ISSUE:	Certificate of Appropriateness for alterations (small cell antenna)
APPLICANT:	Cellco Partnership dba Verizon Wireless
LOCATION:	Old and Historic Alexandria District Dominion Energy utility pole in right-of-way near 400 South Washington Street
ZONE:	CD/Commercial Downtown Zone

STAFF RECOMMENDATION

Staff recommends approval of the Certificate of Appropriateness, as submitted.

GENERAL NOTES TO THE APPLICANT

- 1. ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH: Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
- 2. APPEAL OF DECISION: In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
- 3. COMPLIANCE WITH BAR POLICIES: All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
- 4. BUILDING PERMITS: Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (<u>including signs</u>). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
- EXPIRATION OF APPROVALS NOTE: In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12month period.
- HISTORIC PROPERTY TAX CREDITS: Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the <u>Virginia</u> <u>Department of Historic Resources (VDHR)</u> prior to initiating any work to determine whether the proposed project may qualify for such credits.

Docket #4 BAR #2020-00626 Old and Historic Alexandria District February 3, 2021



I. <u>APPLICANT'S PROPOSAL</u>

The applicant is requesting a Certificate of Appropriateness to replace the existing metal pole in the right-of-way in front of the parcel at 400 South Washington Street with a new metal pole.

- The existing 32'- 7" high pole will be replaced with a new 38' high pole located within 2' of the existing pole.
- 5G small cell facility measuring approximately 3'8" high will be mounted on top of the pole.
- Proposed Verizon wireless transector box will be mounted on the pole, starting at 6'-4" from grade.
- Verizon wireless meter box and center panel will be mounted on the pole, starting at 4'-3" from grade. Cabling will be run through the hollow interior of the pole.
- Cubic volume of the antennas is 1.92 cubic feet.
- All features of the wireless facility will be color matched to the pole.
- All existing utilities and signage on the pole will be relocated to the new pole.

Site context

The subject pole sits at the southeast corner of Wolfe and South Washington streets in front of a one-story office building.

II. <u>HISTORY</u>

400 South Washington Street is a one-story brick office building that was constructed in 1955.

III. <u>ANALYSIS</u>

To address the growing demand for wireless services across the United States, telecommunication providers are increasing the capacity of their networks by deploying small cell wireless facilities within the public right-of-way to reduce the data traffic load on roof-mounted equipment and larger cell towers. Small cell facilities are low-powered antennas that provide wireless service coverage to a limited geographic area (often with ranges of a few hundred feet) and are used to supplement and expand the coverage provided by the traditional, larger-scale network. The next generation of small cell wireless facilities, known as 5G, is currently being installed across the city. The new 5G networks will not just serve cellphones, but also be used as general internet service providers for laptops, desktop computers, smart home digital devices, urban infrastructure monitoring, smart traffic control, remote health monitoring, emergency monitoring and notification systems, connected and autonomous vehicles, and many more applications.

In the past several years, Federal and State legislation has been enacted to further streamline the local approval process for cellular facilities, shortening the approval time and limiting jurisdictions' authority. In 2017, and again in March 2020, City Council approved amendments to the zoning ordinance to ensure compliance with these laws.

In June 2019, the BAR approved the first small cell facilities in the historic district and shortly after adopted a BAR administrative policy for approval of certain small cell facilities (4G) in the historic districts. To date, a total of 12 small cell facilities have been approved in the historic districts, either by the BAR at public hearing or administratively by staff. City Council has recently approved license agreements for some of the wireless carriers and the City has seen a sharp increase in the number of applications for small cell facilities. Because the design of the antennas has evolved since the BAR administrative policy was adopted in June 2019, BAR staff proposed amendments to the policy to allow for more administrative approvals at the Board's April 22, 2020 electronic hearing (conducted electronically due to the Covid-19 emergency) at which time the Board tabled proposed amendments and rescinded the administrative policy. As a result, at this time all small cell facilities must now be approved by the BAR at public hearing.

A Certificate of Appropriateness is required in the historic districts under Section 10-103 (A) and 203(A) of the zoning ordinance, which state that "No building or structure shall be erected, reconstructed, altered or restored within the Old and Historic Alexandria District unless and until an application for a certificate of appropriateness shall have been approved..."

While this is the first time the BAR is seeing a replacement metal pole staff has no objection to the modestly taller pole or the installation of the small cell facility equipment in this location. The metal poles are hollow allowing for the conduit to run through the interior of the pole, which results in a more streamlined appearance. The new equipment will also be color matched to the pole to help provide a degree of camouflage. The existence of utility poles and overhead wires, street signs, and light poles in the rights of way are part of the urban streetscape, and staff does not believe that the installation of the modestly taller pole with the small cell equipment and an overall height of 40'-2" will adversely impact the integrity of the historic district. Staff notes that the current pole is not listed in the licensing agreement the applicant has with the City but will be covered by the franchise agreement which will be brought to City Council for approval this fall. Further, the applicant must apply for a Right-of-Way permit through T&ES at which time staff will inspect the location and develop specific conditions. They will consider such things as ADA accessibility, sidewalk widths, tree conflicts and location of equipment boxes.

Staff recommends approval of the application, as submitted.

STAFF

Marina Novaes, Historic Preservation Planner, Planning & Zoning Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. <u>CITY DEPARTMENT COMMENTS</u>

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

F-1 Height of the pole shall not exceed 50.00 feet without a Special Use Permit. Pole height is 38' 0" feet and overall height is 41' 0"

- F-2 Pole must be in the same general location as existing pole. In Compliance
- F-3 The replacement pole is not located in a manner that requires the removal of an existing tree or impacts of root zone. Pole will not require a tree to be removed
- F-4 Replacement people shall be located that meets ADA requirements that do not impede or hinder pedestrian or vehicular travel. In Compliance
- F-5 Wireless facility shall be painted to match similar infrastructure on the block or earth tone color.Plans indicate facility to be wood pole with equipment painted brown

(ZAP2020-00369)

Code Administration

No Code comments.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
 <u>For a Public Alley -</u> The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
 <u>For a Private Alley</u> The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-4 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-5 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

No archaeological oversite required.

National Park Service

No comments received.

V. <u>ATTACHMENTS</u>

1 – *Application Materials*

2 – Supplemental Materials

	BAR Case #
ADDRESS OF PROJECT: ROW adjacent to 400 S Washington S	it
DISTRICT: Old & Historic Alexandria 🗌 Parker – Gray	☐ 100 Year Old Building
TAX MAP AND PARCEL: 074.04-10-01	zoning: CD
APPLICATION FOR: (Please check all that apply)	
CERTIFICATE OF APPROPRIATENESS	
PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMO (Required if more than 25 square feet of a structure is to be demolished/im	
WAIVER OF VISION CLEARANCE REQUIREMENT and/or CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordina	
WAIVER OF ROOFTOP HVAC SCREENING REQUIREME (Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)	NT
Applicant: Property Owner Business (Please provide and provide an	. ,
City: Columbia State: MD Zip: 2	21046
	cola@mastec.com
Authorized Agent (if applicable): Attorney	_{ct} <u>Agent</u>
_{Name:} Joshua Schakola	Phone: 703-969-9309
E-mail: joshua.schakola@mastec.com	
Legal Property Owner:	
Name: Dominion Virginia Energy	
Address: 3072 Centreville Rd	
City: Herndon State: VA Zip: 2	20171
Phone: 571-203-5332 E-mail:	nenergy.com
Yes No Is there an historic preservation easement on this Yes No If yes, has the easement holder agreed to the properties of the properties	oposed alterations? erty?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

BAR	Case	#
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NATURE OF PROPOSED WORK: Please check all that apply

	NEW CONSTRUCTIO)N		
х	EXTERIOR ALTERAT	ION: Please check all that app	oly.	
	🗌 awning	fence, gate or garden wall	HVAC equipment	shutters
	🗌 doors	windows	siding	🗌 shed
	lighting	pergola/trellis	painting unpainted masonry	1
	other Antenna			
	ADDITION			
$\overline{\Box}$	DEMOLITION/ENCAPSU	JLATION		
П	SIGNAGE			
	01010102			
DES	SCRIPTION OF PRO	POSED WORK: Please des	scribe the proposed work in deta	ail (Additional pages may
be at	tached).			

Install small cell antennas and associated equipment on a replacment metal light pole in the public right of way.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.

N/.

Survey plat showing the extent of the proposed demolition/encapsulation.

Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.

Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.

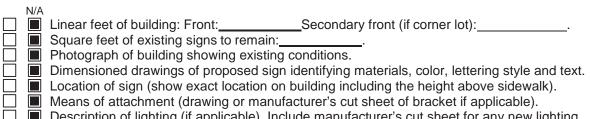
- Description of the reason for demolition/encapsulation.
- Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

BAR Case # _

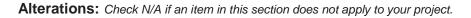
Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted
equipment. FAR & Open Space calculation form.
Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
Existing elevations must be scaled and include dimensions.
Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.



Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.



- N/A □ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
 - An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
 - Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: Please read and check that you have read and understand the following items:

- ☑ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature:	Joshua Schakola
Printed Name:	Joshua Schakola

Date: 1/11/21

OWNERSHIP AND DISCLOSURE STATEMENT Use additional sheets if necessary

<u>1. Applicant.</u> State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Cellco Partnership dba Veri	10170 Junction Drive, Annapolis Junction, MD 20701	n/a
2.		
3.		

2. <u>Property.</u> State the name, address and percent of ownership of any person or entity owning an interest in the property located at ______(address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
¹ Cellco Partnership dba Veri	10170 Junction Drive, Annapolis Junction, MD 20701	n/a
2.		
3.		

3. <u>Business or Financial Relationships.</u> Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. n/a	n/a	n/a
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

1/11/21	Joshua Schakola	Joshua Schakola
Date	Printed Name	Signature

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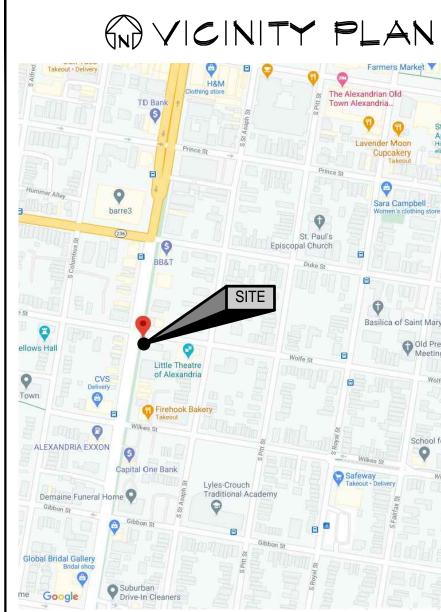
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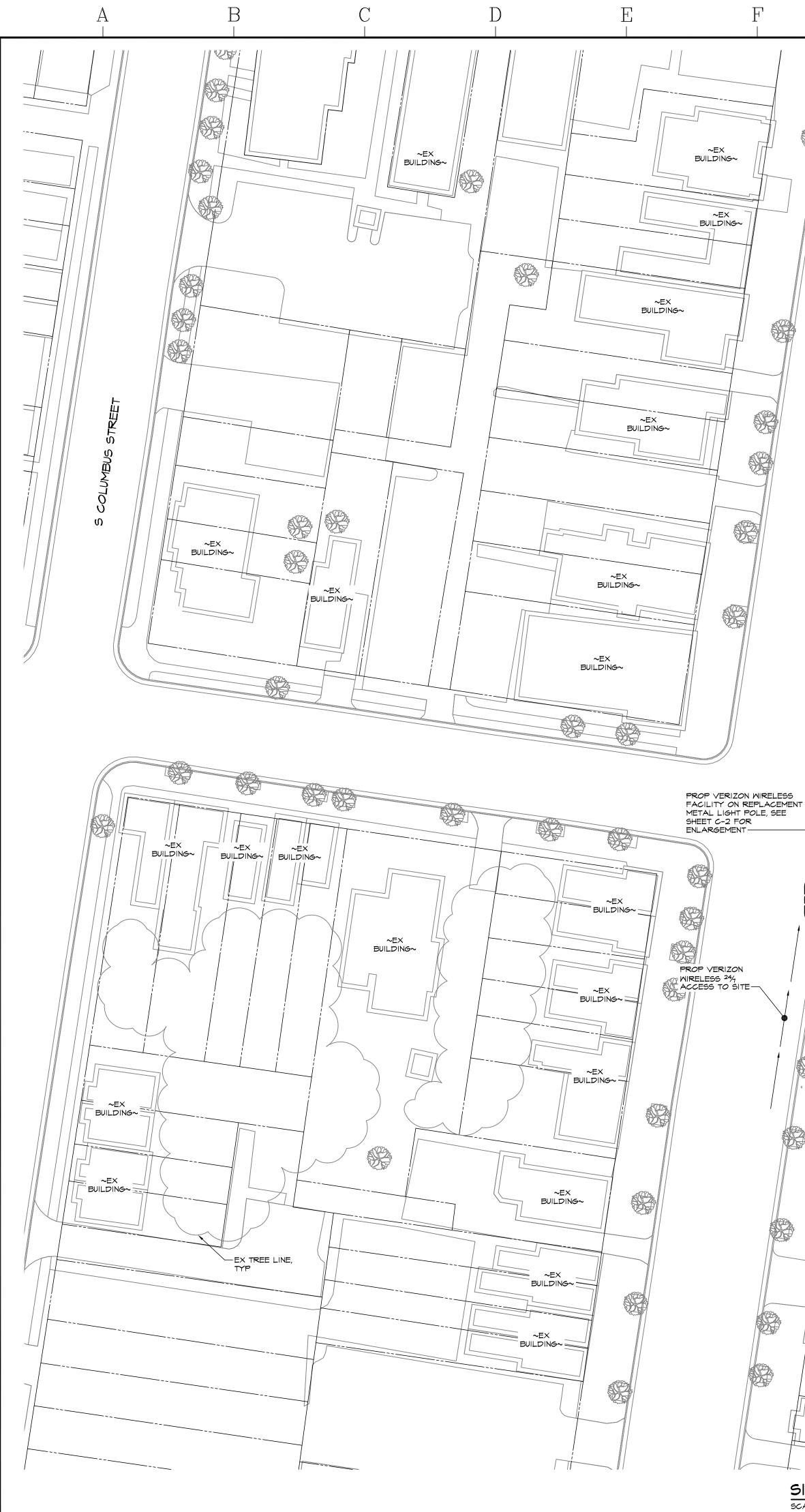
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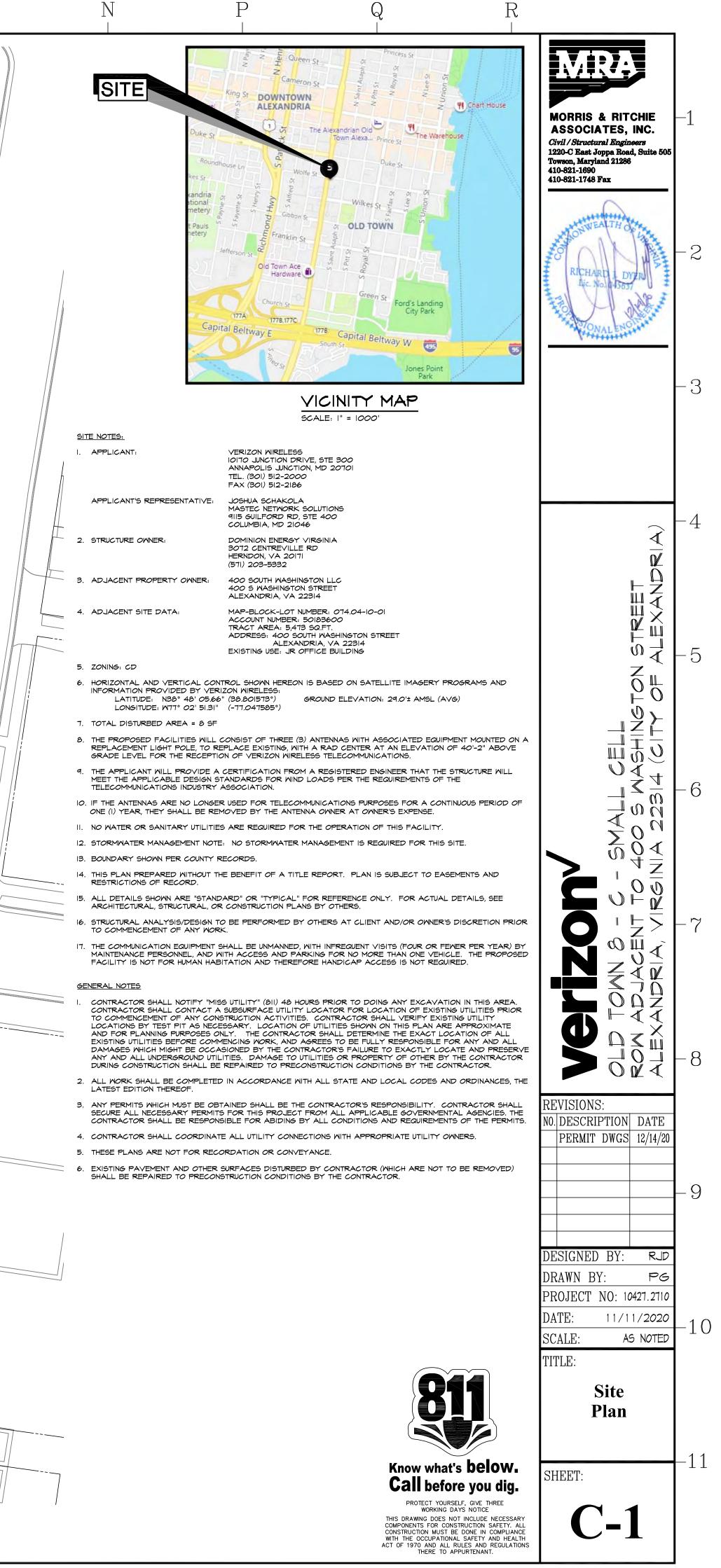
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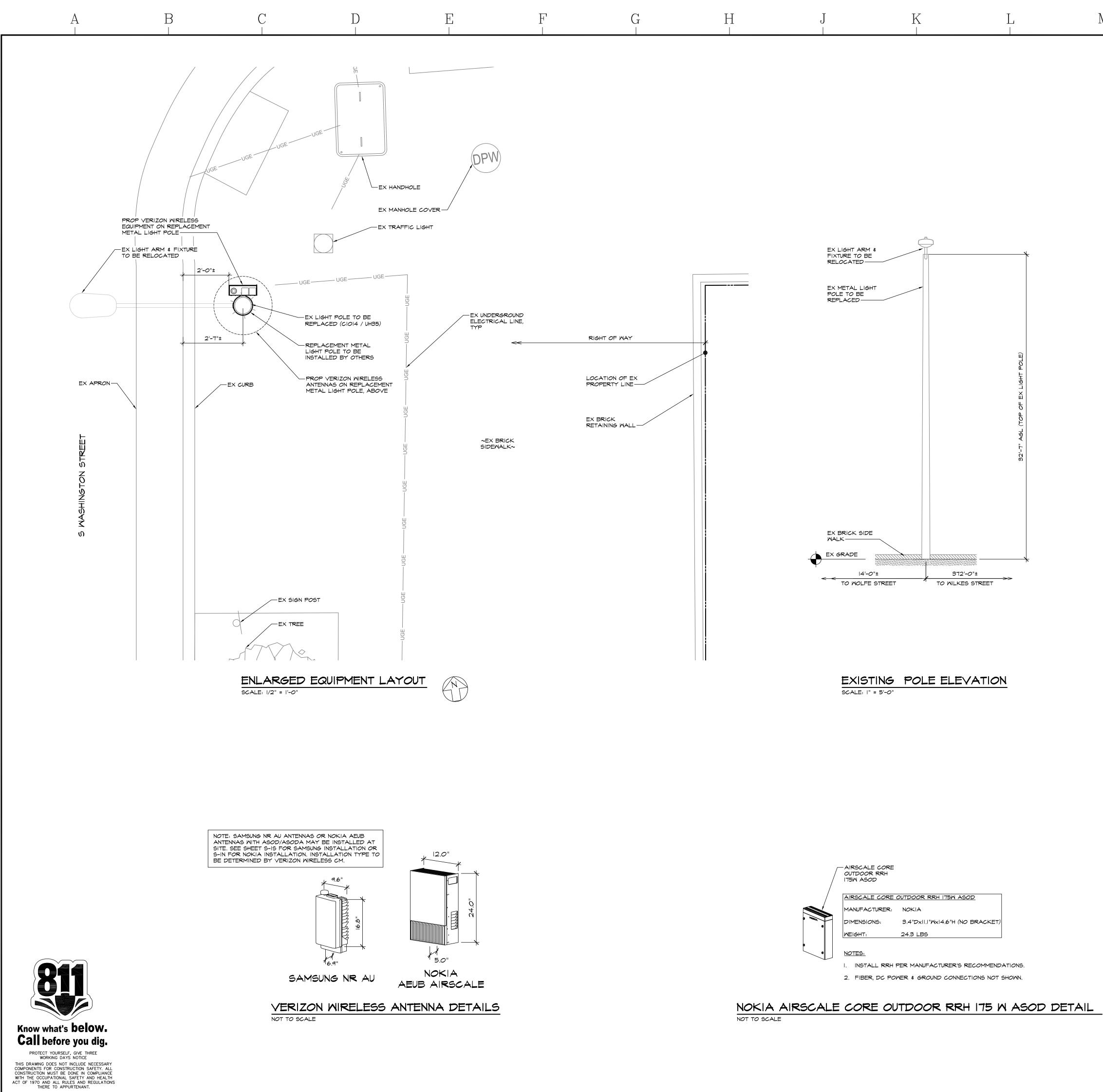
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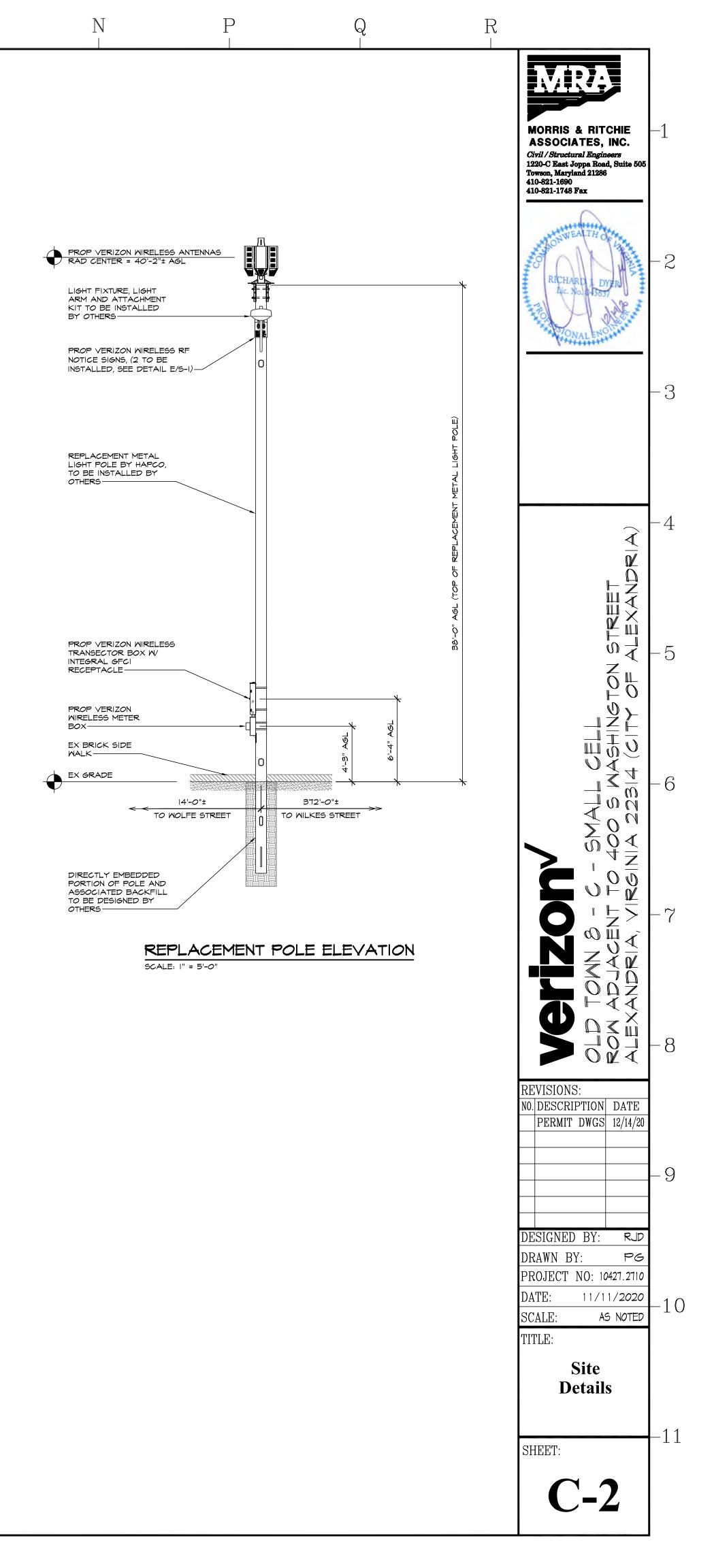
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TRANSPORTATION MANAGEMENT PLAN TEMPORARY TRAFFIC CONTROL PLAN NOTES & WORK AREA PROTECTION MANUAL TTC'S

PROJECT INFORMATION

- 1. THE PROJECT'S TMP PLAN HAS BEEN DESIGNED IN CONFORMANCE WITH TMP TYPE A.
- 2. WORK ZONE AREAS SHALL BE SETUP AS SHOWN ON TTC'S ON THIS PLAN SHEET. THE WORK ZONE LENGTHS AND WIDTHS MAY VARY BY LOCATION IN ACCORDANCE WITH APPLICABLE TTC.
- 3. CONSTRUCTION HOURS: 9AM-3:30PM MONDAY-THURSDAY. 9AM-2PM FRIDAY. NO WORK ON NIGHTS. WEEKENDS OR HOLIDAYS. NO LANE CLOSURES WILL BE ALLOWED FROM NOON ON THE DAY BEFORE A HOLIDAY UNTIL NOON ON THE WORKDAY FOLLOWING THE HOLIDAY. HOLIDAYS INCLUDE ALL STATE AND FEDERAL HOLIDAYS
- 4. EXISTING INTERSECTIONS: THE NEAREST INTERSECTIONS ARE WOLFE STREET AND S WASHINGTON STREET. ALL EXISTING INTERSECTIONS ARE TO REMAIN OPEN AND FUNCTIONAL DURING CONSTRUCTION.
- EXISTING PEDESTRIAN ACCESS POINTS: THERE IS EXISTING SIDEWALK LOCATED WITHIN THE PROJECT LIMITS.
- EXISTING BUS STOPS: THERE ARE NO BUS STOPS NEAR THE PROJECT LIMITS.
- EXISTING ENTRANCES: THERE ARE NO EXISTING ENTRANCES WITHIN THE CONSTRUCTION LIMITS
- 5. THE TRAFFIC ON THE ROADWAY CONSIST PRIMARILY OF PASSENGER VEHICLES. THE SURROUNDING AREA IS RESIDENTIAL
- 6. THE CONTRACTOR SHALL:

DESIGNATE A PERSON ASSIGNED TO THE PROJECT WHO WILL HAVE THE PRIMARY RESPONSIBILITY, WITH SUFFICIENT AUTHORITY, FOR IMPLEMENTING THE TMP/SOC AND OTHER SAFETY AND MOBILITY ASPECTS OF THE PERMITTED WORK. THIS PERSON SHALL COORDINATE WITH THE VDOT INSPECTOR FOR THE DURATION OF CONSTRUCTION.

ENSURE THAT PERSONNEL IMPLEMENTING THE MOT ARE TRAINED IN TRAFFIC CONTROL TO A LEVEL COMMENSURATE WITH THEIR RESPONSIBILITY IN ACCORDANCE WITH VDOT'S WORK ZONE TRAFFIC CONTROL TRAINING GUIDELINES.

INFORM VDOT OF ANY WORK REQUIRING LANE SHIFTS, LANE CLOSURES, AND/OR PHASE CHANGES A MINIMUM OF TWO WORKING DAYS PRIOR TO IMPLEMENTING THIS ACTIVITY

PERFORM REVIEWS OF THE CONSTRUCTION AREA TO ENSURE COMPLIANCE WITH CONTRACT DOCUMENTS AT REGULARLY SCHEDULED INTERVALS AT THE DIRECTION OF VDOT ENGINEERS. CONTRACTOR SHALL MAINTAIN A COPY OF THE TEMPORARY TRAFFIC CONTROL PLAN AT THE WORK SITE AT ALL TIMES.

COORDINATE WITH LOUDOUN COUNTY POLICE DEPARTMENT AND LOUDOUN COUNTY FIRE/RESCUE DEPARTMENT FOR ANY LANE CLOSURES AND ANY DETOURS OF ANY NATURE, AT NO ADDITIONAL COST TO THE PROJECT.

SCHEDULE ALL PHASES OF CONSTRUCTION IN SUCH A MANNER THAT WATER, SANITARY SEWER, CABLE, FIBER CABLE/OPTIC CABLE, ANY OVERHANGING UTILITIES, AND ANY UNDERGROUND UTILITIES SERVICES WILL NOT BE INTERRUPTED.

- 7. THIS TMP PLAN IS INTENDED AS A GUIDE. IF THE CONTRACTOR IS TO DEVIATE FROM THE APPROVED TMP, A NEW OR REVISED TMP MUST BE SUBMITTED TO VDOT FOR REVIEW AND APPROVAL.
- 8. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FOR THE DURATION OF THE PROJECT. CONTRACTOR SHALL ADD ANY ADDITIONAL TEMPORARY MEASURES NECESSARY TO FACILITATE PROPER, POSITIVE DRAINAGE FOR THE DURATION OF CONSTRUCTION.
- 9. WHERE GROUP 2 CHANNELIZING DEVICES ARE USED TO SEPARATE THE CONSTRUCTION AREA AND TRAFFIC, A MINIMUM CLEAR ZONE AREA SUCH AS DEFINED IN THE VWAPM IS TO BE MAINTAINED.
- 10. CONTRACTOR IS TO COORDINATE WITH VDOT FOR LOCATION(S) OF THE CONSTRUCTION STAGING AREA. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND/OR EASEMENTS AS NECESSARY.
- 11. IMPLEMENTING THE TRANSPORTATION MANAGEMENT PLAN

DURING THE FIRST DAY OF THE NEW WORK ZONE TRAFFIC PATTERN, THE PROJECT'S MANAGER AND VDOT'S INSPECTOR SHALL INSPECT THE WORK ZONE TO ENSURE COMPLIANCE WITH THE TMP. ON THE THIRD TO FIFTH DAY OF IMPLEMENTATION OF THE TMP'S NEW WORK ZONE TRAFFIC PATTERN THE CONSTRUCTION INSPECTOR SHALL CONDUCT AN ON-SITE REVIEW OF THE WORK ZONE'S PERFORMANCE IN COORDINATION WITH VDOT AND RECOMMEND TO THE CONTRACTOR ANY REQUIRED CHANGES TO THE TMP TO ENHANCE THE WORK ZONE'S SAFETY AND MOBILITY. ALL SUCH CHANGES SHALL BE DOCUMENTED. AN ON-SITE REVIEW OF THE PROJECT'S WORK ZONE TRAFFIC CONTROL BY THE PROJECT MANAGER AND CONTRACTOR SHALL BE CONDUCTED (WITH COORDINATION FROM VDOT) WITHIN 48 HOURS OF ANY FATAL INCIDENT/CRASH WITHIN THE WORK ZONE.

12. PUBLIC COMMUNICATIONS PLAN

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR: NOTIFYING THE MANAGER AND VDOT INSPECTOR TWO WEEKS IN ADVANCE OF ANY SCHEDULED WORK PLANS AND TRAFFIC DELAYS.
- B. NOTIFYING THE MANAGER, VDOT INSPECTOR, AND CORRESPONDING VDOT ENGINEER OF ANY UNSCHEDULED TRAFFIC DELAYS.
- 16. TRANSPORTATION OPERATIONS THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND PROVIDING THE FOLLOWING:
 - A. NOTIFY THE REGIONAL TRANSPORTATION OPERATIONS CENTER (TOC) 1 WEEK IN ADVANCE IN ORDER TO PLAN LANE CLOSURE INFORMATION ON THE 511 SYSTEM AND VA-TRAFFIC.
 - B. IMMEDIATELY REPORT ANY TRAFFIC INCIDENTS THAT MAY OCCUR IN THE WORK ZONE. C. NOTIFY THE PROJECT'S VDOT INSPECTOR AND VDOT ENGINEER OF ANY INCIDENTS AND EXPECTED TRAFFIC DELAYS.
 - WITHIN 24 HOURS OF ANY INCIDENTS WITHIN THE CONSTRUCTION WORK ZONE, A REVIEW OF THE TRAFFIC CONTROLS SHALL BE COMPLETED AND NECESSARY ADJUSTMENT MADE TO REDUCE THE FREQUENCY AND SEVERITY OF ANY FUTURE INCIDENTS.
- 17. CONTACT NUMBERS

PROJECT MANAGER:	TBD
CITY INSPECTOR:	TBD
EMERGENCY CALL:	911

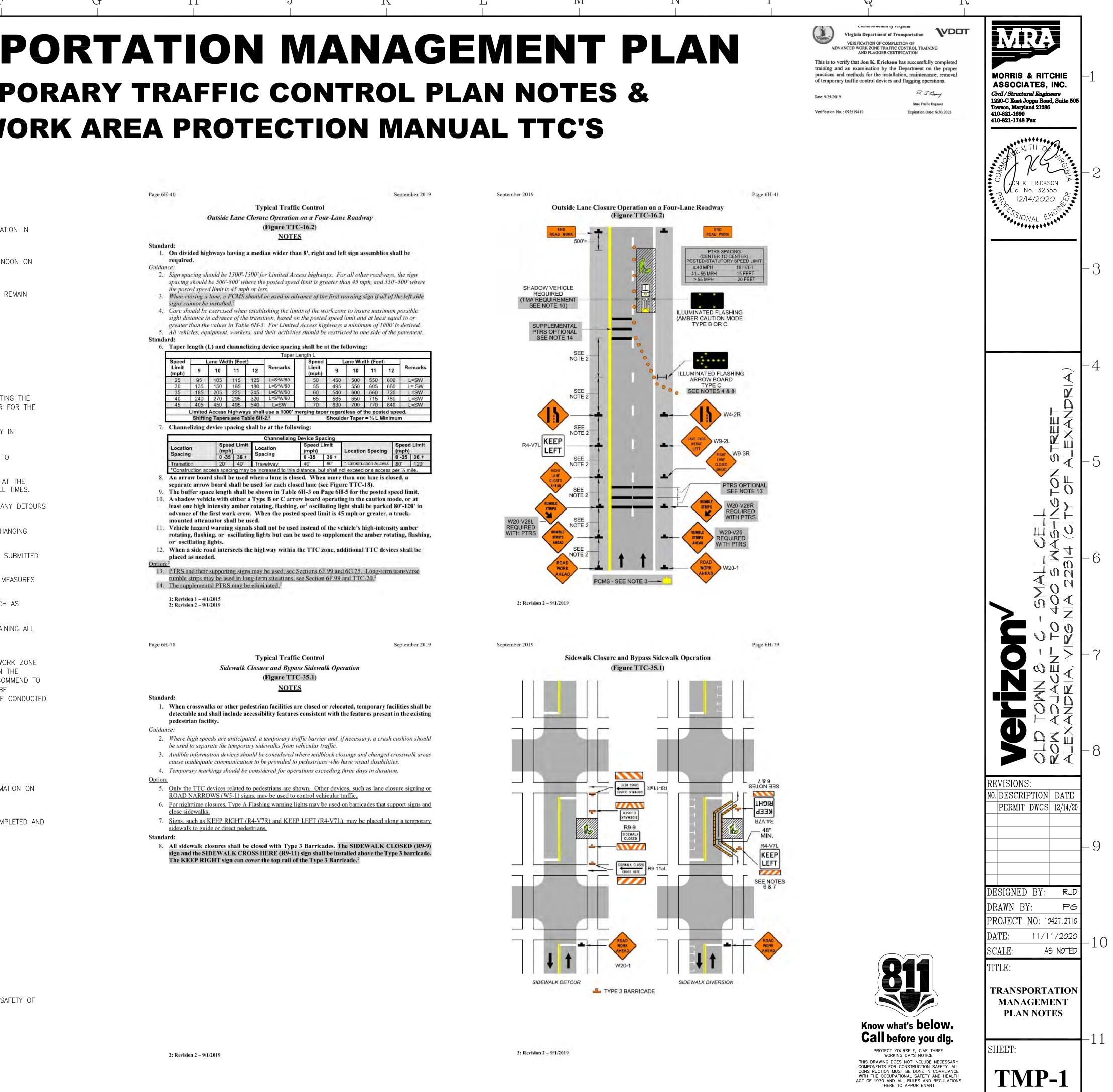
NON-EMERGENCY NUMBERS:

CITY OF ALEXANDRIA POLICE: 703-746-4444 CITY OF ALEXANDRIA FIRE & RESCUE: 703-777-4357

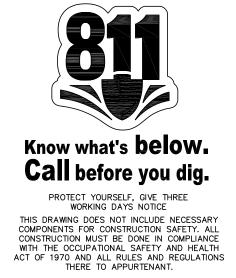
GENERAL CONSTRUCTION NOTES

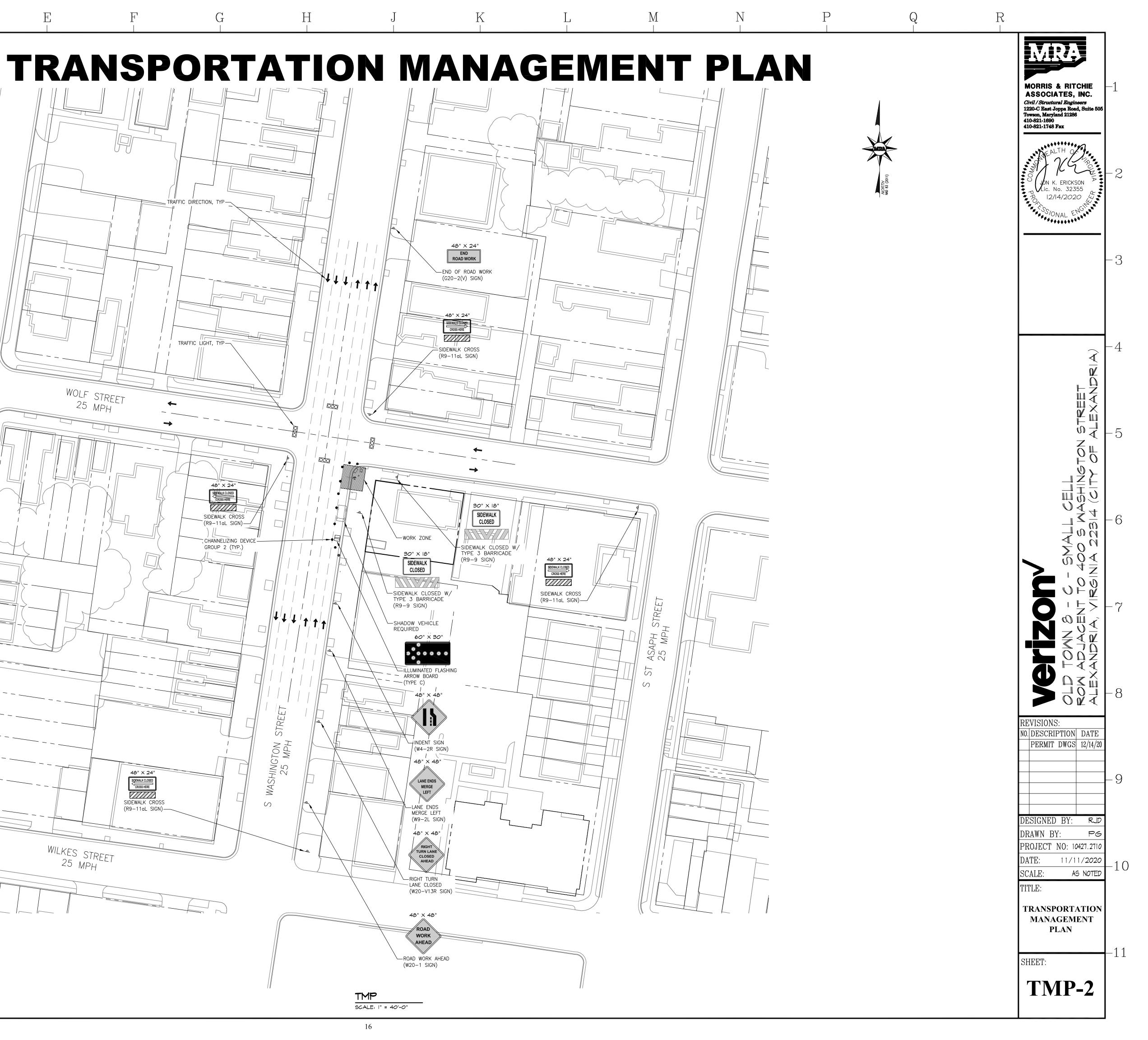
NOTE: VWAPM VIRGINIA WORK AREA PROTECTION MANUAL (2011) INCLUDING REVISION 2 DATED SEPTEMBER 1, 2019.

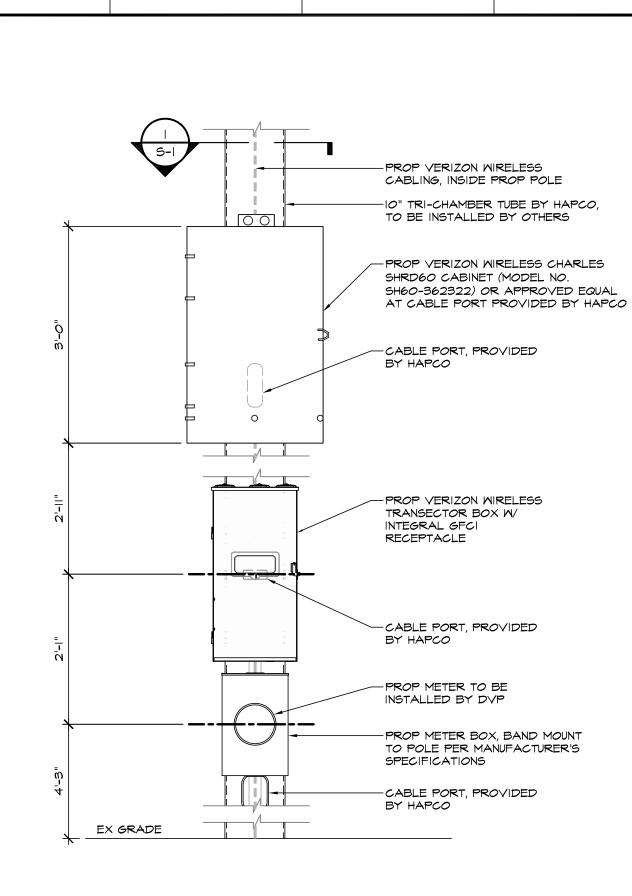
1. THE CONTRACTOR SHALL MAKE ANY NECESSARY ADJUSTMENTS DURING BOTH WORK AND NON-WORK HOURS TO ENSURE THE PROTECTION AND SAFETY OF PEDESTRIANS, VEHICULAR TRAFFIC, AND THE GENERAL PUBLIC FROM ANY CONSTRUCTION RELATED ACTIVITY, CONSTRUCTION EQUIPMENT, AND THE CONSTRUCTION SITE ITSELF.



commonweatin of rirginia VDOT Virginia Department of Transportation VERIFICATION OF COMPLETION OF ADVANCED WORK ZONE TRAFFIC CONTROL TRAINING AND FLAGGER CERTIFICATION This is to verify that Jon K. Erickson has successfully completed training and an examination by the Department on the proper practices and methods for the installation, maintenance, removal of temporary traffic control devices and flagging operations. RJKhony Date: 9/25/2019 State Traffic Engineer Verification No.: 092519410 Expiration Date: 9/30/2023



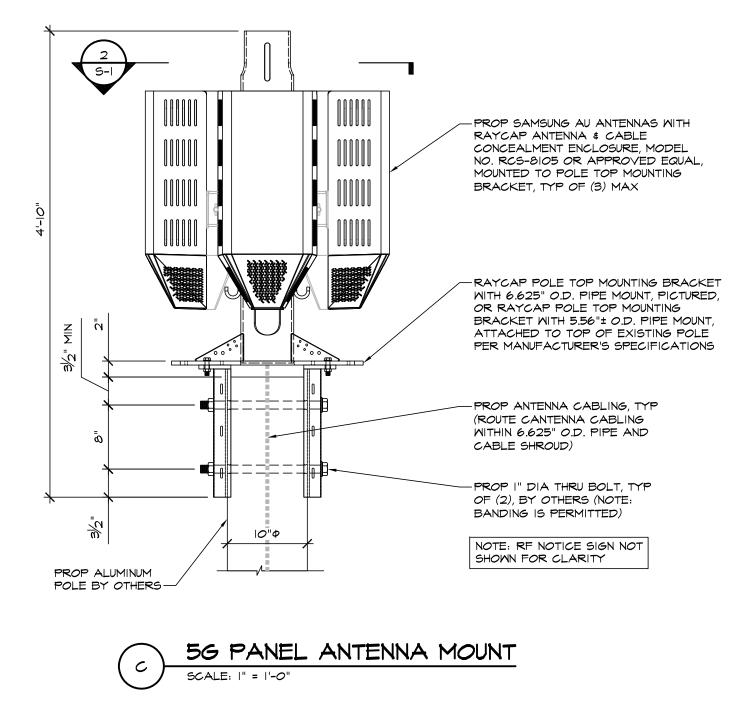




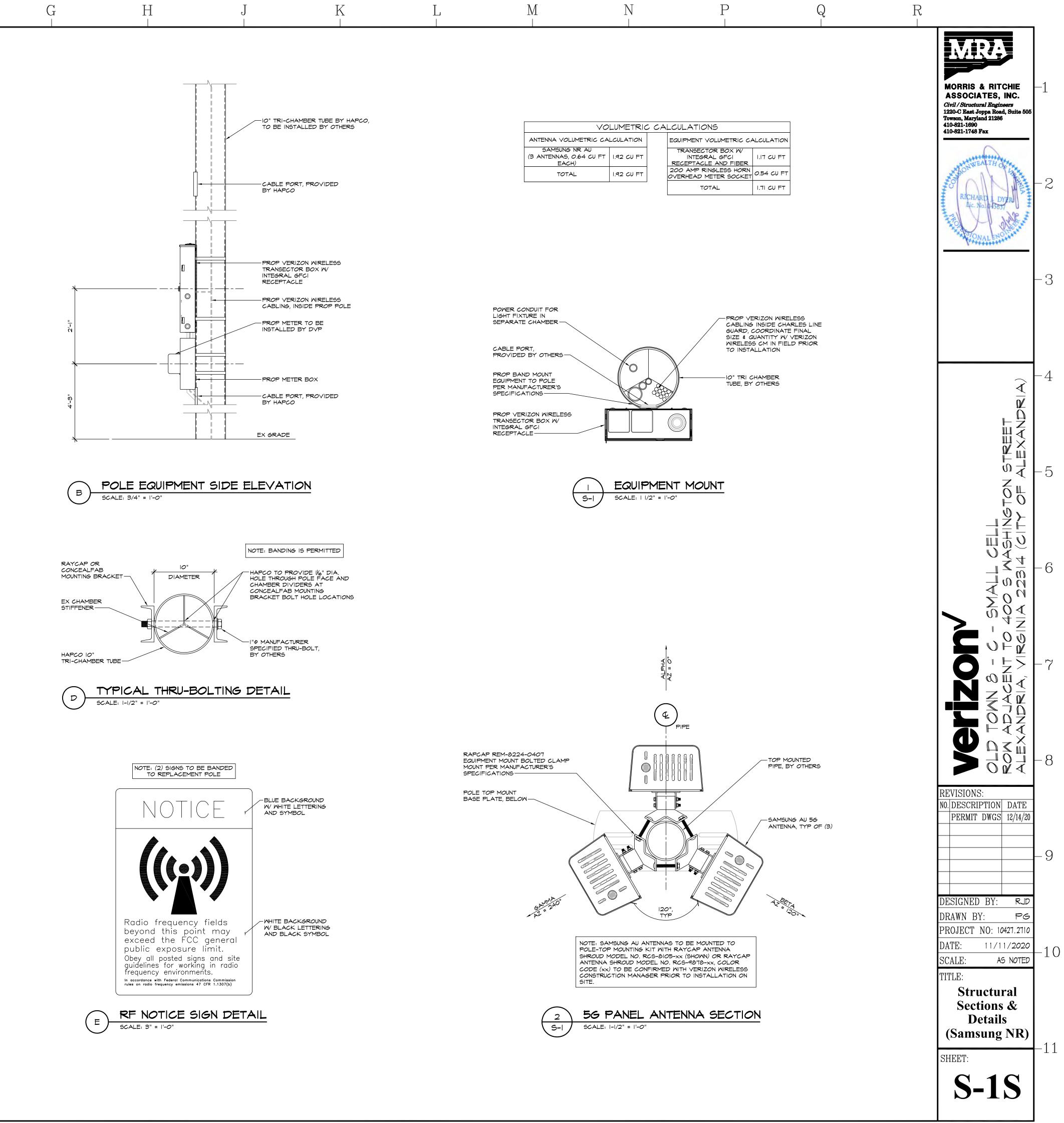


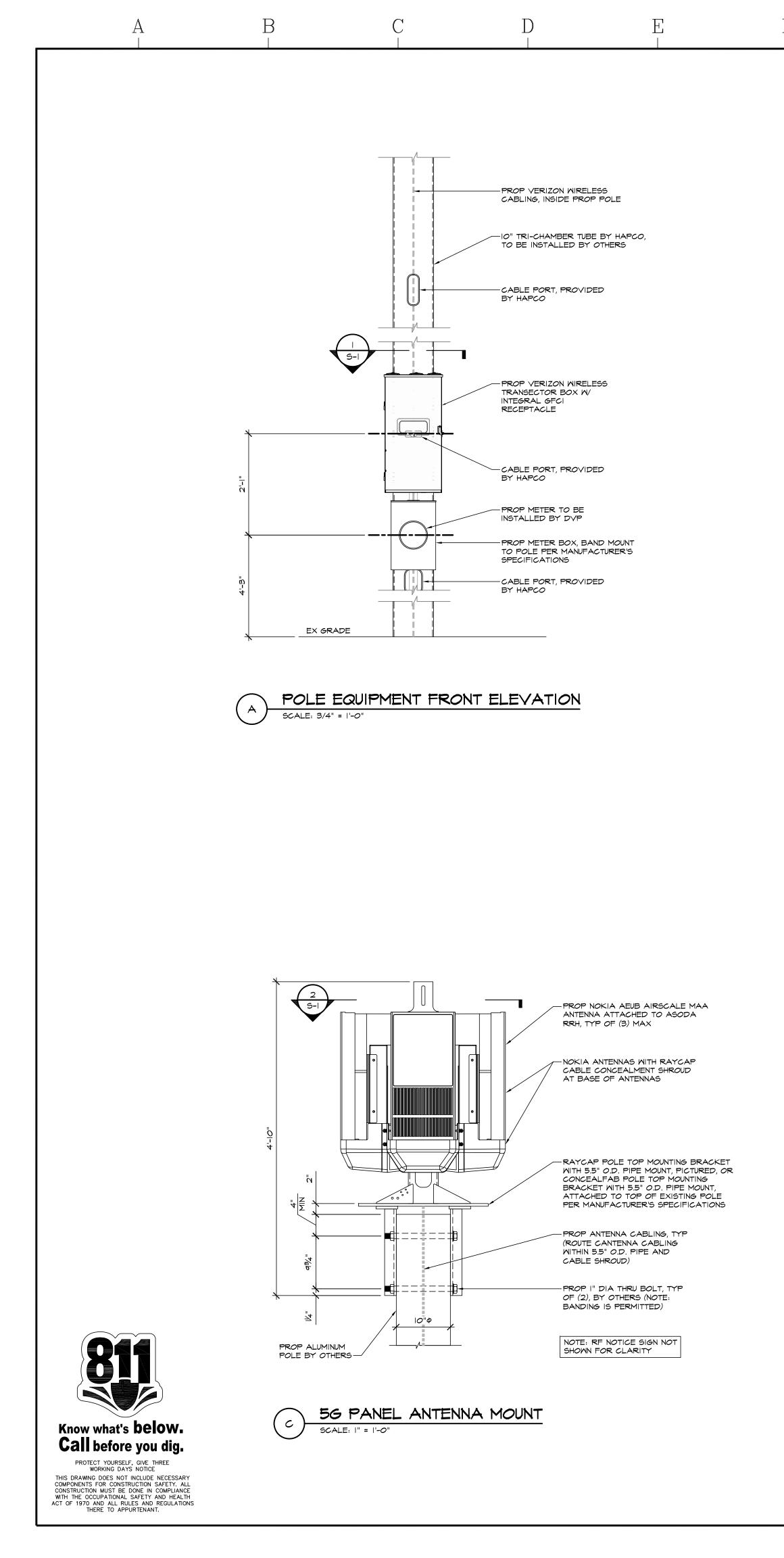
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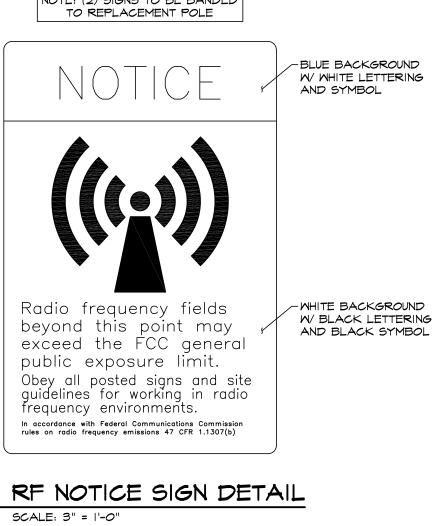
POLE EQUIPMENT FRONT ELEVATION SCALE: 3/4" = 1'-0"

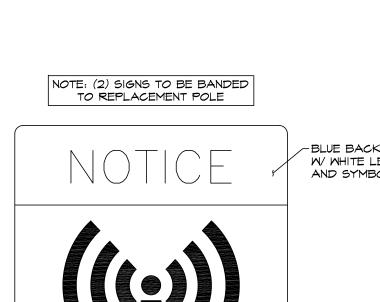


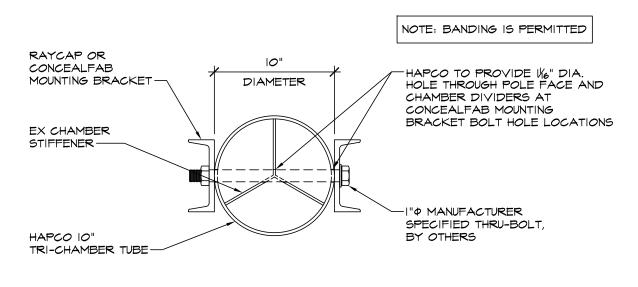












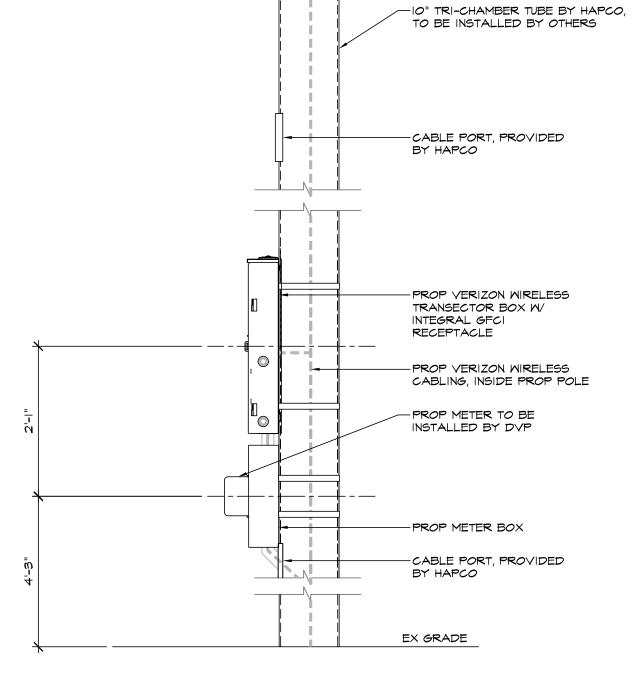
TYPICAL THRU-BOLTING DETAIL

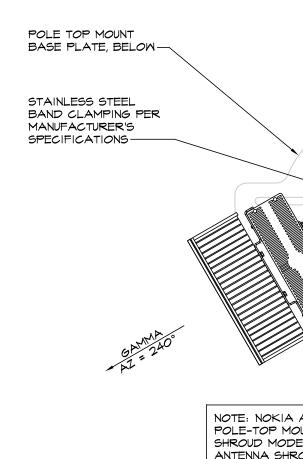
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CABLE PORT, PROVIDED BY OTHERS PROP BAND MOUNT EQUIPMENT TO POLE

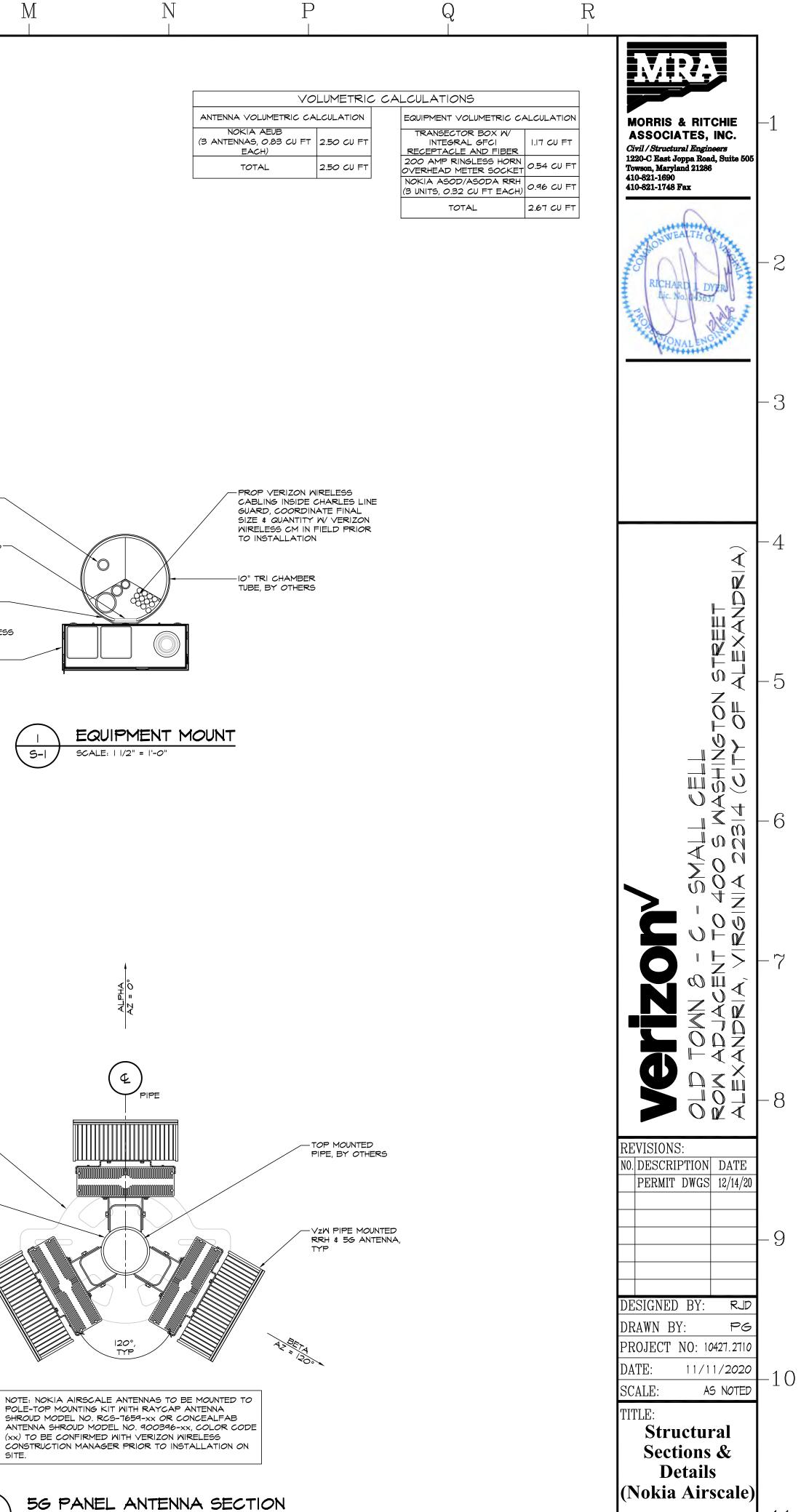
PER MANUFACTURER'S SPECIFICATIONS-

PROP VERIZON WIRELESS TRANSECTOR BOX W/ INTEGRAL GFCI RECEPTACLE-

POWER CONDUIT FOR LIGHT FIXTURE IN SEPARATE CHAMBER-

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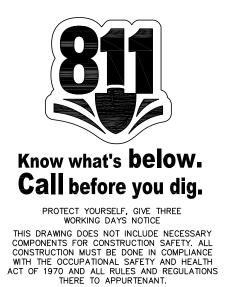
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GENERAL STRUCTURAL NOTES

BUILDING CODES

- A. ALL CONSTRUCTION SHALL CONFORM WITH:
 THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE 2015 CONSTRUCTION CODE (VA USBC 2015)
- THE INTERNATIONAL BUILDING CODE (IBC 2015) AND ALL SUBSEQUENT SUPPLEMENTS & DOCUMENTS.
 LRFD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINARIES, AND TRAFFIC SIGNALS
- (AASHTO LRFDLTS-I 2015) • THE ANSI/TIA-222-H-2017 "STRUCTURAL STANDARD FOR ANTENNA SUPPORTING STRUCTURES AND ANTENNAS",
- AND ALL SUBSEQUENT SUPPLEMENTS • IN ADDITION, ALL CONSTRUCTION SHALL CONFORM WITH ANY LOCAL CODES AND REQUIREMENTS.

DESIGN LOADS

A. THE DESIGN DEAD LOADING FOR ALL FRAMING IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWINGS. ALL FRAMING IS DESIGNED FOR THE WEIGHT OF THE EQUIPMENT INDICATED ON THE DRAWINGS.

В.	WIND LOAD DESIGN DATA		
	BASIC WIND SPEED (ULTIMATE 3-SECOND GUST): BASIC WIND SPEED (NOMINAL 3-SECOND GUST): RISK CATEGORY: WIND EXPOSURE CATEGORY:	5 MPH 89. MPH 6	
C.	SEISMIC LOAD DESIGN DATA		

NOT APPLICABLE: Ss < 1.0 MISCELLANEOUS

A. THE CONTRACTOR SHALL INSTALL THE EMBEDDED ALUMINUM POLE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

- B. THE CONTRACTOR SHALL VERIFY IN SITU GEOTECHNICAL CONDITIONS PRIOR TO CONSTRUCTION TO ENSURE ASSUMPTIONS MADE BY POLE MANUFACTURER AS PART OF THE ANALYSIS AND DESIGN OF STEEL POLE ARE NOT INVALIDATED. IF DISCREPANCIES ARE NOTED BETWEEN THE EXISTING SITE CONDITIONS AND THE STRUCTURAL ANALYSIS OF THE PROPOSED POLE, THE POLE MANUFACTURER SHALL BE NOTIFIED AND CLARIFICATION SHALL BE OBTAINED PRIOR TO START OF CONSTRUCTION.
- C. THE CONTRACTOR SHALL LOCATE ALL UTILITIES IN THE AREA OF CONSTRUCTION AND PREVENT DAMAGE TO THEM. SHOULD DAMAGE OCCUR TO ANY UTILITIES, THE CONTRACTOR IS REQUIRED TO REPAIR THE DAMAGE TO THE SATISFACTION OF THE OWNER AT HIS OWN EXPENSE.
- D. IN CASES OF CONFLICT BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS OR EXISTING CONDITIONS, CONTRACTOR SHALL NOTIFY THE DESIGN PROFESSIONALS AND OBTAIN CLARIFICATION PRIOR TO BIDDING AND PROCEEDING WITH WORK
- E. THE CONTRACTOR SHALL NOT SUBMIT REPRODUCTIONS OF THE STRUCTURAL CONTRACT DOCUMENTS AS SHOP DRAWINGS.
- F. SCALES SHOWN ON THE STRUCTURAL CONTRACT DRAWINGS ARE FOR GENERAL INFORMATION ONLY. DIMENSIONAL INFORMATION SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
- G. APPLY DETAILS, SECTIONS AND NOTES ON THE DRAWINGS WHERE CONDITIONS ARE SIMILAR TO THOSE INDICATED BY DETAIL, DETAIL TITLE OR NOTE.
- H. PROVIDE SHORING AND PROTECTION FOR EXCAVATION AS NECESSARY TO PREVENT CAVING AND COMPLY WITH ALL APPLICABLE OSHA RULES AND REGULATIONS.
- I. SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE CONTRACT DOCUMENTS MUST BE SUBMITTED BY THE CONTRACTOR OR OWNER FOR REVIEW BY THE ENGINEER. IF THE CONTRACTOR OR OWNER FAILS TO SUBMIT THE SHOP DRAWINGS, THE ENGINEER WILL NOT BE RESPONSIBLE FOR STRUCTURAL CERTIFICATION AND DESIGN OF THE PROJECT. THE SHOP DRAWINGS SHALL INDICATE ANY DEVIATIONS OR OMISSIONS FROM THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMISSION AND MAKE ALL CORRECTIONS DEEMED NECESSARY.
- STRUCTURAL AND MISCELLANEOUS STEEL
- A. ALL STEEL CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE AISC STEEL CONSTRUCTION MANUAL "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" (ANSI/AISC 360) AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".
- B. ALL MISCELLANEOUS STEEL (CHANNELS AND PLATES) SHALL CONFORM TO ASTM A36 (Fy = 36 KSI).
- C. ALL BOLTS SHALL CONFORM TO ASTM A325. ALL NUTS SHALL CONFORM TO ASTM A563. ALL WASHERS SHALL CONFORM TO ASTM F436.
- D. ALL SHOP WELDS SHALL BE PERFORMED BY CERTIFIED WELDERS AND CONFORM TO THE AMERICAN WELDING SOCIETY CODE FOR BUILDINGS AWS DI.I. WELDS SHALL DEVELOP THE FULL STRENGTH OF MATERIALS BEING WELDED UNLESS OTHERWISE INDICATED.
- E. AN INDEPENDENT INSPECTION AGENCY SHALL INSPECT ALL STRUCTURAL STEEL AND VERIFY THAT IT CONFORMS TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. FIELD INSPECTION REPORTS SHALL BE SUBMITTED TO THE ENGINEER WITHIN 5 DAYS OF THE INSPECTION. THE CONTRACTOR SHALL NOTIFY THE INSPECTION AGENCY OF ALL PHASES OF STEEL CONSTRUCTION AND WELDING.
- F. STEEL MEMBERS, FABRICATIONS AND ASSEMBLIES EXPOSED TO WEATHER OR INDICATED TO BE GALVANIZED SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM AI23 AFTER FABRICATION. ALL BOLTS, SCREWS, WASHERS & NUTS SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM F2329.
- G. PROVIDE HOLES IN STEEL AS REQUIRED TO PREVENT ANY ACCUMULATION OF WATER. ALL PENETRATIONS THROUGH MAIN MEMBERS SHALL NOT EXCEED I-16" DIA. AND SHALL BE GROUND SMOOTH. THESE DRAINS MUST BE KEPT CLEAN AND OPEN.
- H. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INDICATING THE SIZES, EXTENT, AND LOCATION OF ALL STRUCTURAL AND MISCELLANEOUS STEEL FRAMING INCLUDING ALL CONNECTIONS, FASTENERS, AND BEARINGS.
- 1. SHOW ALL COPES, HOLES, OPENINGS AND MODIFICATIONS REQUIRED IN STRUCTURAL STEEL MEMBERS FOR ERECTION OR THE WORK OF OTHER TRADES ON THE SHOP DRAWINGS FOR APPROVAL BY THE STRUCTURAL ENGINEER.

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ALUMINUM A. ALL ALUMINUM CONSTRUCTION SHALL CONFORM TO THE 2015 EDITION OF THE ALUMINUM ASSOCIATION ALUMINUM DESIGN MANUAL (ADM 2015).

B. ALUMINUM POLE SHALL BE EXTRUDED FROM 6005A-T5 ALUMINUM WITH THE FOLLOWING MINIMUM PROPERTIES:

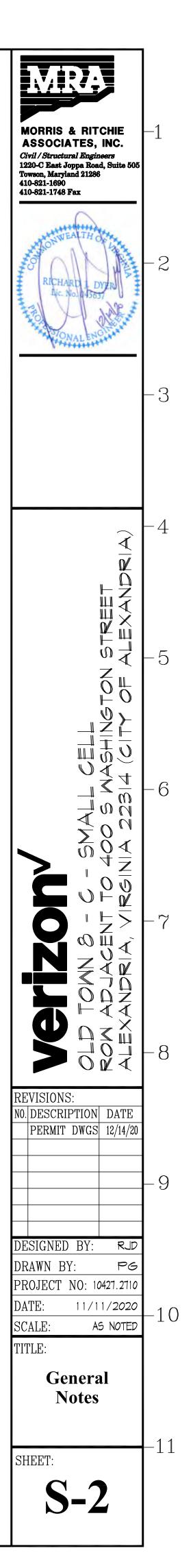
TENSILE ULTIMATE STRENGTH, Ftu:
TENSILE YIELD STRENGTH, Fty:
COMPRESSION YIELD STREGTH, FCY:
MODULUS OF ELASTICITY, E:

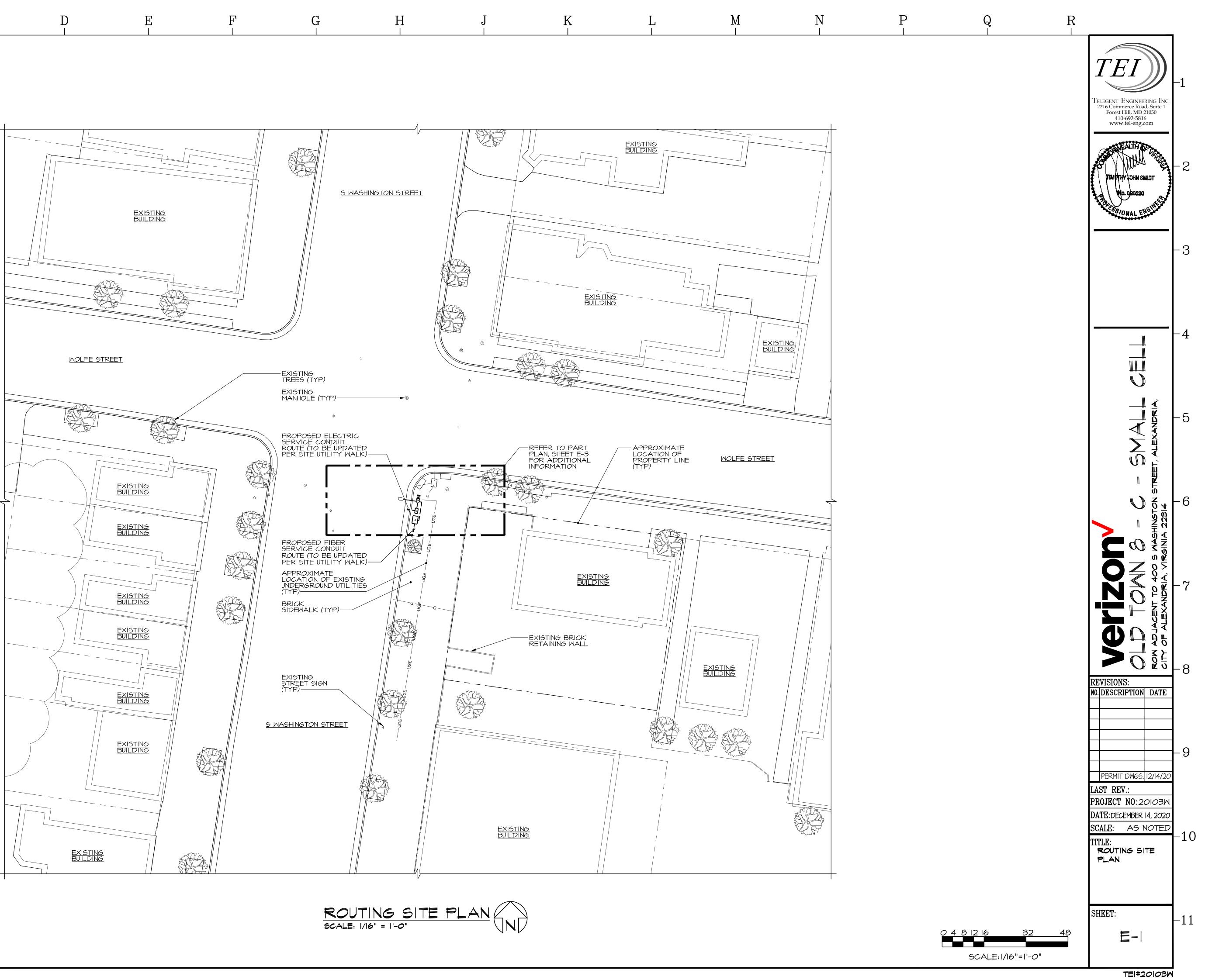
UNWELDED	MELDED
38 KSI	24 KSI
31 KSI	13 KSI
31 KSI	13 KSI
1 <i>0,000</i> KSI	

- C. ALL ACCESS PORTS, HANDHOLES, CABLE PORTS, ETC. SHALL BE REINFORCED USING ALUMINUM CASTINGS WITH STRUCTURAL PROPERTIES WHICH MEET OR EXCEED THE POLE SHAFT STRENGTH INDICATED ABOVE.
- D. WELDED JOINTS ARE ONLY PERMITTED AT REINFORCED ACCESS PORTS AND POLE BASE LOCATIONS, LONGITUDINAL SHAFT WELDS ARE NOT PERMITTED. ALUMINUM ALLOY 4043 ELECTRODE SHALL BE USED IN THE WELDING PROCESS IN ACCORDINACE WITH THE AMERICAN WELDING SOCIETY (AWS SPECIFICATION DI.2).
- E. POLE SHAFT SHALL BE FULL-LENGTH HEAT TREATED AFTER WELDING TO PRODUCE A T5 TEMPER TO RECOVER THE MINIMUM STRENGTH AS SPECIFIED BY THE ALUMINUM POLE MANUFACTURER. HEAT-TREATING PROCESS IS TO BE IN CONFORMANCE WITH ASTM B597.
- F. UNLESS NOTED OTHERWISE, ALL ALUMINUM STRUCTURAL CONNECTIONS SHALL BE MADE WITH $\frac{3}{4}$ " DIAMETER GALVANIZED ASTM F3I25 GRADE A325 BOLTS WITH $\frac{13}{6}$ " DIAMETER HOLES ON GAGE, FIELD DRILL AS REQUIRED. SEE STRUCTURAL AND MISCELLANEOUS STEEL NOTES FOR ADDITIONAL INFORMAITON.
- DOMINION SPECIFICATIONS:
- A. A 9"XII" RF NOTICE SIGN MUST BE INSTALLED ON BOTH SIDES OF THE POLE A MAXIMUM OF ONE (I) FOOT ABOVE THE UPPERMOST EQUIPMENT APPURTENANCE. THIS SIGN MARKS THE POINT WHERE RF EXPOSURE LEVELS MAY EXCEED "FCC OET-65 APPENDIX A" LIMITS FOR UNCONTROLLED GENERAL POPULATION EXPOSURE. WORKING ABOVE THIS POINT REQUIRES DE-ENERGIZING THE ANTENNA. THIS SIGN MUST INCLUDE THE STANDARD RF SYMBOL AND STATE "NON RF WORKERS MUST POWER DOWN DEVICE WHEN WORKING ABOVE THIS POINT." THE SIGN SHALL BE 60 MIL LEXAN WITH U.V. INHIBITORS AND SIGNS SHALL ADHERE TO IEEE C95.2 STANDARDS.
- B. A POWER DISCONNECT MUST BE INSTALLED. THIS DEVICE MUST PROVIDE DISCONNECTING MEANS FOR DE-ENERGIZING AC AND DC (BATTERY BACK UP) POWER TO THE ANTENNAS. THE DISCONNECT SHOULD BE A STANDARD NEMA TYPE HINGED ENCLOSURE AND IS SUBJECT TO COMPANY APPROVAL. THE DISCONNECT SHALL BE CLEARLY LABELED AS THE ANTENNA POWER DISCONNECT.
- C. AN ADDITIONAL RF LABEL ON THE EQUIPMENT MUST INCLUDE COMMUNICATION COMPANY NAME, AND A 24-HR CONTACT PHONE NUMBER. THE LABEL SHALL ADHERE TO IEEE C95.2 STANDARDS.
- D. MAXIMUM OF FOUR (4) ANTENNAS ARE ALLOWED PER POLE.
- E. A DOMINION DISTRIBUTION REPRESENTATIVE MUST APPROVE ALL ANTENNA ATTACHMENT POLES.
- F. INSTALLERS WORKING IN THE AREA OF THE POLE ABOVE THE NORMAL COMMUNICATIONS SPACE MUST MEET OSHA 1910.269 REQUIREMENTS.
- G. AN ANTENNA GROUND WIRE AND GROUNDING ELECTRODE IS REQUIRED. THIS GROUND SHALL BE BONDED TO THE COMPANY GROUND WIRE.
- H. SERVICE WILL BE CONNECTED BY VERIZON IN COMPLIANCE WITH FILED RATE PLAN.
- I. VERIZON'S GROUND MAY NOT BE USED TO SATISFY NEC REQUIREMENTS FOR THE EQUIPMENT BRACKET AC SERVICE GROUND. THE EQUIPMENT AND ITS AC SERVICE GROUND ARE REQUIRED TO BE BONDED TO THE COMPANY GROUND CONDUCTOR ON THE POLE AT LEAST 6" ABOVE GROUND LEVEL USING A No. 6 CU CONDUCTOR. CONNECTION TO THE COMPANY'S GROUND ROD OR CONNECTOR IS NOT APPROVED.
- J. BONDS SHALL BE MADE BETWEEN THE GROUND WIRE AND THE EQUIPMENT CABINET (NOT NEUTRAL BUS) OF THE POWER SUPPLY/SWITCH. THESE CONNECTIONS ARE TO AVOID POTENTIAL DIFFERENCES BETWEEN DEVICES ON THE POLES. BOND TO THE POWER SUPPLY/SWITCH SHALL BE EXTERNAL AND VISIBLE FROM THE GROUND. WHEN A COMPANY DRIVEN GROUND EXISTS ON THE POLE, THE EQUIPMENT CASE BONDING WIRE NEED EXTEND ONLY FROM THE SWITCH TO THE COMPANY GROUND WIRE.
- K. THE METER BASE, EQUIPMENT BRACKET, AND DISCONNECT MAY BE MOUNTED AT OPERATIONAL HEIGHT THAT:
 A. THE EQUIPMENT BRACKET DOES NOT OBSTRUCT A WALKWAY OR IS SUBJECT TO VEHICULAR TRAFFIC.
 B. THE EQUIPMENT BRACKET CAN NOT BE USED ALONE OR IN CONJUNCTION WITH A FENCE, PEDESTAL, ETC. AS A CLIMBING AID.
- L. FOR SAFETY PURPOSES DEVICES WITH LEAD ACID BATTERIES SHALL NOT BE USED.

POST-INSTALLATION INSPECTION

- A. A POST-INSTALLATION INSPECTION REPORT IS REQUIRED AND SHALL BE INCLUDED IN THE CONTRACTOR'S BID. A POST-INSTALLATION INSPECTION IS A VISUAL INSPECTION OF TOWER INSTALLATIONS AND A REVIEW OF CONSTRUCTION INSPECTIONS AND OTHER REPORTS TO ENSURE THE INSTALLATION WAS CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, NAMELY THE INSTALLATION DRAWINGS.
- B. THE POST-INSTALLATION INSPECTION REPORT SHALL BE COMPLETED BY A PROFESSIONAL ENGINEER LICENSED IN THE JURISDICTION IN WHICH THE PROJECT IS LOCATED.
- C. THE INTENT OF THE POST-INSTALLATION INSPECTION REPORT IS TO CONFIRM INSTALLATION AND CONFIGURATION AND WORKMANSHIP ONLY AND IS <u>NOT</u> A REVIEW OF THE INSTALLATION DESIGN ITSELF.
- D. TO ENSURE THAT THE REQUIREMENTS OF THE POST-INSTALLATION INSPECTION REPORT ARE MET, IT IS VITAL THAT THE CONTRACTOR AND POST-INSTALLATION INSPECTOR BEGIN COMMUNICATING AND COORDINATING AS SOON AS A PO IS RECEIVED.





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ELECTRICAL SPECIFICATIONS

- SECTION 16010 BASIC ELECTRICAL REQUIREMENTS
- A. THE WORK INCLUDES FURNISHING AND INSTALLING THE MATERIAL, EQUIPMENT AND SYSTEMS COMPLETE AS SPECIFIED AND/OR INDICATED ON THE DRAWINGS. THE ELECTRICAL INSTALLATIONS, WHEN FINISHED, SHALL BE COMPLETE AND COORDINATED AND READY FOR SATISFACTORY SERVICE.
- B. ALL WORK UNDER THIS CONTRACT SHALL BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE MUNICIPAL, STATE, BOCA, AND LOCAL ELECTRICAL CODES THAT GOVERN EACH PARTICULAR TRADE AND THE 2014 NATIONAL ELECTRICAL CODE.
- C. THE CONTRACTOR SHALL COORDINATE THE ELECTRICAL EQUIPMENT INSTALLATION WITH ALL TRADES.
- D. THE CONTRACTOR SHALL MAKE APPLICATION AND PAY ALL CHARGES FOR ALL NECESSARY PERMITS, LICENSES, AND INSPECTIONS AS REQUIRED UNDER THE ABOVE CODES. UPON COMPLETION OF THE WORK, THE CUSTOMARY CERTIFICATIONS OF APPROVAL SHALL BE FURNISHED.
- E. NO MATERIALS OR EQUIPMENT SHALL BE USED IN THE WORK UNTIL APPROVED. ALL MATERIALS SHALL BE U.L. LISTED.
- F. THE CONTRACTOR SHALL EXAMINE ALL DRAWINGS AND SHALL INSPECT THE EXISTING CONDITIONS OF THE SITE. FAILURE TO COMPLY WITH THIS REQUIREMENT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR COMPLYING WITH THE CONTRACT DOCUMENTS.
- G. THE DRAWINGS INDICATE THE GENERAL ARRANGEMENT OF THE ELECTRICAL INSTALLATIONS. DETAILS OF PROPOSED DEPARTURES DUE TO ACTUAL FIELD CONDITIONS OR OTHER CAUSES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION. REWORK OF COMPLETED ITEMS DUE TO IMPROPER FIELD COORDINATION SHALL BE AT THE CONTRACTOR'S EXPENSE.
- H. PROVIDE SUFFICIENT ACCESS AND CLEARANCE FOR ALL ITEMS OF EQUIPMENT REQUIRING SERVICING AND MAINTENANCE.
- UPON COMPLETION OF THE ELECTRICAL INSTALLATION. THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF PRINTS OF THE ELECTRICAL CONTRACT DRAWINGS WHICH SHALL BE LEGIBLY MARKED IN RED TO SHOW ALL CHANGES AND DEPARTURES OF THE INSTALLATIONS COMPARED WITH THE ORIGINAL DESIGN. THEY SHALL BE SUITABLE FOR USE IN PREPARATION OF RECORD DRAWINGS.
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- K. SUPPORTS, HANGERS, AND FOUNDATIONS: PROVIDE ALL SUPPORTS, HANGERS, BRACES, ATTACHMENTS, AND FOUNDATIONS REQUIRED FOR THE WORK. SUPPORT AND SET THE WORK IN A THOROUGHLY SUBSTANTIAL AND WORKMANLIKE MANNER WITHOUT PLACING STRAINS ON THE MATERIALS, OR EQUIPMENT. SUPPORTS, HANGERS, BRACES AND ATTACHMENTS SHALL BE STANDARD MANUFACTURED ITEMS OR FABRICATED STRUCTURAL STEEL SHAPES.
- L. THERE SHALL BE NO INTERRUPTION OF POWER TO EXISTING ELECTRICAL SYSTEMS WITHOUT PRIOR CONSENT FROM VERIZON. SUCH INTERRUPTIONS SHALL BE KEPT TO A MINIMUM. ANY COST FOR WORK THAT MUST BE DONE ON AN OVERTIME BASIS SHALL BE INCLUDED IN THE BID.
- M. MOUNTING AND SUPPORTING OF ALL EQUIPMENT PROVIDED BY THIS CONTRACTOR SHALL BE COORDINATED WITH VERIZON IN THE FIELD PRIOR TO CONSTRUCTION.
- 2. <u>SECTION 16050 BASIC ELECTRICAL MATERIALS & METHODS</u>
- A. <u>CONDUIT & BOXES:</u>
- ALL CONDUIT BELOW GRADE SHALL BE SCHEDULE 40 PVC. ALL CONDUIT ABOVE GRADE SHALL BE NON METALLIC ELECTRIC GRADE.
- 2. JUNCTION AND PULL BOXES SHALL BE FURNISHED AND INSTALLED AS SHOWN OR WHERE REQUIRED TO FACILITATE PULLING OF WIRES OR CABLES. SUCH BOXES SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS. GASKETED COVER PLATES SHALL BE FURNISHED FOR OUTDOOR INSTALLATIONS.
- 3. ALL BOXES, WHETHER OUTLET, JUNCTION, PULL, OR EQUIPMENT SHALL BE FURNISHED WITH APPROPRIATE COVERS.
- 4. NO SECTIONALIZED BOXES SHALL BE USED.
- 5. ALL FIELD CUTS OF GALVANIZED ITEMS SHALL BE BRUSHED WITH MARINE GRADE GALVANIZING.
- 6. ALL METALLIC OBJECTS EXPOSED TO WEATHER SHALL BE GALVANIZED. B. WIRES & CABLE:
- CONDUCTORS, UNLESS OTHERWISE INDICATED, SHALL BE 600 VOLT, TYPE THWN INSULATION FOR INTERIOR AND EXTERIOR USE. CONDUCTORS SHALL BE SOFT DRAWN COPPER OF NOT LESS THAN 98% CONDUCTIVITY. NO ROMEX OR AC (BX) CABLE WILL BE ALLOWED ON THE PROJECT.
- 2. NO WIRE SMALLER THAN NO. TWELVE (12) AWG SHALL BE USED UNLESS OTHERWISE INDICATED. CONDUCTORS SHALL BE CONTINUOUS FROM OUTLET TO OUTLET AND FROM TERMINAL BOARD TO POINT OF FINAL CONNECTION, AND NO SPLICE SHALL BE MADE EXCEPT WITHIN OUTLET OR JUNCTION BOXES. ALL CONDUCTORS SHALL BE OF THE SIZES AS INDICATED. ALL WIRES NO. EIGHT (8) AWG AND LARGER SHALL BE STRANDED. THE CONTRACTOR SHALL MAKE WIRING CONNECTIONS OF ALL ELECTRICAL EQUIPMENT REQUIRING ELECTRICAL SERVICE. WIRES AND CABLES SHALL BE AS MANUFACTURED BY PIRELLI, ROYAL, AND TRIANGLE OR EQUIVALENT.
- 3. ALL WIRING SHALL BE COLOR CODED. MATCH EXISTING SYSTEM COLOR CODING WHERE APPLICABLE.
- C. <u>DISCONNECTS:</u>
- FURNISH AND INSTALL SAFETY SWITCHES WHERE INDICATED AND AS REQUIRED FOR MOTOR OUTLETS OR OTHER EQUIPMENT. SWITCHES SHALL BE OF SIZE, NUMBER OF POLES AND FUSED OR NON-FUSED, AS REQUIRED FOR JOB CONDITIONS AND THE NATIONAL ELECTRICAL CODE.
- D. <u>GROUNDING:</u>
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- 2. PROVIDE INSULATED GROUNDING CONDUCTORS FOR FEEDER AND BRANCH CIRCUIT WIRING AS CALLED FOR ON THE PLANS. PROVIDE GROUNDING BLOCKS, TERMINALS, ETC., FOR CONNECTION OF GROUND WIRE IN ALL DISTRIBÚTION EQUIPMENT
- 3. <u>SECTION 16400 SERVICE & DISTRIBUTION</u>
- A. ELECTRICAL SERVICE:
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- B. <u>COMMUNICATIONS SERVICE:</u>
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- 2. ALL ELBOWS IN CONDUIT RUNS SHALL BE WIDE SWEEP FIELD BENDS. INSTALL PULL BOXES AS REQUIRED AND WHERE DIRECTED BY THE TELEPHONE COMPANY AND/OR AS REQUIRED BY THE NATIONAL ELECTRICAL CODE.

DOMINION CONDUIT SPECIFICATIONS

- 2. THE CUSTOMER IS RESPONSIBLE FOR INSTALLING THE PROPER DIAMETER SIZE CONDUIT, AT THE SPECIFIED DEPTH AS DETERMINED BY DOMINION ENERGY IN THE EVENT THAT DOMINION ENERGY FIND THE CUSTOMER INSTALLED CONDUIT UNSUITABLE, IT IS UNDERSTOOD THAT THE CONNECTION OF SERVICE MAY BE DELAYED.
- THAN A TOTAL OF 270 DEGREE BENDS UNLESS SPECIFIED BY DOMINION ENERGY

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- HDPE CONDUIT MUST BE ELECTRICAL GRADE, BLACK IN COLOR AND MEET THE REQUIREMENTS OF NEMA TCT FOR EACH TRADE SIZE. HDPE CONDUIT IS NOT APPROVED FOR METER RISERS. В. CONDUIT SIZE REFERS TO THE OUTSIDE DIAMETER.

 - (DOMINION ENERGY BLUE BOOK, 2017 EDITION, PAGE 17)
- THE CONDUIT.
- AND A 36" RADIUS FOR A 4" OR 6" CONDUIT.

FOR PROPER SPACE FOR SPLICING.

CUSTOMER INSTALLED CONDUITS SHOULD BE INSTALLED IN ACCORDANCE WITH THE GUIDELINES OUTLINED BY DOMINION ENERGY AND LOCAL GOVERNMENT AGENCIES AND CONFORM TO THE LATEST EDITION OF THE NATIONAL ELECTRIC SAFETY CODE AND APPLICABLE VDOT LAND USE MANUAL

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3. ALL CUSTOMER INSTALLED CONDUITS INSTALLED FOR THIS PROJECT ARE TO BE EITHER OF THE OPTIONS SPECIFIED BELOW. THE INSTALLER SHOULD MAINTAIN AS STRAIGHT A PATH AS POSSIBLE WITH NO MORE

PVC STICK CONDUIT, ELECTRICAL GRADE, GRAY IN COLOR, AND MEET THE REQUIREMENTS OF THE NEMA TC2 FOR SCHEDULE 40 OR THICKER. CONDUIT SIZE REFERS TO THE INSIDE DIAMETER.

HDPE COILABLE CONDUIT WITH TRADE SIZES 2" OR SMALLER SHALL FOLLOW SCHEDULE 40. HDPE COILABLE CONDUIT WITH TRADE SIZES GREATER THAN 2" SHALL USE A STANDARD DIMENSION RATIO (SDR) OF 13.5 OR LESS.

HDPE STICK CONDUIT WITH TRADE SIZES GREATER THAN 4" SHALL USE A STANDARD DIMENSION RATIO (SDR) OF 13.5 OR LESS.

4. ALL ROAD CROSSING CONDUITS TO BE INSTALLED AT 36" BELOW GRADE, MEASURED FROM THE TOP OF

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6. CONDUIT ENDS NEED TO BE CAPPED AND CLEARLY MARKED ABOVE GROUND.

7. CUSTOMER INSTALLED DOMINION ISSUED SPLICE BOXES ARE TO BE INSTALLED IN GREEN SPACE IF POSSIBLE AND ARE NOT TO BE INSTALLED IN ROADWAYS OR ANY AREA WITH VEHICLE TRAFFIC. THE SPLICE BOX IS TO BE INSTALLED AT A FLAT AREA OF TERRAIN AND THE TOP OF THE SPLICE BOX IS TO DEFINE THE SPLICE BOX IS TO BE INSTALLED AT A FLAT AREA OF TERRAIN AND THE TOP OF THE SPLICE BOX IS TO DEFINE THE SPLICE BOX IS TO BE INSTALLED AT A FLAT AREA OF TERRAIN AND THE TOP OF THE SPLICE BOX IS TO DEFINE TO BE INSTALLED AT A FLAT AREA OF TERRAIN AND THE TOP OF THE SPLICE BOX IS TO DEFINE THE SPLICE BOX IS TO BE INSTALLED AT A FLAT AREA OF TERRAIN AND THE TOP OF THE SPLICE BOX IS TO DEFINE THE SPLICE BOX IS TO BE INSTALLED AT A FLAT AREA OF TERRAIN AND THE TOP OF THE SPLICE BOX IS TO DEFINE THE SPLICE BOX IS TO BE INSTALLED AT A FLAT AREA OF TERRAIN AND THE TOP OF THE SPLICE BOX IS TO DEFINE THE SPLICE BOX IS TO BE INSTALLED AT A FLAT AREA OF TERRAIN AND THE TOP OF THE SPLICE BOX IS TO DEFINE THE SPLICE BOX IS TO BE INSTALLED AT A FLAT AREA OF TERRAIN AND THE TOP OF THE SPLICE BOX IS TO DEFINE THE SPLICE BOX IS TO BE INSTALLED AT A FLAT AREA OF TERRAIN AND THE TOP OF THE SPLICE BOX IS TO DEFINE THE SPLICE BOX IS TO BE INSTALLED AT A FLAT AREA OF THE SPLICE BOX IS TO BE AND THE TOP OF THE SPLICE BOX IS TO BE AND THE SPLICE BOX BE FLUSH WITH FINAL GRADE. CONDUITS ARE TO ENTER THE SPLICE BOX AT OPPOSITE ENDS TO ALLOW

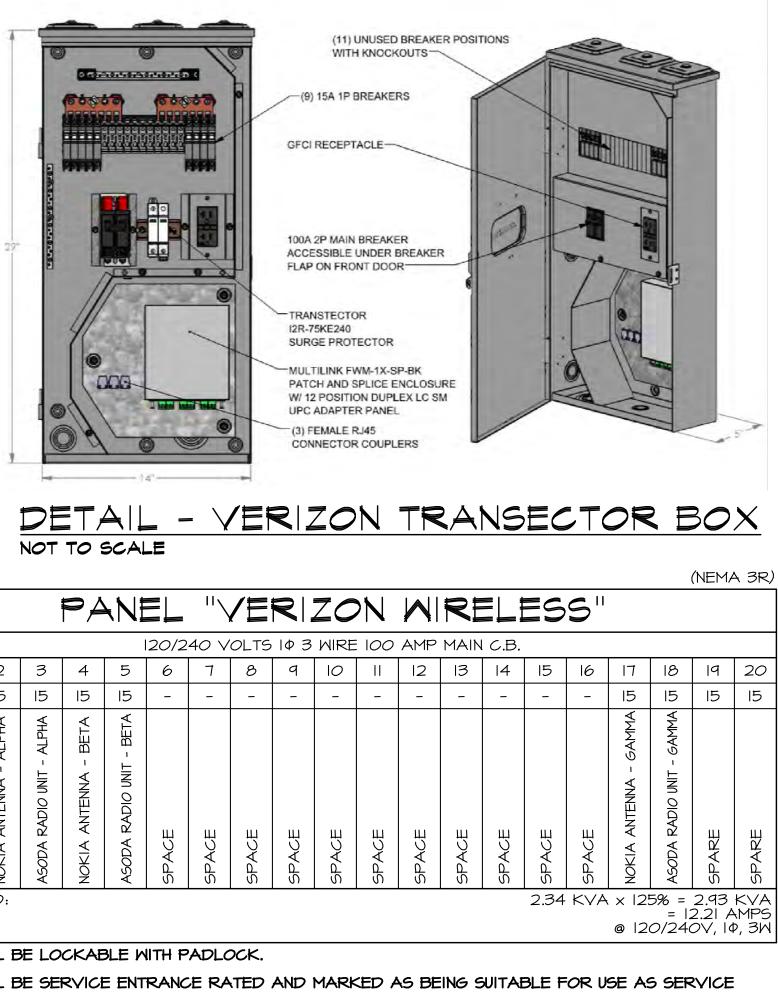
EQUIPMENT SCHEDULE							
MANUFACTURER PART # COMPONENT TYPE QUANTITY DIMENSIONS (HXMXD) WE							
NOKIA	AIRSCALE AEUB & ASODA RRH	ANTENNA/ REMOTE RADIO HEAD	3	24.0"×12.0"×5.0"	68.3 LBS.		
INFINITE ELECTRONICS	5C-3MM100-03-6F2RJ	TRANSECTOR BOX	I	29.0"x14.0"x5.0"	50.0 LBS.		
DOMINION STANDARD	65.737000	ELECTRIC METER	I	17.0"×11.0"×5.0"	5.25 LBS.		
		CONDUIT CABLING	3±	VARIES	20.0 LBS.		
				TOTAL WEIGHT:	280.15 LBS.		
				TOTAL VOLUME:	4.22 CU.FT.		

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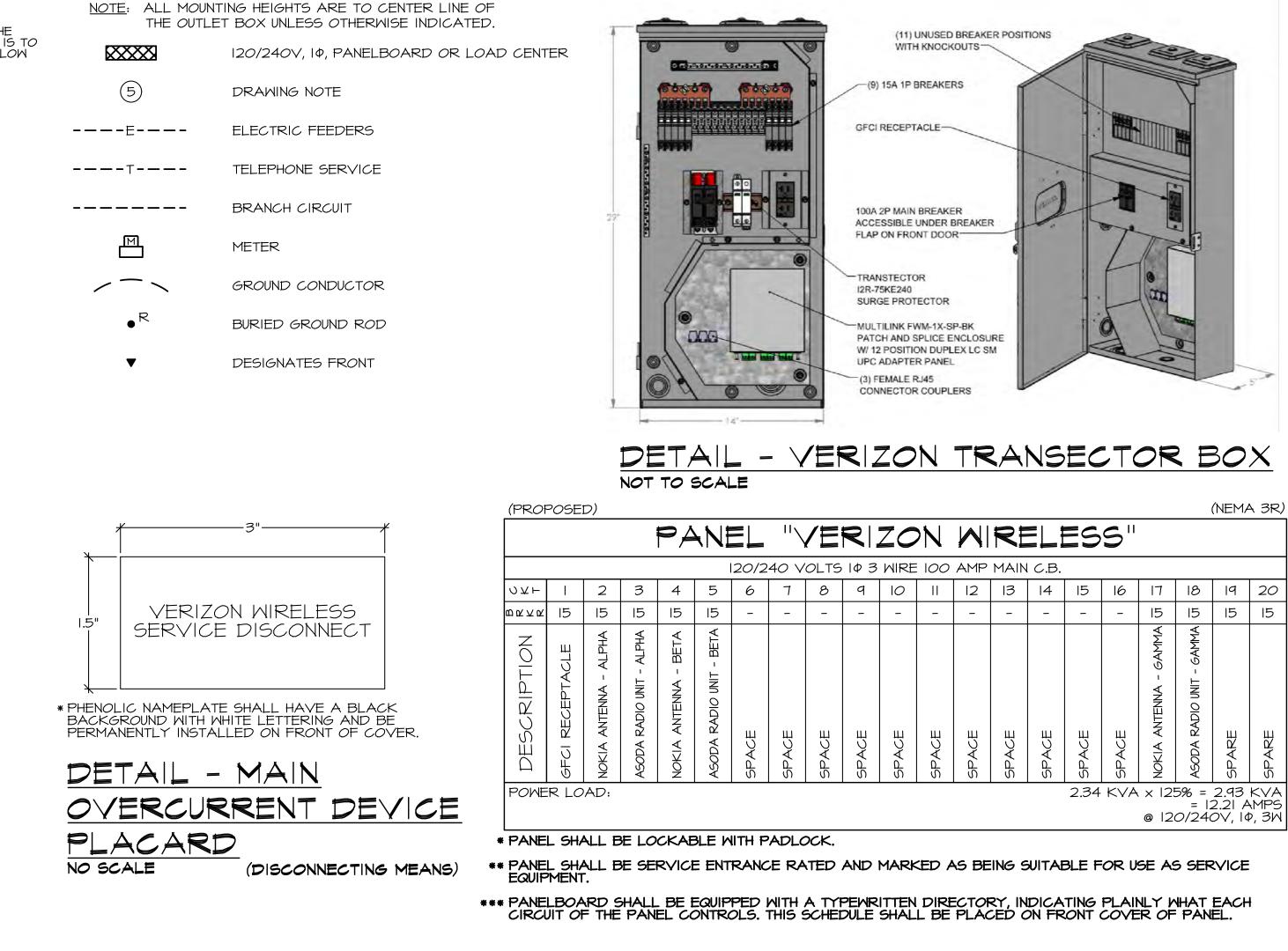
ELECTRICAL SYMBOLS LIST NOTE: ALL MOUNTING HEIGHTS ARE TO CENTER LINE OF THE OUTLET BOX UNLESS OTHERWISE INDICATED. 120/240V, 10, PANELBOARD OR LOAD CENTER (5) DRAWING NOTE ELECTRIC FEEDERS TELEPHONE SERVICE BRANCH CIRCUIT METER

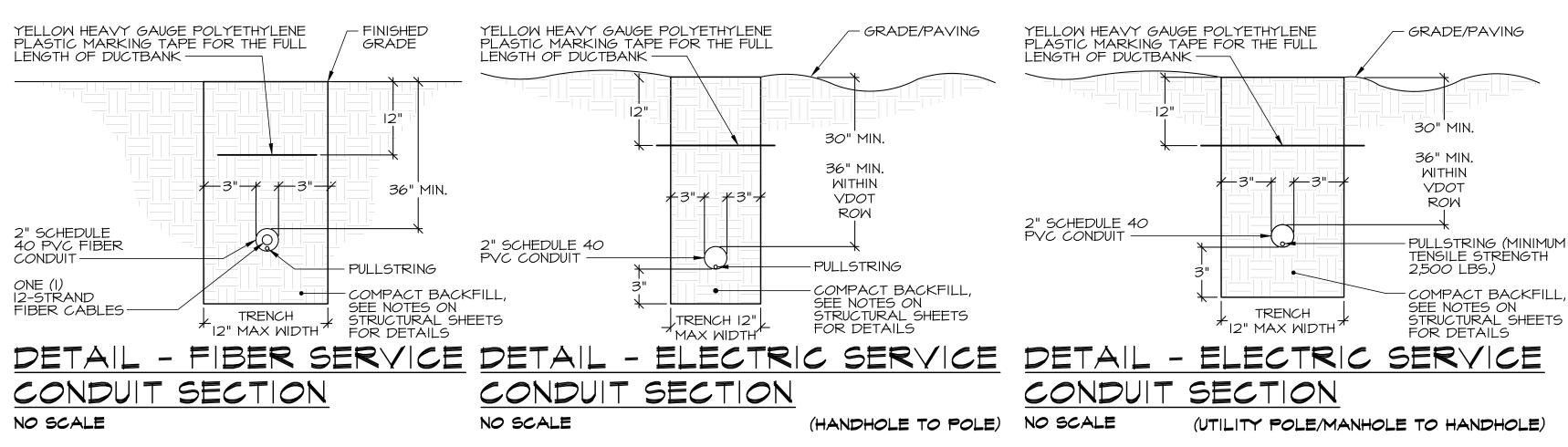
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DESIGNATES FRONT



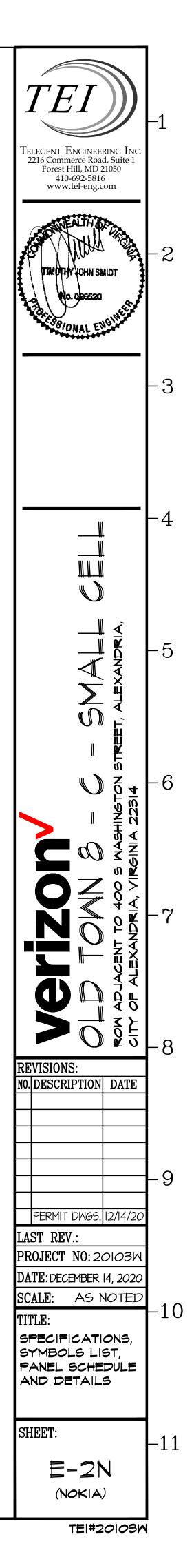






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ELECTRICAL SPECIFICATIONS

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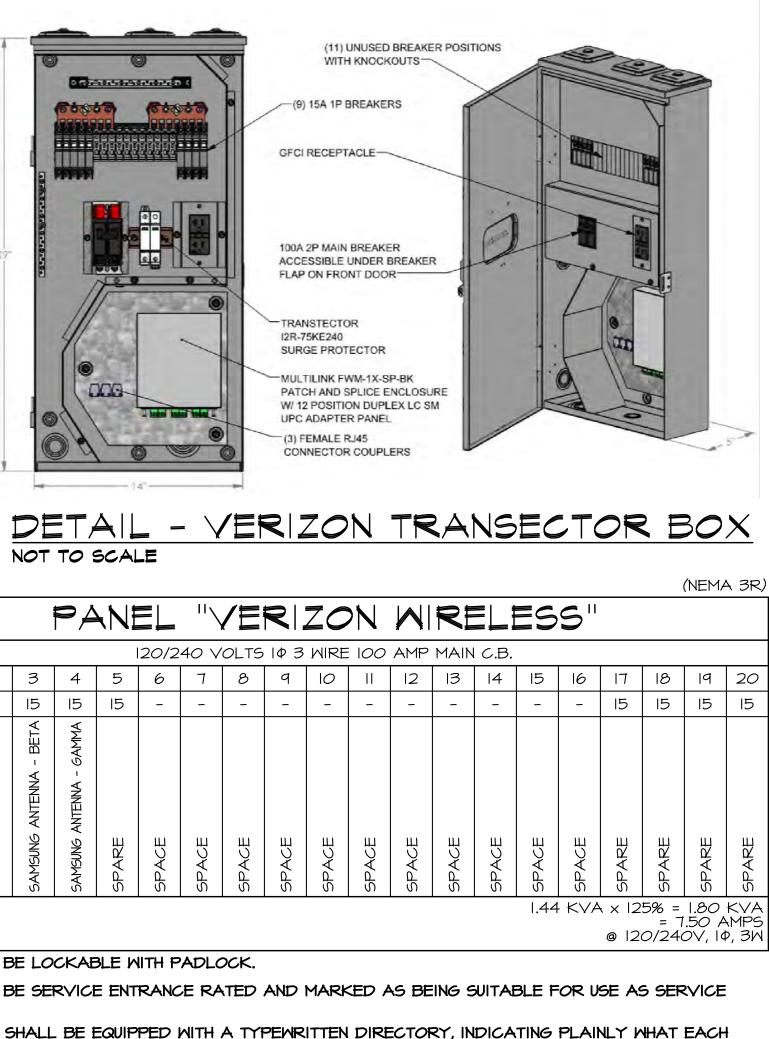
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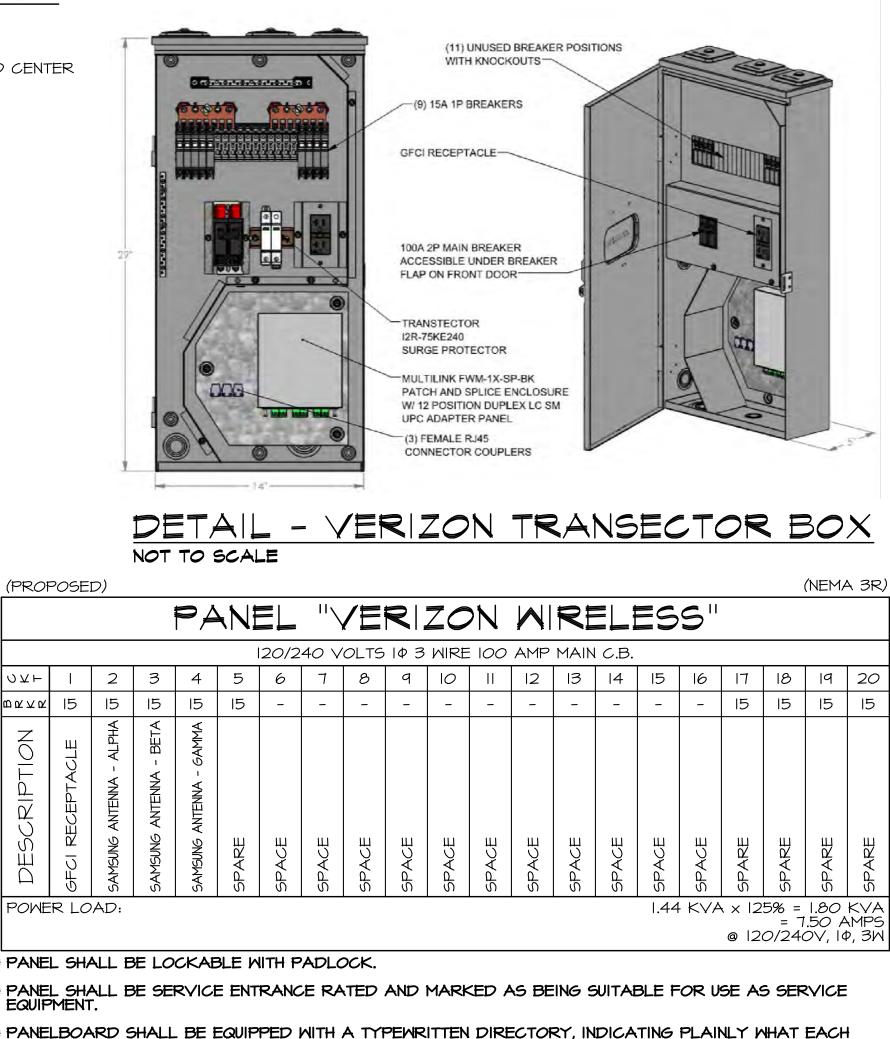
	EQUIPMENT SCHEDULE						
MANUFACTURER	PART #	COMPONENT TYPE	QUANTITY	DIMENSIONS (H×M×D)	WEIGHT		
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INFINITE ELECTRONICS	5C-3MM100-03-GF2RJ	TRANSECTOR BOX	I	29.0"×14.0"×5.0"	50.0 LBS.		
DOMINION STANDARD	65.737000	ELECTRIC METER	Ι	17.0"×11.0"×5.0"	5.25 LBS.		
		CONDUIT CABLING	З±	VARIES	20.0 LBS.		
				TOTAL WEIGHT:	171.25 LBS.		
				TOTAL VOLUME:	3.63 CU.FT.		

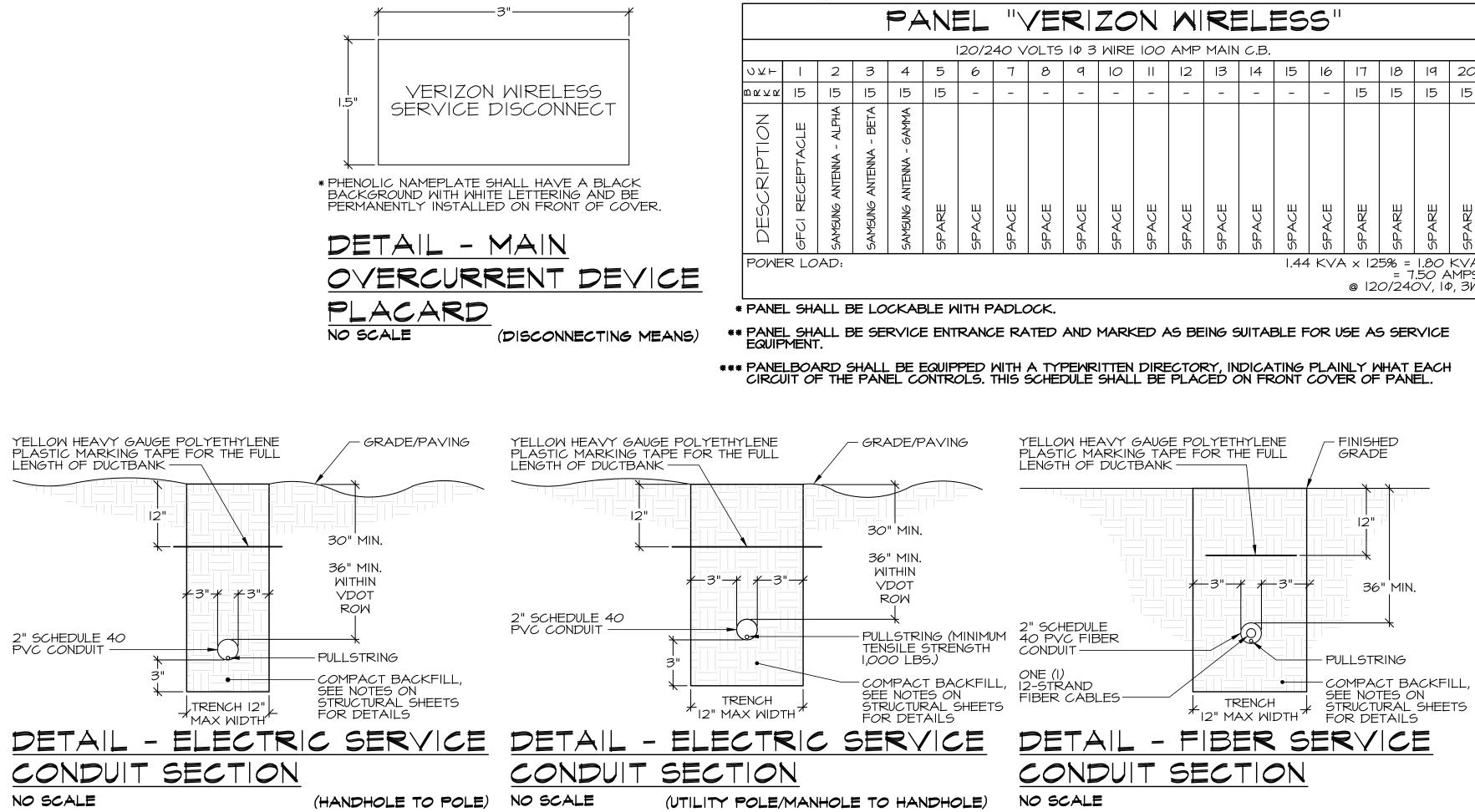
Μ

ELECTRICAL SYMBOLS LIST NOTE: ALL MOUNTING HEIGHTS ARE TO CENTER LINE OF THE OUTLET BOX UNLESS OTHERWISE INDICATED. 120/240V, 10, PANELBOARD OR LOAD CENTER (5) DRAWING NOTE ELECTRIC FEEDERS ----------TELEPHONE SERVICE BRANCH CIRCUIT _____ METER GROUND CONDUCTOR BURIED GROUND ROD DESIGNATES FRONT

N



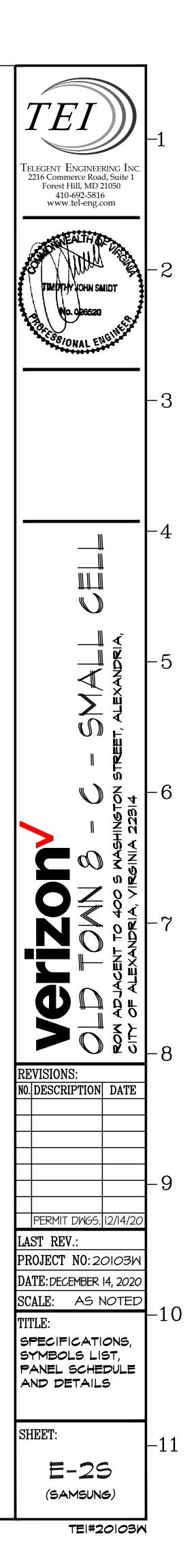


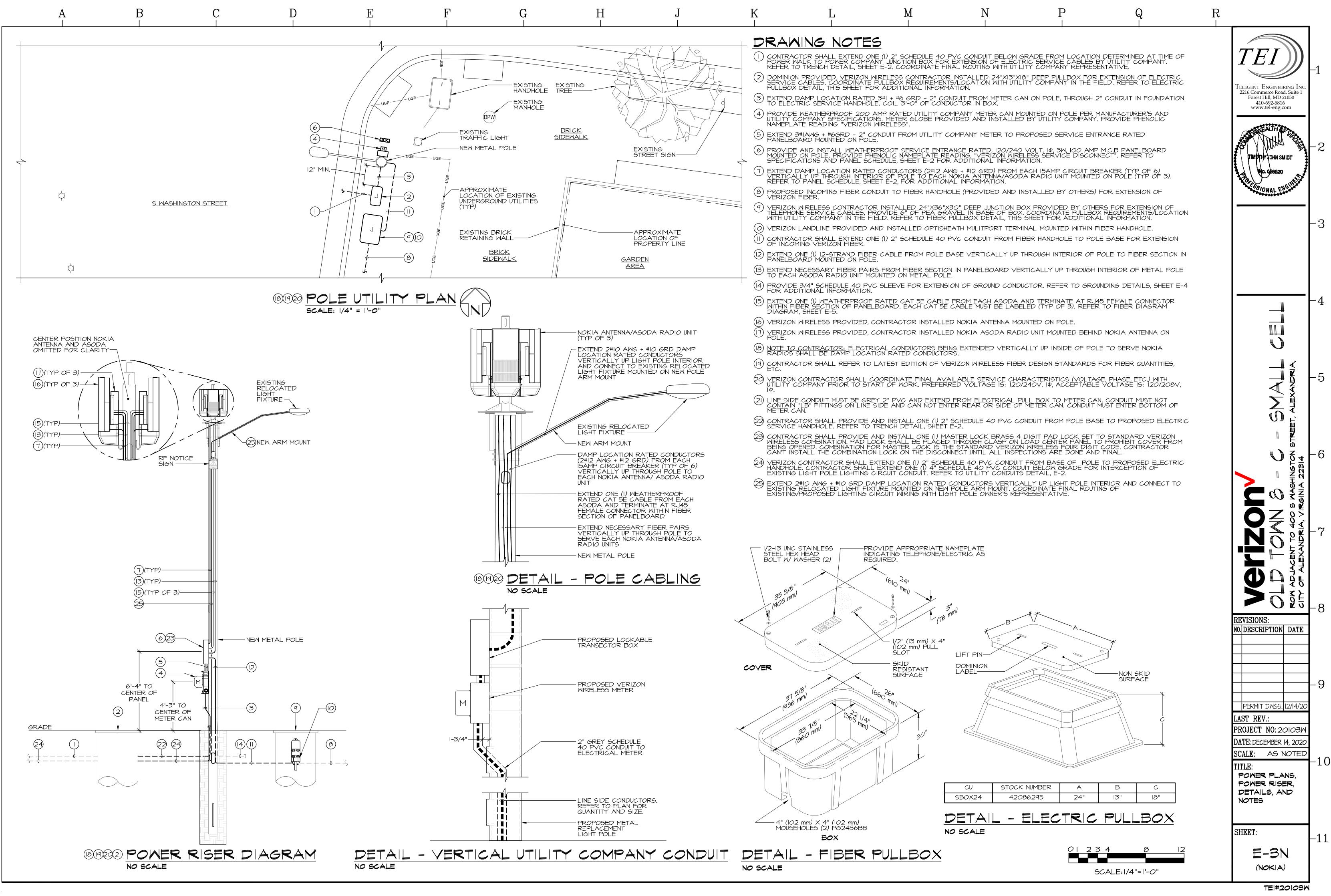


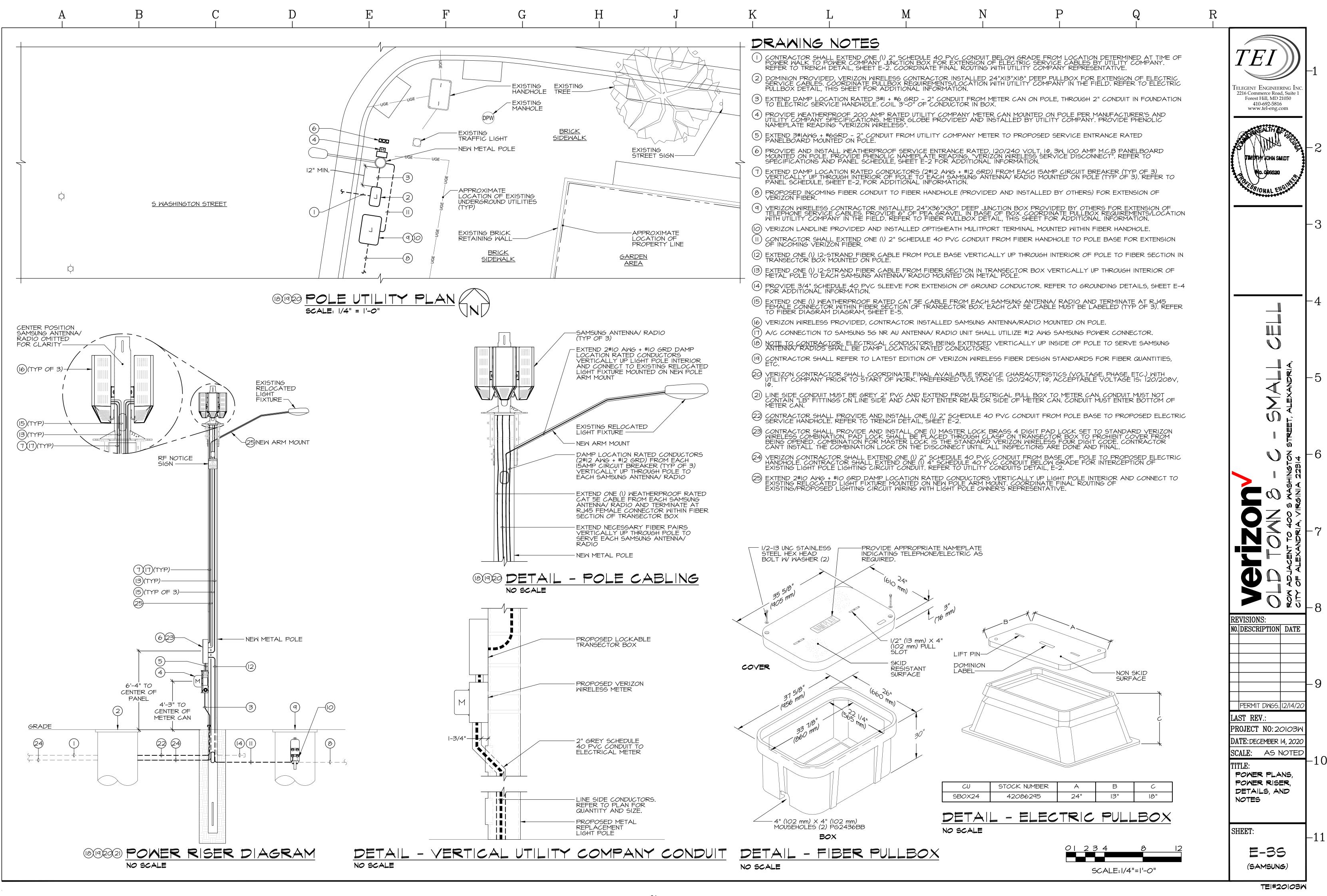
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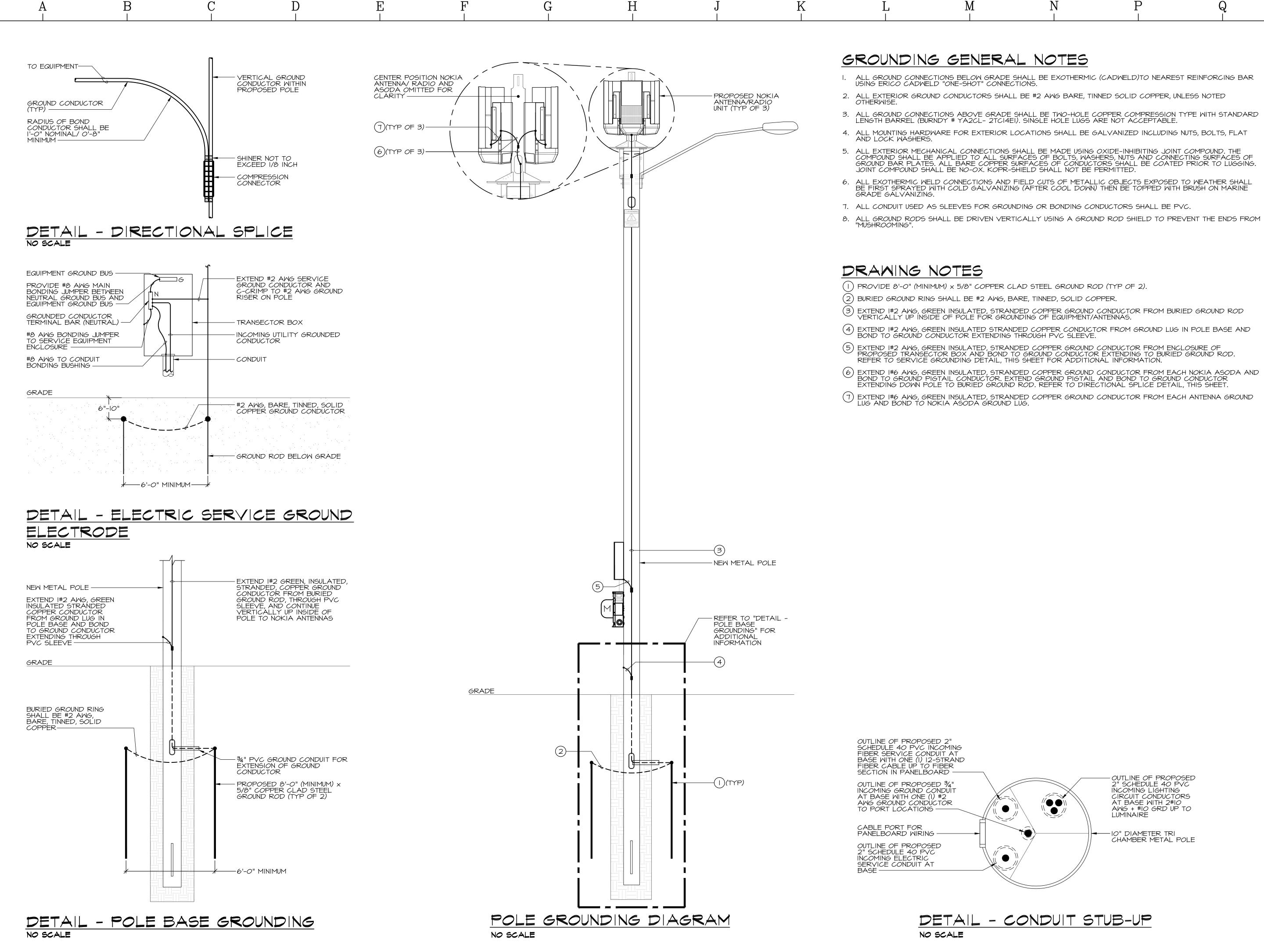
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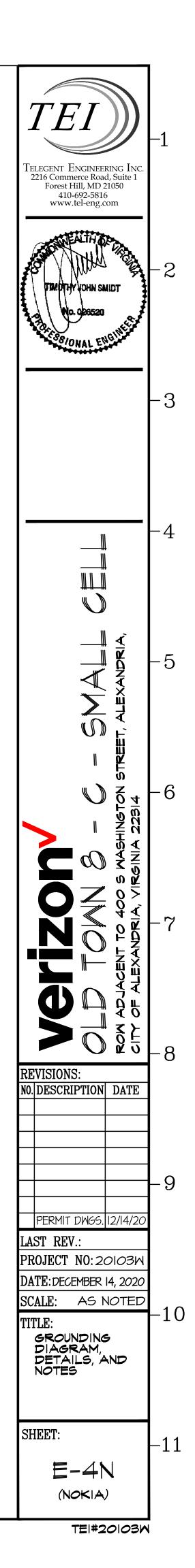
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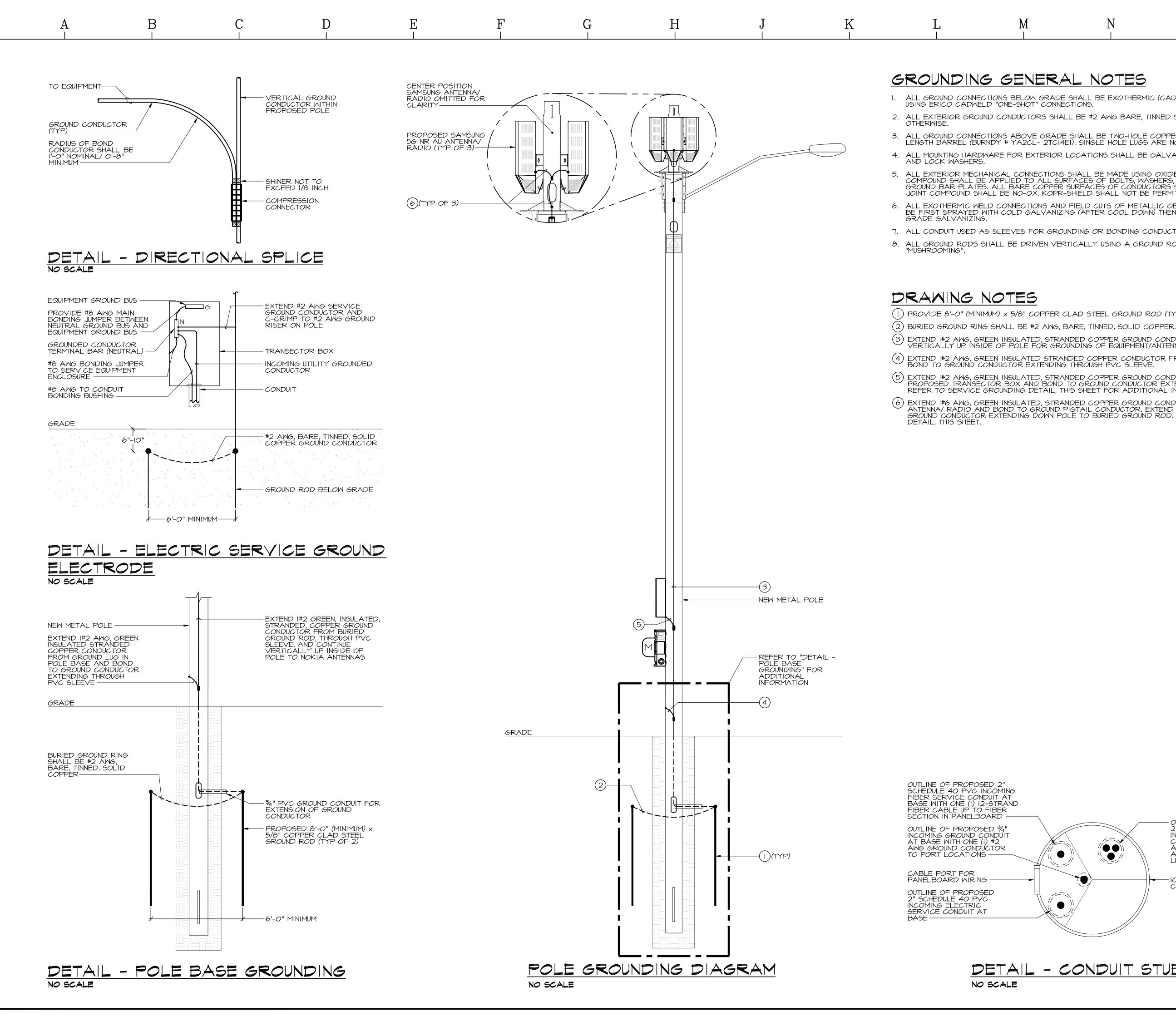












ALL GROUND CONNECTIONS BELOW GRADE SHALL BE EXOTHERMIC (CADWELD)TO NEAREST REINFORCING BAR USING ERICO CADWELD "ONE-SHOT" CONNECTIONS.

D

2. ALL EXTERIOR GROUND CONDUCTORS SHALL BE #2 AWG BARE, TINNED SOLID COPPER, UNLESS NOTED

3. ALL GROUND CONNECTIONS ABOVE GRADE SHALL BE TWO-HOLE COPPER COMPRESSION TYPE WITH STANDARD LENGTH BARREL (BURNDY # YA2CL- 2TCI4EI). SINGLE HOLE LUGS ARE NOT ACCEPTABLE. 4. ALL MOUNTING HARDWARE FOR EXTERIOR LOCATIONS SHALL BE GALVANIZED INCLUDING NUTS, BOLTS, FLAT

5. ALL EXTERIOR MECHANICAL CONNECTIONS SHALL BE MADE USING OXIDE-INHIBITING JOINT COMPOUND. THE COMPOUND SHALL BE APPLIED TO ALL SURFACES OF BOLTS, WASHERS, NUTS AND CONNECTING SURFACES OF GROUND BAR PLATES. ALL BARE COPPER SURFACES OF CONDUCTORS SHALL BE COATED PRIOR TO LUGGING. JOINT COMPOUND SHALL BE NO-OX. KOPR-SHIELD SHALL NOT BE PERMITTED.

6. ALL EXOTHERMIC WELD CONNECTIONS AND FIELD CUTS OF METALLIC OBJECTS EXPOSED TO WEATHER SHALL BE FIRST SPRAYED WITH COLD GALVANIZING (AFTER COOL DOWN) THEN BE TOPPED WITH BRUSH ON MARINE

7. ALL CONDUIT USED AS SLEEVES FOR GROUNDING OR BONDING CONDUCTORS SHALL BE PVC. 8. ALL GROUND RODS SHALL BE DRIVEN VERTICALLY USING A GROUND ROD SHIELD TO PREVENT THE ENDS FROM

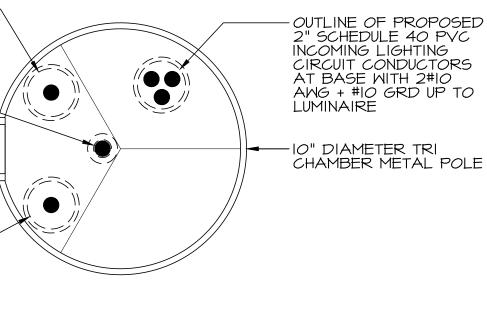
(I) PROVIDE 8'-0" (MINIMUM) × 5/8" COPPER CLAD STEEL GROUND ROD (TYP OF 2).

(3) EXTEND I#2 AWG, GREEN INSULATED, STRANDED COPPER GROUND CONDUCTOR FROM BURIED GROUND ROD VERTICALLY UP INSIDE OF POLE FOR GROUNDING OF EQUIPMENT/ANTENNAS.

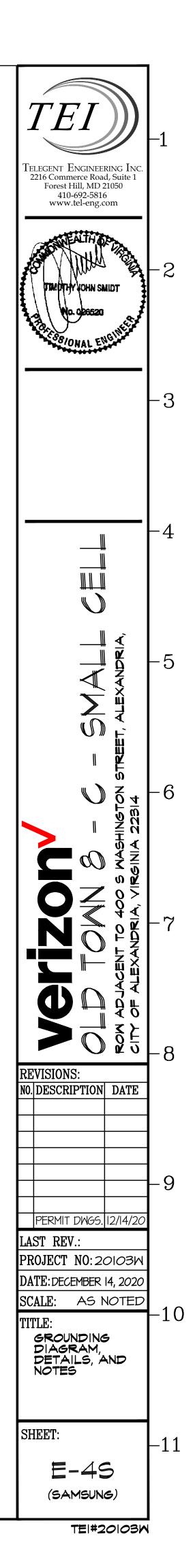
(4) EXTEND 1#2 AWG, GREEN INSULATED STRANDED COPPER CONDUCTOR FROM GROUND LUG IN POLE BASE AND BOND TO GROUND CONDUCTOR EXTENDING THROUGH PVC SLEEVE.

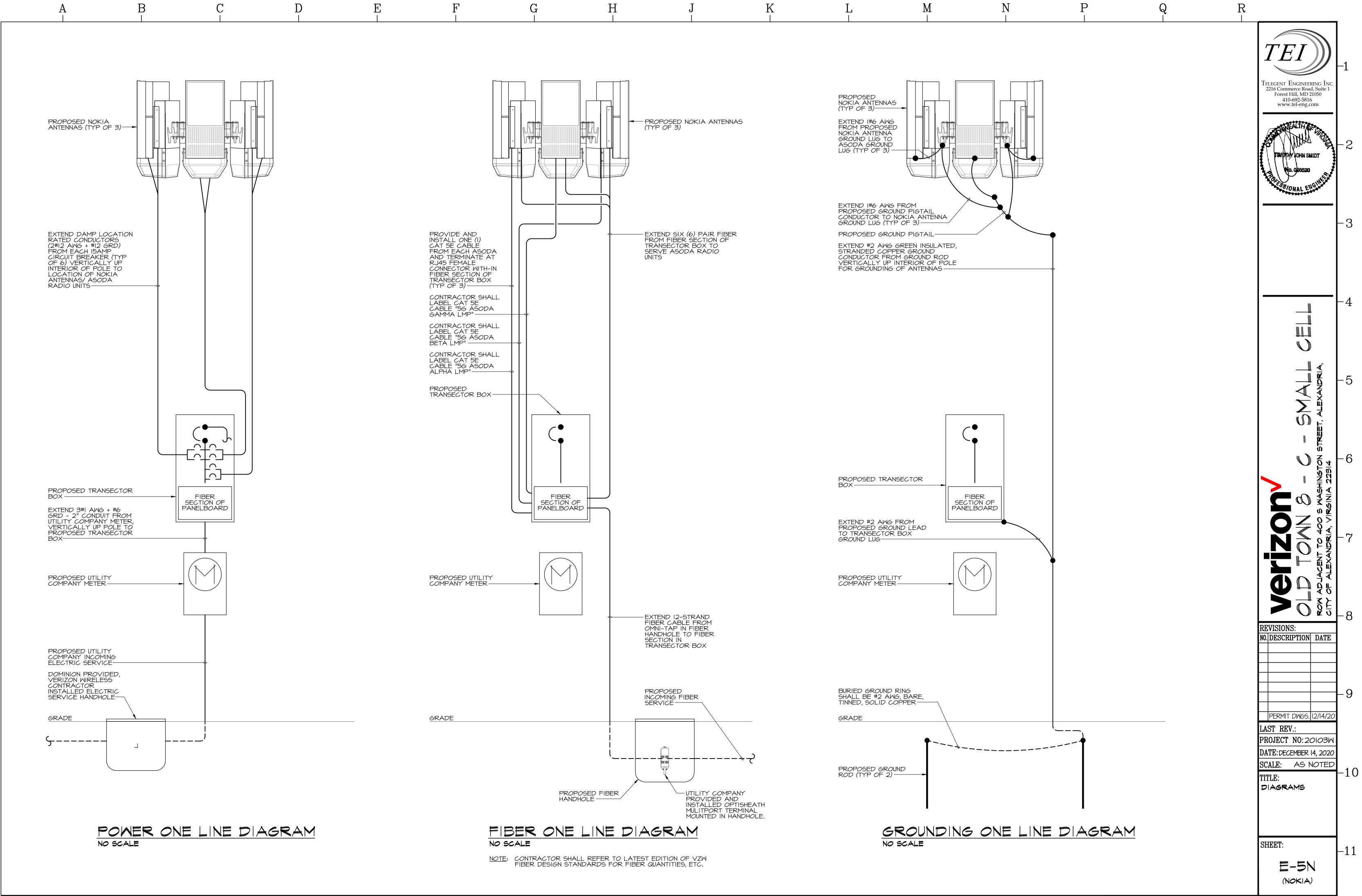
5 EXTEND 1#2 AWG, GREEN INSULATED, STRANDED COPPER GROUND CONDUCTOR FROM ENCLOSURE OF PROPOSED TRANSECTOR BOX AND BOND TO GROUND CONDUCTOR EXTENDING TO BURIED GROUND ROD. REFER TO SERVICE GROUNDING DETAIL, THIS SHEET FOR ADDITIONAL INFORMATION.

6 EXTEND 1#6 AWG, GREEN INSULATED, STRANDED COPPER GROUND CONDUCTOR FROM EACH SAMSUNG ANTENNA/ RADIO AND BOND TO GROUND PIGTAIL CONDUCTOR. EXTEND GROUND PIGTAIL AND BOND TO GROUND CONDUCTOR EXTENDING DOWN POLE TO BURIED GROUND ROD. REFER TO DIRECTIONAL SPLICE

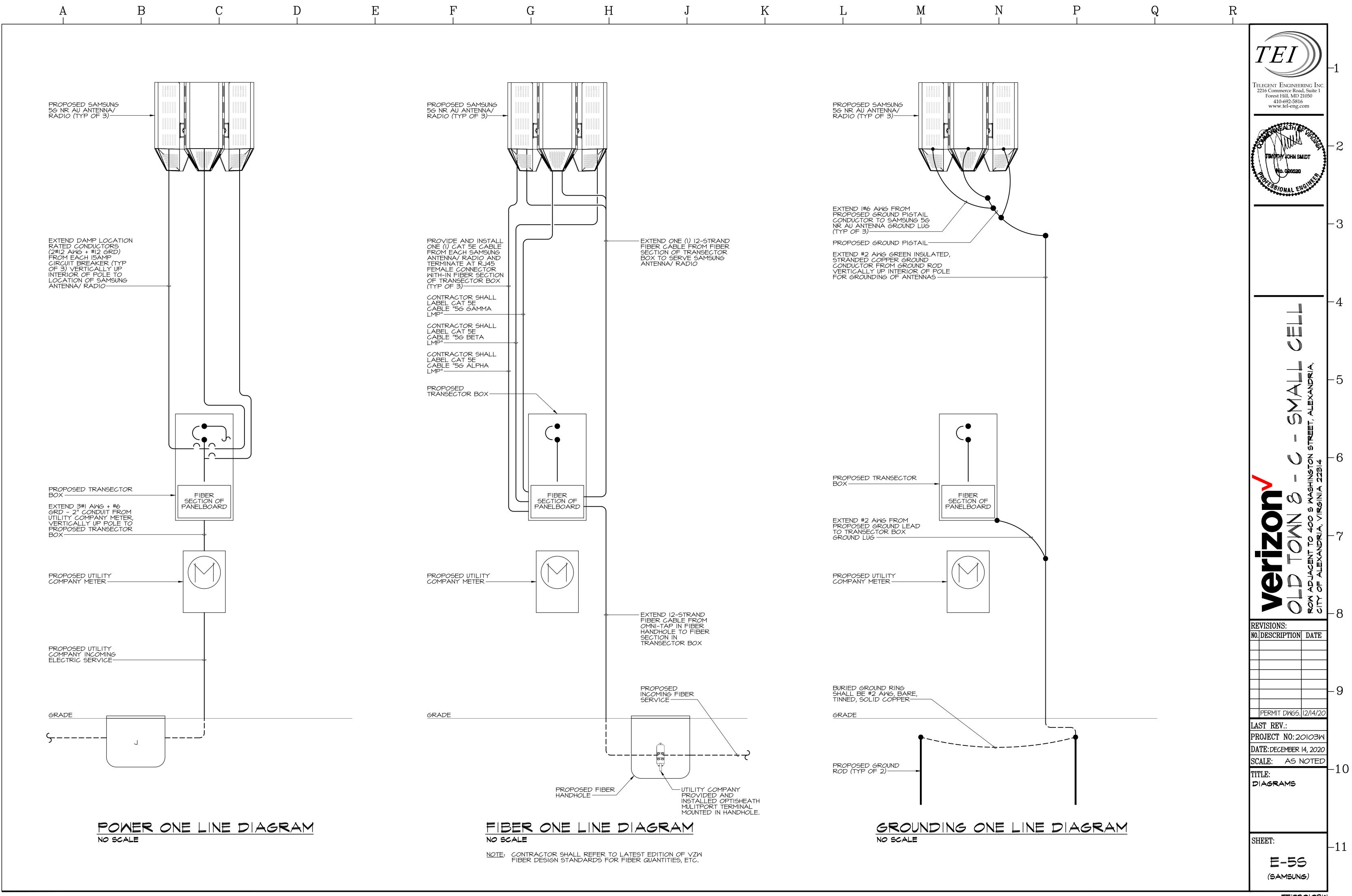


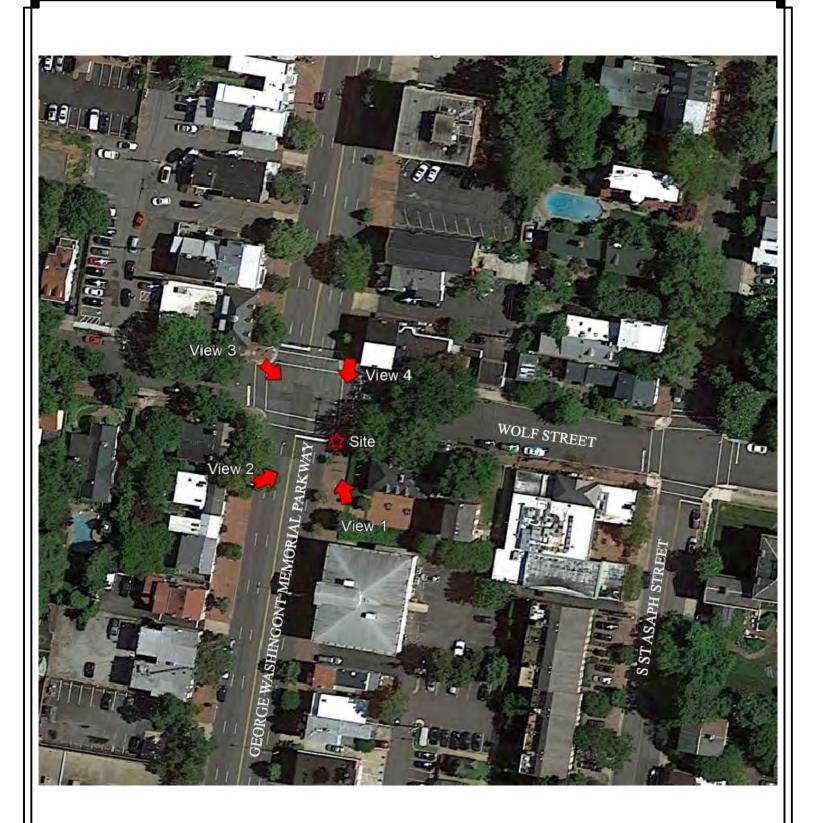
DETAIL - CONDUIT STUB-UP





TEI#20103W







MORRIS & RITCHIE ASSOCIATES, INC. 1220-C East Joppa Road, Suite 505 Towson, Maryiand 21286 410-821-1690 410-821-1748 Fax

Old Town 8 - C Overall Site Layout



09 December 2020





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Old Town 8 - C Existing View 3 09 December 2020







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