

ISSUE: Certificate of Appropriateness for alterations (small cell antenna)

APPLICANT: Cellco Partnership dba Verizon Wireless

LOCATION: Old and Historic Alexandria District
Dominion Energy utility pole in right-of-way near 400 South Washington Street

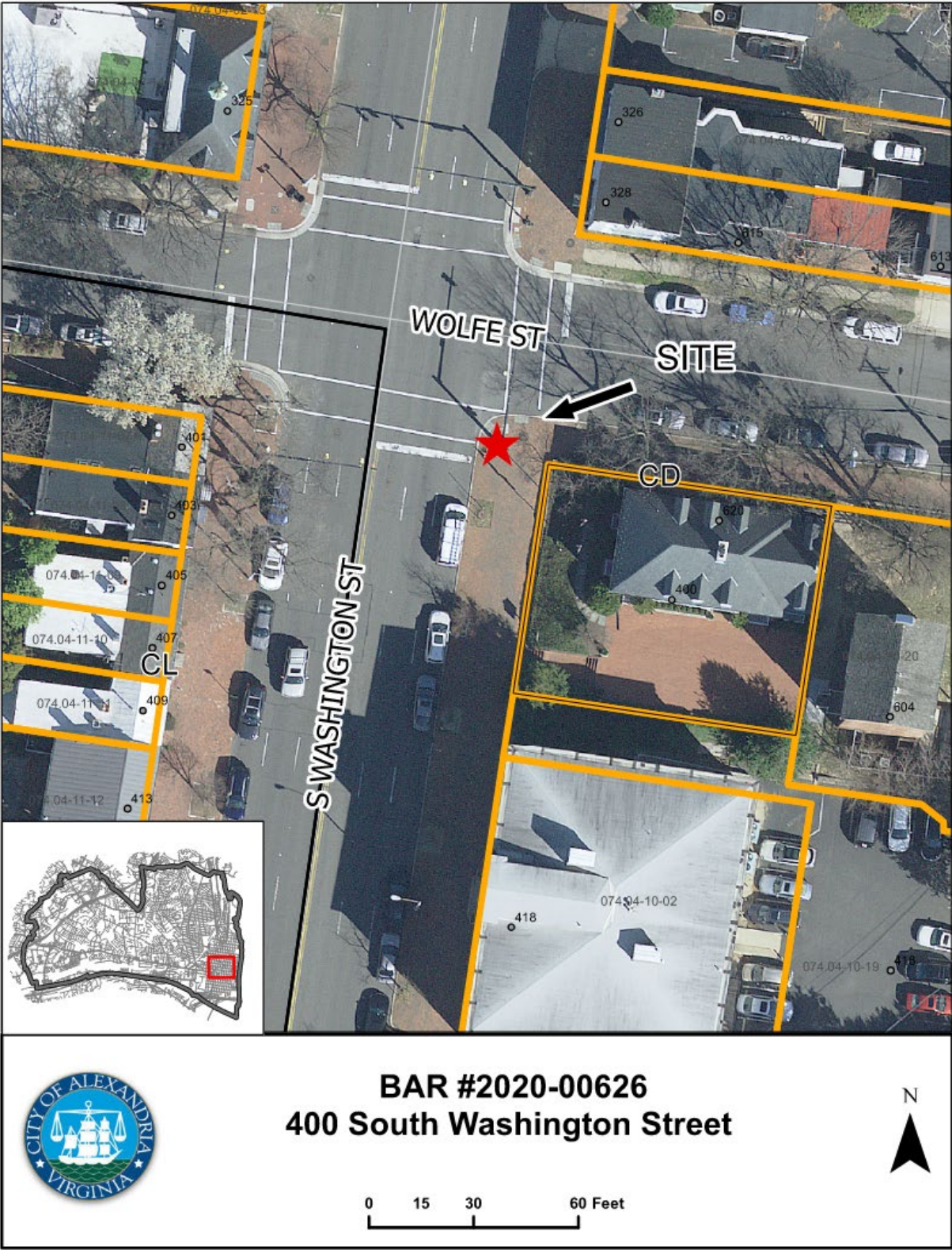
ZONE: CD/Commercial Downtown Zone

STAFF RECOMMENDATION

Staff recommends approval of the Certificate of Appropriateness, as submitted.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



I. APPLICANT'S PROPOSAL

The applicant is requesting a Certificate of Appropriateness to replace the existing metal pole in the right-of-way in front of the parcel at 400 South Washington Street with a new metal pole.

- The existing 32'- 7" high pole will be replaced with a new 38' high pole located within 2' of the existing pole.
- 5G small cell facility measuring approximately 3'8" high will be mounted on top of the pole.
- Proposed Verizon wireless transector box will be mounted on the pole, starting at 6'-4" from grade.
- Verizon wireless meter box and center panel will be mounted on the pole, starting at 4'-3" from grade. Cabling will be run through the hollow interior of the pole.
- Cubic volume of the antennas is 1.92 cubic feet.
- All features of the wireless facility will be color matched to the pole.
- All existing utilities and signage on the pole will be relocated to the new pole.

Site context

The subject pole sits at the southeast corner of Wolfe and South Washington streets in front of a one-story office building.

II. HISTORY

400 South Washington Street is a one-story brick office building that was constructed in **1955**.

III. ANALYSIS

To address the growing demand for wireless services across the United States, telecommunication providers are increasing the capacity of their networks by deploying small cell wireless facilities within the public right-of-way to reduce the data traffic load on roof-mounted equipment and larger cell towers. Small cell facilities are low-powered antennas that provide wireless service coverage to a limited geographic area (often with ranges of a few hundred feet) and are used to supplement and expand the coverage provided by the traditional, larger-scale network. The next generation of small cell wireless facilities, known as 5G, is currently being installed across the city. The new 5G networks will not just serve cellphones, but also be used as general internet service providers for laptops, desktop computers, smart home digital devices, urban infrastructure monitoring, smart traffic control, remote health monitoring, emergency monitoring and notification systems, connected and autonomous vehicles, and many more applications.

In the past several years, Federal and State legislation has been enacted to further streamline the local approval process for cellular facilities, shortening the approval time and limiting jurisdictions' authority. In 2017, and again in March 2020, City Council approved amendments to the zoning ordinance to ensure compliance with these laws.

In June 2019, the BAR approved the first small cell facilities in the historic district and shortly after adopted a BAR administrative policy for approval of certain small cell facilities (4G) in the historic districts. To date, a total of 12 small cell facilities have been approved in the historic districts, either by the BAR at public hearing or administratively by staff. City Council has recently approved license agreements for some of the wireless carriers and the City has seen a sharp increase in the number of applications for small cell facilities. Because the design of the antennas has evolved since the BAR administrative policy was adopted in June 2019, BAR staff proposed amendments to the policy to allow for more administrative approvals at the Board's April 22, 2020 electronic hearing (conducted electronically due to the Covid-19 emergency) at which time the Board tabled proposed amendments and rescinded the administrative policy. As a result, at this time all small cell facilities must now be approved by the BAR at public hearing.

A Certificate of Appropriateness is required in the historic districts under Section 10-103 (A) and 203(A) of the zoning ordinance, which state that "No building or structure shall be erected, reconstructed, altered or restored within the Old and Historic Alexandria District unless and until an application for a certificate of appropriateness shall have been approved..."

While this is the first time the BAR is seeing a replacement metal pole staff has no objection to the modestly taller pole or the installation of the small cell facility equipment in this location. The metal poles are hollow allowing for the conduit to run through the interior of the pole, which results in a more streamlined appearance. The new equipment will also be color matched to the pole to help provide a degree of camouflage. The existence of utility poles and overhead wires, street signs, and light poles in the rights of way are part of the urban streetscape, and staff does not believe that the installation of the modestly taller pole with the small cell equipment and an overall height of 40'-2" will adversely impact the integrity of the historic district. Staff notes that the current pole is not listed in the licensing agreement the applicant has with the City but will be covered by the franchise agreement which will be brought to City Council for approval this fall. Further, the applicant must apply for a Right-of-Way permit through T&ES at which time staff will inspect the location and develop specific conditions. They will consider such things as ADA accessibility, sidewalk widths, tree conflicts and location of equipment boxes.

Staff recommends approval of the application, as submitted.

STAFF

Marina Novaes, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

F-1 Height of the pole shall not exceed 50.00 feet without a Special Use Permit.
Pole height is 38' 0"" feet and overall height is 41' 0"

- F-2 Pole must be in the same general location as existing pole.
In Compliance
- F-3 The replacement pole is not located in a manner that requires the removal of an existing tree or impacts of root zone.
Pole will not require a tree to be removed
- F-4 Replacement people shall be located that meets ADA requirements that do not impede or hinder pedestrian or vehicular travel.
In Compliance
- F-5 Wireless facility shall be painted to match similar infrastructure on the block or earth tone color.
Plans indicate facility to be wood pole with equipment painted brown
(ZAP2020-00369)

Code Administration

No Code comments.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-4 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-5 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

No archaeological oversight required.

National Park Service

No comments received.

V. ATTACHMENTS

1 – Application Materials

2 – Supplemental Materials

ADDRESS OF PROJECT: ROW adjacent to 400 S Washington StDISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old BuildingTAX MAP AND PARCEL: 074.04-10-01 ZONING: CDAPPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
*(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)*Applicant: ☐ Property Owner ☒ Business *(Please provide business name & contact person)*Name: Cellco Partnership dba Verizon WirelessAddress: 9115 Guilford Road, Suite 400City: Columbia State: MD Zip: 21046Phone: 703-969-9309 E-mail: joshua.schakola@mastec.comAuthorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☒ AgentName: Joshua SchakolaPhone: 703-969-9309E-mail: joshua.schakola@mastec.com

Legal Property Owner:

Name: Dominion Virginia EnergyAddress: 3072 Centreville RdCity: Herndon State: VA Zip: 20171Phone: 571-203-5332 E-mail: jarred.t.lampe@dominionenergy.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☐ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☒ EXTERIOR ALTERATION: *Please check all that apply.*

☐ awning
☐ doors
☐ lighting
☒ other Antenna

☐ fence, gate or garden wall
☐ windows
☐ pergola/trellis

☐ HVAC equipment
☐ siding
☐ painting unpainted masonry

☐ shutters
☐ shed

☐ ADDITION
☐ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Install small cell antennas and associated equipment on a replacment metal light pole
in the public right of way.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐
☐
☐
☐
☐

☒ Survey plat showing the extent of the proposed demolition/encapsulation.
☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☒ Description of the reason for demolition/encapsulation.
☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☒ FAR & Open Space calculation form.
- ☐ ☒ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☒ Existing elevations must be scaled and include dimensions.
- ☐ ☒ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☒ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☒ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☒ ☒ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)

- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.

- ☒ I, the applicant, or an authorized representative will be present at the public hearing.

- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Joshua Schakola

Printed Name: Joshua Schakola

Date: 1/11/21

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Cellco Partnership dba Veri	10170 Junction Drive, Annapolis Junction, MD 20701	n/a
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Cellco Partnership dba Veri	10170 Junction Drive, Annapolis Junction, MD 20701	n/a
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. n/a	n/a	n/a
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

1/11/21

Date

Joshua Schakola

Printed Name

Joshua Schakola

Signature

GENERAL NOTES

1. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
2. THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BIDDER SHALL BE RESPONSIBLE FOR BEING CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
3. THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE VERIZON REPRESENTATIVE OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK IN THE EVENT OF DISCREPANCIES, THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.
4. THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIAL AND EQUIPMENT, LABOUR AND ALL OTHER NECESSARIES AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
5. THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL OBTAIN AUTHORIZATION TO PERFORM WORK FROM THE ARCHITECT/ENGINEER PRIOR TO ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
7. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S/ VENDOR'S SPECIFICATIONS UNLESS OTHERWISE NOTED OR PRECEDENCE.
8. THE CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS TO THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
9. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY, OR LOCAL GOVERNMENT AUTHORITY.
11. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVEMENTS, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
12. THE CONTRACTOR SHALL MAINTAIN THE GENERAL WORK AREA AS CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DEBRIS, TRASH, AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. MATERIALS AND EQUIPMENT TO BE LEFT IN RFG PACKAGE PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
13. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
14. THE CONTRACTOR SHALL NOTIFY THE VERIZON REPRESENTATIVE WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED BY THE VERIZON REPRESENTATIVE.
15. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.
16. ALL UNISTRUT, HARDWARE, AND OUTDOOR JUNCTION BOXES SHALL BE GALVANIZED STEEL. FOR FIELD CUTS OF GALVANIZED ITEMS, FIRST COAT SHALL BE COLD GALVANIZED AND SECOND COAT SHALL BE MARINE GRADE GALVANIZED.
17. RETURN ANY UNUSED MATERIALS WITH REQUIRED DOCUMENTATION TO THE VERIZON WAREHOUSE WITHIN 14 DAYS OF PROJECT COMPLETION. RETURNED MATERIAL NEEDS TO BE ACCOMPANIED WITH AN RMA FORM AND PACKAGING REQUIREMENTS STIPULATED BY THE VZW CONSTRUCTION ENGINEER.
18. CONTRACTOR IS RESPONSIBLE FOR STORAGE OF ALL MATERIALS PROVIDED. THE VERIZON IS NOT LIABLE FOR THOSE MATERIALS ONCE PICKED UP FROM THE WAREHOUSE.
19. CONTRACTOR SHALL PERFORM A PUNCH WALK WITH VZW CONSTRUCTION & OPERATION REPRESENTATIVE PRIOR TO DECLARING CONSTRUCTION COMPLETE.
20. GENERAL CONTRACTOR SHALL PROVIDE A 10LB. DRY-CHEMICAL FIRE EXTINGUISHER ON SITE DURING CONSTRUCTION. UPON COMPLETION OF ALL WORK, CONTRACTOR SHALL REMOVE FIRE EXTINGUISHER FROM SITE.

INDEX OF DRAWINGS

C5-1	SITE LOCATION AND VICINITY PLAN, INDEX OF DRAWINGS, AND CODE ANALYSIS
C-1	SITE PLAN
C-2	SITE DETAILS
TMP-1	TRANSPORTATION MANAGEMENT PLAN NOTES
TMP-2	TRANSPORTATION MANAGEMENT PLAN
S-1S	STRUCTURAL SECTIONS AND DETAILS (SAMSUNG NR)
S-IN	STRUCTURAL SECTIONS AND DETAILS (NOKIA AIRSCALE)
S-2	GENERAL NOTES
E-1	ROUTING SITE PLAN
E-2N	SPECIFICATIONS, SYMBOLS LIST, SCHEDULES AND DETAILS
E-2S	SPECIFICATIONS, SYMBOLS LIST, SCHEDULES AND DETAILS
E-3N	POWER PLANS, POWER RISER, DETAILS, AND NOTES
E-3S	POWER PLANS, POWER RISER, DETAILS, AND NOTES
E-4N	GROUNDING DIAGRAM, DETAILS, AND NOTES
E-4S	GROUNDING DIAGRAM, DETAILS, AND NOTES
E-5N	DIAGRAMS
E-5S	DIAGRAMS

CODE ANALYSIS

APPLICABLE BUILDING CODE:	IBC 2015
USE GROUP:	UTILITY (U)
CONSTRUCTION TYPE:	IIB
UTILITY COMPANY:	DOMINION



PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE INSTALLATION OF VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT ON A PROPOSED LIGHT POLE TO REPLACE EXISTING. THE ASSOCIATED ANTENNA WILL BE MOUNTED ON THE PROPOSED LIGHT POLE AT A RAD CENTER OF 40'-2".

DIRECTIONS TO SITE

FROM JUNCTION DRIVE:

- TURN RIGHT ONTO MD-732/DORSEY RUN ROAD
- TAKE RAMP ON RIGHT FOR MD-32 EAST
- TAKE EXIT #100 RAMP ON RIGHT FOR BALTIMORE WASHINGTON PARKWAY SOUTH
- KEEP STRAIGHT ONTO MD-201 SOUTH/ KENILWORTH AVENUE SOUTH
- TAKE EXIT #1C RAMP ON RIGHT FOR I-495 SOUTH
- TAKE EXIT #117B RAMP ON RIGHT FOR US-1 NORTH
- KEEP STRAIGHT ONTO CHURCH STREET
- TURN LEFT ONTO VA-400/ SOUTH WASHINGTON STREET
- DESTINATION WILL BE ON THE RIGHT

VERIZON WIRELESS REVIEW



BUILDING OWNER	DATE
ENGINEERING	DATE
OPERATIONS	DATE
CONSTRUCTION	DATE

DIRECTIONS TO SITE

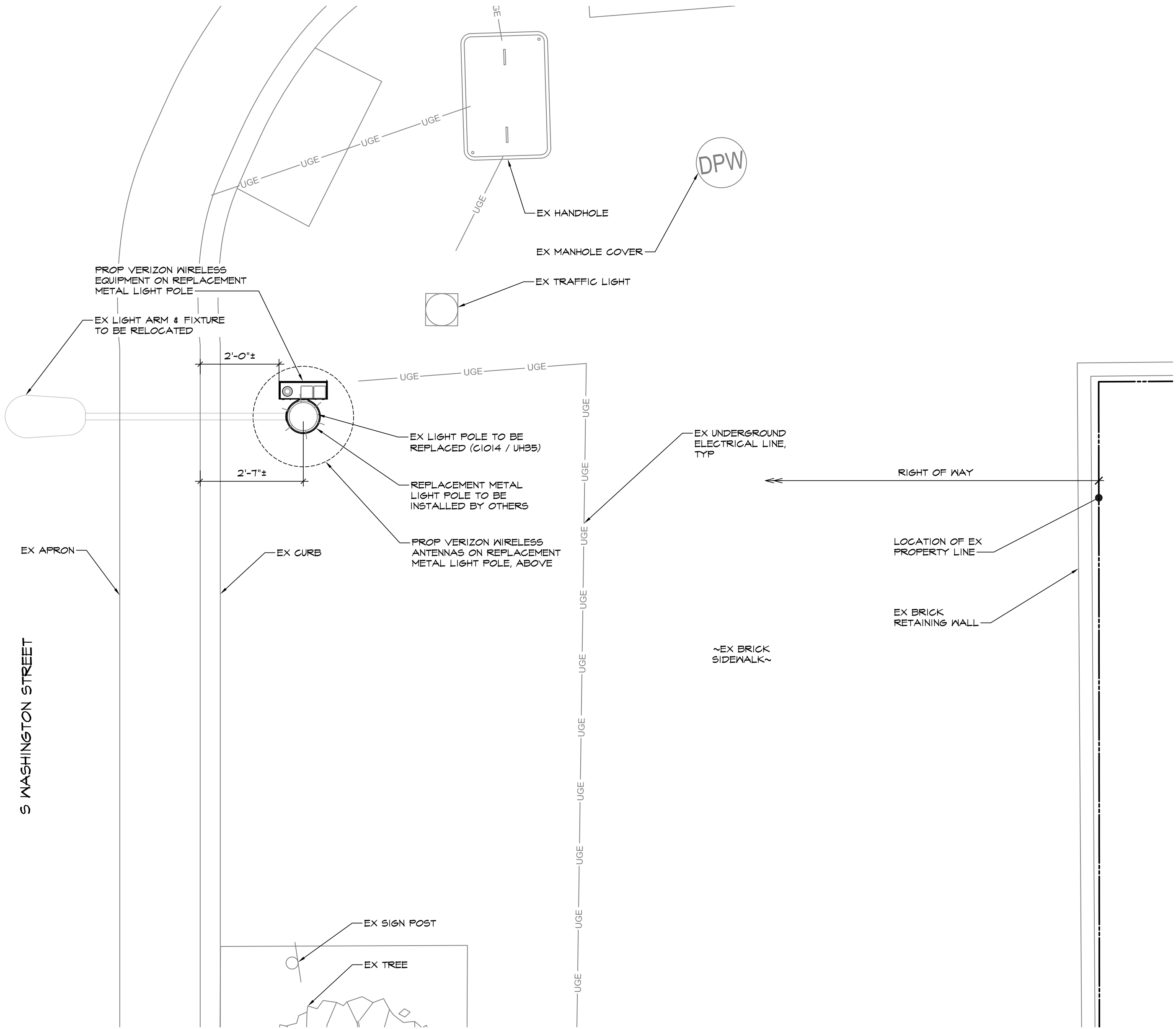
FROM JUNCTION DRIVE:

- TURN RIGHT ONTO MD-732/DORSEY RUN ROAD
- TAKE RAMP ON RIGHT FOR MD-32 EAST
- TAKE EXIT #10C RAMP ON RIGHT FOR BALTIMORE WASHINGTON PARKWAY SOUTH
- KEEP STRAIGHT ONTO MD-201 SOUTH/ KENILWORTH AVENUE SOUTH
- TAKE EXIT #1C RAMP ON RIGHT FOR I-495 SOUTH
- TAKE EXIT #11TB RAMP ON RIGHT FOR US-1 NORTH
- KEEP STRAIGHT ONTO CHURCH STREET
- TURN LEFT ONTO VA-400/ SOUTH WASHINGTON STREET
- DESTINATION WILL BE ON THE RIGHT

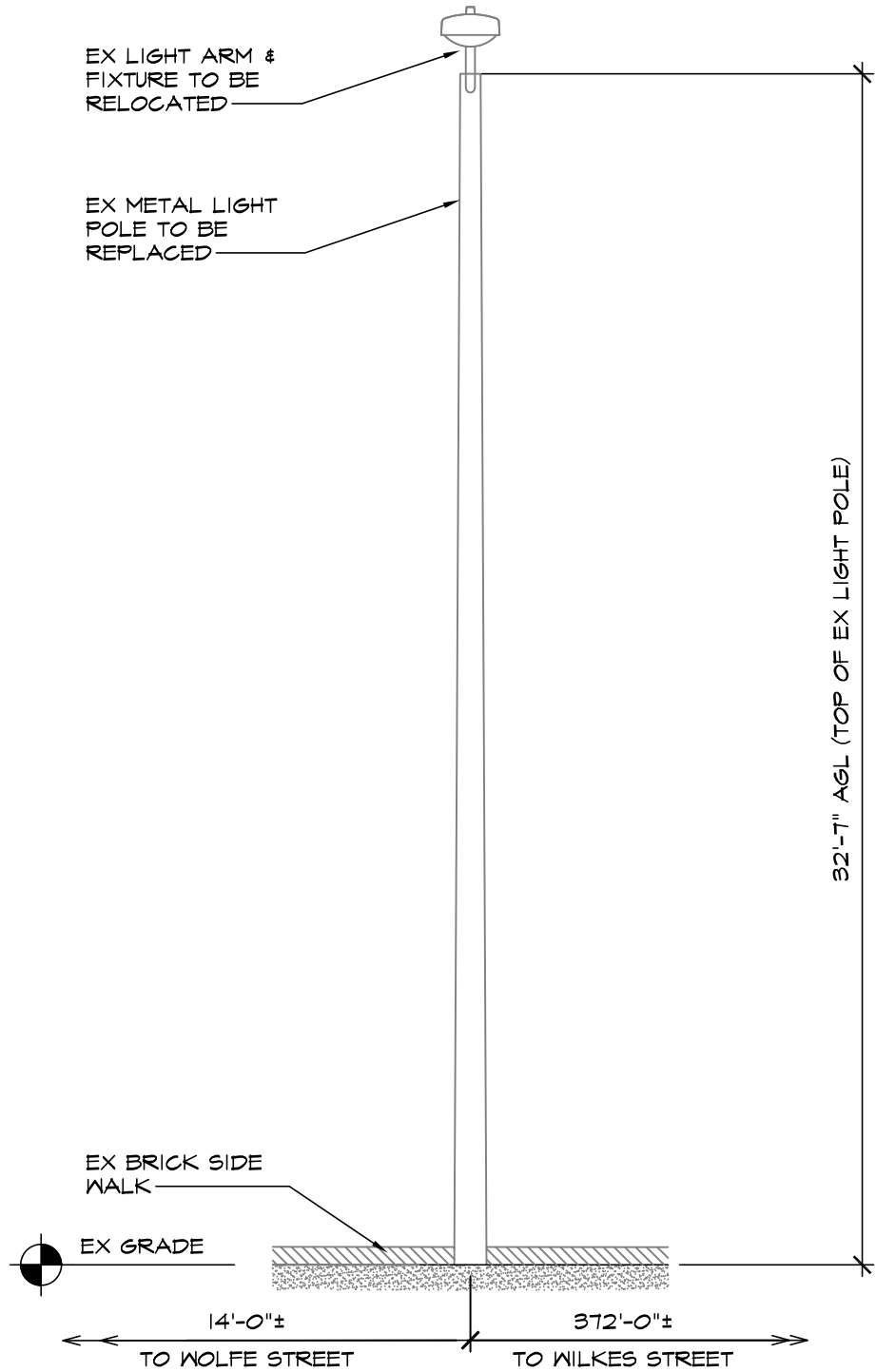
VERIZON WIRELESS REVIEW	
BUILDING OWNER _____	DATE _____
ENGINEERING _____	DATE _____
OPERATIONS _____	DATE _____
CONSTRUCTION _____	DATE _____

 TELLENT ENGINEERING INC. 2216 Commerce Road, Suite 1 Forest Hill, MD 21050 410-492-5816 www.tel-eng.com		
		
<h1 style="margin: 0;">verizon</h1> <h2 style="margin: 0;">OLD TOWN 8 - C - SMALL CELL</h2> <p style="font-size: small; margin-top: 10px;">ROW ADJACENT TO 400 S WASHINGTON STREET, ALEXANDRIA, CITY OF ALEXANDRIA, VIRGINIA 22314</p>		
REVISIONS:		
NO.	DESCRIPTION	DATE
PERMIT DWG# 12/14/20		
LAST REV.:		
PROJECT NO: 20103W		
DATE: DECEMBER 14, 2020		
SCALE: AS NOTED		
TITLE:		
SITE LOCATION AND VICINITY PLAN, INDEX OF DRAWINGS, AND CODE ANALYSIS		
SHEET:		
CS-1		

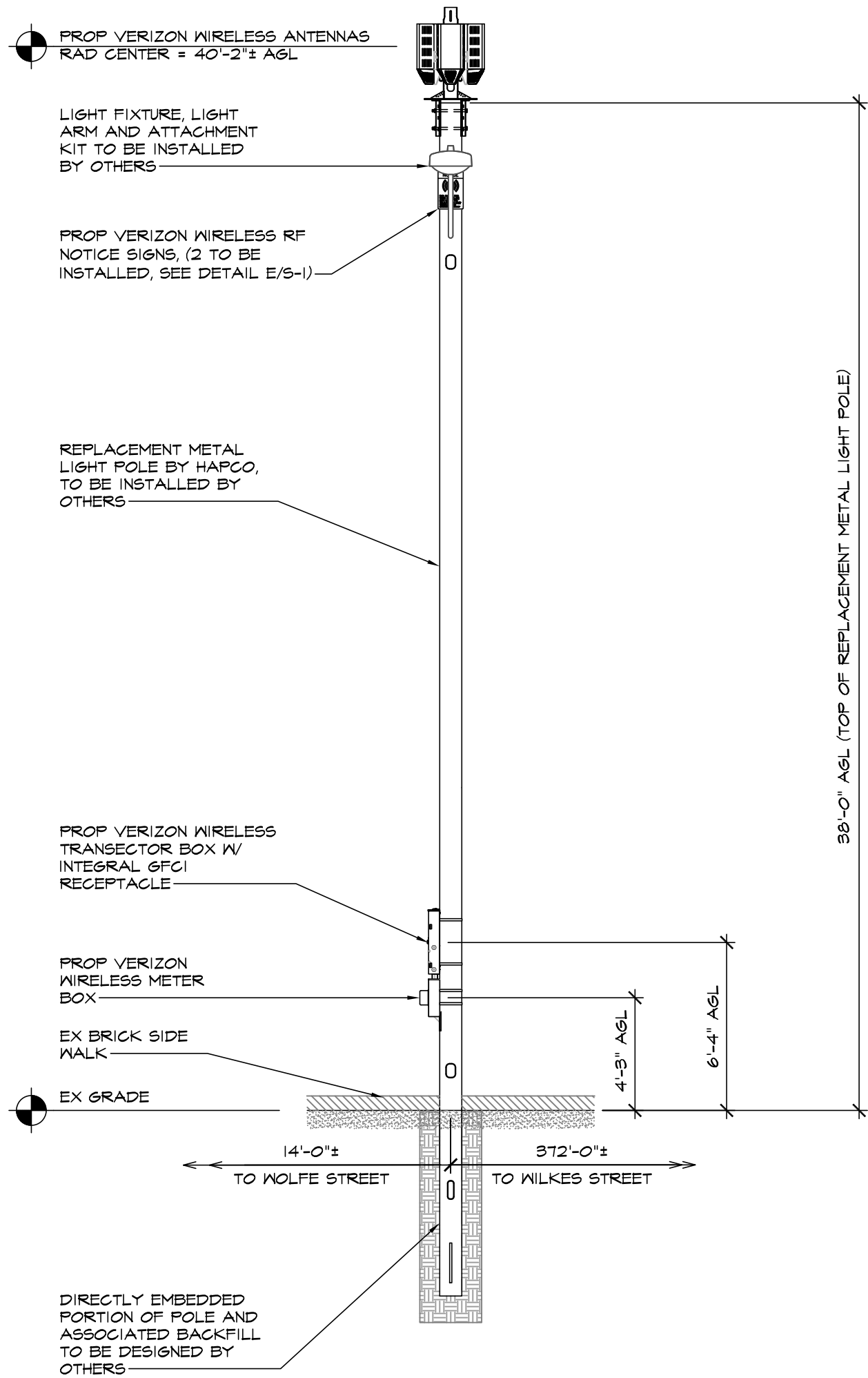
A B C D E F G H J K L M N P Q R



ENLARGED EQUIPMENT LAYOUT
SCALE: 1/2" = 1'-0"

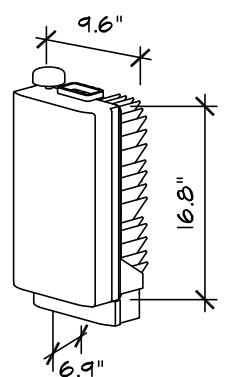


EXISTING POLE ELEVATION
SCALE: 1" = 5'-0"

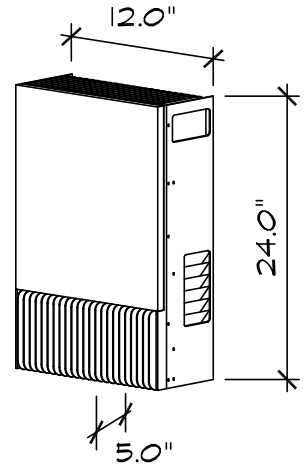


REPLACEMENT POLE ELEVATION
SCALE: 1" = 5'-0"

NOTE: SAMSUNG NR AU ANTENNAS OR NOKIA AEUB ANTENNAS WITH ASOD/ASODA MAY BE INSTALLED AT SITE. SEE SHEET S-16 FOR SAMSUNG INSTALLATION OR S-17 FOR NOKIA INSTALLATION. INSTALLATION TYPE TO BE DETERMINED BY VERIZON WIRELESS CM.

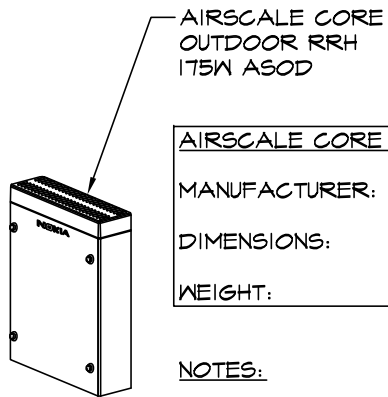


SAMSUNG NR AU



NOKIA
AEUB AIRSCALE

VERIZON WIRELESS ANTENNA DETAILS
NOT TO SCALE



- NOTES:
1. INSTALL RRH PER MANUFACTURER'S RECOMMENDATIONS.
 2. FIBER, DC POWER & GROUND CONNECTIONS NOT SHOWN.

NOKIA AIRSCALE CORE OUTDOOR RRH 175 W ASOD DETAIL
NOT TO SCALE



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THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.



MORRIS & RITCHIE ASSOCIATES, INC.
Civil / Structural Engineers
1320-C East Joppa Road, Suite 505
Towson, Maryland 21286
410-821-1690
410-821-1748 Fax



verizon
OLD TOWN 8 - C - SMALL CELL
ROW ADJACENT TO 400 S WASHINGTON STREET
ALEXANDRIA, VIRGINIA 22314 (CITY OF ALEXANDRIA)

REVISIONS:		
NO.	DESCRIPTION	DATE
1	PERMIT DWGS	12/14/20

DESIGNED BY: RJD
DRAWN BY: PG
PROJECT NO: 10427.2710
DATE: 11/11/2020
SCALE: AS NOTED

TITLE:
Site Details

SHEET:

C-2



1. THE CONTRACTOR SHALL MAKE ANY NECESSARY ADJUSTMENTS DURING BOTH WORK AND NON-WORK HOURS TO ENSURE THE PROTECTION AND SAFETY OF PEDESTRIANS, VEHICULAR TRAFFIC, AND THE GENERAL PUBLIC FROM ANY CONSTRUCTION RELATED ACTIVITY, CONSTRUCTION EQUIPMENT, AND THE CONSTRUCTION SITE ITSELF.

2: Revision 2 – 9/1/2019

2: Revision 2 – 9/1/2019

2: Revision 2 – 9/1/2019



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[illegible]

DESIGNED BY:	RJD
DRAWN BY:	PG
PROJECT NO:	10421.2710
DATE:	11/11/2020
SCALE:	AS NOTED
TITLE:	
<p align="center">TRANSPORTATION MANAGEMENT PLAN NOTES</p>	

SHEET:

TMP-1



Commonwealth of Virginia

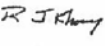
Virginia Department of Transportation

VERIFICATION OF COMPLETION OF
ADVANCED WORK ZONE TRAFFIC CONTROL TRAINING
AND PLAQUE CERTIFICATION

This is to verify that Jon K. Erickson has successfully completed training and an examination by the Department on the proper practices and methods for the installation, maintenance, removal of temporary traffic control devices and flagging operations.

Date: 9/25/2019

Verfication No.: 092119410



Jon K. Erickson

State Traffic Engineer

Expiration Date: 9/30/2023

TRANSPORTATION MANAGEMENT PLAN

The diagram illustrates a proposed work zone on S Washington Street, which runs north-south. The street has a 25 MPH speed limit. To the west of the street is Wilkes Street, and to the east is S St Asaph Street, both also with 25 MPH speed limits. The plan shows the placement of various traffic control devices: 48" x 24" "END ROAD WORK" signs at the north end of the work zone; 48" x 24" "SIDEWALK CLOSED" signs (R9-11aL) on both sides of the street; 30" x 18" "SIDEWALK CLOSED" signs (R9-9) on the east side; 30" x 18" "SIDEWALK CLOSED W/ TYPE 3 BARRICADE" signs (R9-9) on the east side; 48" x 48" "ROAD WORK AHEAD" signs at the south end of the work zone; and 48" x 48" "RIGHT TURN LANE CLOSED AHEAD" signs for the right turn lane. A "WORK ZONE" is delineated with a "SHADOW VEHICLE REQUIRED" and an "ILLUMINATED FLASHING ARROW BOARD (TYPE C)". A "CHANNELIZING DEVICE GROUP 2 (TYP.)" is shown on the west side. A "TRAFFIC LIGHT, TYP." is indicated at the intersection with Wilkes Street. A north arrow is located in the upper right corner of the plan area.

TMP
SCALE: 1" = 40'-0"

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verizon
OLD TOWN 8 - C - SMALL CELL
ROW ADJACENT TO 400 S WASHINGTON STREET
ALEXANDRIA, VIRGINIA 22314 (CITY OF ALEXANDRIA)

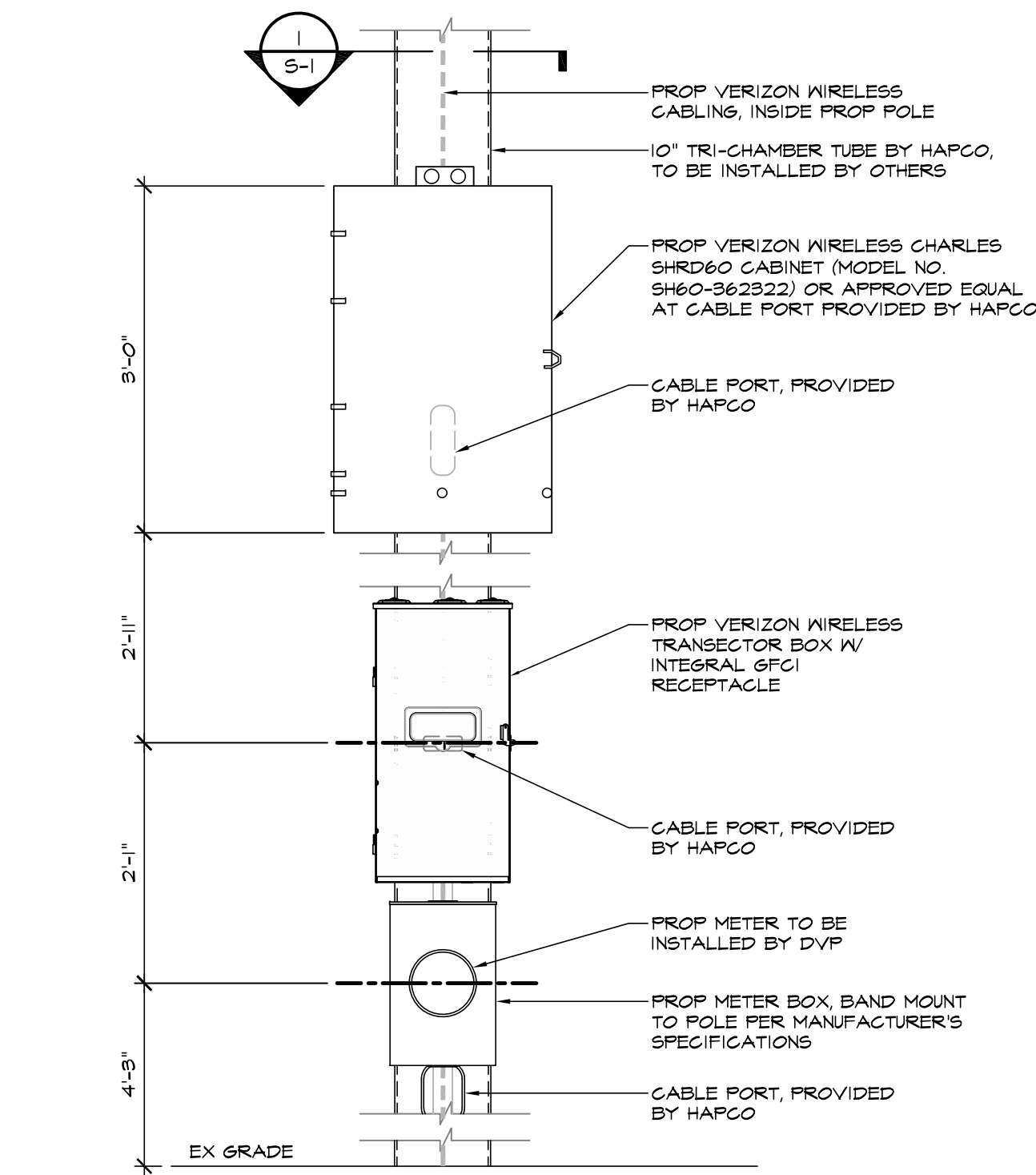
REVISIONS:		
NO.	DESCRIPTION	DATE
1	PERMIT DWGS	12/14/20

DESIGNED BY: RJD
DRAWN BY: PG
PROJECT NO: 10427.2110
DATE: 11/11/2020
SCALE: AS NOTED

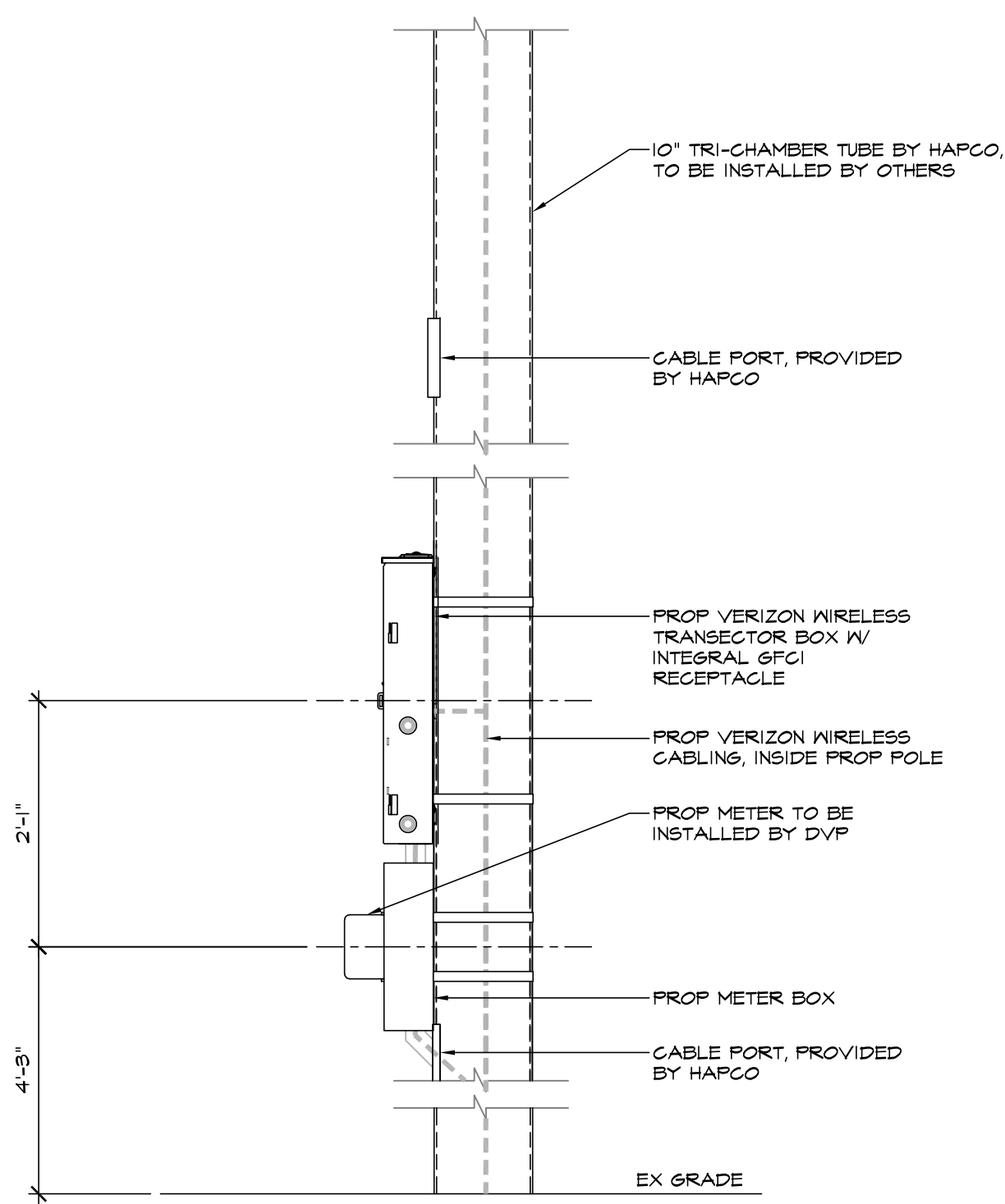
TITLE:
**TRANSPORTATION
MANAGEMENT
PLAN**

SHEET:
TMP-2

A B C D E F G H J K L M N P Q R

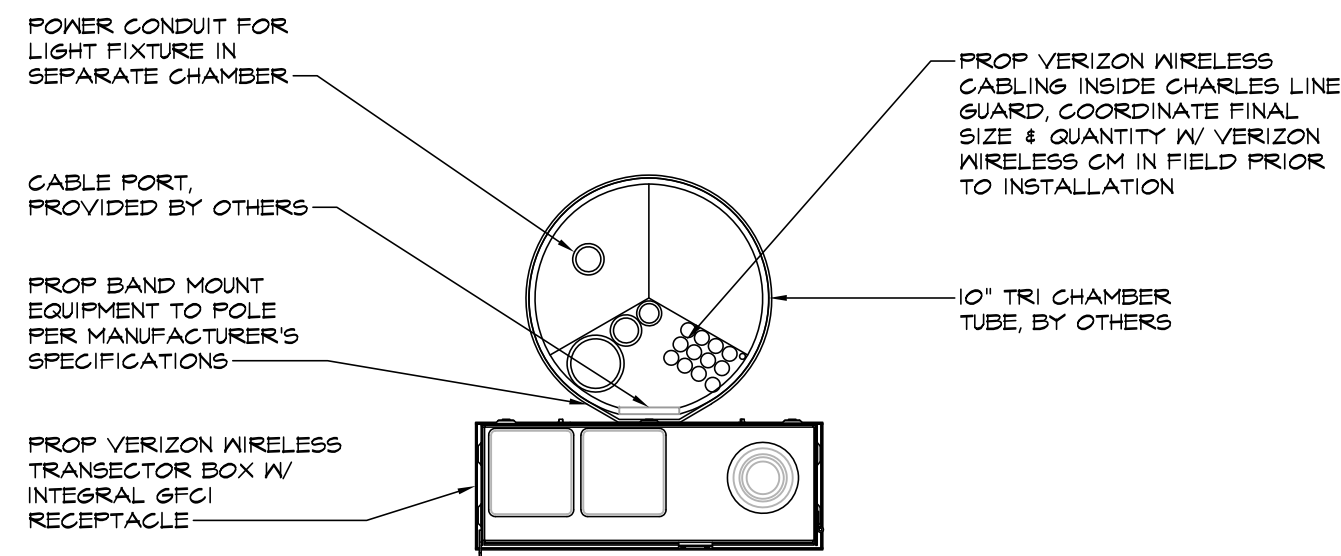


A POLE EQUIPMENT FRONT ELEVATION
SCALE: 3/4" = 1'-0"

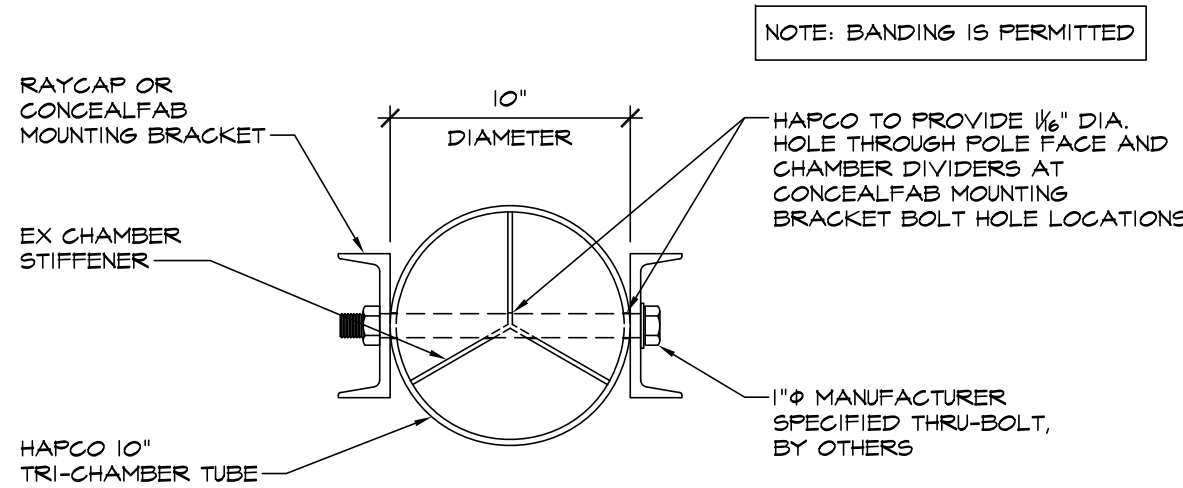


B POLE EQUIPMENT SIDE ELEVATION
SCALE: 3/4" = 1'-0"

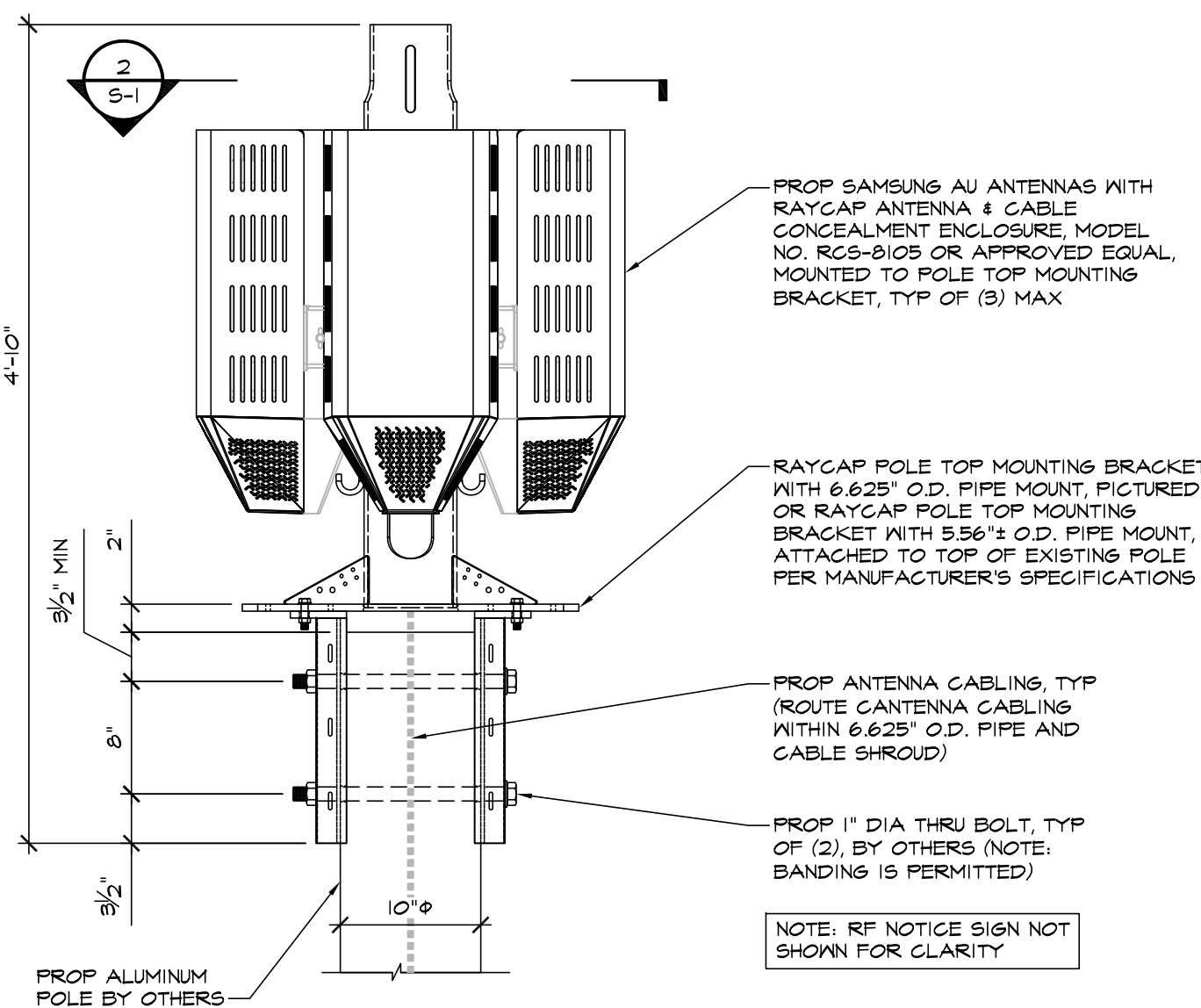
VOLUMETRIC CALCULATIONS			
ANTENNA VOLUMETRIC CALCULATION		EQUIPMENT VOLUMETRIC CALCULATION	
SAMSUNG NR AU (3 ANTENNAS, 0.64 CU FT EACH)	1.92 CU FT	TRANSECTOR BOX W/ INTEGRAL GFCI	1.17 CU FT
TOTAL	1.92 CU FT	200 AMP RINGLESS HORN OVERHEAD METER SOCKET	0.54 CU FT
		TOTAL	1.71 CU FT



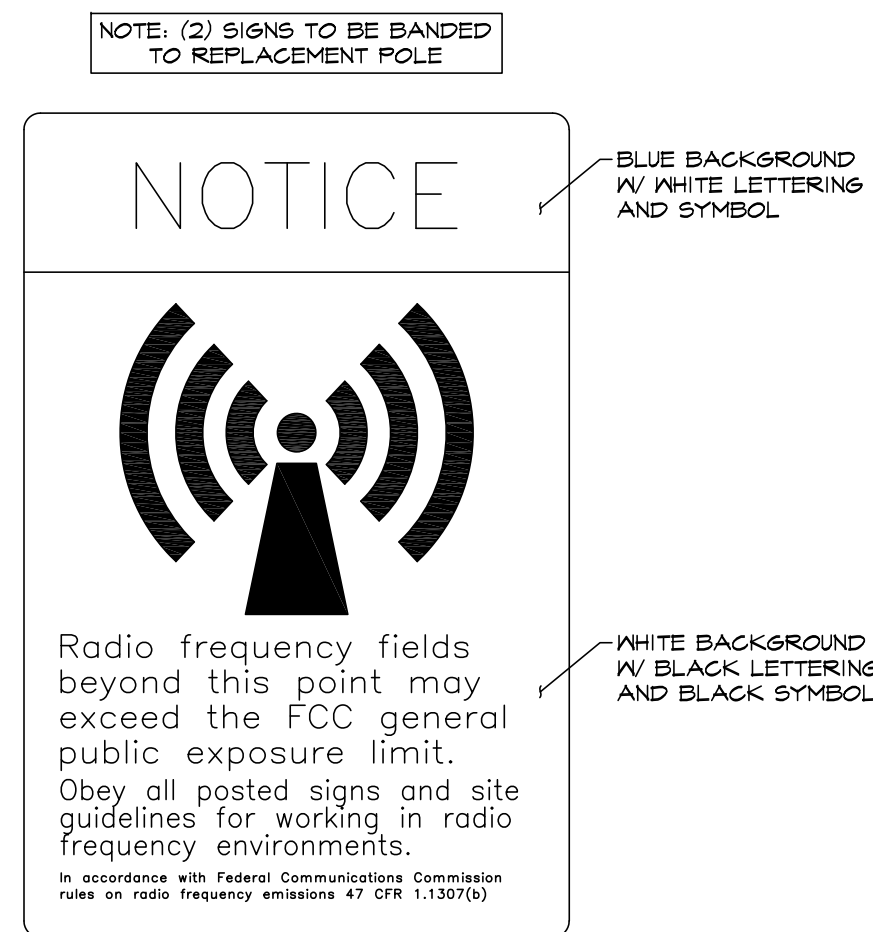
C EQUIPMENT MOUNT
SCALE: 1 1/2" = 1'-0"



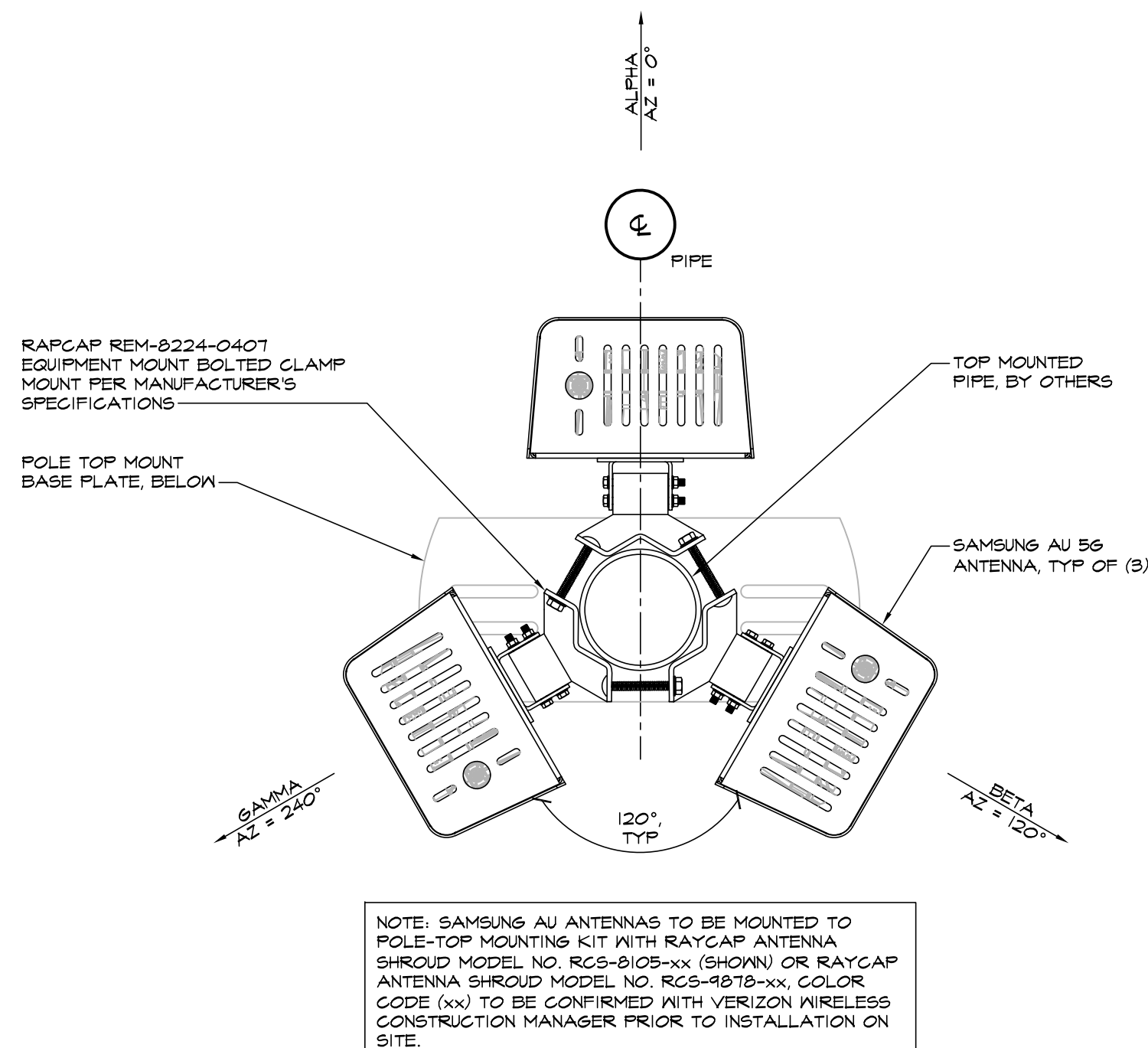
D TYPICAL THRU-BOLTING DETAIL
SCALE: 1-1/2" = 1'-0"



E 5G PANEL ANTENNA MOUNT
SCALE: 1" = 1'-0"



F RF NOTICE SIGN DETAIL
SCALE: 3" = 1'-0"



G 5G PANEL ANTENNA SECTION
SCALE: 1-1/2" = 1'-0"



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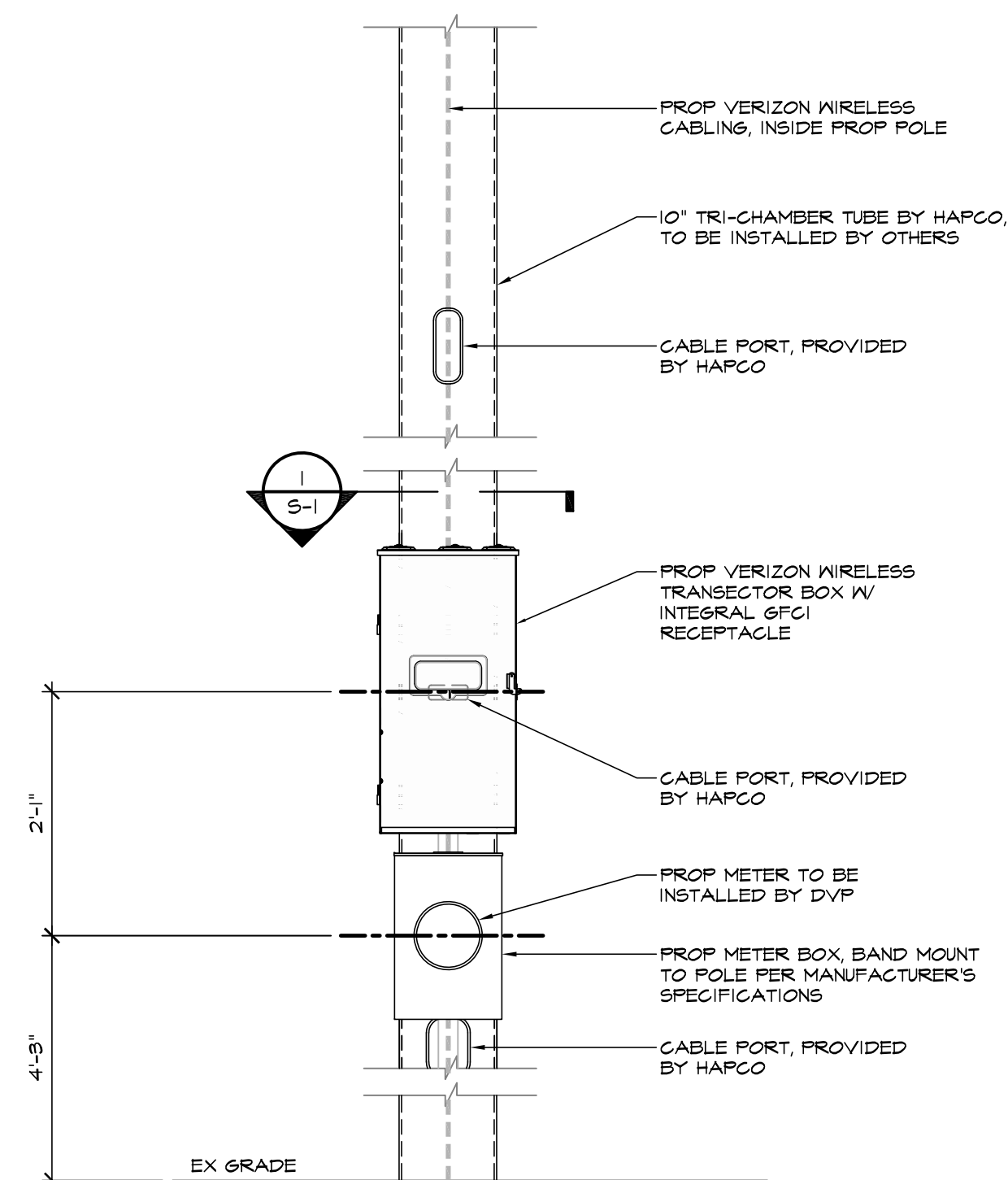
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REVISIONS:		
NO.	DESCRIPTION	DATE
1	PERMIT DWGS	12/14/20

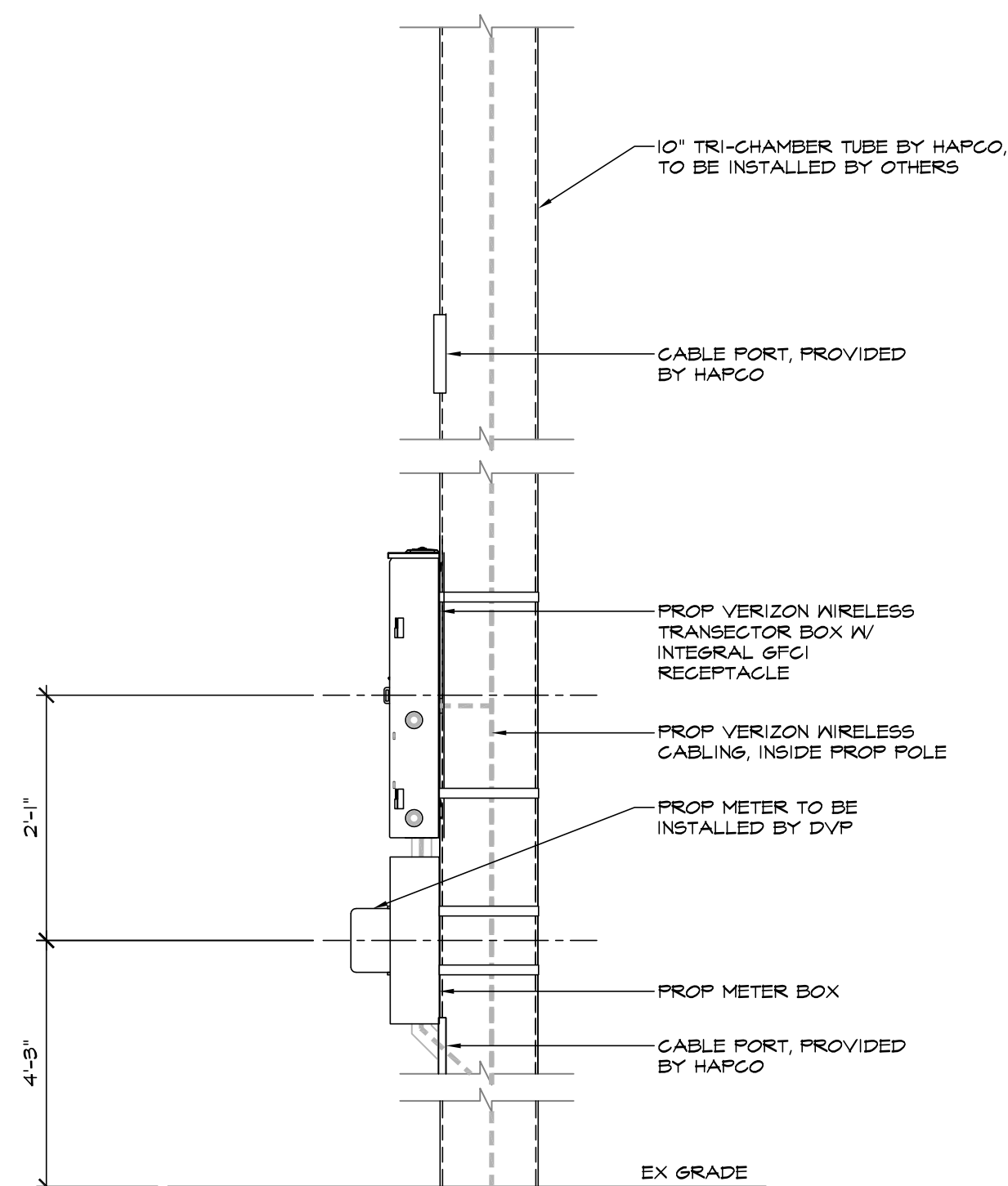
DESIGNED BY: RJD
DRAWN BY: PG
PROJECT NO: 10427.2710
DATE: 11/11/2020
SCALE: AS NOTED

TITLE:
**Structural
Sections &
Details
(Samsung NR)**

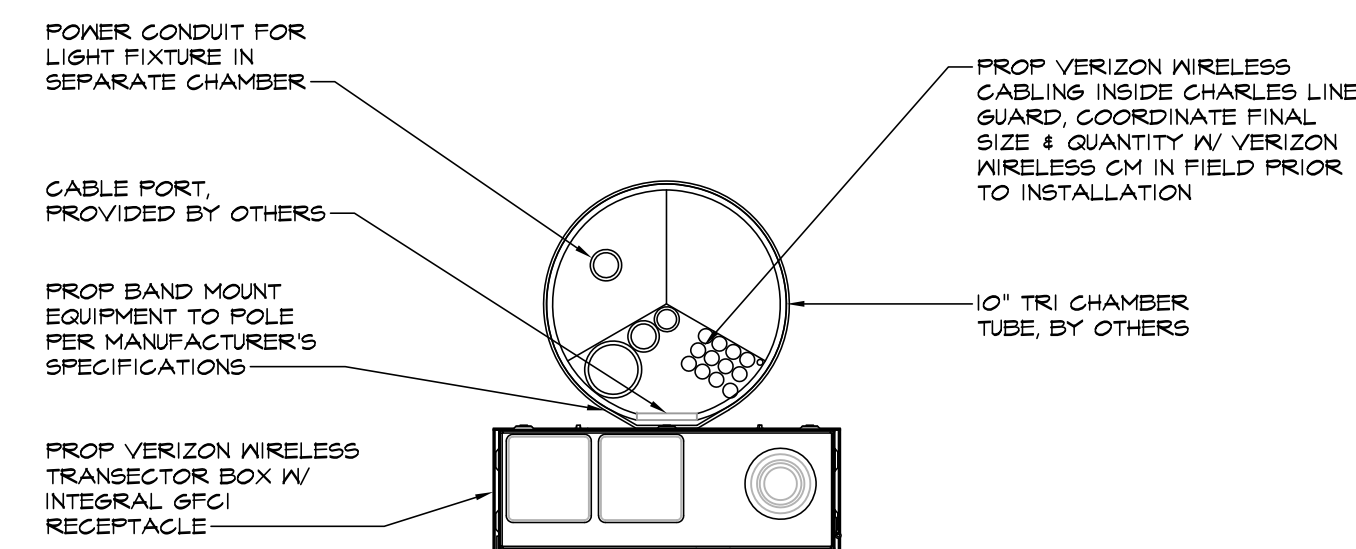
SHEET:
S-1S



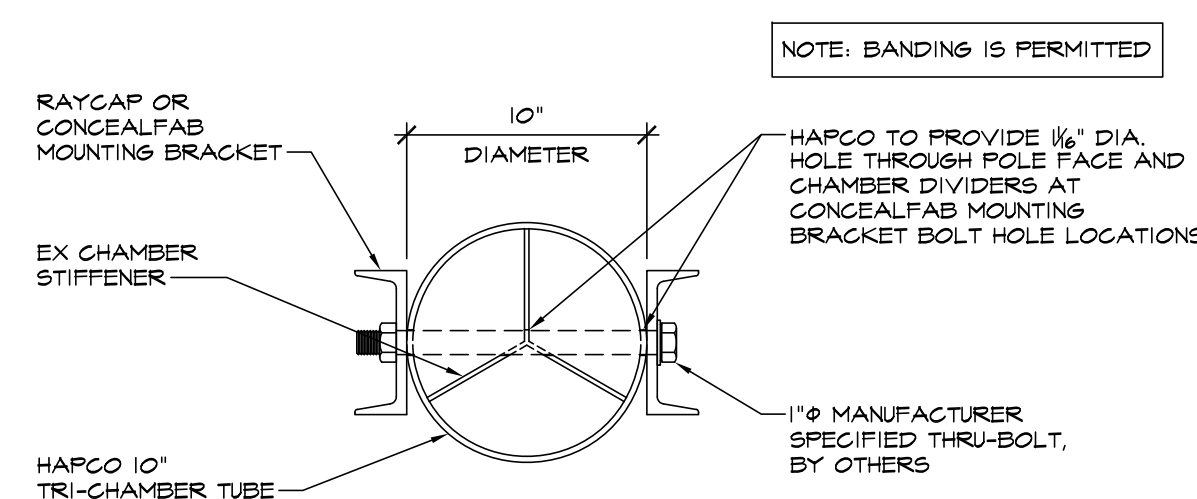
POLE EQUIPMENT FRONT ELEVATION
SCALE: 3/4" = 1'-0"



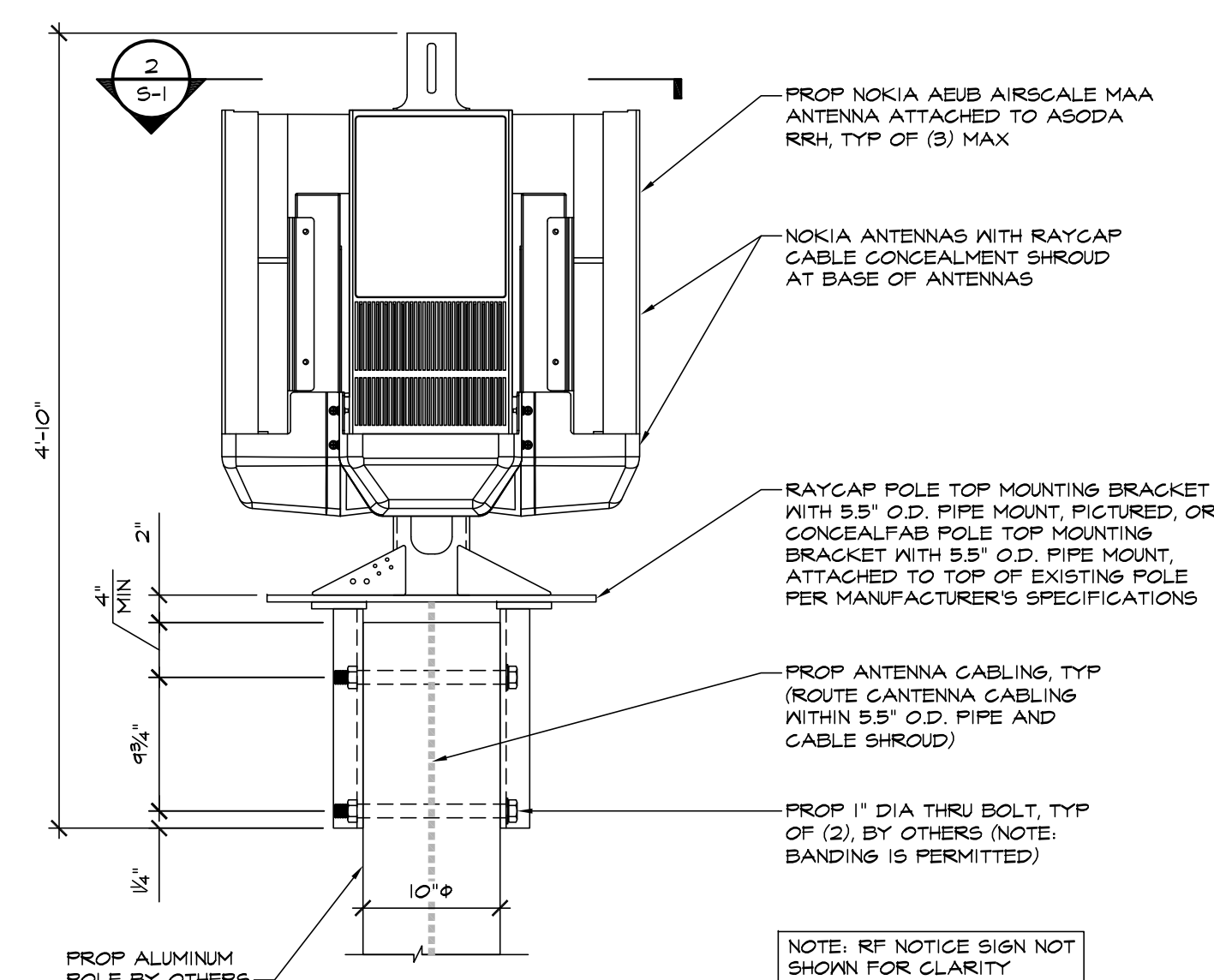
POLE EQUIPMENT SIDE ELEVATION
SCALE: 3/4" = 1'-0"



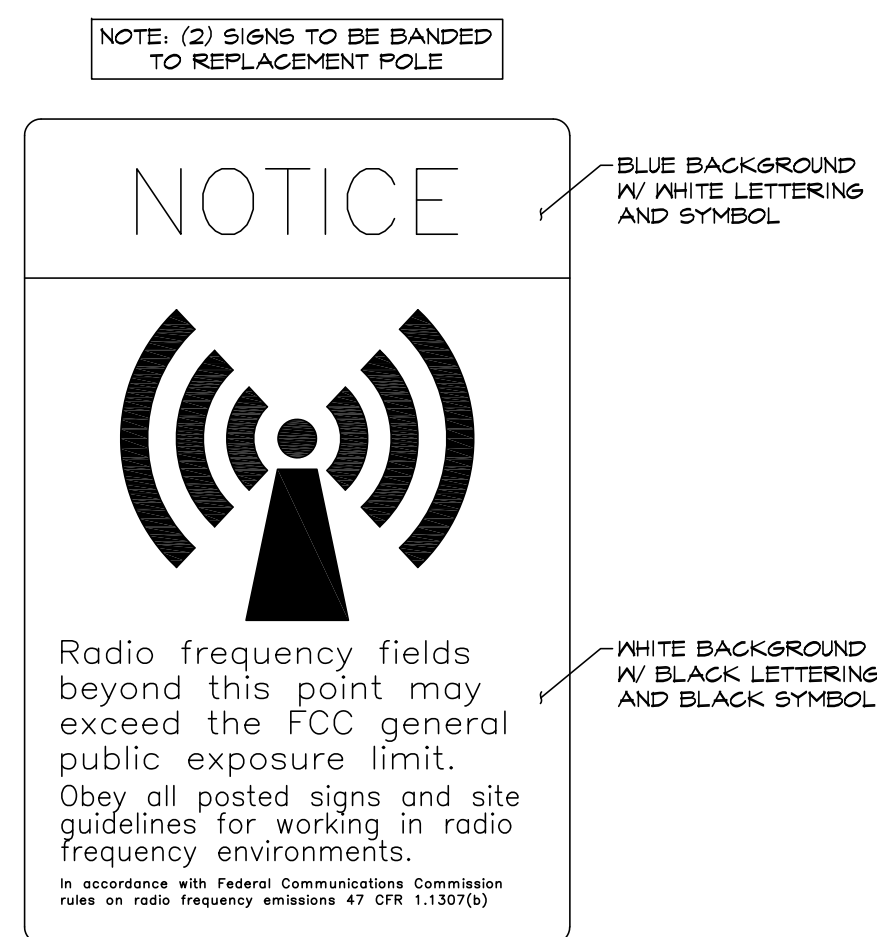
 **EQUIPMENT MOUNT**
SCALE: 1 1/2" = 1'-0"



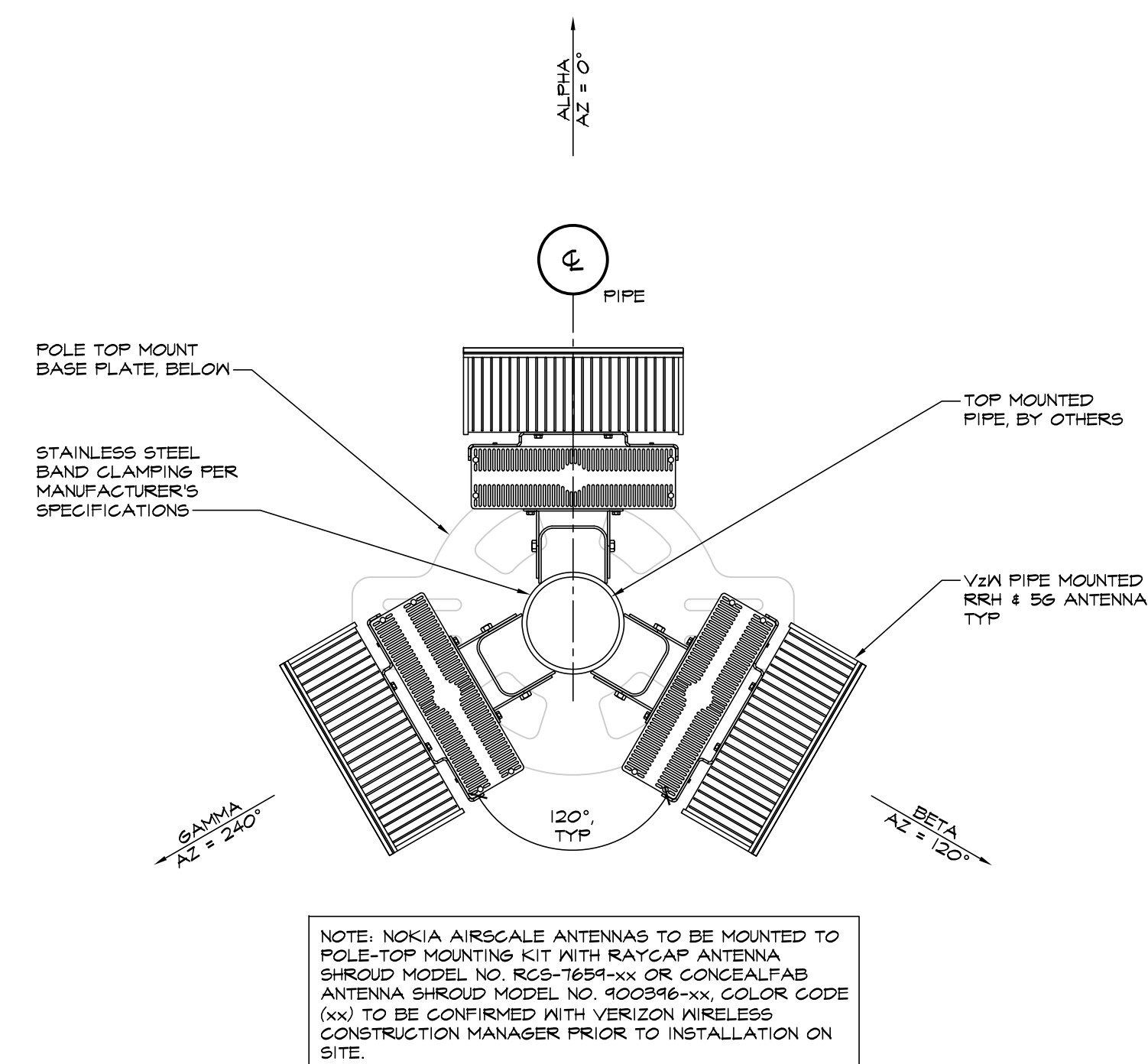
TYPICAL THRU-BOLTING DETAIL
SCALE: 1-1/2" = 1'-0"



5G PANEL ANTENNA MOUNT
SCALE: 1" = 1'-0"



RF NOTICE SIGN DETAIL
SCALE: 3" = 1'-0"



2
S-1

5G PANEL ANTENNA SECTION

SCALE: 1-1/2" = 1'-0"

VOLUMETRIC CALCULATIONS			
ANTENNA VOLUMETRIC CALCULATION		EQUIPMENT VOLUMETRIC CALCULATION	
NOKIA AEBJ (3 ANTENNAS, 0.83 CU FT EACH)	2.50 CU FT	TRANSECTOR BOX W/ INTEGRAL GFCI RESECTABLE CABLE TIEBBER 200 AMP RINGLESS HORN OVERHEAD METER SOCKET	1.17 CU FT
TOTAL	2.50 CU FT	NOKIA ASD/ASODA RRH (3 UNITS, 0.82 CU FT EACH)	0.96 CU FT
		TOTAL	2.67 CU FT



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ALEXANDRIA, VIRGINIA 22314 (CITY OF ALEXANDRIA)

[illegible]

DESIGNED BY:	RJD
DRAWN BY:	PG
PROJECT NO:	10421.2710
DATE:	11/11/2020
SCALE:	AS NOTED

TITLE:
**Structural
Sections &
Details
(Nokia Airscale)**

SHEET:

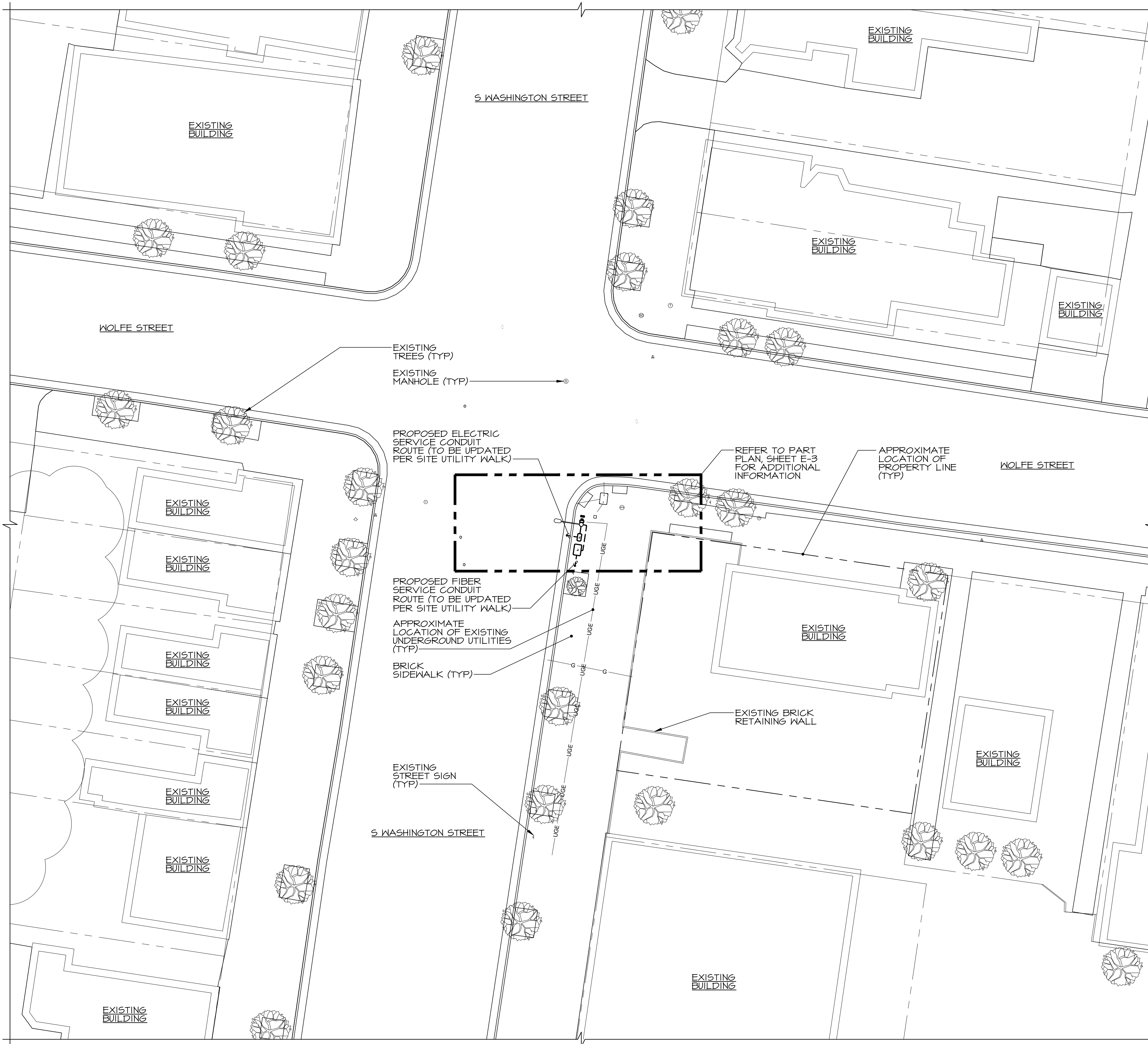
S-1N



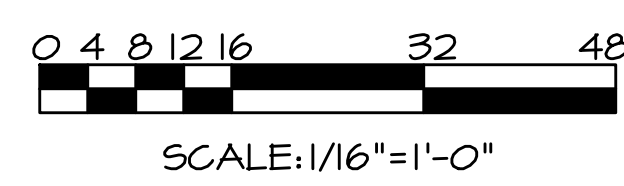
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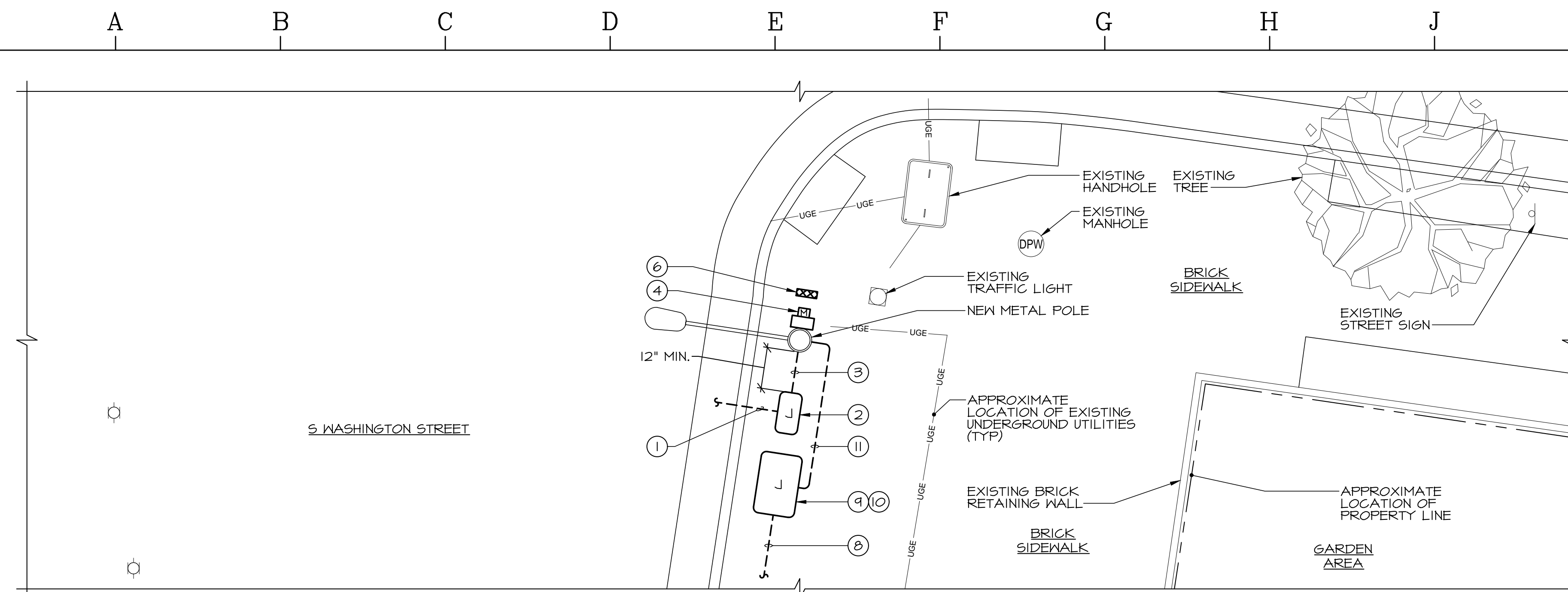
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CONSTRUCTION MUST BE DONE IN COMPLIANCE
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ACT OF 1970 AND ALL RULES AND REGULATIONS
THERE TO APPLICANT

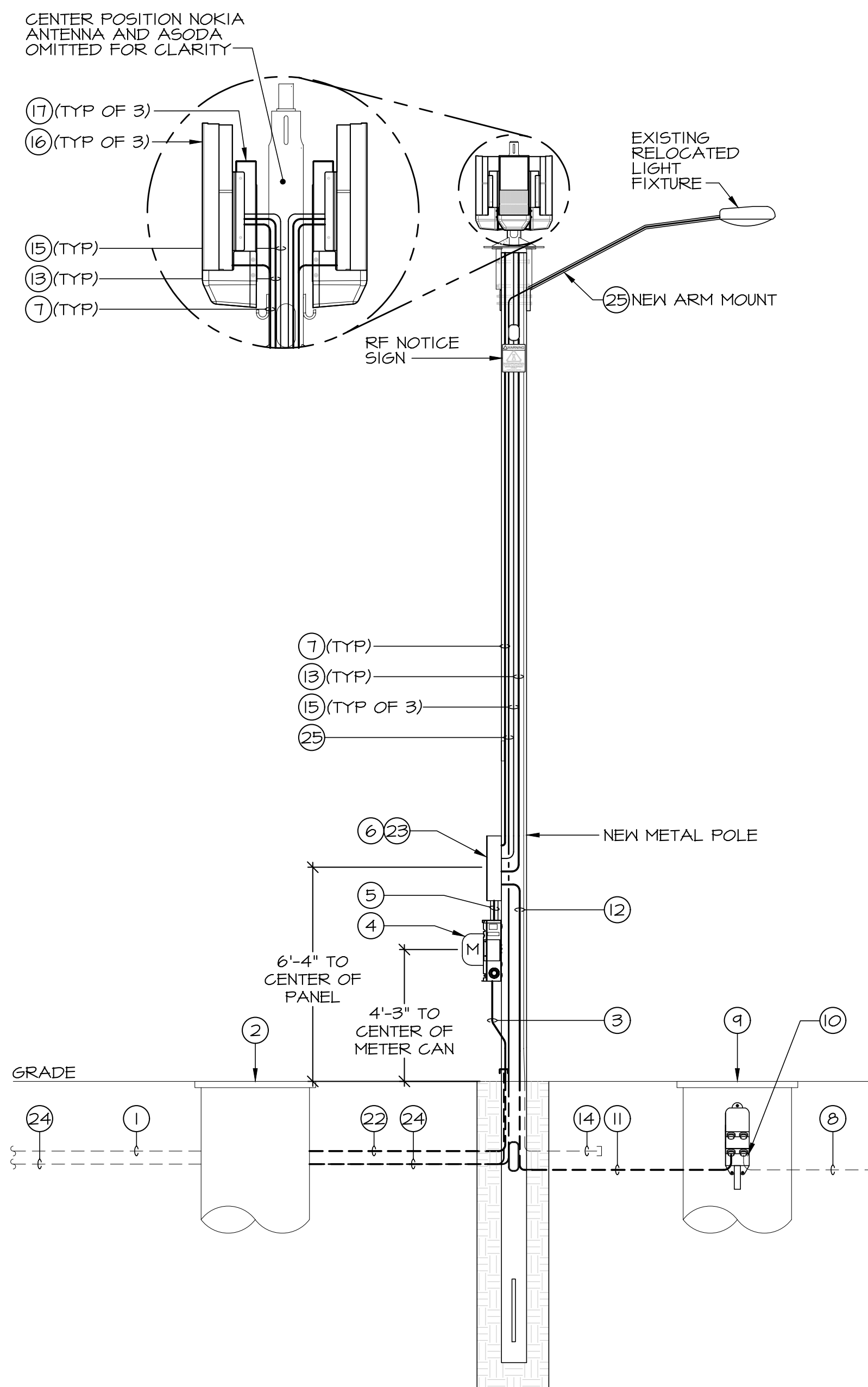
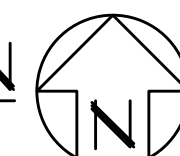


ROUTING SITE PLAN
SCALE: 1/16" = 1'-0"

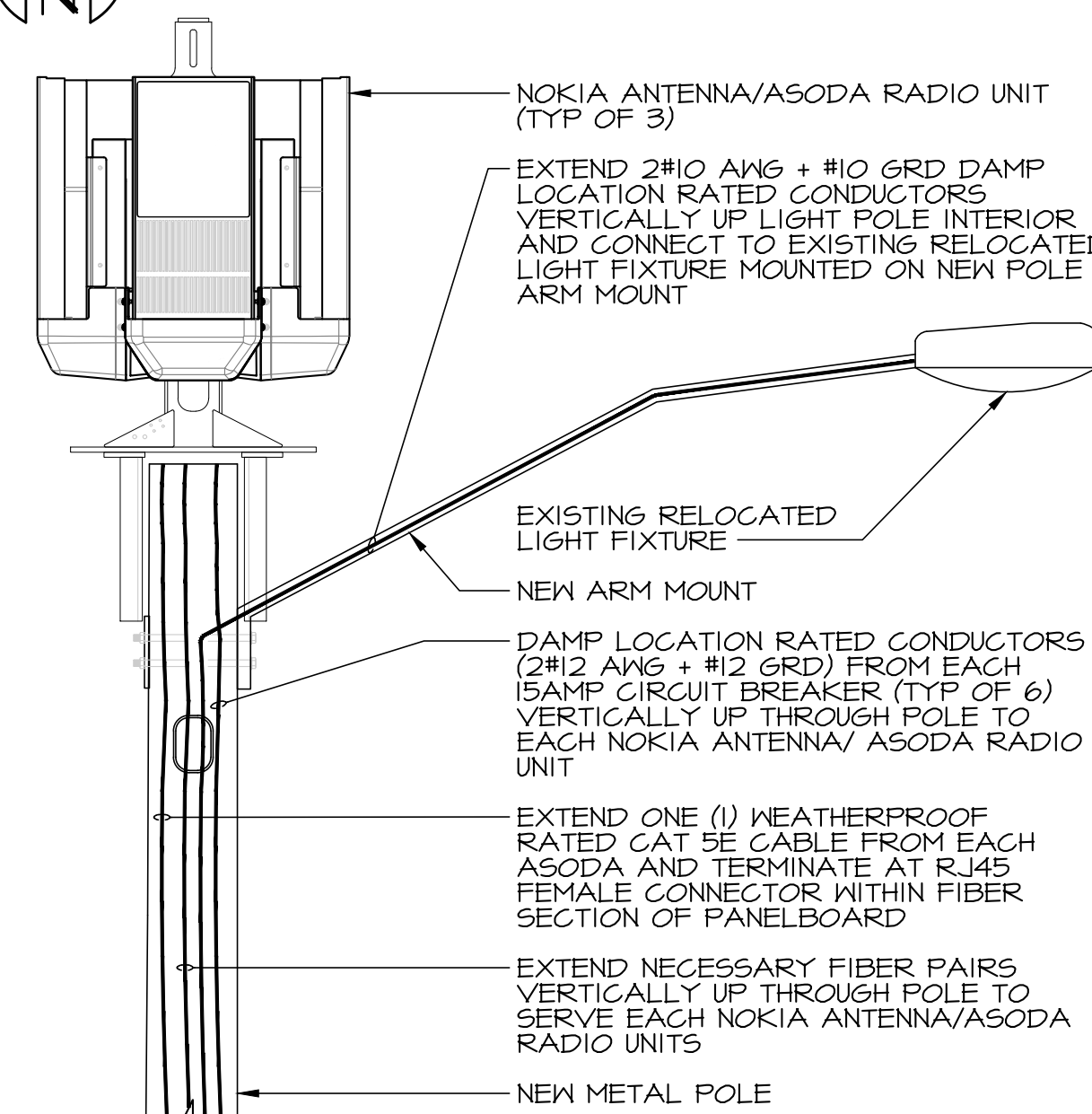




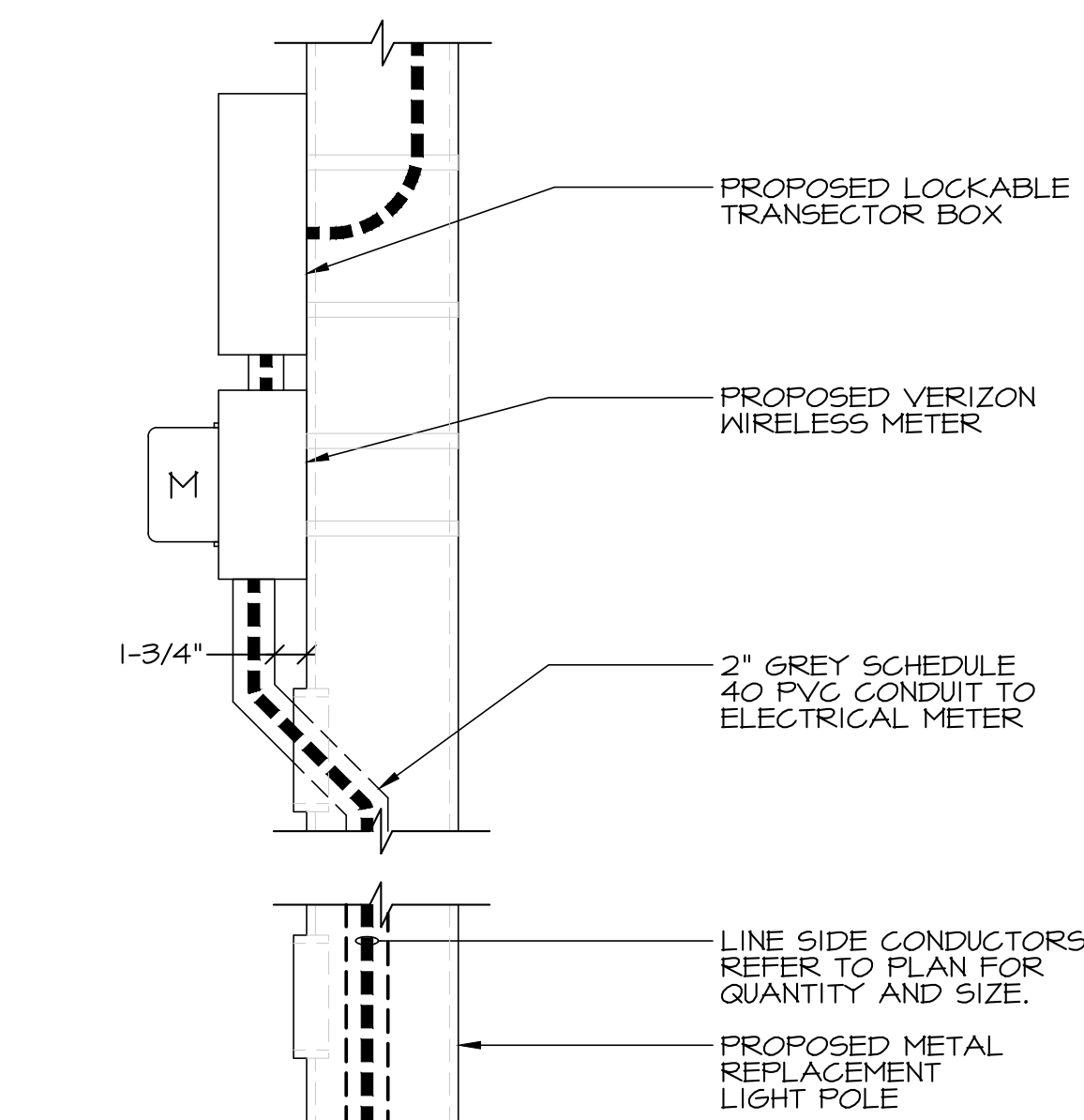
⑮⑯⑰ **POLE UTILITY PLAN**
SCALE: 1/4" = 1'-0"



⑮⑰⑱⑲ POWER RISER DIAGRAM
NO SCALE



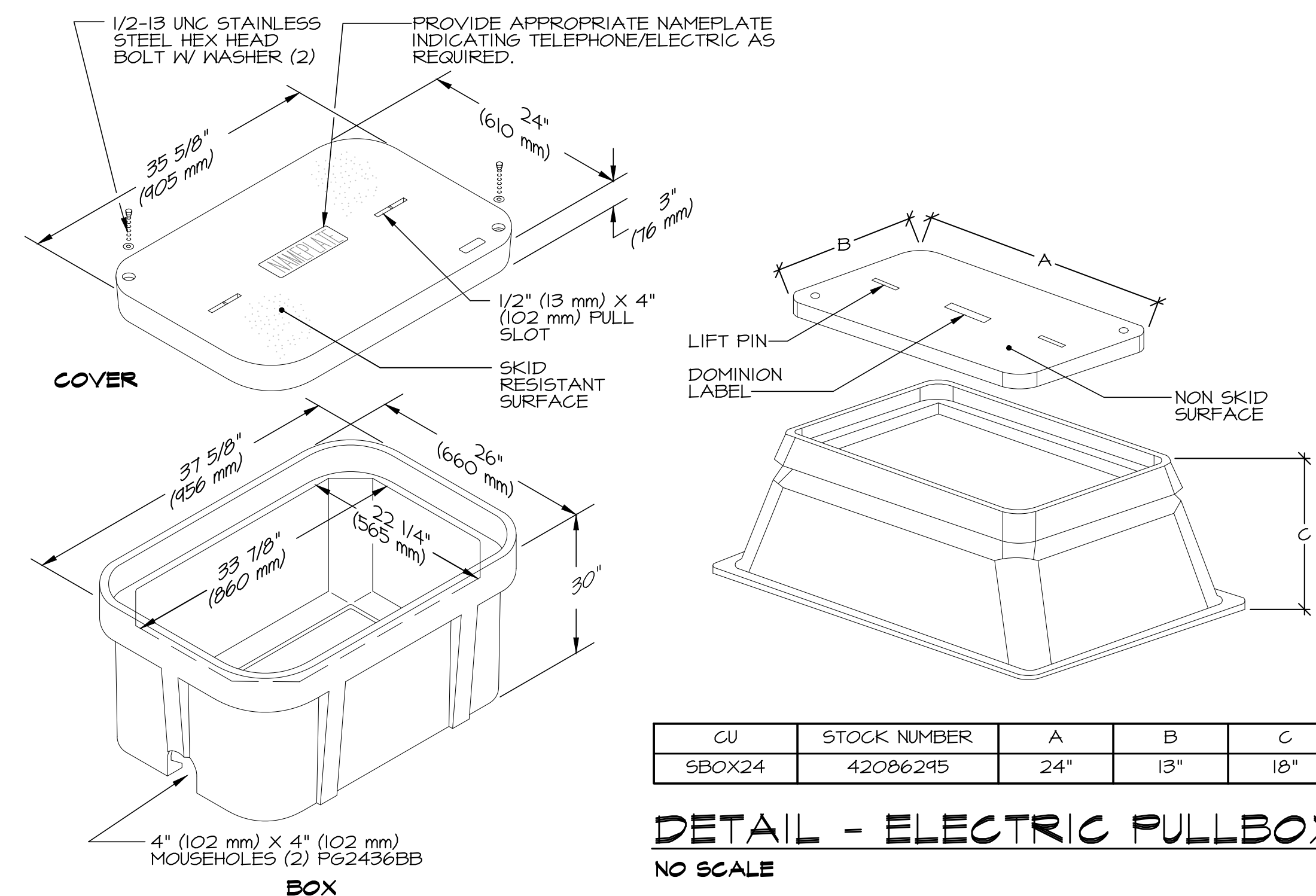
⑩⑪⑫ **DETAIL - POLE CABLING**
NO SCALE



DETAIL - VERTICAL UTILITY COMPANY CONDUIT
NO SCALE


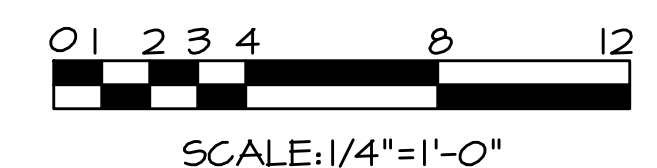
- ## DRAWING NOTES

- (1) CONTRACTOR SHALL EXTEND ONE (1) 2" SCHEDULE 40 PVC CONDUIT BELOW GRADE FROM LOCATION DETERMINED AT TIME OF POLE WALK TO POWER WORK TO UTILITY COMPANY JUNCTION BOX FOR EXTENSION OF ELECTRIC SERVICE CABLES BY UTILITY COMPANY. REFER TO TRENCH DETAIL, SHEET E-2. COORDINATE FINAL ROUTING WITH UTILITY COMPANY REPRESENTATIVE.
- (2) DOMINION PROVIDED, VERIZON WIRELESS CONTRACTOR INSTALLED 24"x13"x18" DEEP PULLBOX FOR EXTENSION OF ELECTRIC SERVICE CABLES. COORDINATE PULLBOX REQUIREMENTS/LOCATION WITH UTILITY COMPANY IN THE FIELD. REFER TO ELECTRIC PULLBOX DETAIL, THIS SHEET FOR ADDITIONAL INFORMATION.
- (3) EXTEND DAMP LOCATION RATED 3#1 + #6 GRD - 2" CONDUIT FROM METER CAN ON POLE, THROUGH 2" CONDUIT IN FOUNDATION TO ELECTRIC SERVICE HANDHOLE. COIL 3'-0" OF CONDUCTOR IN BOX.
- (4) PROVIDE WEATHERPROOF 200 AMP RATED UTILITY COMPANY METER CAN MOUNTED ON POLE PER MANUFACTURER'S AND UTILITY COMPANY SPECIFICATIONS. METER GLOBE PROVIDED AND INSTALLED BY UTILITY COMPANY. PROVIDE PHENOLIC NAMEPLATE READING "VERIZON WIRELESS".
- (5) EXTEND 3#1AWG + #6GRD - 2" CONDUIT FROM UTILITY COMPANY METER TO PROPOSED SERVICE ENTRANCE RATED PANELBOARD MOUNTED ON POLE.
- (6) PROVIDE AND INSTALL WEATHERPROOF SERVICE ENTRANCE RATED, 120/240 VOLT, 1Ø, 3W, 100 AMP M.C.B. PANELBOARD MOUNTED ON POLE. PROVIDE PHENOLIC NAMEPLATE READING, "VERIZON WIRELESS SERVICE DISCONNECT". REFER TO SPECIFICATIONS AND PANEL SCHEDULE, SHEET E-2 FOR ADDITIONAL INFORMATION.
- (7) EXTEND DAMP LOCATION RATED CONDUCTORS (2#12 AWG + #12 GRD) FROM EACH 15AMP CIRCUIT BREAKER (TYP OF 6) VERTICALLY UP THROUGH INTERIOR OF POLE TO EACH NOKIA ANTENNA/ASODA RADIO UNIT MOUNTED ON POLE (TYP OF 3). REFER TO PANEL SCHEDULE, SHEET E-2, FOR ADDITIONAL INFORMATION.
- (8) PROPOSED INCOMING FIBER CONDUIT TO FIBER HANDHOLE (PROVIDED AND INSTALLED BY OTHERS) FOR EXTENSION OF VERIZON FIBER.
- (9) VERIZON WIRELESS CONTRACTOR INSTALLED 24"x36"x30" DEEP JUNCTION BOX PROVIDED BY OTHERS FOR EXTENSION OF TELEPHONE SERVICE CABLES. PROVIDE 6" OF PEA GRAVEL IN BASE OF BOX. COORDINATE PULLBOX REQUIREMENTS/LOCATION WITH UTILITY COMPANY IN THE FIELD. REFER TO FIBER PULLBOX DETAIL, THIS SHEET FOR ADDITIONAL INFORMATION.
- (10) VERIZON LANDLINE PROVIDED AND INSTALLED OPTICSEATH MULTIPORT TERMINAL MOUNTED WITHIN FIBER HANDHOLE.
- (11) CONTRACTOR SHALL EXTEND ONE (1) 2" SCHEDULE 40 PVC CONDUIT FROM FIBER HANDHOLE TO POLE BASE FOR EXTENSION OF INCOMING VERIZON FIBER.
- (12) EXTEND ONE (1) 12-STRAND FIBER CABLE FROM POLE BASE VERTICALLY UP THROUGH INTERIOR OF POLE TO FIBER SECTION IN PANELBOARD MOUNTED ON POLE.
- (13) EXTEND NECESSARY FIBER PAIRS FROM FIBER SECTION IN PANELBOARD VERTICALLY UP THROUGH INTERIOR OF METAL POLE TO EACH ASODA RADIO UNIT MOUNTED ON METAL POLE.
- (14) PROVIDE 3/4" SCHEDULE 40 PVC SLEEVE FOR EXTENSION OF GROUND CONDUCTOR. REFER TO GROUNDING DETAILS, SHEET E-4 FOR ADDITIONAL INFORMATION.
- (15) EXTEND ONE (1) WEATHERPROOF RATED CAT 5E CABLE FROM EACH ASODA AND TERMINATE AT RJ45 FEMALE CONNECTOR WITHIN FIBER SECTION OF PANELBOARD. EACH CAT 5E CABLE MUST BE LABELED (TYP OF 3). REFER TO FIBER DIAGRAM DIAGRAM, SHEET E-5.
- (16) VERIZON WIRELESS PROVIDED, CONTRACTOR INSTALLED NOKIA ANTENNA MOUNTED ON POLE.
- (17) VERIZON WIRELESS PROVIDED, CONTRACTOR INSTALLED NOKIA ASODA RADIO UNIT MOUNTED BEHIND NOKIA ANTENNA ON POLE.
- (18) NOTE TO CONTRACTOR, ELECTRICAL CONDUCTORS BEING EXTENDED VERTICALLY UP INSIDE OF POLE TO SERVE NOKIA RADIOS SHALL BE DAMP LOCATION RATED CONDUCTORS.
- (19) CONTRACTOR SHALL REFER TO LATEST EDITION OF VERIZON WIRELESS FIBER DESIGN STANDARDS FOR FIBER QUANTITIES, ETC.
- (20) CONTRACTOR CONTRACTOR SHALL COORDINATE FINAL AVAILABLE SERVICE CHARACTERISTICS (VOLTAGE, PHASE, ETC.) WITH UTILITY COMPANY PRIOR TO START OF WORK. PREFERRED VOLTAGE IS: 120/240V, 1Ø, ACCEPTABLE VOLTAGE IS: 120/2Ø8V, 1Ø.
- (21) LINE SIDE CONDUIT MUST BE GREY 2" PVC AND EXTEND FROM ELECTRICAL PULL BOX TO METER CAN. CONDUIT MUST NOT CONTAIN "LB" FITTINGS ON LINE SIDE AND CAN NOT ENTER REAR OR SIDE OF METER CAN. CONDUIT MUST ENTER BOTTOM OF METER CAN.
- (22) CONTRACTOR SHALL PROVIDE AND INSTALL ONE (1) 2" SCHEDULE 40 PVC CONDUIT FROM POLE BASE TO PROPOSED ELECTRIC SERVICE HANDHOLE. REFER TO TRENCH DETAIL, SHEET E-2.
- (23) CONTRACTOR SHALL PROVIDE AND INSTALL ONE (1) MASTER LOCK BRASS 4 DIGIT PAD LOCK SET TO STANDARD VERIZON WIRELESS COMBINATION. PAD LOCK SHALL BE PLACED THROUGH CLASP ON LOAD CENTER PANEL TO PROHIBIT COVER FROM BEING OPENED. COMBINATION FOR MASTER LOCK IS THE STANDARD VERIZON WIRELESS FOUR DIGIT CODE. CONTRACTOR CANNOT INSTALL THE COMBINATION LOCK ON THE DISCONNECT UNTIL ALL INSPECTIONS ARE DONE AND FINAL.
- (24) VERIZON CONTRACTOR SHALL EXTEND ONE (1) 2" SCHEDULE 40 PVC CONDUIT FROM BASE OF POLE TO PROPOSED ELECTRIC HANDHOLE OR SHALL EXTEND ONE (1) 4" SCHEDULE 40 PVC CONDUIT BELOW GRADE FOR INTERCEPTION OF EXISTING LIGHT POLE LIGHTING CIRCUIT CONDUIT. REFER TO UTILITY CONDUITS DETAIL, E-2.
- (25) EXTEND 2#10 AWG + #10 GRD DAMP LOCATION RATED CONDUCTORS VERTICALLY UP LIGHT POLE INTERIOR AND CONNECT TO EXISTING RELOCATED LIGHT FIXTURE MOUNTED ON NEW POLE ARM MOUNT. COORDINATE FINAL ROUTING OF EXISTING/PROPOSED LIGHTING CIRCUIT WIRING WITH LIGHT POLE OWNER'S REPRESENTATIVE.

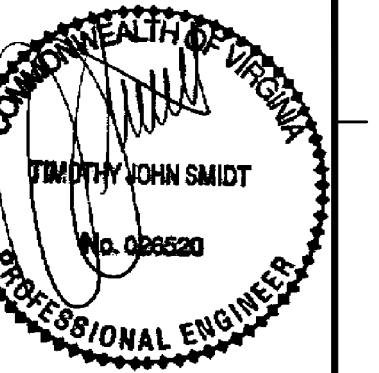


DETAIL - ELECTRIC PULLBOX
NO SCALE

CU	STOCK NUMBER	A	B	C
SBOX24	42086295	24"	13"	18"



TEI
TELESCENT ENGINEERING INC.
216 Commerce Road, Suite 1
Forest Hill, MD 21050
410-692-5816
www.tel-eng.com



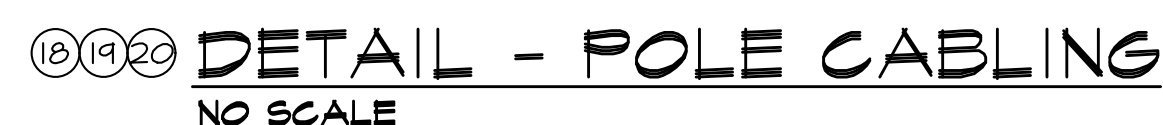
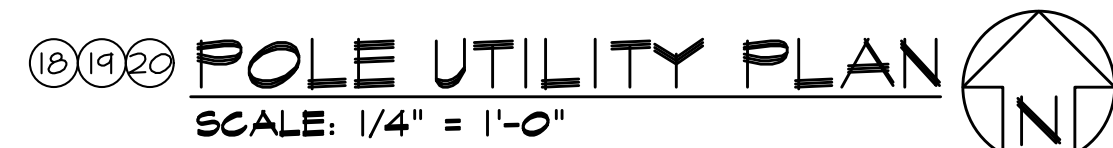
verizon
OLD TOWN 8 - C - SMALL CELL
ROW ADJACENT TO 400 S WASHINGTON STREET, ALEXANDRIA,
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VISIONS:	
DESCRIPTION	DATE
PERMIT DWGS.	12/14/20

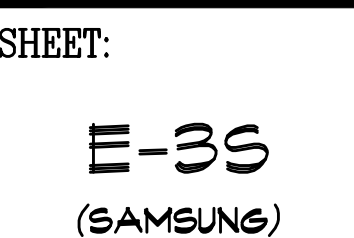
ST REV.:	
PROJECT NO:	20103W
DATE:	DECEMBER 14, 2020
SCALE:	AS NOTED
FILE:	
POWER PLANS, POWER RISER, DETAILS, AND NOTES	

MEET:

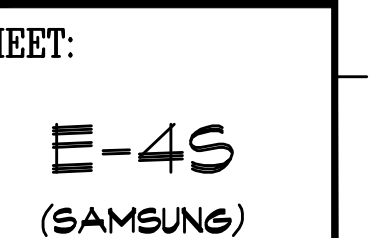
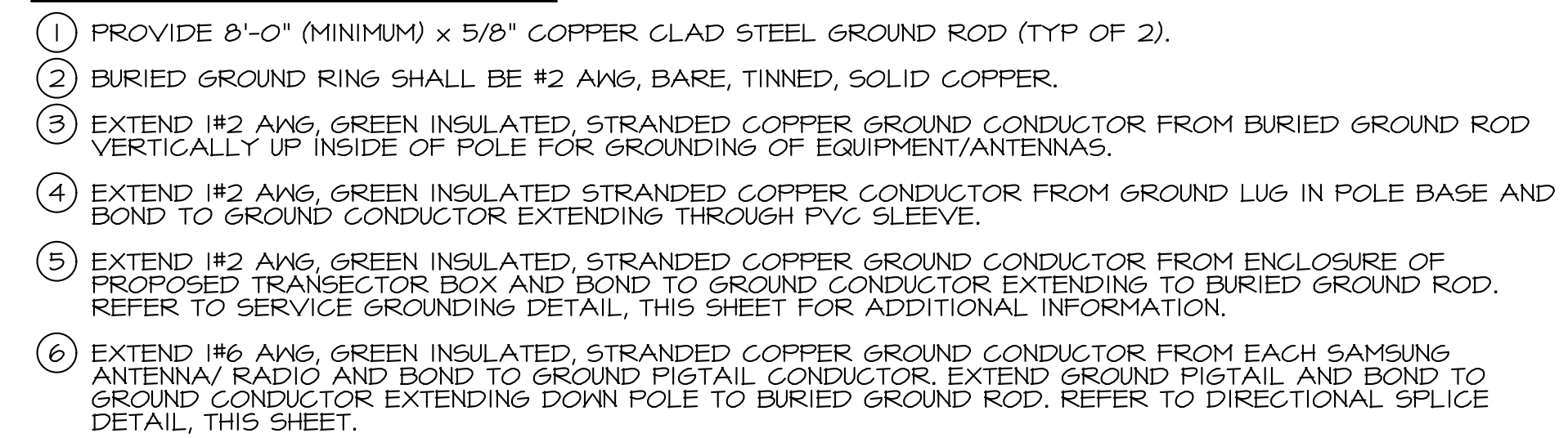
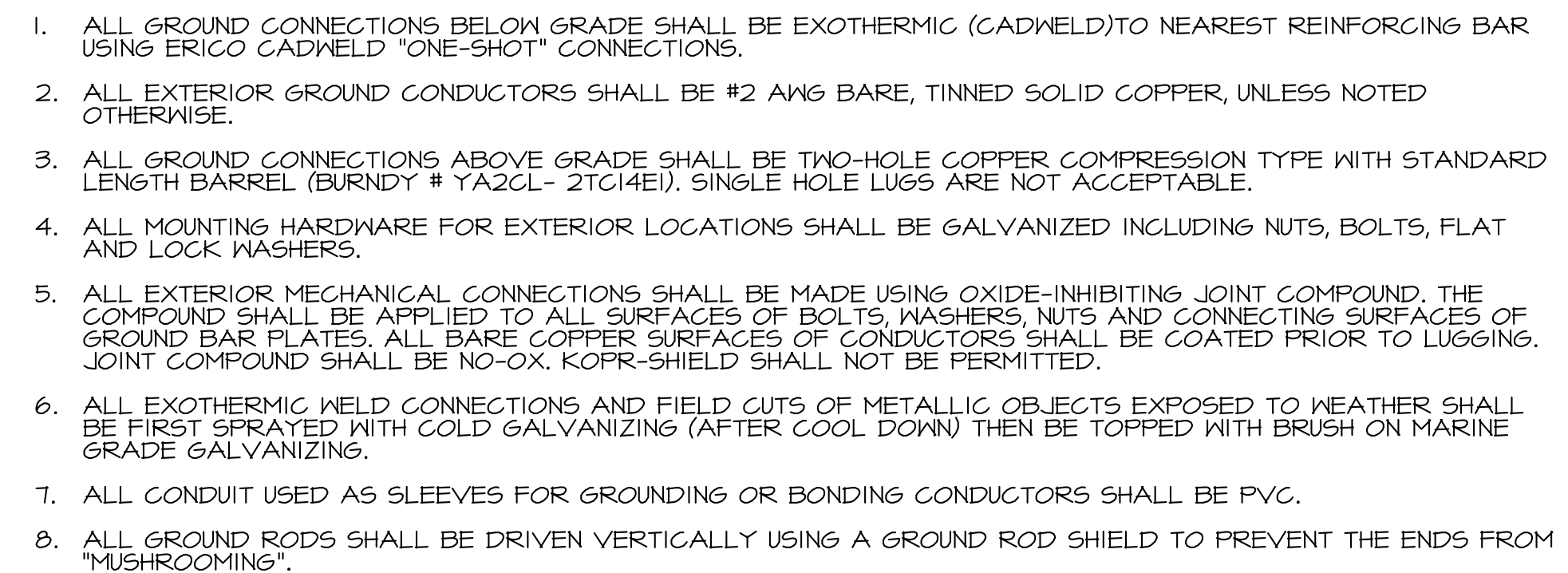
E-3N
(NOKIA)

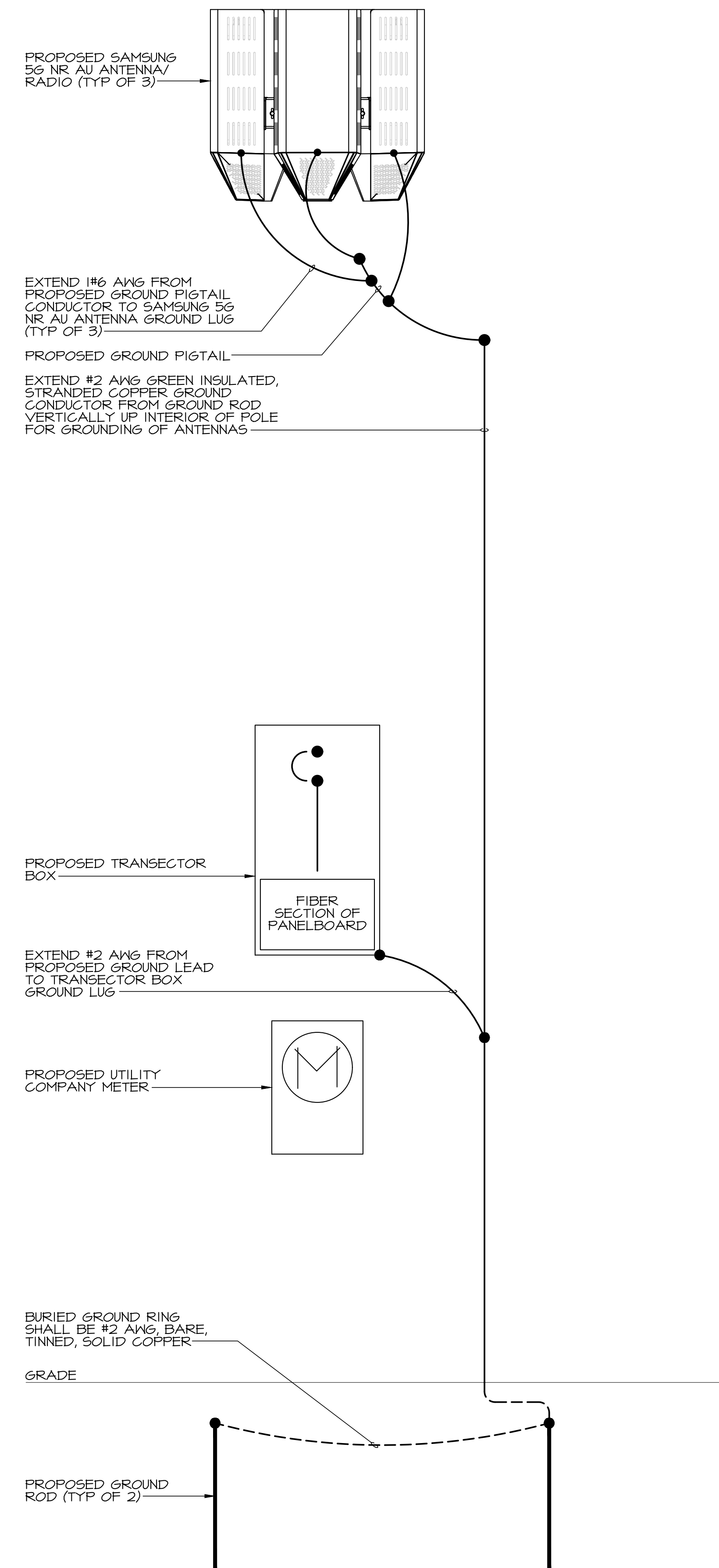
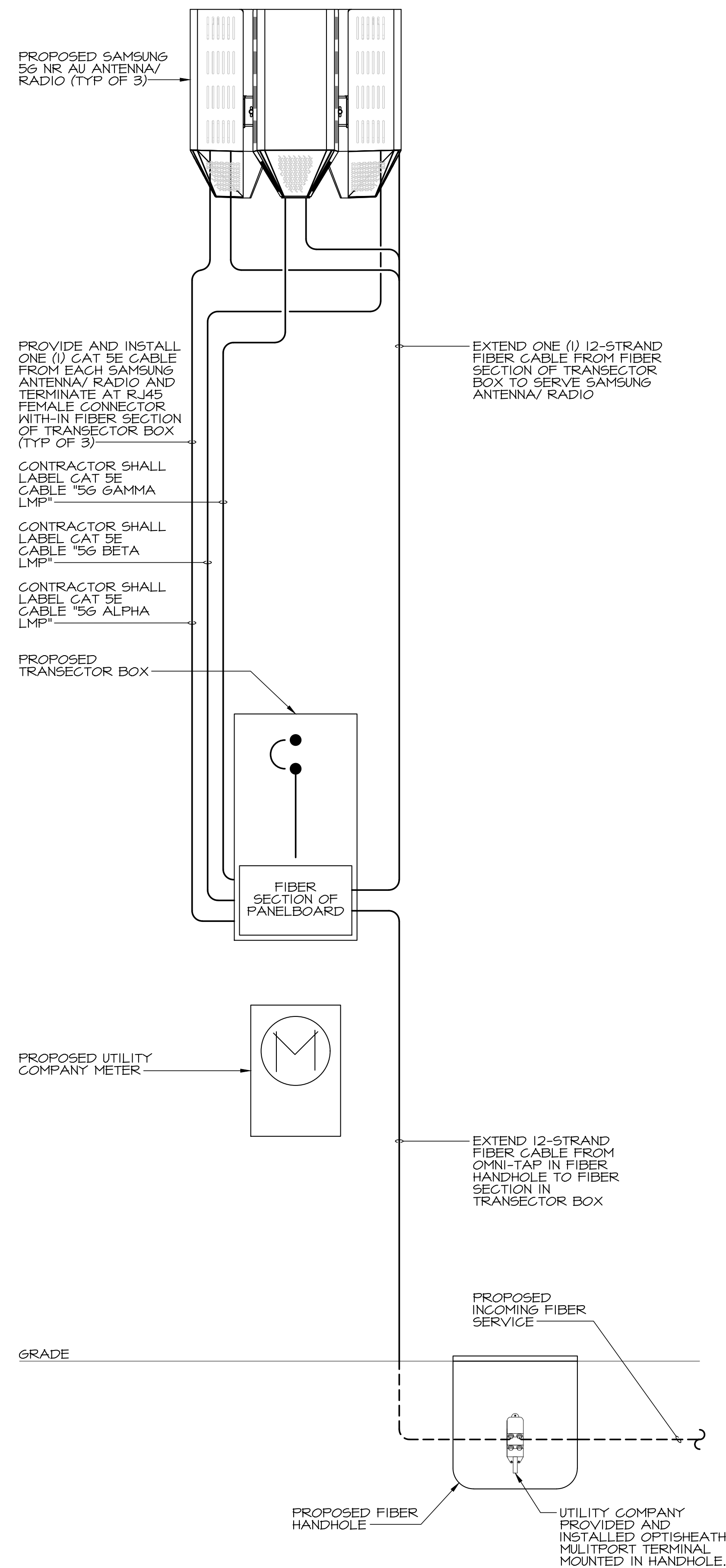
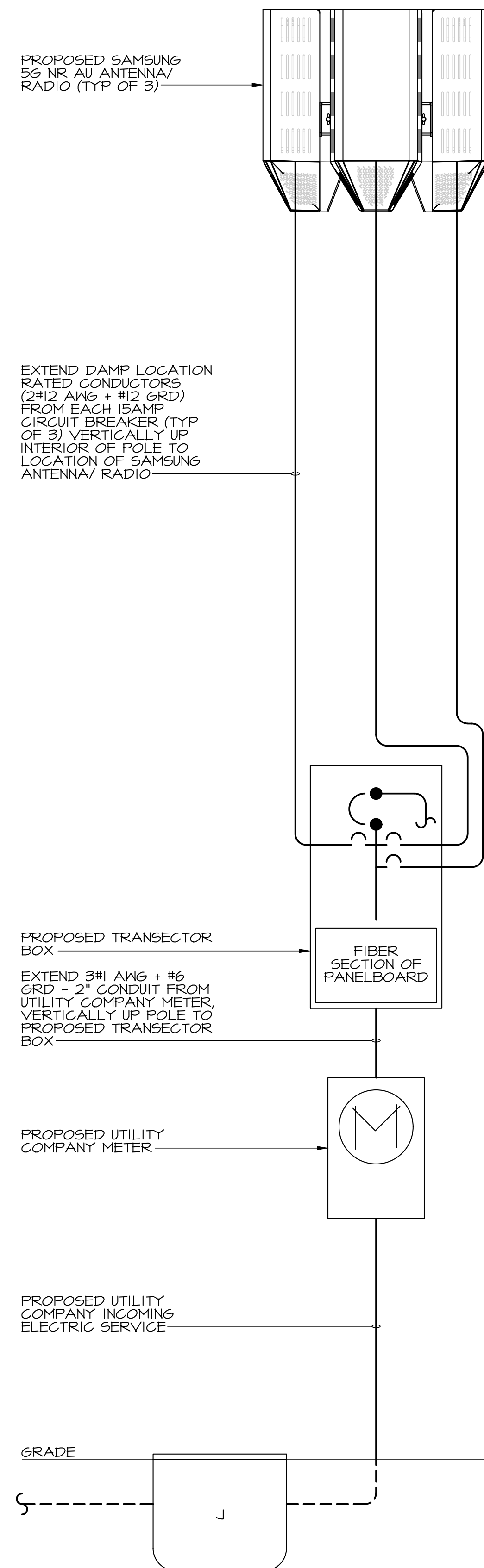




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 TELIGENT ENGINEERING INC 2216 Commerce Road, Suite 1 Forest Hill, MD 21050 410-692-5816 www.tei-eng.com		
		
<p style="font-size: 2em; margin: 0;">verizon</p> <p style="font-size: 3em; margin: 0;">OLD TOWN 8 - C - SMALL CELL</p> <p style="margin: 0;">RON ADJACENT TO 400 S WASHINGTON STREET, ALEXANDRIA, CITY OF ALEXANDRIA, VIRGINIA 22314</p>		
REVISIONS:		
NO.	DESCRIPTION	DATE
	PERMIT DWG#	(2/14/20)
LAST REV.:		
PROJECT NO: 20103W		
DATE: DECEMBER 14, 2020		
SCALE: AS NOTED		
TITLE: DIAGRAMS		
SHEET: <div style="text-align: center; font-size: 1.5em; font-weight: bold;">E-55</div> <div style="text-align: center;">(SAMSUNG)</div>		
TEI#20103W		



MORRIS & RITCHIE
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Old Town 8 - C Overall Site Layout

09 December 2020



Project # 10427.2710



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Old Town 8 - C

Existing View 1

09 December 2020



Project # 10427.2710



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Old Town 8 - C Proposed View 1

09 December 2020



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Old Town 8 - C Existing View 2

09 December 2020



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Old Town 8 - C Proposed View 2

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Old Town 8 - C Existing View 3

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