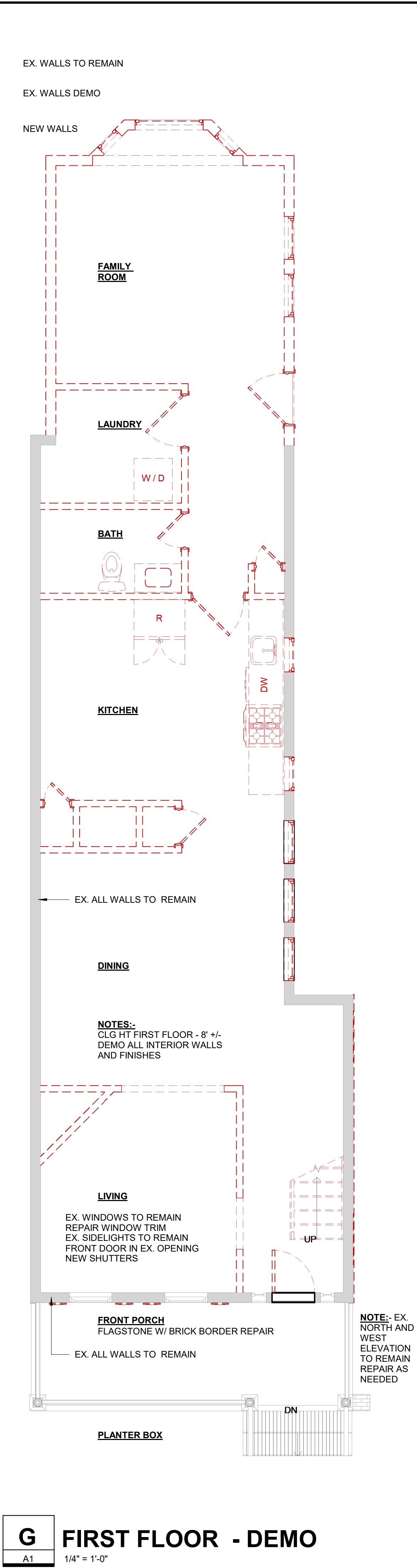
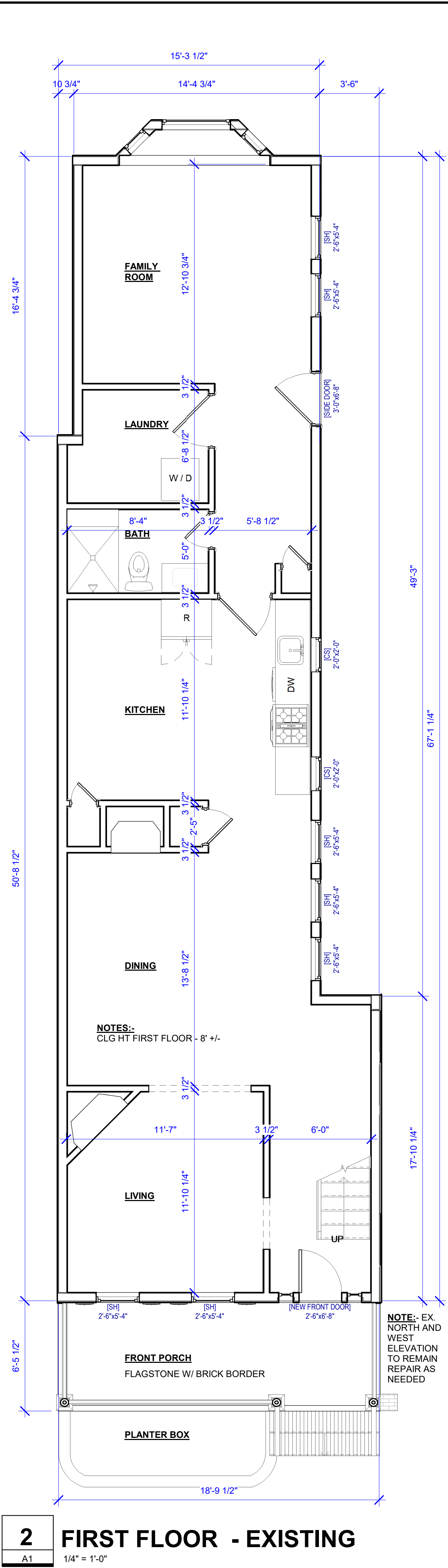
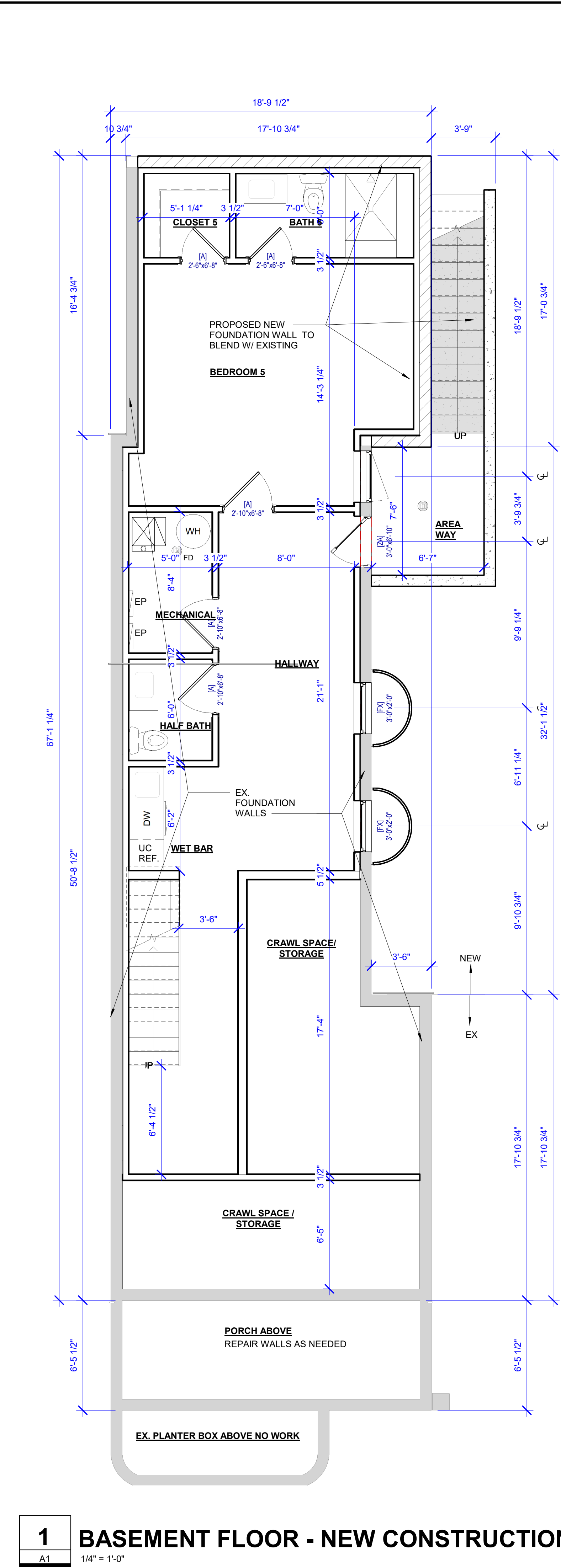


**DOMINION**

Surveyors  
Inc.®

8808-H PEAR TREE VILLAGE COURT  
ALEXANDRIA, VIRGINIA 22309  
703-619-6555  
FAX: 703-799-6412





NOTES:-

- EX. WALLS TO REMAIN
- EX. WALLS DEMO
- NEW WALLS

NOTE:- EX. NORTH AND WEST ELEVATION TO REMAIN REPAIR AS NEEDED

NOTE:- EX. NORTH AND WEST ELEVATION TO REMAIN REPAIR AS NEEDED

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10486 COLONEL COURT  
MANASSAS VA 20110  
(703)420-8141  
www.S2RArchitects.com  
JD@S2RArchitects.com

**CUSTOM HOME**  
315 N. PATRICK ST.  
ALEXANDRIA VA 22314

PROJECT NAME AND ADDRESS

J120062

REVISION DATE

2/05/21

FLOOR PLANS

A1





WINDOW SHUTTER SCHEDULE:-

MANUFACTURER:-

LARSON SHUTTER COMPANY

SPECIFICATIONS:

- CEDAR PLANTATION MOVABLE 2 1/2" LOUVER
- EXTERIOR HEAVY DUTY 1 3/8" RECESSED STILE AND RAIL

SIDING AND SOFFIT :-

MANUFACTURER:

HARDIPLANK LAP SIDING

- SMOOTH
- THICKNESS 0.312"
- WIDTH 6.25"

HARDIE SOFFIT

- SMOOTH
- VENTED

ROOF SCHEDULE:-

MANUFACTURER:

ABC AMERICAN BUILDING COMPONENTS

SPECIFICATIONS:

- 5V CRIMP PANELS
- SIGNATURE 200
- 29 GAUGE STEEL
- GALVALUME PLUS COATING

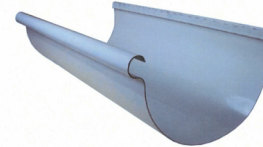
GUTTER & DOWNSPOUT SCHEDULE:-

SPECIFICATIONS GUTTERS:  
ALUMINIUM HALF ROUND REVERSE BEAD GUTTERS W/  
HIDDEN HANGER BRACKETS  
- COLOR WHITE

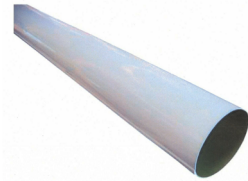
SPECIFICATIONS DOWNSPOUTS:

- 4" PLAIN ROUND DOWNSPOUT
- ALUMINIUM .019
- COLOR WHITE

Aluminum Half Round Reverse Bead Gutters



Aluminum Plain Round Downspouts



WINDOW SCHEDULE:-

MANUFACTURER:

WINDSOR WINDOWS

SPECIFICATIONS:

- PINNACLE SERIES
- CLAD DOUBLE HUNG
- INTERIOR FINISH, DOUGLASS FIR
- EXTERIOR FINISH, HEAVY DUTY ALUMINIUM
- NO GRILLS
- STANDARD TINTED LOW E 66 INSULATED GLASS

DOOR SCHEDULE:-

MANUFACTURER:

WINDSOR DOORS

SPECIFICATIONS:

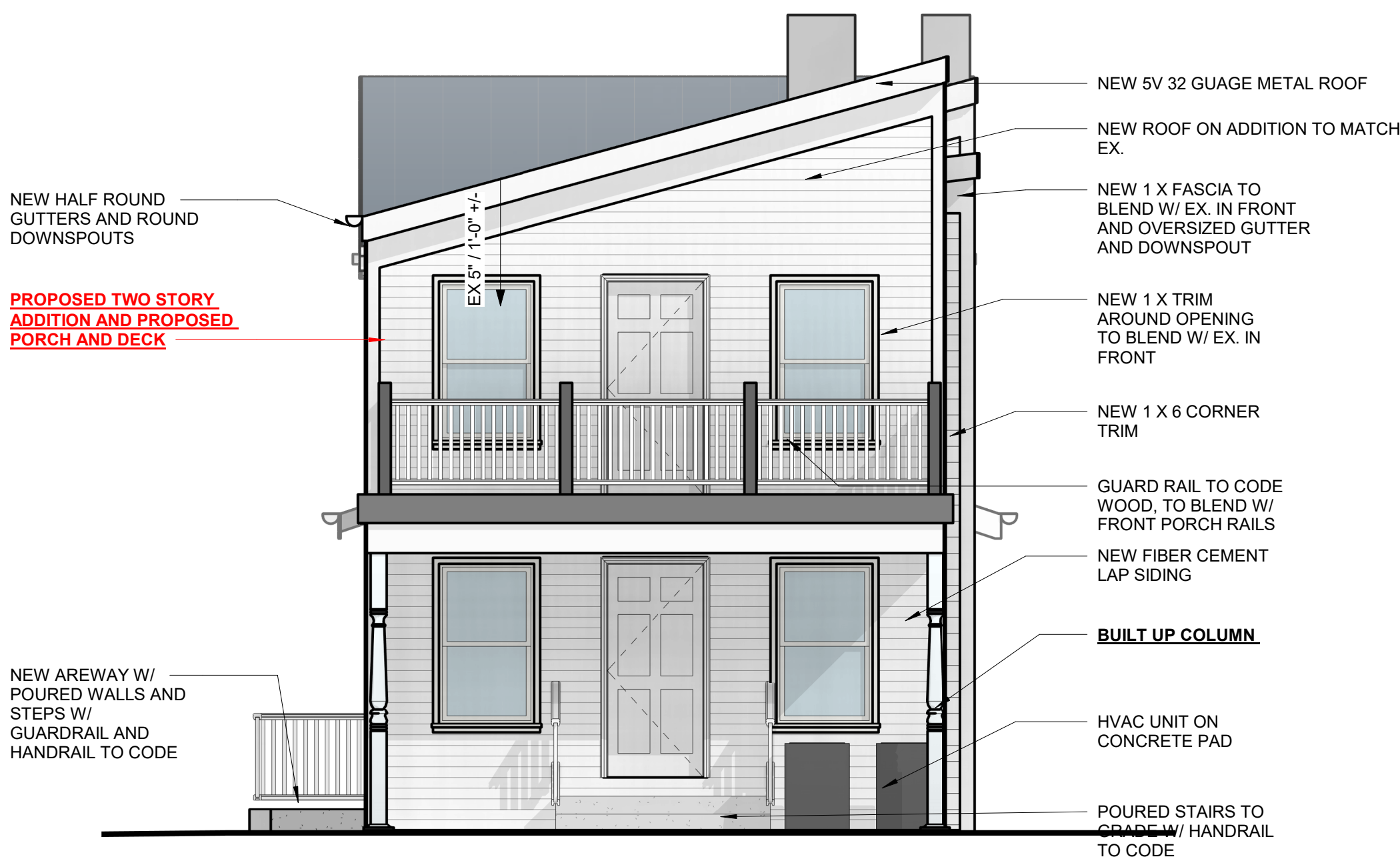
- PINNACLE SERIES
- SLIDING PATIO DOOR
- INTERIOR FINISH, DOUGLASS FIR
- EXTERIOR FINISH, ALUMINIUM HEAVY DUTY
- NO GRILLS
- STANDARD TINTED LOW E 66 INSULATED GLASS



EX WEST FACADE



EX EAST FACADE



4

A3

ELEVATION- EAST NEW CONSTRUCTION

1/4" = 1'-0"

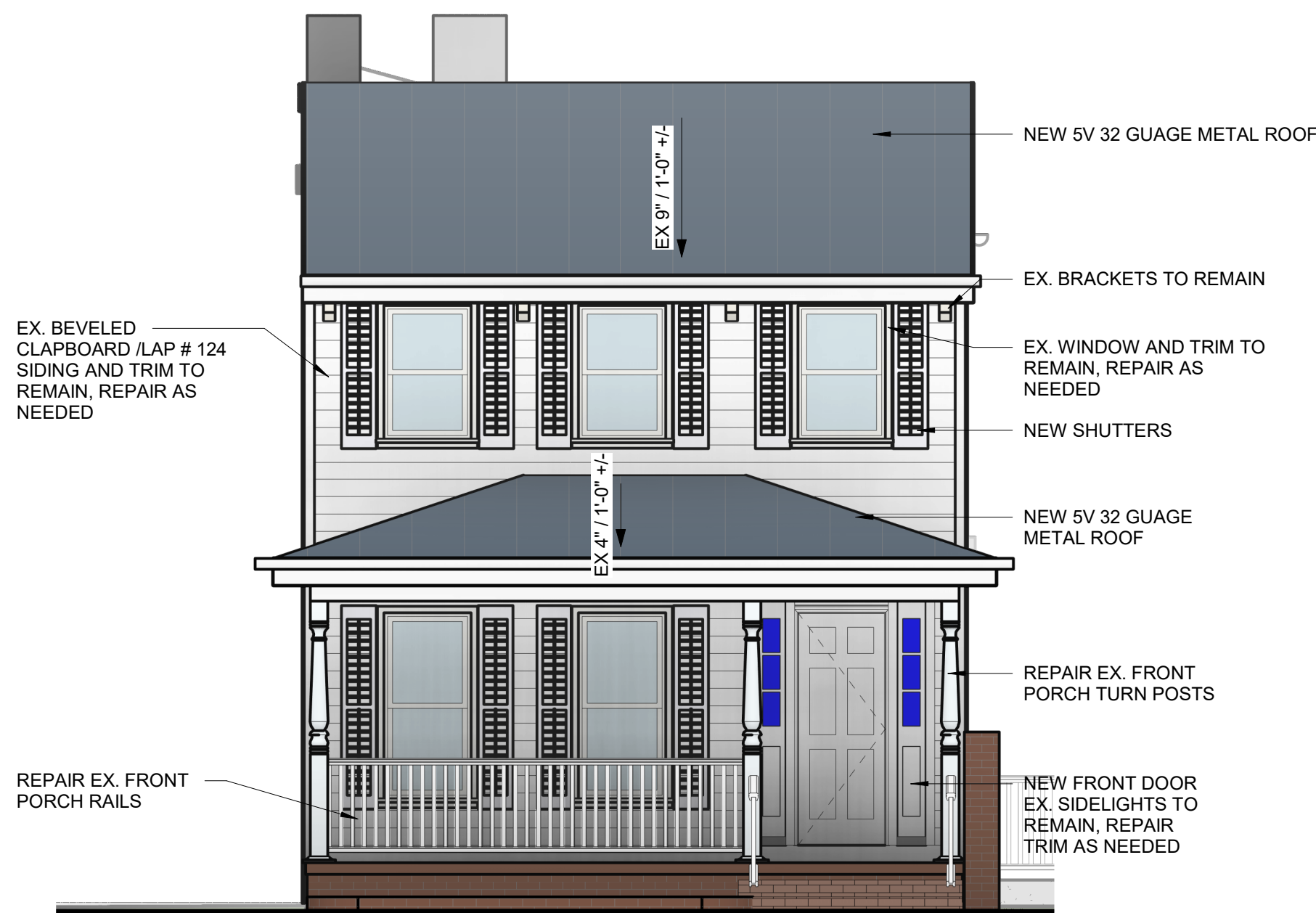


3

A3

ELEVATION- EAST EXISTING

1/4" = 1'-0"



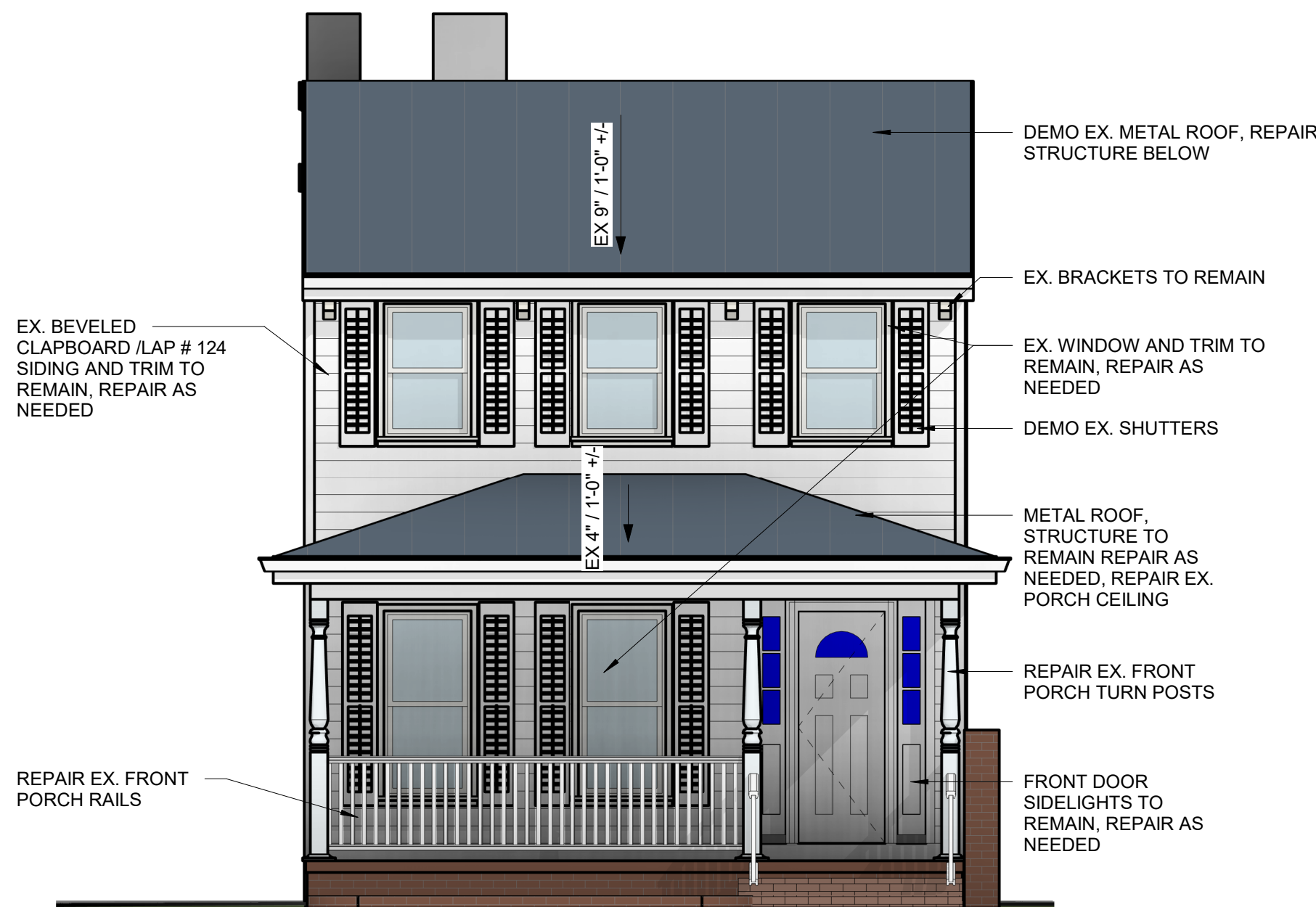
EX. TO REMAIN REPAIR AS CALLED OUT

2

A3

ELEVATION - WEST NEW CONSTRUCTION

1/4" = 1'-0"



EX. TO REMAIN REPAIR AS CALLED OUT

1

A3

ELEVATION - WEST EXISTING

1/4" = 1'-0"

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CUSTOM HOME  
315 N. PATRICK ST.  
ALEXANDRIA VA 22314

PROJECT #

PROJECT NAME AND ADDRESS

SEAL

REVISION

DATE

2/05/21

BUILDING  
ELEVATIONS WEST  
AND EAST

A3

ISSUE DATE

SHEET TITLE

SHEET #



PROPOSED TWO STORY  
ADDITION AND PROPOSED  
PORCH AND DECK

NEW ROOFING ON  
ADDITION TO BLEND  
W/ EX.

NEW 1 X FASCIA TO  
BLEND W/ EX. IN FRONT  
AND OVERSIZED GUTTER  
AND DOWNSPOUT

NEW 1 X 6 CORNER  
TRIM

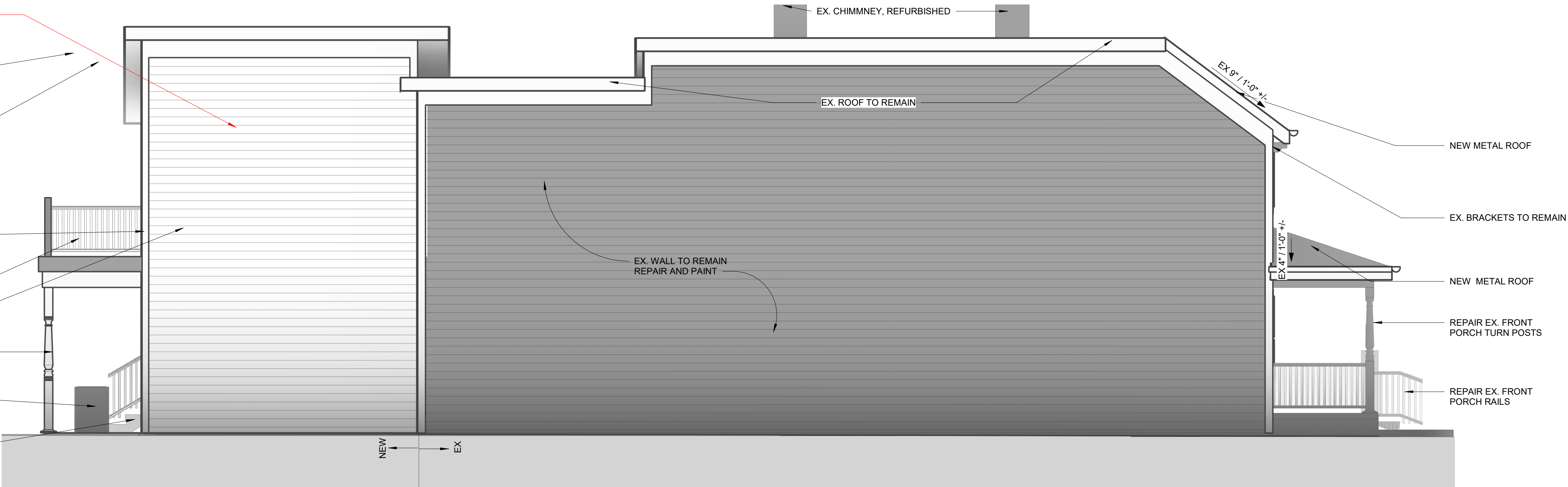
GUARD RAIL TO CODE,  
WOOD TO BLEND W/ FRONT  
PORCH RAILING

NEW FIBER CEMENT  
LAP SIDING

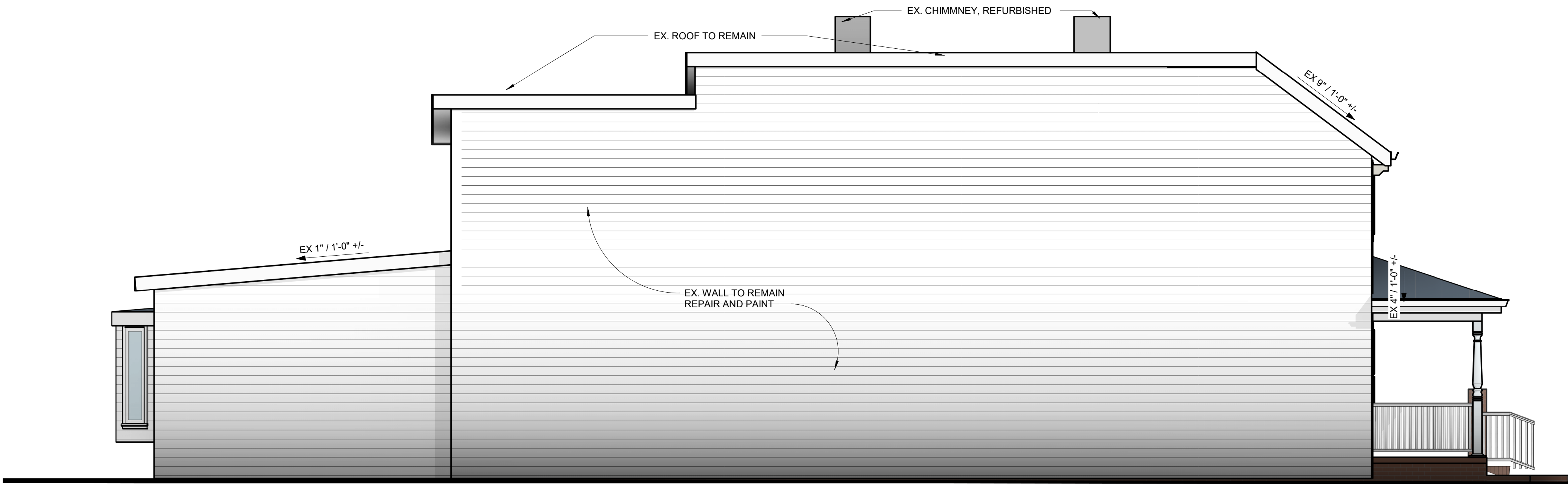
BUILT UP COLUMN

HVAC UNIT ON  
CONCRETE PAD

POURED STAIRS TO  
GRADE W/ HANDRAIL  
TO CODE



**1** ELEVATION - NORTH NEW CONSTRUCTION  
A4 1/4" = 1'-0"



**2** ELEVATION - NORTH EXISTING  
A4 1/4" = 1'-0"

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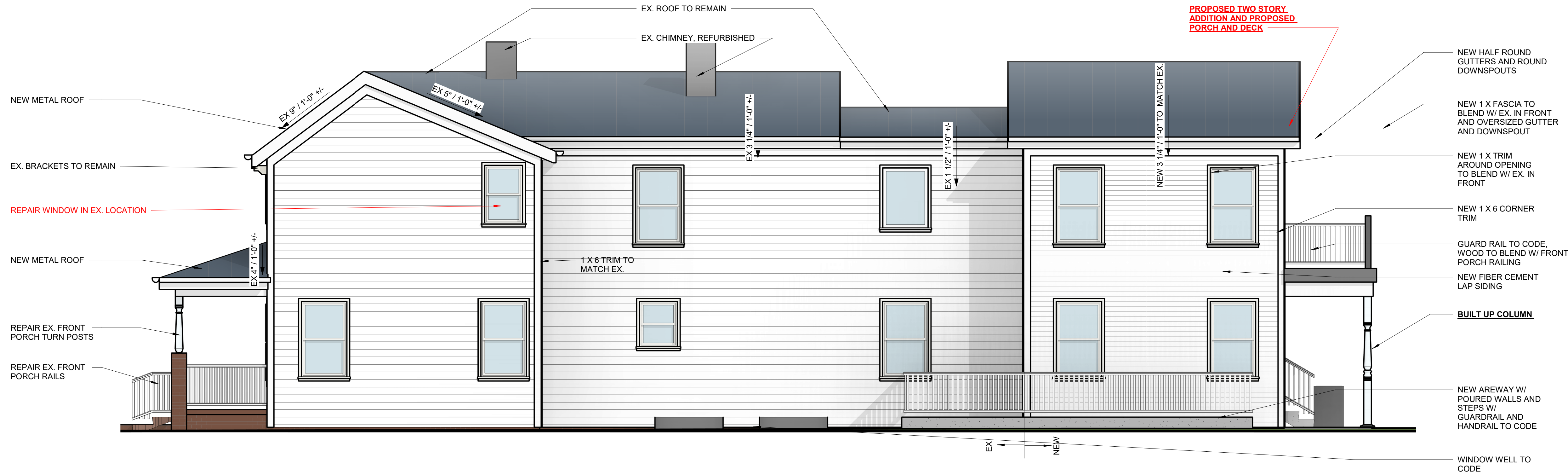
BUILDING  
ELEVATIONS -  
NORTH

A4

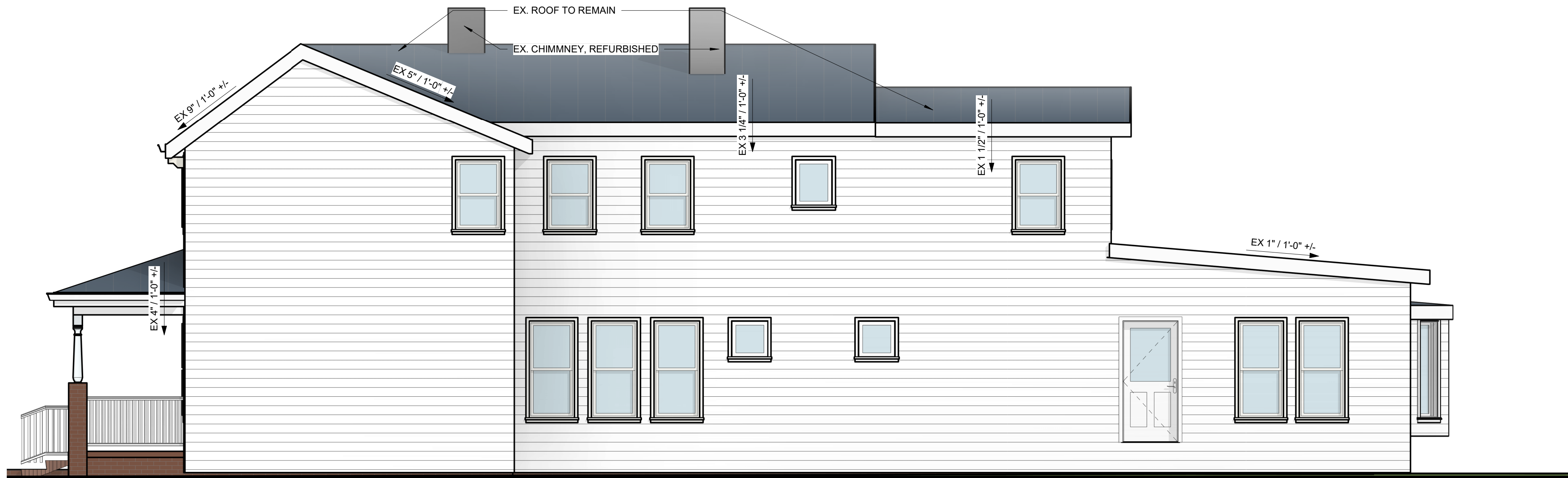
ISSUE DATE

SHEET TITLE

SHEET #



**1** ELEVATION - SOUTH NEW CONSTRUCTION  
A5 1/4" = 1'-0"



**2** ELEVATION - SOUTH EXISTING  
A5 1/4" = 1'-0"

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2/05/21

BUILDING  
ELEVATIONS -  
SOUTH

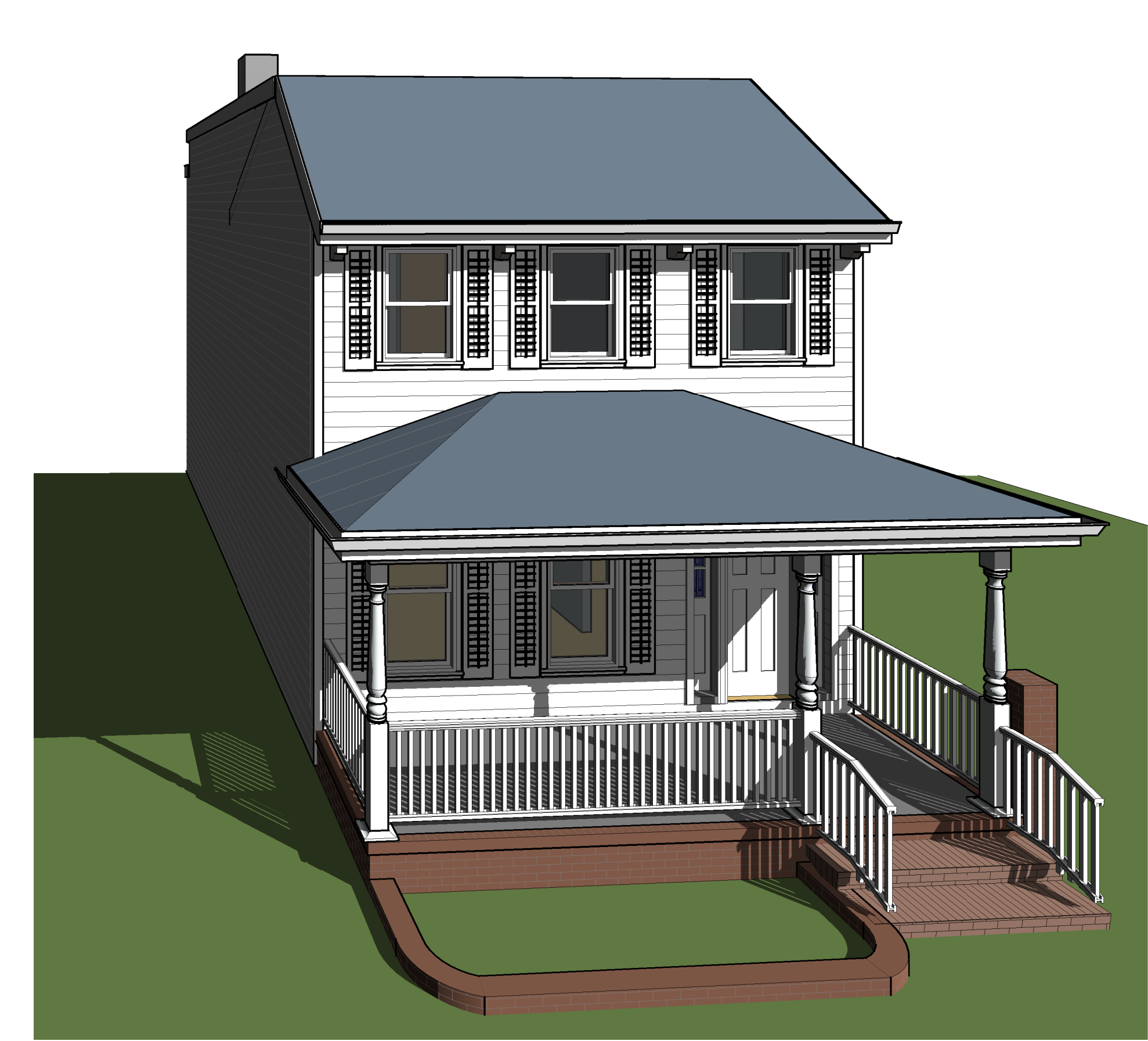
A5

ISSUE DATE

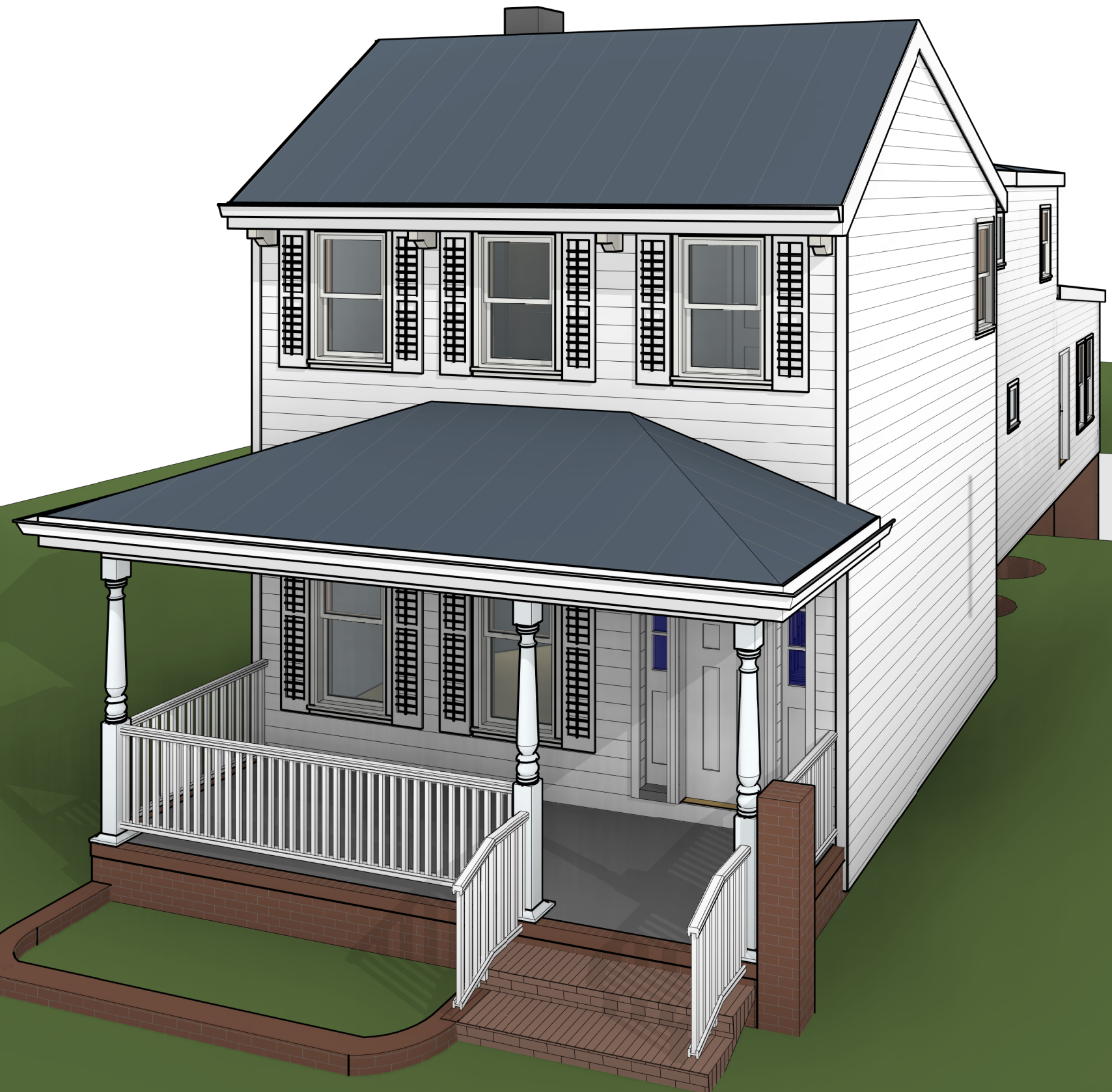
SHEET TITLE

SHEET #

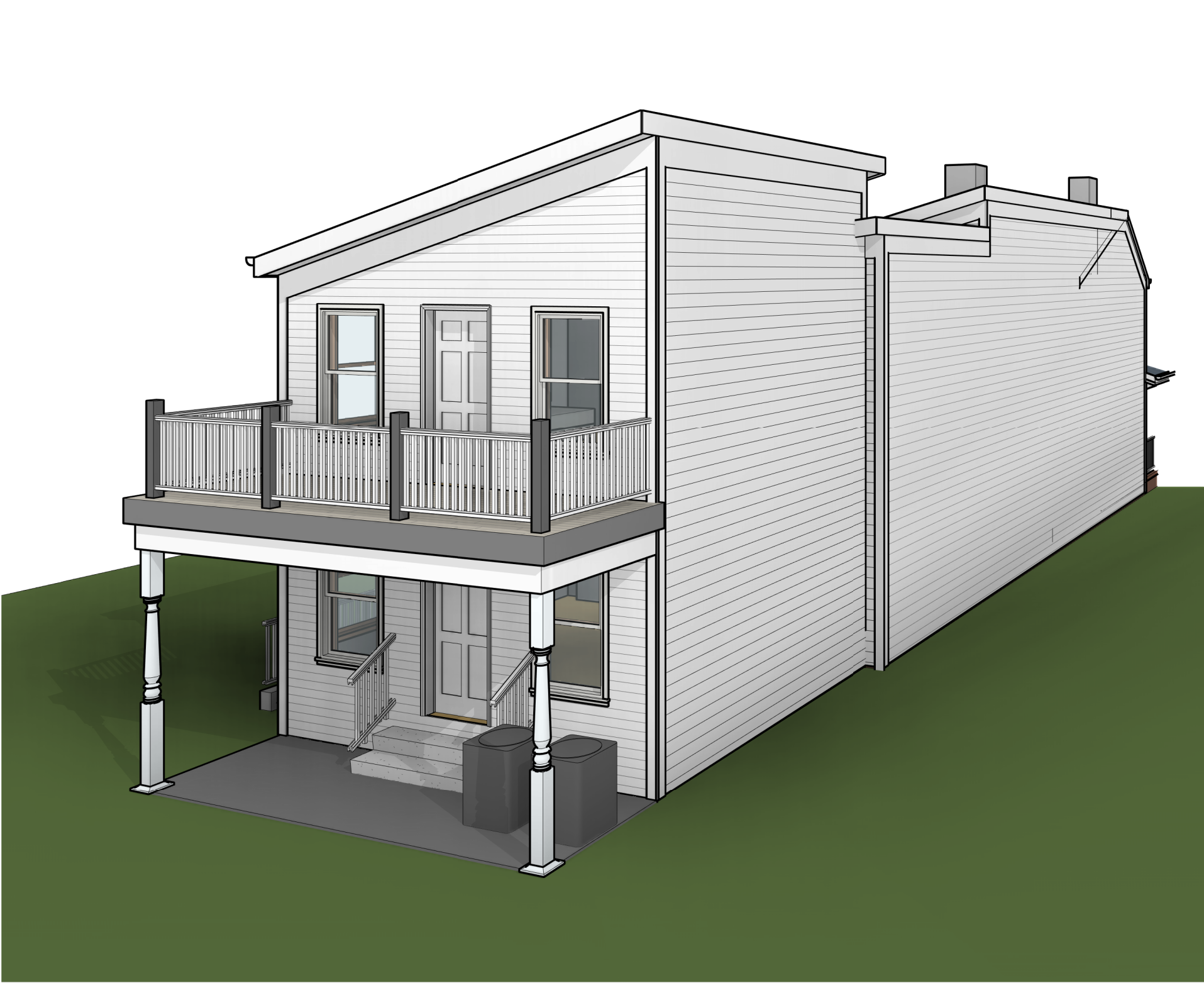




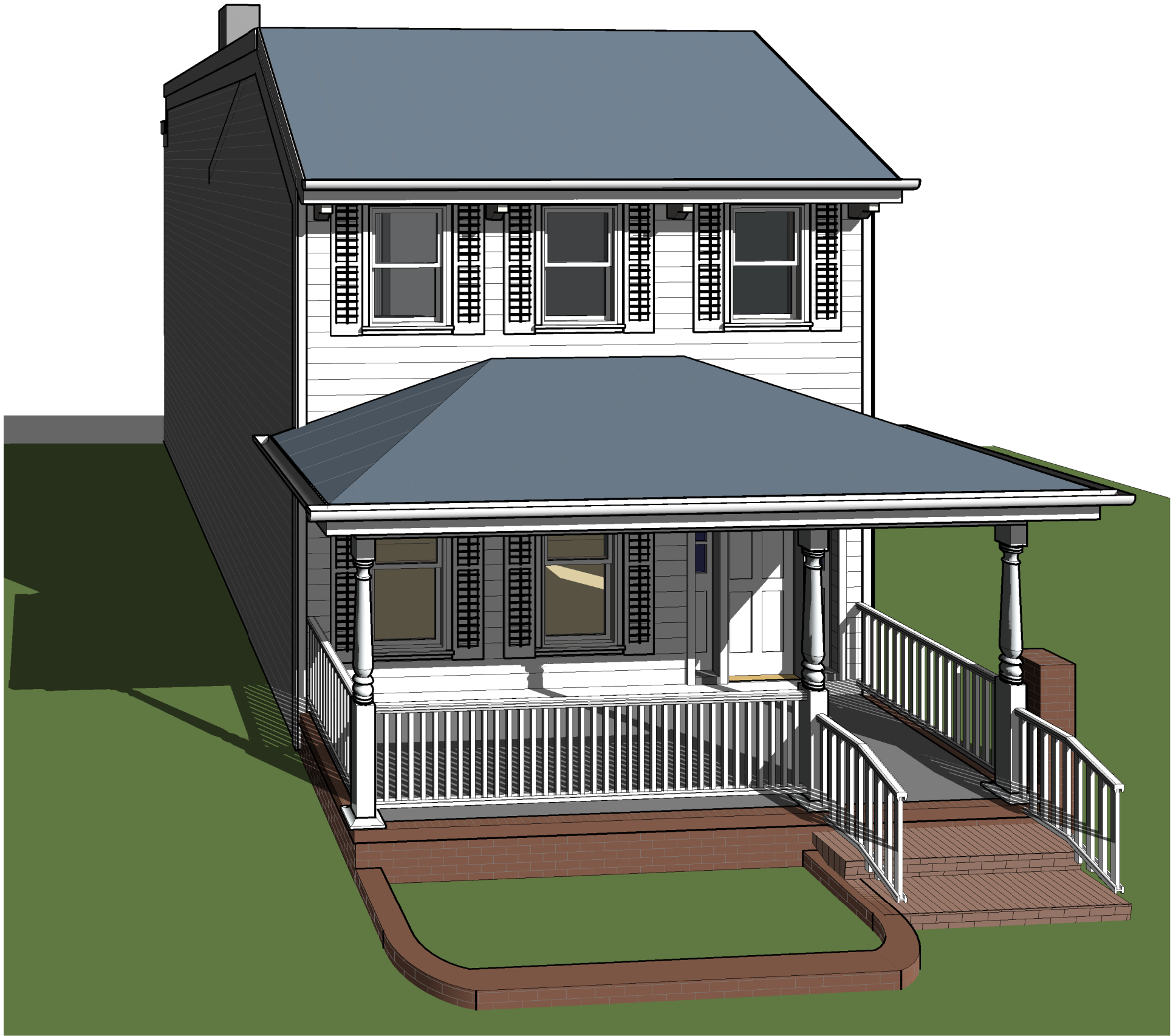
**5**  
EXISTING FRONT/WEST ELEVATION  
(NORTHWEST VIEW)



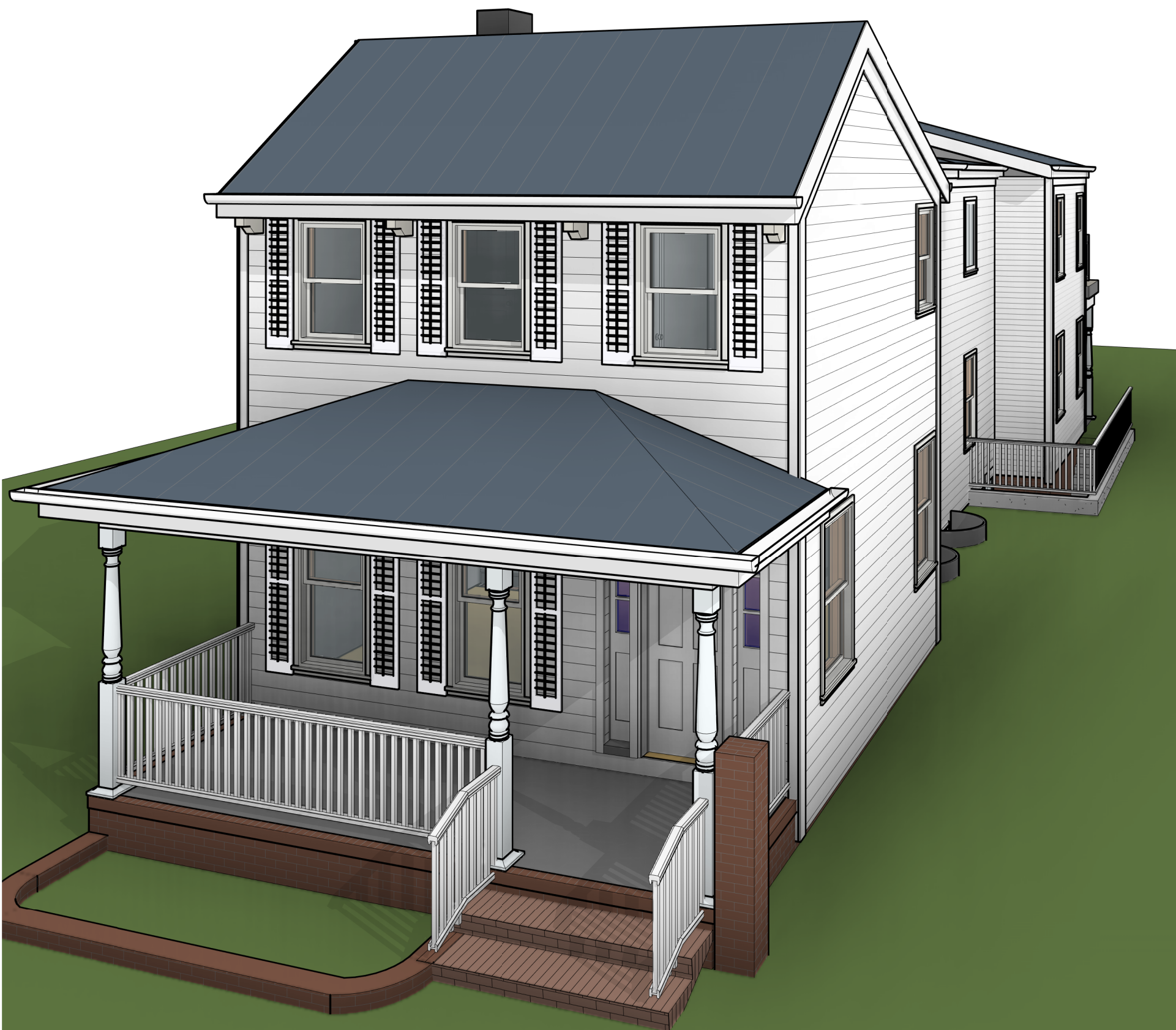
**6**  
EXISTING FRONT/WEST ELEVATION  
(SOUTHWEST) VIEW



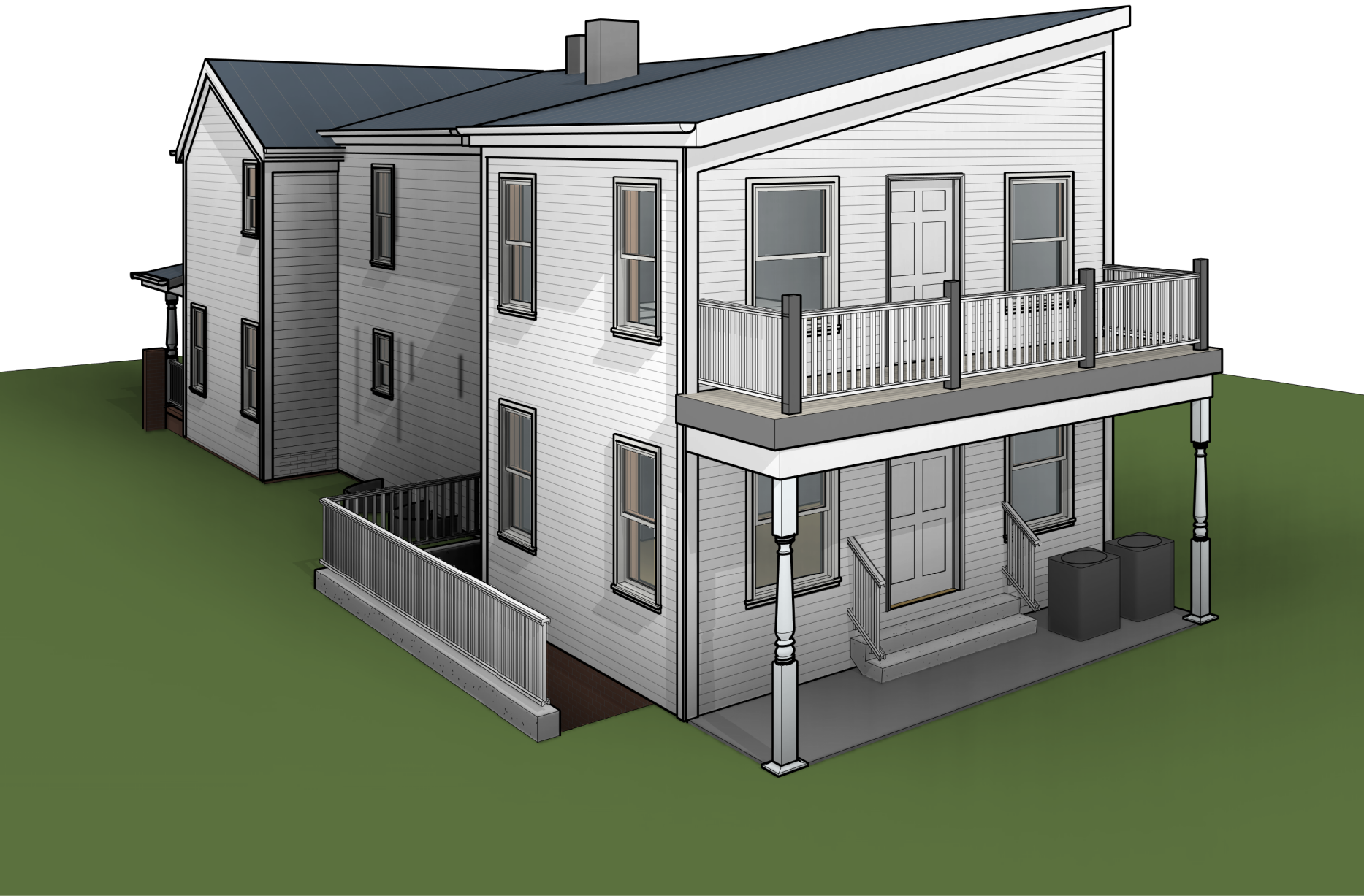
**4**  
PROPOSED REAR /EAST ELEVATION ( NORTH  
EAST) VIEW



**1**  
PROPOSED FRONT/WEST ELEVATION (NORTH  
WEST) VIEW

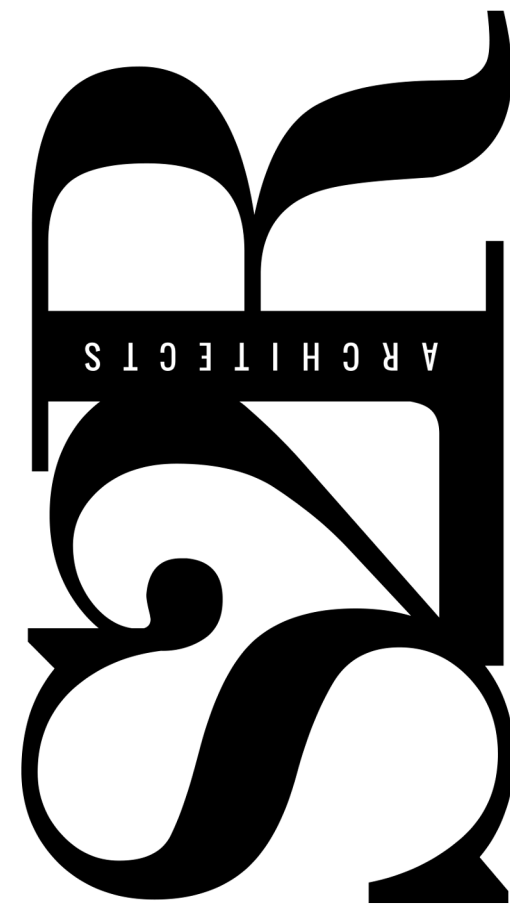


**2**  
PROPOSED FRONT/WEST ELEVATION  
(SOUTHWEST) VIEW



**3**  
PROPOSED REAR / EAST ELEVATION ( SOUTH  
EAST) VIEW

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REVISION      DATE

2/05/21

VIEWS

**A6**





1

A7

3D ROOF VIEW EXISTING



2

A7

3D ROOF VIEW PROPOSED

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ISSUE DATE

3D ROOF VIEW

SHEET TITLE

A7

SHEET #