City of Alexandria, Virginia

MEMORANDUM

DATE: JANUARY 21, 2021

TO: CHAIR AND MEMBERS OF THE
BOARD OF ARCHITECTURAL REVIEW

FROM: HISTORIC PRESERVATION STAFF

SUBJECT: CONCEPT REVIEW OF 101 DUKE STREET
BAR CASE # 2020-00612

I. SUMMARY

The applicant, Eleventh Street Development, LLC is requesting a BAR Concept Review for the construction of six four-story townhomes with frontage on South Union Street. Each unit will feature a two-car attached garage with vehicular access from the alley to the west of the project site.

The Concept Review Policy was adopted in May 2001 and amended and restated in 2016 (attached). Concept Review is an optional, informal process at the beginning of a Development Special Use Permit (DSUP) application whereby the BAR provides the applicant, staff, the Planning Commission and the City Council with comments relating to the overall appropriateness of a project's height, scale, mass and general architectural character. These comments are not binding on the BAR or the applicant. The Board takes no formal action at the Concept Review stage but will provide comments and may endorse the direction of a project's design by a straw vote. If the Board believes that a building height or mass, or area proposed for construction is not appropriate and would not be supported in the future, the applicant and staff should be advised as soon as possible. This early step in the development review process is intended to minimize future architectural design conflicts between what is shown to the community and City Council during the DSUP approval and what the Board later finds architecturally appropriate under the criteria in Chapter 10 of the Zoning Ordinance and the BAR's adopted *Design Guidelines.*

The Development Special Use Permit associated with this project has not yet been docketed.

SITE
101
W-1
RM
S UNION ST
DUKE ST
BAR #2020-00612
101 Duke Street
N
0 15 30 60 Feet

II. SITE CONTEXT AND HISTORY

Site Context

The project site is located at the corner of Duke Street and South Union Street, with the longest portion of the site fronting Union Street. The alley to the west of the site is private.

This is a transitional area of the city with the Hotel Indigo directly across Union Street and historic two-story buildings to the immediate north and west of the site. Later three-story townhomes with ground floor garages are on the south side of Duke Street across from the proposed building. The townhouses constructed as part of the Robinson Terminal South are located diagonal from the project site.

History

The project site has a diverse history dating to the 1820's with a variety of uses taking place in this location. According to the 1993 edition of the *Fireside Sentinel*, "In the 1820's the building that stood on the site served as a hotel, or more properly a sailor's boarding house with a bar room attached…Many of the occupants of this rum house died when yellow fever visited Alexandria in the first third of the 19th Century. Later, a group of Washingtonians came to Alexandria one evening and set fire to the structure. It was subsequently rebuilt and was known as Monroe's Cooper Shop. Stephen Shinn, a successful commission merchant, was the occupant of the building before the outbreak of the Civil War."[1]

1885 Sanborn Map shows a complex of industrial buildings on the site which include WS Moore's Machine Shop and Brass and Iron Foundry and the Aitcheson Brothers Saw and Planing Mill (Figure 1). These structures appear on the Sanborn Map through 1912, in 1921 only the two structures at the corner of Duke Street and South Union Street remain. According to the *Fireside Sentinel* a fire destroyed much of the factory in 1915. The entire site is vacant in the 1941 Sanborn Map.

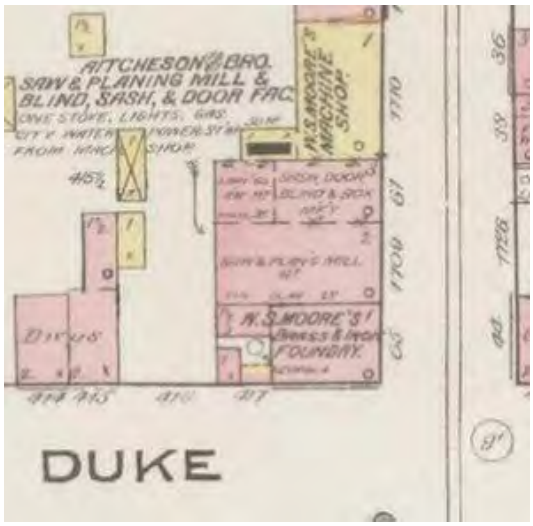

Figure 1: 1885 Sanborn Map showing complex of industrial buildings

[1] Aitcheson Brothers Planing Mill, *The Fireside Sentinel, November/December 1993, page 9*

The 1959 Sanborn Map shows an industrial building labeled as an "Arsenal" in the footprint of the parking garage in place today. In 1988 the BAR approved alterations to the warehouse (BAR #88-182) to convert the building being used by "Interarms Corporation for the storage of weapons and arms" into a multi-level parking garage. Modifications to the property included the removal of the roof, the infill of some existing windows, and the installation of metal shutters at other window openings.

III. PROPOSED DEVELOPMENT

The applicant is proposing to build six four-story townhomes facing South Union Street with attached garages having access from the alley to the west of the site (figure 2). Townhouse one is 27' wide by 41-6" deep, townhouse two through five are 22' wide by 41'-6" deep, and townhouse six is 26' wide by 41'-6" deep. A single story 22' wide by 20' deep attached two-car garage with rooftop terrace is located at the west side of each townhome. The grade along South Union Street slopes from a high point at the south end of the site to a lower point at the north end of the site. Each of the townhomes has a height of approximately 50' above the average finished grade. Due to the slope along South Union Street the height of the first floor above the sidewalk ranges from 5'-3 ¾" at townhouse one to 6'-9 ¾" at townhouse 6.

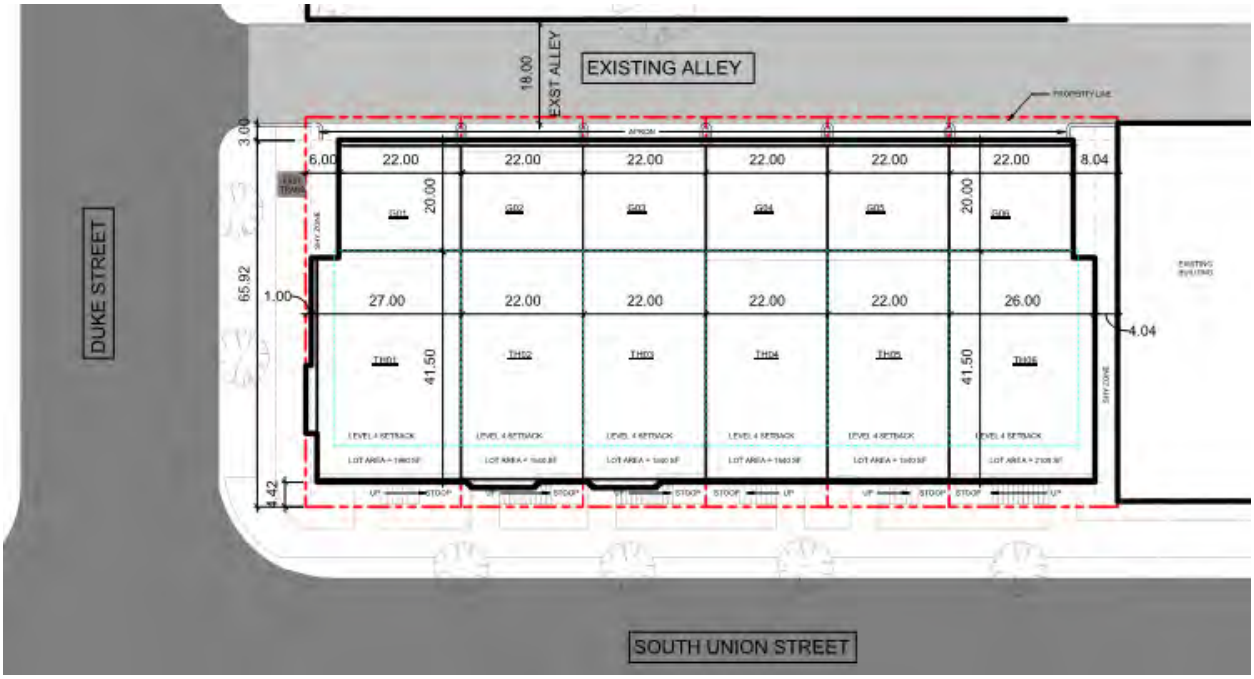

Figure 2: Site plan for proposed townhomes

The design for the townhomes is based on buildings throughout the historic district with brick and masonry bands and punched windows for the lower three floors and a more modern fourth floor clad in a dark fiber cement siding set back from the north, east, and south sides of the building (Figure 3). A combination of metal and brick stoops provide pedestrian access to the first floor of each townhome from South Union Street. Decorative panels and recessed steps at the level below the first floor are intended to reflect historic English basements. The fourth floor is aligned with the lower floors on the west side. Each of the two car garages on the west side of the building

includes a pair of roll-up doors and a brick and railing parapet enclosing the terrace. A canopy above the doors to the terrace provides shelter for the portion of the terrace closest to the building and serves to break up the west elevation.

Figure 3: Perspective of South Union Street elevation

Figure 4: Perspective of Duke Street and west elevation

IV. STAFF ANALYSIS

As a reminder, the BAR's purview in this concept review work session is limited to endorsing the project and providing feedback on its height, scale, mass and general architectural character. It is not unusual for projects to return to the BAR for more than one concept review. The applicant will ultimately return to the Board for approval of a Permit to Demolish and a Certificate of Appropriateness for architectural details, finishes and colors after City Council approval of the DSUP.

Within the historic districts, the Board utilizes the *Design Guidelines* to determine if a potential new building would be compatible with nearby buildings of historic merit. The *Guidelines* do not mandate the use of historic styles for new construction. However, they do state that where new buildings recall historic building styles, the architectural details used throughout the building should be consistent with that same style noting, however, that the building should not be a slavish replica of any specific building in the district. Additionally, the *Design Guidelines* also note that "new and untried approaches to common design problems are encouraged and should not be rejected out of hand simply because they appear to be outside the common practices outlined in the guidelines."

Staff believes that the proposed building is a good starting point for the redevelopment of this site within the context of the modern buildings on the east side of the site and historic buildings to the north and west of the site. This site in the heart of the historic district at the intersection of Duke Street and South Union Street will be highly visible due to the location of the alley to the west and the small historic building immediately to the north. This high level of visibility means that careful attention should be paid to all four elevations of the building. The design of multiple townhomes on this site is a good opportunity to bridge the more contemporary neighboring context with the more modest, historic buildings surrounding the site. Through careful use of an architectural language that is compatible with the historic buildings while being clearly modern and a sensitivity to the scale of the neighboring buildings the proposed project can knit together this neighborhood.

An important factor to be addressed in the design of this project is the relationship between the grade along the alley to the west side of the site and the grade along South Union Street. The southeast corner of the site is 3' higher than the northeast corner over the course of the 145' length of the site. The southwest corner of the building is 4' higher than the southeast corner and the northwest corner is 10' higher than the northeast corner. The result of this grade differential is that the rear of the site where vehicular access is located is significantly higher than the sidewalk on South Union Street (Figure 5 & 6).

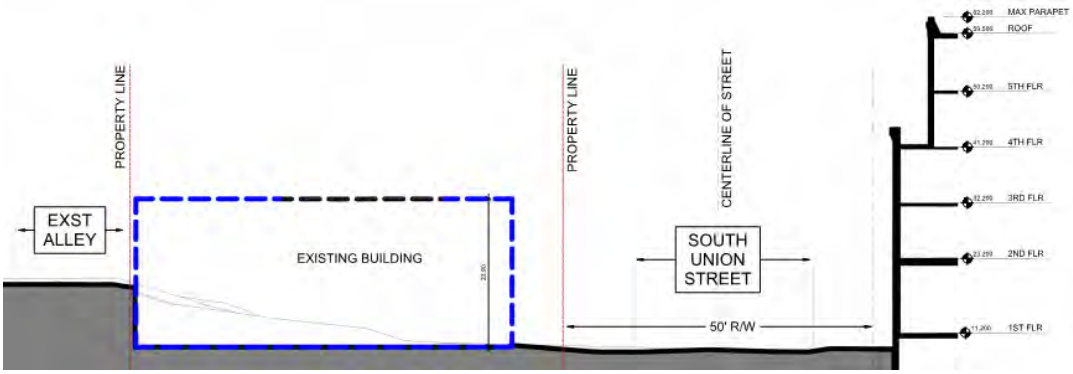

Figure 5: East-west section through site indicating elevation difference between alley and South Union Street

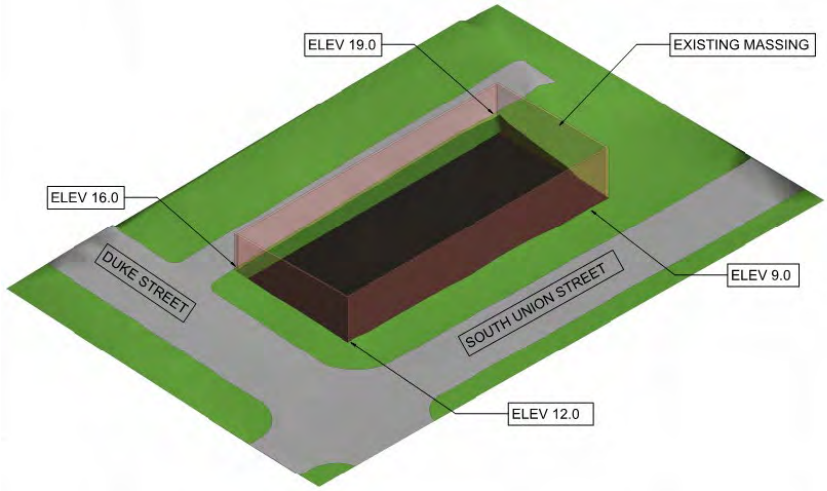

Figure 6: Diagram showing grade elevations around perimeter of site

In addition to the challenges posed by the changes in grade, the east edge of townhouses 5 and 6 are within the flood plain which is approximately 12" above the elevation of the sidewalk. Per the City Zoning Ordinance, no residential use can be located below this elevation within the flood plain.

The proposed design includes attached garages with rooftop terraces and vehicular access from the alley to the west of the site. In order to allow for access to the terraces and to locate windows at the second floor of the west elevation, the applicant has fixed the second-floor level at the level of the roof of the garages (Figure 7). Because of the elevation of the alley this then places the second floor, likely to be the main living space, well above the sidewalk on South Union Street than would typically be found in residential development. This results in the first floors for each townhome that are taller than usual and entry stoops that are higher above sidewalk than those found throughout the district. The first floor of units 2-5, while likely to be interesting spaces with high ceilings, will have limited natural light. This relationship not only poses a difficulty to designing the first floor fenestration with a proportion that is compatible with buildings in the district, but also creating a comfortable relationship between the townhomes and the sidewalk.

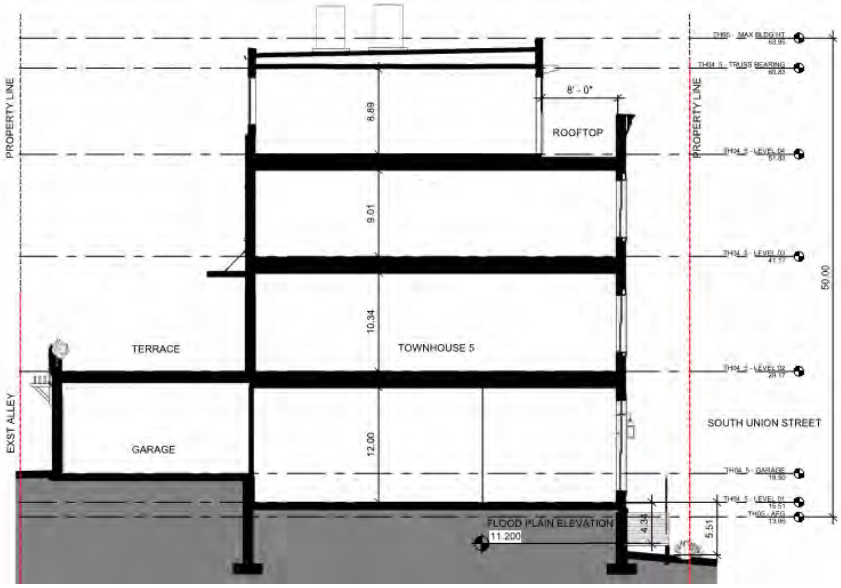

Figure 7: Typical townhome section

The proposed design is utilizing an architectural language that is derived from historic townhomes throughout the district and is modeled off of some other recent infill residential townhouses (Figure 8). This includes a variety of brick colors with either precast bands or decorative brick detailing. A variety of window and door opening treatments reinforces the reference to historic structures. Each of the townhomes employs different architectural styles to effectively break up the massing of the building along South Union Street. The fourth floor of each townhome is set back from the north, south, and east elevations on the end units and is rendered in a dark fiber cement siding in an effort to differentiate this level from the masonry below. Because of the grade issues mentioned above, the entry stoops are at a height above the sidewalk ranging from 5' to 7'. Provided precedent images show traditional townhomes with accessible English basements. Due to site conditions, the applicant is not providing English basement levels but is using decorative panels and recessed elements to imply the presence of this level. This false level can be misleading and represents the reproduction of utilitarian components in a way that is symbolic only.

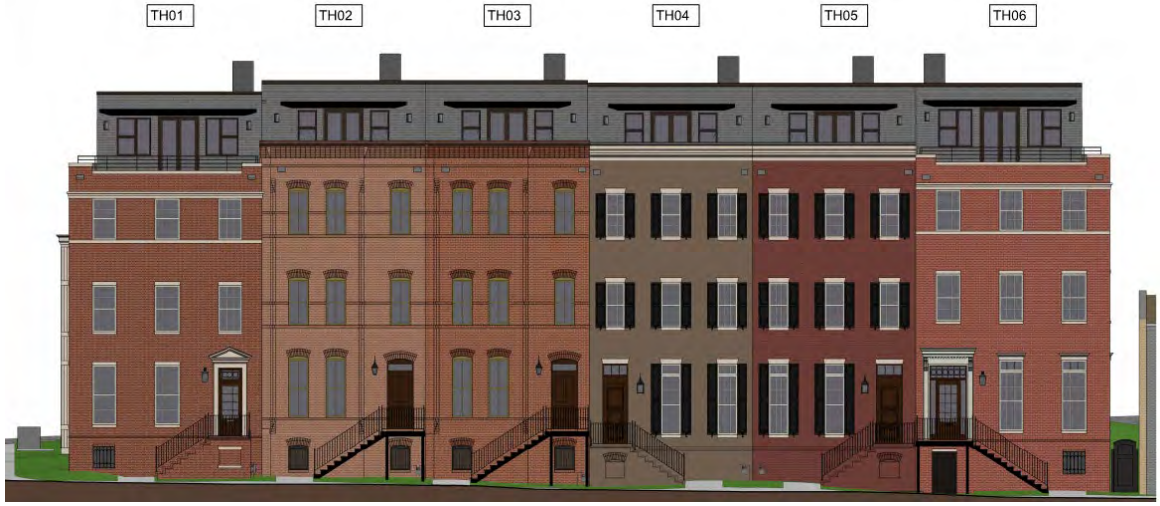

Figure 8: East elevation showing variety of architectural styles and stoop design

The precedent images that have been included and the buildings from which the styles have been taken are typically three story and sometimes four story within a roof structure. The proposed design includes four full residential levels plus a partial level of height below the entry stoop level. This makes the proposed building much larger than those being referenced causing difficulties with the proportions of some of the building elements. At the west side of the building the fourth floor is not recessed from the floors below. This gives the impression of a taller building without significant horizontal relief when viewed from this vantage point.

V. STAFF RECOMMENDATION

Staff recommends that the BAR endorse the development of multiple townhomes on this site as proposed by this application, but that the applicant continue to work on the height, scale, mass, and architectural character of the project and return to the BAR for an additional concept review prior to seeking approval from the Planning Commission and City Council. Continued design development should include the following items.

Building Height

Due to the raised stoops and fourth floor elements the buildings have the appearance of five story structures. This height could be compatible with the hotel across Union Street but is substantially larger than the adjacent historic structures on the west side of Union Street north of the project site and the smaller residential buildings on Duke Street (Figure 9).

Figure 9: Rendering showing proposed building adjacent to existing historic structure

One option to reduce the perceived height is to revise the design for the fourth floor into a roof monitor. Traditionally monitors are stepped back on all sides from the edge of the building and typically consist of mostly glass and metal exteriors to give a lightweight feel on top of the heavier masonry base. There are several examples of recent buildings that include monitor levels that

substantially reduce the perceived height of the overall building, such as on the renovated Health Department Building (Figure 10).

Figure 10: Example of modern building with upper-level monitor

West Elevation

The proposed design does not step the upper level back from the west side of the building, creating an elevation that is without the horizontal relief found elsewhere in the design (Figure 11). The creation of a true monitor that is pulled back from the west side as well as the other sides and with a lighter design feel will help to address this somewhat imposing façade. In addition to the treatment of the upper level, the applicant should explore the use of a full depth trellis over the outdoor space on top of the garages. This will provide for shelter to the outdoor space and will further break up the elevation. The applicant should also study the window pattern on this elevation as it appears to be inconsistent with the punched windows found elsewhere on the building.

Figure 11: Rendering showing west elevation visible from Duke Street

Stoop Height

Union Street is an active pedestrian-oriented corridor, and the introduction of the hotel across the street from the project site and the overall revitalization of the waterfront has made this an important thoroughfare. The proposed design presents an awkward relationship between the streetscape and residences. Under the proposed design the building entry is between five and seven feet above the sidewalk with a false English basement recessed below the level of the sidewalk. The precedent images of English basements are successful in no small part because they are true habitable levels that place interior living space directly adjacent to the sidewalk. The false English basements will not have this interactive quality and will appear as more of a plinth for the residence. Due to the location of the garages at the rear of each unit, the main living space will be located on the second floor with direct access to the terrace above the garages. This floor will be approximately twenty feet above the level of the sidewalk, far higher than would be found in historic structures, even those with a true English basement. This furthers the impression that the building is situated on a false plinth and further alienates the structure from the streetscape. The applicant should consider modifications to the level of the entry and the relationship of the second floor to the garage at the rear in order to address these concerns about how the project relates to Union Street.

Figure 12: Example of modern townhomes with a comfortable relationship to the streetscape

Architectural Character

The proposed design draws direct inspiration from examples of historic residential buildings throughout the historic district, however the proposed structures are taller than the historic structures from which they draw inspiration. This leads to an awkward situation where traditional building elements feel stretched and out of proportion. The project site is a highly transitional area with historic single-family homes immediately to the west and more modern structures along the waterfront to the east of the site. The architectural character of the design should be reflective of this transitional nature of the site. In order to address some of the concerns regarding the relationship between the entry level and the sidewalk, the design incorporates taller than normal

ground floor heights. This poses a challenge when utilizing traditional historic architectural language because either the ground floor windows are too tall or the distance between the ground floor windows and the second-floor windows is too great. The applicant should consider façade design options that are compatible with the language of the architecture in the historic district without directly copying them and can allow for taller ground floor windows that make the lowest level more active. One possible option would be to look at historic warehouse/working buildings for an architectural language that is more compatible with the scale of the proposed project. This type of architectural language also provides an opportunity to address the transitional nature of the site by bridging the design elements of the adjacent historic and modern structures linking them together into a cohesive and appropriately scaled design.

STAFF
William Conkey, AIA, Historic Preservation Architect
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

VI. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Code Administration
C-1 A building permit and plan review are required prior to the start of construction.

Transportation and Environmental Services
F-1 Comply with all requirements of CDSP2020-00030 and future DSP associated with this address. (T&ES)

C-1 The Final Site Plan must be approved and released and a copy of that plan must be attached to the demolition permit application. No demolition permit will be issued in advance of the building permit unless the Final Site Plan includes a demolition plan which clearly represents the demolished condition. (T&ES)

Archaeology
Open Space and Landscaping
R-1 Hire a professional consultant to work with staff and the landscape designers to incorporate and interpret elements of the historical character and archaeological findings into the design of the open space and to prepare interpretive elements, which shall be erected as part of the development project. The site plan shall indicate themes and locations of interpretive elements. Prior to release of the final site plan, the consultant shall provide text and graphics for the signage subject to approval by the Office of Historic Alexandria/Alexandria Archaeology and the Directors of P&Z and/or RP&CA.* (Arch)(P&Z)(RP&CA)

Archaeology Comments
R-1 Hire an archaeological consultant to complete a Documentary Study and an Archaeological Evaluation. If significant resources are discovered, the consultant shall

complete a Resource Management Plan, as outlined in the City of Alexandria Archaeological Standards. Preservation measures presented in the Resource Management Plan, as approved by the City Archaeologist, will be implemented. (Archaeology)

R-2 The Final Site Plan, Grading Plan, or any other permits involving ground disturbing activities (such as coring, grading, filling, vegetation removal, undergrounding utilities, pile driving, landscaping and other excavations as defined in Section 2-151 of the Zoning Ordinance) shall not be released until the City archaeologist confirms that all archaeological field work has been completed or that an approved Resource Management Plan is in place to recover significant resources in concert with construction activities. * (Archaeology)

R-3 Certificates of Occupancy shall not be issued for this property until interpretive elements have been constructed, interpretive markers have been erected, and the final archaeological report has been received and approved by the City Archaeologist.*** (Archaeology)

R-4 Call Alexandria Archaeology (703/746-4399) two weeks before the starting date of any ground disturbance so that an inspection or monitoring schedule for city archaeologists can be arranged. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)

R-5 The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)

F-1 The property at 101 Duke St. has been in use since the late eighteenth century. By 1810 a house owned by Mary Copper was sited on the corner, next to another house owned by Thomas Preston. To the north of Copper's house was house and stable owned by Horace Fields, a nailor (nail maker). By the mid-nineteenth century the block had become more industrial in nature and shops and small industries were located there. This property holds a high potential to contain significant archaeological deposits that speak to the late eighteenth and nineteenth-century development of Alexandria's waterfront.

F-2 If this project is a federal undertaking or involves the use of any federal funding, the applicant shall comply with federal preservation laws, in particular Section 106 of the National Historic Preservation Act of 1966. The applicant will coordinate with the Virginia Department of Historic Resources and the federal agency involved in the project, as well as with Alexandria Archaeology.

F-3 If this project is a federal undertaking or involves the use of any federal funding, the applicant shall comply with federal preservation laws, in particular Section 106 of the National Historic Preservation Act of 1966. The applicant will coordinate with the

Virginia Department of Historic Resources and the federal agency involved in the project, as well as with Alexandria Archaeology.

F-4 All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

VII. ATTACHMENTS

1 – Application Materials
2 – BAR Concept Review Policy (adopted 2001 and amended in 2016)

BAR Case # _____

ADDRESS OF PROJECT: 101 Duke Street Alexandria, Virginia 22314

DISTRICT: ☒ **Old & Historic Alexandria** ☐ **Parker – Gray** ☐ **100 Year Old Building**

TAX MAP AND PARCEL: 075.03-02-15 **ZONING:** W-1

APPLICATION FOR: *(Please check all that apply)*

☐ CERTIFICATE OF APPROPRIATENESS ☒ Concept

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☒ Business *(Please provide business name & contact person)*

Name: Eleventh Street Development, LLC

Address: 24 Cedar Street

City: Alexandria State: VA Zip: 22301

Phone: 703-519-3881 E-mail : garrett@eleventhstreetdevelopment.com

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☒ Contract Purchaser

Name: Garrett Erdle Phone: 703-519-3881

E-mail: garrett@eleventhstreetdevelopment.com

Legal Property Owner:

Name: Cummings Investment Associates Inc

Address: PO Box 231

City: Alexandria State: VA Zip: 22313

Phone: _____ E-mail: lindawhitmore@cummingsinvestment.com

☐ **Yes** ☒ **No** Is there an historic preservation easement on this property?
☐ **Yes** ☐ **No** If yes, has the easement holder agreed to the proposed alterations?
☐ **Yes** ☐ **No** Is there a homeowner's association for this property?
☐ **Yes** ☐ **No** If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

BAR Case # _____

NATURE OF PROPOSED WORK: *Please check all that apply*

☐ NEW CONSTRUCTION
☐ EXTERIOR ALTERATION: *Please check all that apply.*
- ☐ awning
- ☐ doors
- ☐ lighting
- ☐ other _____
- ☐ fence, gate or garden wall
- ☐ windows
- ☐ pergola/trellis
- ☐ HVAC equipment
- ☐ siding
- ☐ painting unpainted masonry
- ☐ shutters
- ☐ shed

☐ ADDITION
☐ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

The redevelopment will demolish existing parking garage and replace with six (6) TH units. The end units will be 26' wide and the interior units will be 22' wide. Lot size will be 1540sf - 2100sf. Each unit will contain a two car, attached garage accessible from the western alley. Total FAR will be at/below 2.0, after allowable FAR deductions for stairs, elevators, mechanical and bathrooms. First floor layout will include an attached garage, home office, Rec Room and mechanical areas. The main living area will be at the second level with a third and fourth floors reserved for bedrooms and bathrooms. The garage terrace will be at the second level and a rooftop terrace will be on the fourth level. Open Space of ~ 660sf will be provided for each individual unit.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

	N/A	
☒	☐	Survey plat showing the extent of the proposed demolition/encapsulation.
☒	☐	Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☒	☐	Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☐	☐	Description of the reason for demolition/encapsulation.
☐	☐	Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

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Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

	N/A	
[x]	☐	Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
[x]	☐	FAR & Open Space calculation form.
[x]	☐	Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
☐	☐	Existing elevations must be scaled and include dimensions.
[x]	☐	Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
☐	☐	Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
☐	☐	Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
[x]	☐	For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

	N/A	
☐	☐	Linear feet of building: Front:_____Secondary front (if corner lot):_____.
☐	☐	Square feet of existing signs to remain:_____.
☐	☐	Photograph of building showing existing conditions.
☐	☐	Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
☐	☐	Location of sign (show exact location on building including the height above sidewalk).
☐	☐	Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
☐	☐	Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

	N/A	
☐	☐	Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
☐	☐	Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
☐	☐	Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
☐	☐	An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
☐	☐	Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

BAR Case # _____

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

☐ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)

☐ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.

☐ I, the applicant, or an authorized representative will be present at the public hearing.

☐ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Garrett W. Erdle

Printed Name: Garrett W. Erdle

Date: 12-17-2020

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. GARRETT EKOLE	24 CEDAR STREET ALEXANDRIA, VA 22301	90%
2. ALLISON EKOLE	24 CEDAR STREET ALEXANDRIA, VA 22301	10%
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 101 DUKE STREET ALEXANDRIA, VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. DIANA CUMMINGS	3163 LABARON LANE JEFFERSONTON VA 22724	50%
2. SUSAN CUMMINGS	3162 LA BARON LANE JEFFERSONTON, VA 22724	50%
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, click here.

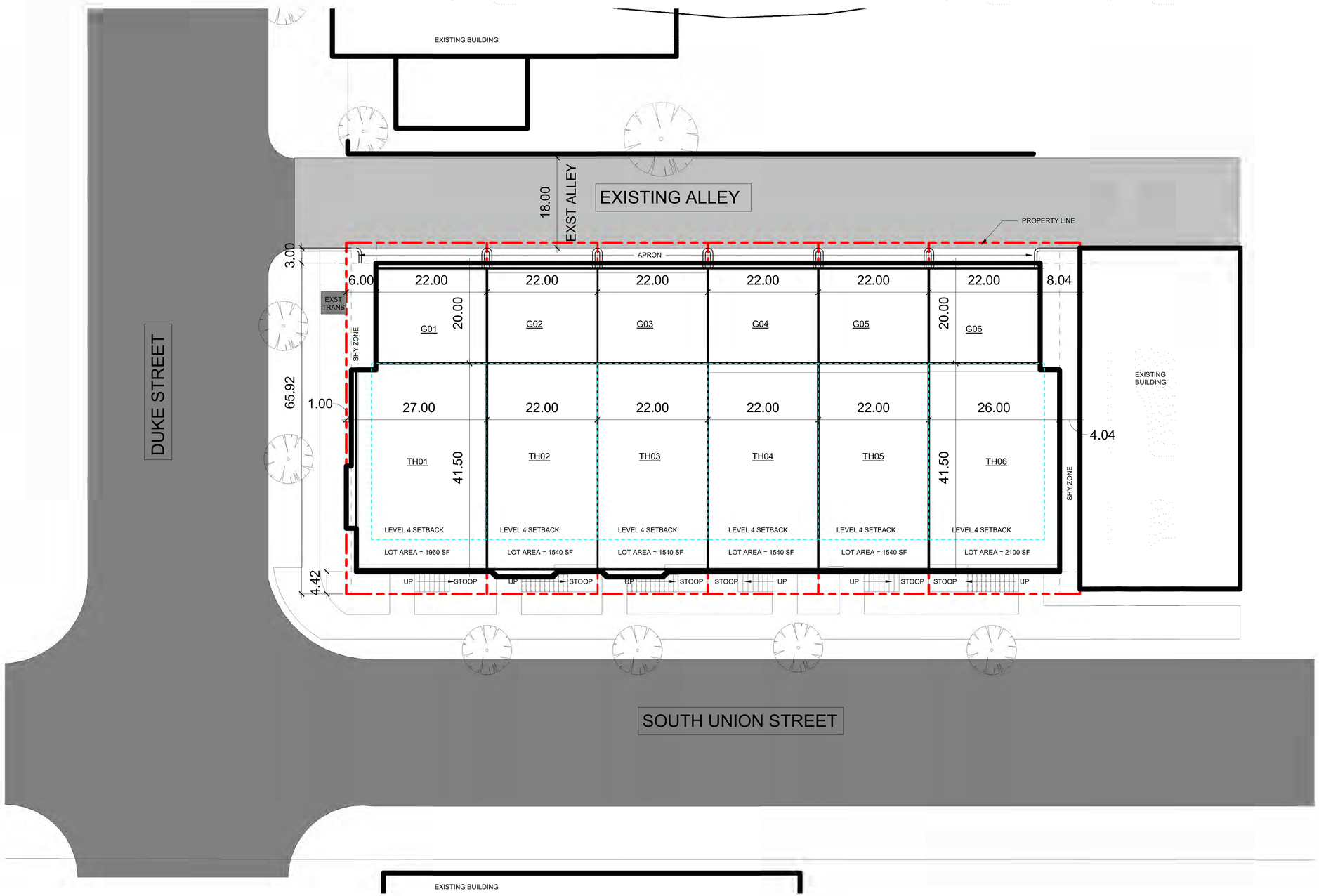
Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. GARRETT EKOLE	NONE	
2. ALLISON EKOLE	NONE	
3. DIANA CUMMINGS	NONE	
4. SUSAN CUMMINGS	NONE	

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

12/18/2020 GARRETT EKOLE

Date Printed Name Signature



1 ARCHITECTURAL SITE PLAN
1" = 10'-0"

TH01			
GROUND FLOOR	1088 SF	440 SF	GARAGE
SECOND FLOOR	1088 SF	440 SF	TERRACE
THIRD FLOOR	1072 SF		
FOURTH FLOOR	737 SF	335 SF	ROOFTOP
TOTAL INTERIOR	3985 SF		

TH02 AND TH03			
GROUND FLOOR	900 SF	446 SF	GARAGE
SECOND FLOOR	900 SF	446 SF	TERRACE
THIRD FLOOR	900 SF		
FOURTH FLOOR	702 SF	198 SF	ROOFTOP
TOTAL INTERIOR	3402 SF		

TH04 AND TH05			
GROUND FLOOR	888 SF	446 SF	GARAGE
SECOND FLOOR	888 SF	446 SF	TERRACE
THIRD FLOOR	888 SF		
FOURTH FLOOR	702 SF	186 SF	ROOFTOP
TOTAL INTERIOR	3366 SF		

TH06			
GROUND FLOOR	1032 SF	440 SF	GARAGE
SECOND FLOOR	1032 SF	440 SF	TERRACE
THIRD FLOOR	1032 SF		
FOURTH FLOOR	705 SF	327 SF	ROOFTOP
TOTAL INTERIOR	3801 SF		

		GFA		DEDUCTIONS		
	LOT AREA	TH	GARAGE	Mech/Stair	Bathrooms	FAR per LOT
TH01	1983	3985	440	-550	-220	1.84
TH02	1540	3402	446	-550	-220	2.00
TH03	1540	3402	446	-550	-220	2.00
TH04	1540	3366	446	-550	-220	1.98
TH05	1540	3366	446	-550	-220	1.98
TH06	2080	3801	440	-550	-220	1.67

SITE AREA	10222
FAR	1.89

	OPEN SPACE				
	LOT AREA	TERRACE	ROOFTOP	TOTAL	O/S PER LOT
TH01	1960	440	335	775	40%
TH02	1540	446	198	644	42%
TH03	1540	446	198	644	42%
TH04	1540	446	186	632	41%
TH05	1540	446	186	632	41%
TH06	2100	440	327	767	37%

ZONING INFORMATION

ZONE	W-1	
USE	TOWNHOUSE FEE SIMPLE	
LOT AREA (SF)	10,222 (.235 ACRES)	
	REQUIRED	PROVIDED
LOT AREA (SF MIN)	1,452	1,540 MIN
FRONTAGE (FT MIN)	18' INT, 26' END	22' INT, 28' END, 30' END
FRONT YARD (FT MIN)	N/A	N/A
REAR YARD (FT MIN)	N/A	N/A
SIDE YARDS (FT MIN)	8'	-
OPEN SPACE (SF/UNIT)	300 SF/UNIT	SEE CHART ABOVE
FAR	1	2
DENSITY	30 UNITS/ACRE	25.5 UNITS/ACRE
HEIGHT (FT MAX)	50'	50' MAX
PARKING	2 SP/UNIT	2 SP/UNIT

NOTES:

1. EXHIBIT IS FOR PLANNING PURPOSES ONLY
2. ALL OPEN SPACE PROVIDED ON ABOVE GRADE ROOFTOPS AND DECKS/BALCONIES
3. TWO (2) PARKING SPACES PER UNIT PROVIDED IN GARAGE

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ARCHITECTURAL SITE PLAN

NW CORNER OF SOUTH UNION AND DUKE STREETS

01

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UNION ST PERSPECTIVE | NW CORNER OF SOUTH UNION AND DUKE STREETS | 02

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ALLEY PERSPECTIVE

NW CORNER OF SOUTH UNION AND DUKE STREETS

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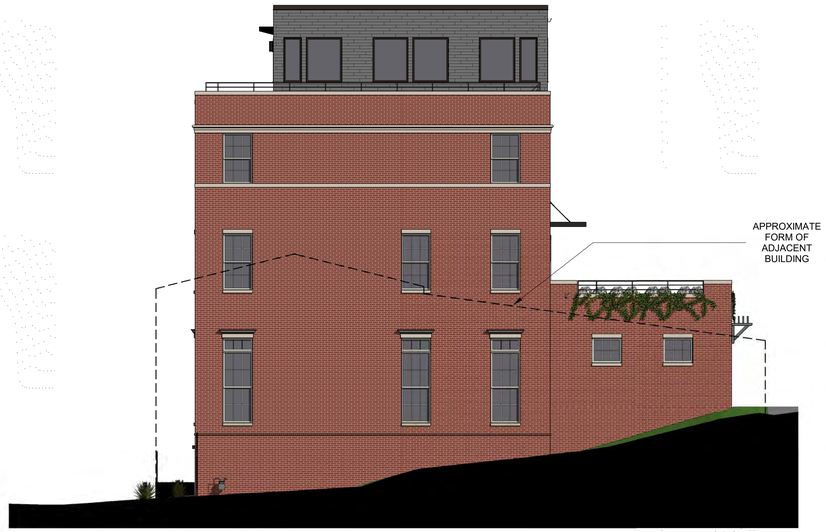

4 NORTH ELEVATION
1/8" = 1'-0"

2 ALLEY ELEVATION
1/8" = 1'-0"

3 DUKE STREET ELEVATION
1/8" = 1'-0"

1 UNION STREET ELEVATION
1/8" = 1'-0"

ELEVATIONS

NW CORNER OF SOUTH UNION AND DUKE STREETS

04

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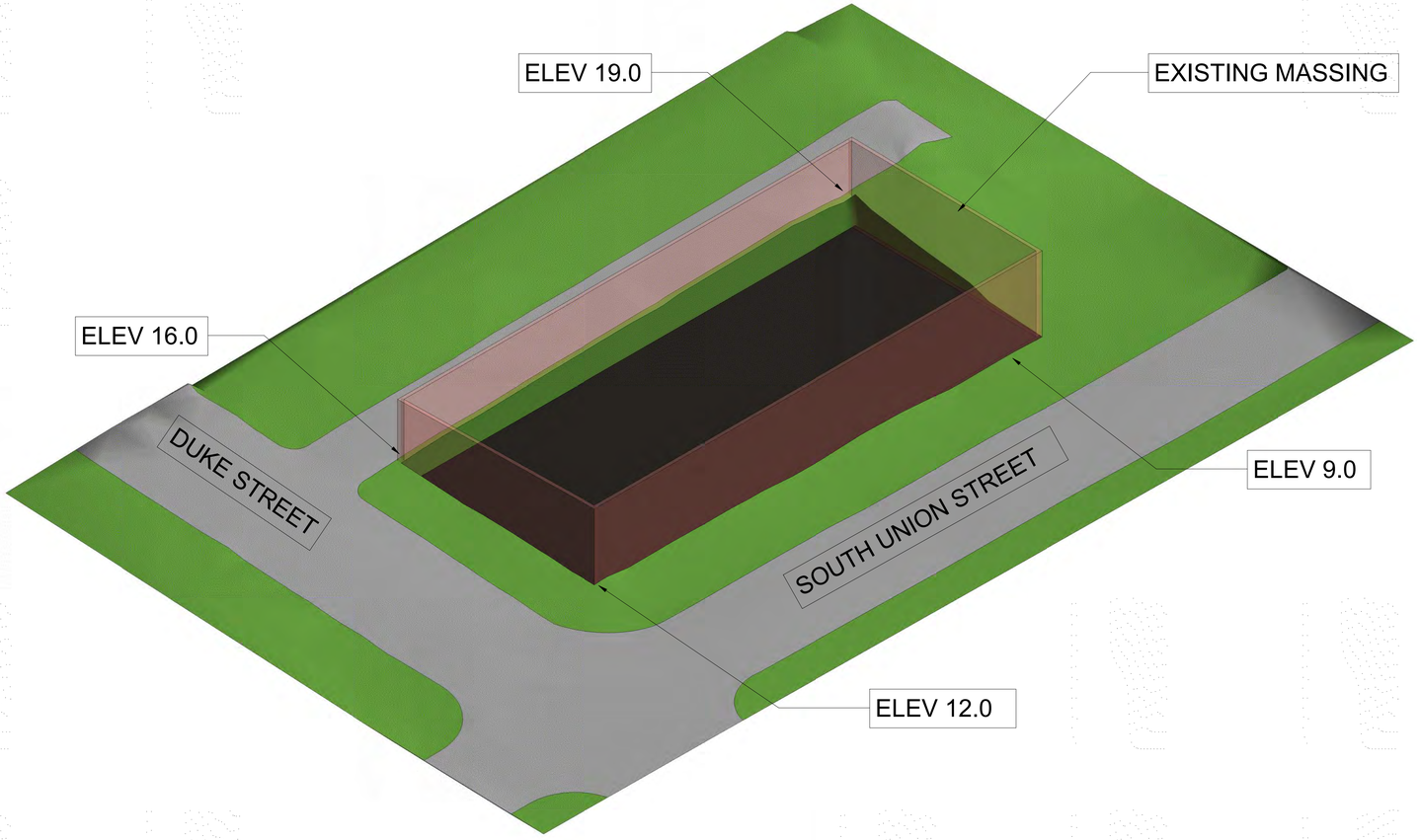
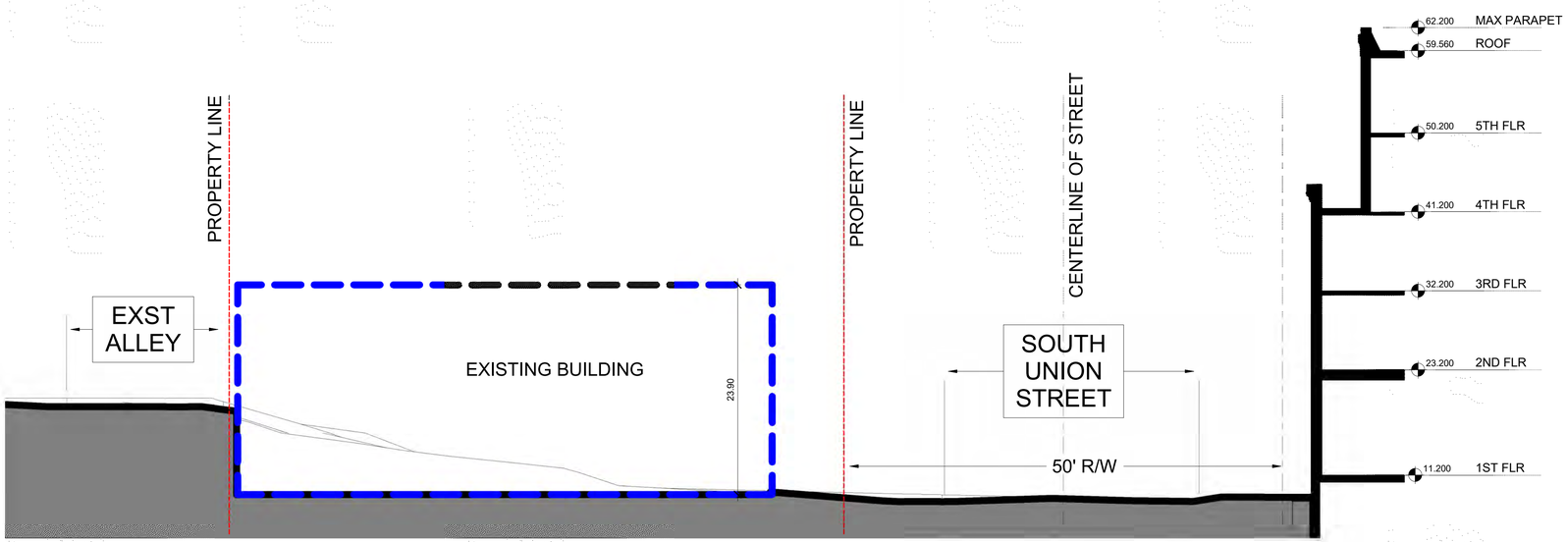


1 EXISTING TOPOGRAPHY AND MASSING



2 EXISTING STREET SECTION
1/8" = 1'-0"

0' 4' 8' 16'

EXISTING TOPOGRAPHY EXHIBIT | **NW CORNER OF SOUTH UNION AND DUKE STREETS** | **05**

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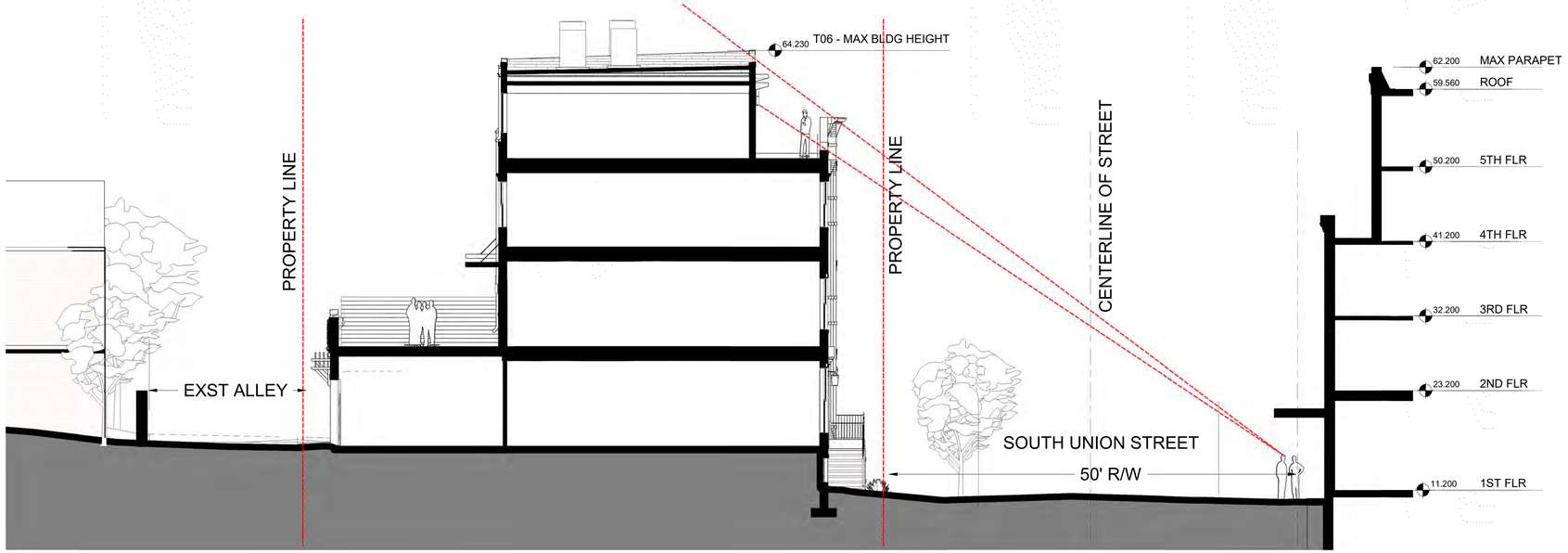

3 SITE SECTION THRU ALLEY AND SOUTH UNION STREET
1/8" = 1'-0"

2 SOUTH UNION STREET SITE SECTION
1/16" = 1'-0"

1 DUKE STREET SITE SECTION
1/16" = 1'-0"

0' 8' 16' 32'

SITE SECTIONS

NW CORNER OF SOUTH UNION AND DUKE STREETS

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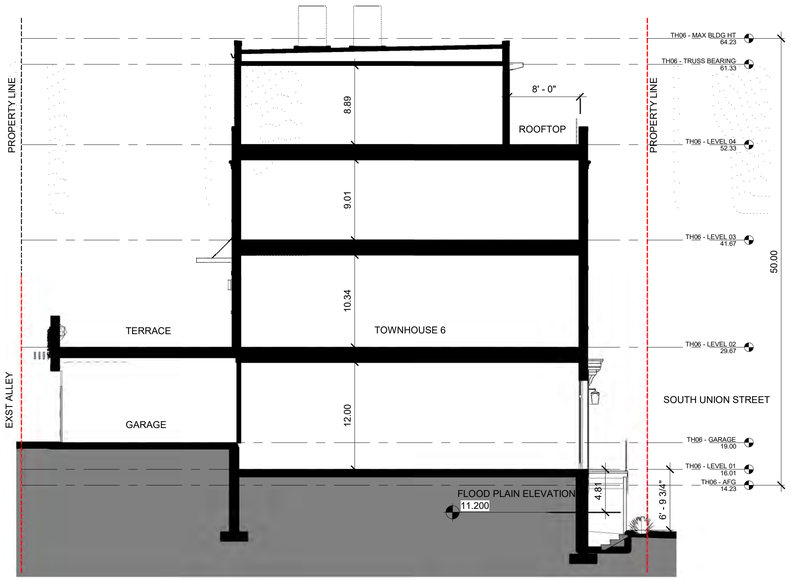
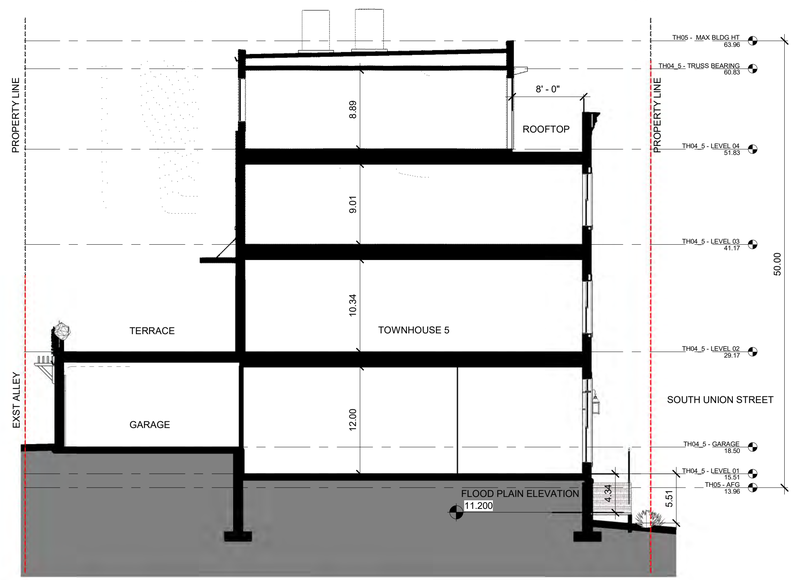
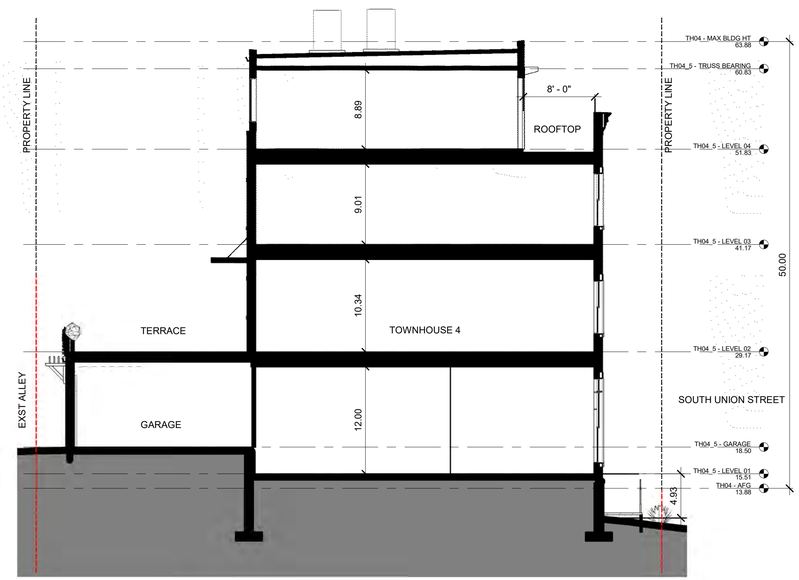


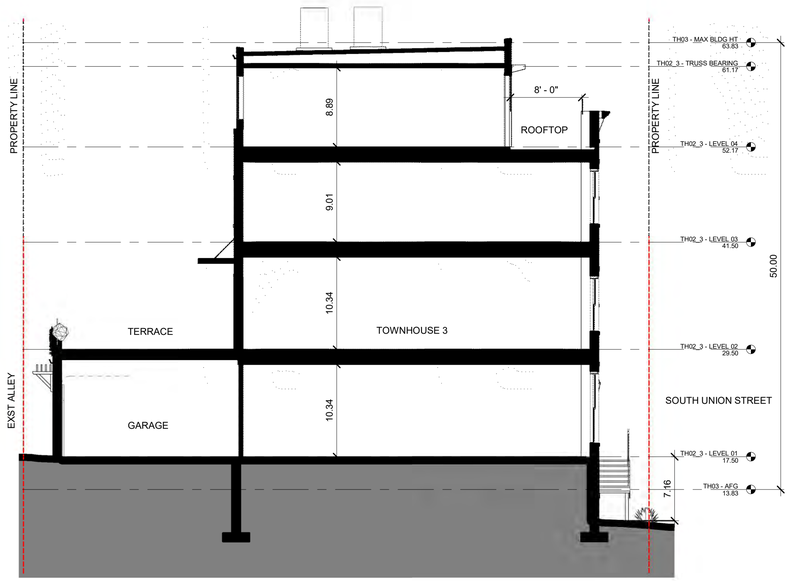
6 TH 6 GRADING SECTION
1/8" = 1'-0"



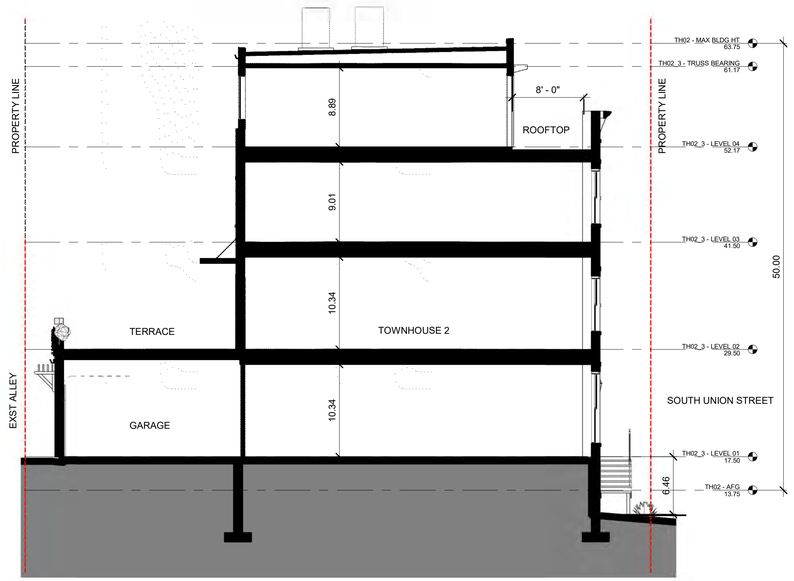
5 TH 5 GRADING SECTION
1/8" = 1'-0"



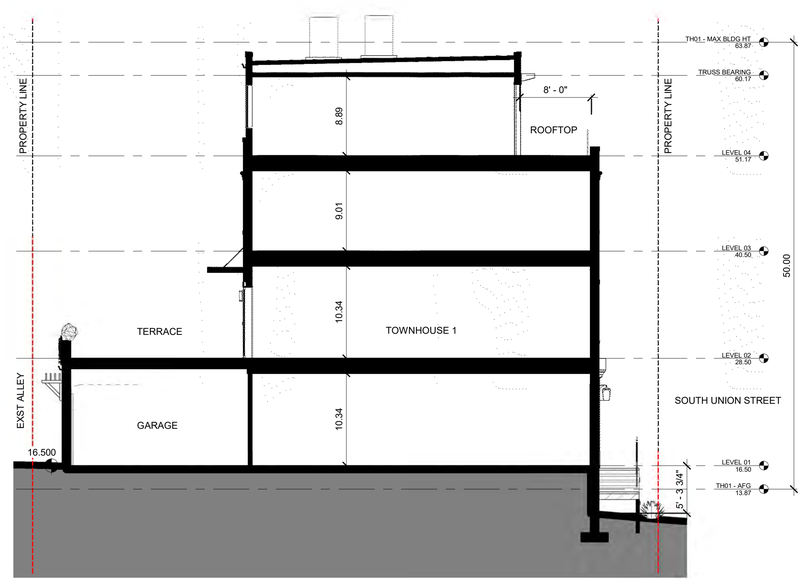
4 TH 4 GRADING SECTION
1/8" = 1'-0"



3 TH 3 GRADING SECTION
1/8" = 1'-0"



2 TH 2 GRADING SECTION
1/8" = 1'-0"



1 TH 1 GRADING SECTION
1/8" = 1'-0"

0' 8' 16' 32'

TH GRADING SECTIONS

NW CORNER OF SOUTH UNION AND DUKE STREETS

07

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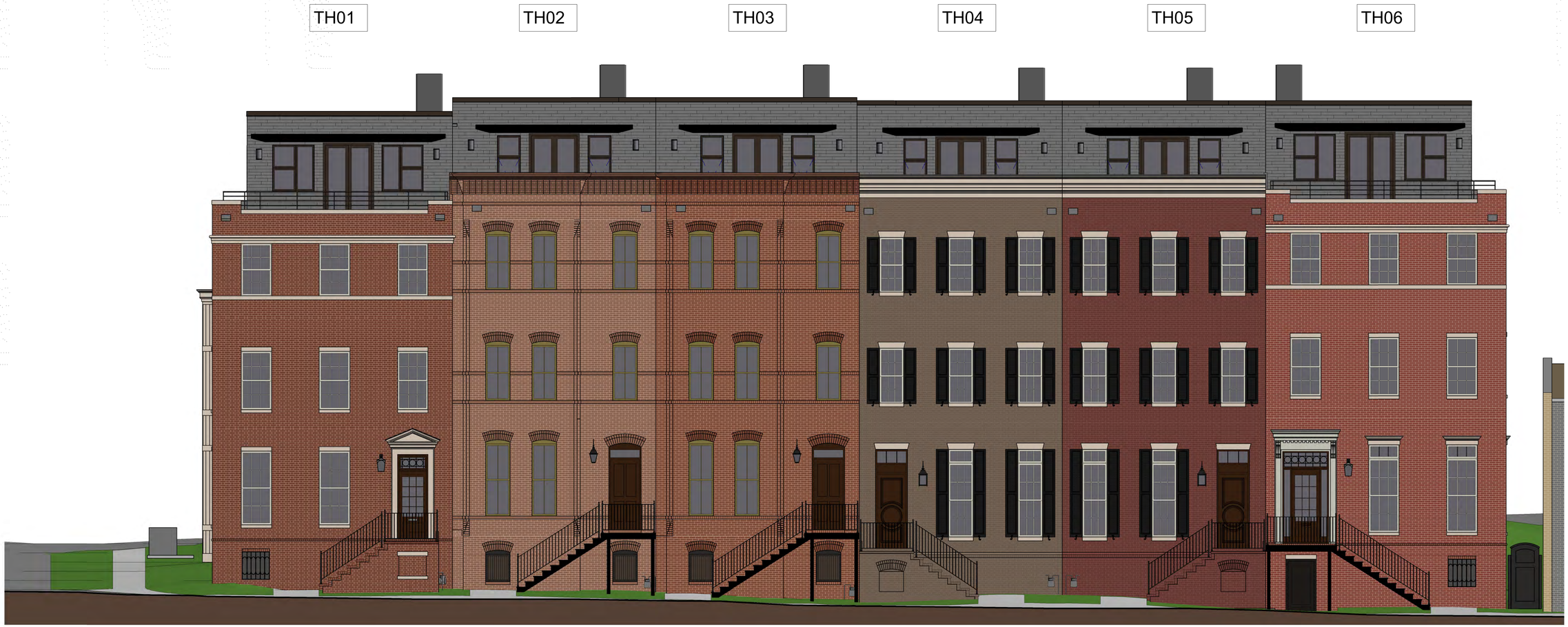
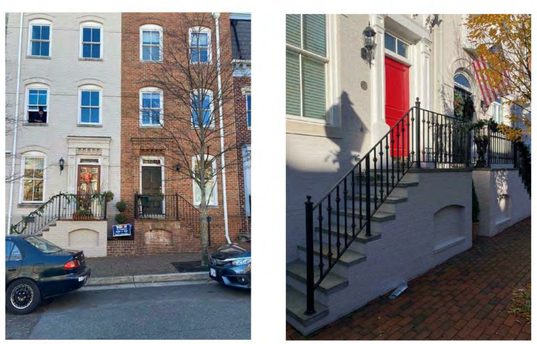
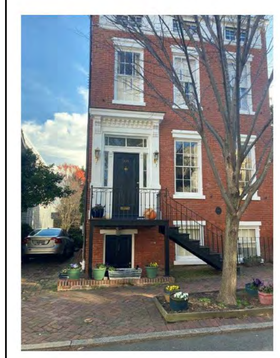


MASONRY | METAL | METAL | MASONRY | MASONRY | METAL





STOOP EXHIBIT | **NW CORNER OF SOUTH UNION AND DUKE STREETS** | **08**

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PHOTO MONTAGE | **NW CORNER OF SOUTH UNION AND DUKE STREETS** | **09**

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PHOTO MONTAGE | **NW CORNER OF SOUTH UNION AND DUKE STREETS** | **11**

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24 HOUR
S UNION

ARKING
225
S. UNION ST.
FLAT RATE
$10.00
NO
PARKING
BETWEEN
SIGNS

STAGE II CONCEPT PLAN

NORTHWEST CORNER OF SOUTH UNION STREET AND DUKE STREET

AREA TABULATIONS

TOTAL SITE AREA =	±0.2347 AC OR ±10,223 SF
TOTAL EXISTING IMPERVIOUS AREA =	±0.2287 AC OR ±9,960 SF
TOTAL PROPOSED IMPERVIOUS AREA =	±0.2292 AC OR ±9,986 SF
TOTAL DISTURBED AREA =	±0.3955 AC OR ±17,230 SF
TAX PARCEL IDENTIFICATION =	075.03–02–15 EXISTING/PROPOSED ZONE: W–1
ADDRESS:	101 DUKE STREET, ALEXANDRIA VA 22314

PARKING TABULATION

PARKING REQUIRED

2 SPACES PER UNIT X 6 UNITS = 12 SPACES

PARKING PROVIDED

12 SPACES (STANDARD SPACES WITHIN INDIVIDUAL UNIT GARAGES)

LOADING REQUIRED

NONE

ARCHAEOLOGY NOTES

1. ALL REQUIRED ARCHAEOLOGICAL PRESERVATION MEASURES SHALL BE COMPLETED PRIOR TO GROUND–DISTURBING ACTIVITIES (SUCH AS CORING, GRADING, FILLING, VEGETATION REMOVAL, UNDERGROUNDING UTILITIES, PILE DRIVING, LANDSCAPING, AND OTHER EXCAVATIONS AS DEFINED IN SECTION 2–151 OF THE ZONING ORDINANCE) OR A RESOURCE MANAGEMENT PLAN MUST BE IN PLACE TO PRESERVE AND/OR RECOVER SIGNIFICANT RESOURCES IN CONCERT WITH CONSTRUCTION ACTIVITIES. TO CONFIRM, CALL ALEXANDRIA ARCHAEOLOGY AT 703–746–4399.
2. THE APPLICANT SHALL CALL ALEXANDRIA ARCHAEOLOGY IMMEDIATELY (703–746–4399) IF ANY BURIED STRUCTURAL REMAINS (WALL FOUNDATIONS, WELLS, PRIVIES, CISTERNS, ETC.) OR CONCENTRATIONS OF ARTIFACTS ARE DISCOVERED DURING DEVELOPMENT. WORK MUST CEASE IN THE AREA OF THE DISCOVERY UNTIL A CITY ARCHAEOLOGIST COMES TO THE SITE AND RECORDS THE FINDS.
3. THE APPLICANT SHALL NOT ALLOW ANY METAL DETECTION AND/OR ARTIFACT COLLECTION TO BE CONDUCTED ON THE PROPERTY, UNLESS AUTHORIZED BY THE ALEXANDRIA ARCHAEOLOGY. FAILURE TO COMPLY SHALL RESULT IN PROJECT DELAY.

ENVIRONMENTAL SITE ASSESSMENT

1. THERE ARE NO TIDAL WETLANDS, RPA'S, TIDAL SHORES, TRIBUTARY STREAMS, CONNECTED TIDAL WETLANDS, ISOLATED WETLANDS, HIGHLY ERODIBLE/PERMEABLE SOILS OR BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS OR WETLANDS LOCATED ON THIS SITE. THERE ARE NO WETLAND PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT. THE SITE IS LOCATED PARTIALLY WITHIN A MAPPED 100–YEAR FLOODPLAIN.
2. THERE ARE NO KNOWN AREAS OF MARINE CLAY DEPOSITS ONSITE, ACCORDING TO THE CITY MARINE CLAYS MAP.
3. THERE ARE NO KNOWN RESOURCE PROTECTION AREAS (RPA) ONSITE, ACCORDING TO THE CITY RECORD MAPS.
4. THERE IS NO KNOWN SOIL CONTAMINATION ON THIS PROPERTY.
5. THIS SITE IS WITHIN A COMBINED SEWER AREA.

PLAN SHEET KEY

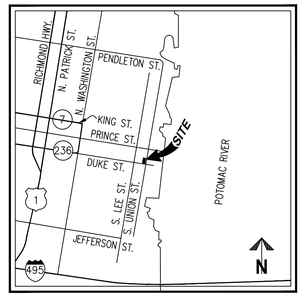
NOT APPLICABLE

DEVELOPMENT TEAM INFORMATION

1. OWNER:
   CUMMINGS INVESTMENTS
   ASSOCIATES, INC.
   PO BOX 231
   ALEXANDRIA ,VA 22313
2. DEVELOPER:
   ELEVENTH STREET DEVELOPMENT
   24 WEST CEDAR STREET
   ALEXANDRIA, VA 22301
   ATTN: GARRETT ERDLE
3. LAND USE ATTORNEY:
   WIRE GILL LLP
   1750 TYSONS BOULEVARD, SUITE 1500
   TYSONS, VA 22102
   ATTN: KEN WIRE
4. ARCHITECT:
   ODELL
   111 VIRGINA STREET, SUITE 401
   RICHMOND, VA 23219
   ATTN: SHAWN GLERUM, AIA
5. CIVIL ENGINEER:
   WALTER L. PHILLIPS, INC.
   207 PARK AVENUE
   FALLS CHURCH, VA 22046
   ATTN: TRAVIS P. BROWN, P.E.

VICINITY MAP

SCALE: 1"=2000'



PROJECT DESCRIPTION NARRATIVE

THE SITE CURRENTLY CONSISTS OF A THREE (3) LEVEL PARKING GARAGE, CONSTRUCTED IN 1945, WITH APPROXIMATELY 72 SPACES. TWO CURB CUTS, AT DUKE AND UNION STREETS, PROVIDE ACCESS TO TWO OF THE THREE PARKING LEVELS. ACCESS TO THE THIRD LEVEL IS FROM AN ALLEY ON THE WEST SIDE OF THE GARAGE. CURRENT ZONING DESIGNATION FOR THE PROPERTY IS W–1 AND IS LISTED AS 'INDUSTRIAL' ON THE GENERALIZED LAND USE PLAN. THE PROPERTY RESIDES WITHIN THE OLD TOWN SMALL AREA PLAN AND ACROSS THE STREET FROM THE 2012 WATERFRONT SMALL AREA PLAN. PER MAP 19 IN THE SMALL AREA PLAN, HEIGHT IS LIMITED TO 50 FEET.

THE REDEVELOPMENT PROPOSES TO DEMOLISH EXISTING PARKING GARAGE AND CONSTRUCT SIX (6) TOWNHOUSE UNITS. THE END UNITS WILL BE UP TO 27' WIDE AND THE INTERIOR UNITS WILL BE 22' WIDE. THE TOWNHOUSES WILL BE FEE SIMPLE WITH LOT SIZES GREATER THAN 1,540 SF. EACH UNIT WILL CONTAIN A TWO CAR, ATTACHED GARAGE ACCESSIBLE FROM THE EXISTING 18.75' WESTERN PUBLIC ALLEY. TOTAL FAR WILL BE AT OR BELOW 2.0, AFTER ALLOWABLE FAR DEDUCTIONS FOR STAIRS, ELEVATORS, MECHANICAL AND BATHROOMS.

THE FIRST FLOOR WILL BE ELEVATED TO MEET THE GRADE OF THE WESTERN ALLEY WITH STOOPS ALONG UNION STREET. THIS WILL ALSO KEEP THE BOTTOM FLOORS WELL ABOVE THE 100–YEAR FLOODPLAIN. OPEN SPACE WILL BE PROVIDED IN EACH INDIVIDUAL UNIT ON THE TOP FLOOR TERRACE AND TERRACES OVER THE GARAGES.

THE SITE IS LOCATED IN THE CITY OF ALEXANDRIA OLD AND HISTORIC DISTRICT.

SPECIAL USE PERMITS/ZONING MODIFICATIONS/WAIVERS

1. SPECIAL USE PERMIT TO INCREASE FAR TO 2.0 (5–504.C).
2. MODIFICATION TO SIDE YARD REQUIREMENT FOR INTERIOR END TOWNHOUSE UNITS (LOT 6) FROM 8.0' TO 3.5' (5–506.B.1).
3. MODIFICATION TO VISION CLEARANCE SETBACK (7–801).

TRIP GENERATION ANALYSIS

PROVIDED USING "INSTITUTE OF TRANSPORTATION ENGINEERS: TRIP GENERATION"

EXISTING USE: PARKING GARAGE WITH 72 SPACES SERVING SURROUNDING RETAIL AND RESIDENTIAL USES

PROPOSED USE: RESIDENTIAL TOWNHOUSES

TOWNHOUSE* = 6 UNITS X 5.86 TRIPS/UNIT/DAY = 36 TRIPS/DAY (WEEKDAYS)*

*ITE CONDOMINIUM/TOWNHOUSE RATE 5.86 TRIPS/DEWLLING UNIT

ZONING TABULATIONS

ZONING :	EXISTING ZONE: W–1; PROPOSED ZONE: W–1
MASTER PLAN :	OLD TOWN, OLD AND HISTORIC DISTRICT
SITE AREA (SQ. FT) (ACRES):	±0.2347 AC OR ±10,223 SF
USE:	EXISTING: COMMERCIAL PROPOSED: TOWNHOUSE RESIDENTIAL (SIX (6) FEE SIMPLE UNITS)

	PERMITTED/REQUIRED	PROVIDED
ZONE	W-1	W-1
FAR	1.0 (2.0 W/ SUP)	±1.89 (±19,366 SF/10,223 SF)*
DENSITY	30 UNITS/ACRE	±25.56 UNITS/ACRE
GROSS FLOOR AREA (SF)	N/A	±23,986 SF
FLOOR AREA (SF)	N/A	±19,366 SF*
LOT AREA (SF)	1,452 SF PER LOT	±1,540 SF (MIN/LOT)
SETBACKS (FT)		
FRONT - UNION ST	0 FT	±3.4 FT
FRONT - DUKE ST	0 FT	±0.0 FT
SIDE - NORTH	8.0 FT (LOT 6 ONLY)	±3.5 FT**
REAR - WEST	8.0 FT (LOTS 2–6 ONLY)	±13.38 FT (INCLUDES 1/2 OF EX. ALLEY)
FRONTAGE/LOT WIDTH		
INTERIOR UNITS	18 FT	±22 FT
END UNITS	26 FT	±26 FT
OPEN SPACE (SF)	300 SF PER DWELLING UNIT (1,800 SF)	±32% (±3,300 SF)
GROUND LEVEL	–	0 SF
ROOFTOP	–	±32% (±3,300 SF)
AVERAGE FINISHED GRADE	–	SEE LOT AREA TABULATIONS
HEIGHT (FT)	MAX 50 FT	LESS THAN 50 FT
PARKING TABULATIONS	12	±12
TRIP GENERATION	–	36 VPD***

NOTES:

* FAR SUP PROPOSED WITH THIS PLAN. SEE ARCHITECTURE SHEETS FOR FLOOR AREA TABULATIONS.

** MODIFICATION TO SIDE YARD FOR LOT 6 REQUESTED.

*** SEE ITE TRIP GENERATION CALCULATION ON THIS SHEET.

LOT AREA TABULATIONS

EXISTING LOT AREA: 10,223 SF

PROPOSED LOTS		AVERAGE FINISHED GRADE
LOT 1 =	1,983 SF	13.87 FT
LOT 2 =	1,540 SF	13.75 FT
LOT 2 =	1,540 SF	13.83 FT
LOT 2 =	1,540 SF	13.88 FT
LOT 2 =	1,540 SF	13.96 FT
LOT 6 =	2,080 SF	14.23 FT
TOTAL =	10,223 SF	

SHEET INDEX

CIVIL

P-0101 COVER SHEET
P-0201 GENERAL NOTES
P-0301 SITE CONTEXT PLAN
P-0302 EXISTING CONDITIONS PLAN
P-0401 CONCEPTUAL LAYOUT PLAN
P-0402 FLOODPLAIN NARRATIVE
P-0701 CONCEPTUAL SWM PLAN AND NARRATIVE
P-0702 CONCEPTUAL VRRM SPREADSHEET
P-1101 CONCEPTUAL VEHICULAR MOVEMENT PLAN
P-1201 CONCEPTUAL LANDSCAPE PLAN
P-1301 CONCEPTUAL FIRE SERVICE PLAN

ARCHITECTURE

01 ARCHITECTURAL SITE PLAN
02 UNION ST PERSPECTIVE
03 ALLEY PERSPECTIVE
04 ELEVATIONS
05 EXISTING TOPOGRAPHY EXHIBIT
06 SITE SECTIONS
07 TH GRADING SECTIONS
08 STOOP EXHIBIT
09 PHOTO MONTAGE
10 PHOTO MONTAGE
11 PHOTO MONTAGE

WALTER L. PHILLIPS INCORPORATED ESTABLISHED 1945
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(703) 532-6163 Fax (703) 533-1301 www.WLPINC.com

SCALE: AS NOTED | DATE: 10/21/2020 | DRAWN: TB | CHECKED: TB/AV

PLAN STATUS

DATE	DESCRIPTION
10/21/2020	STAGE I CONCEPT PLAN
12/18/2020	STAGE II CONCEPT PLAN

COMMONWEALTH OF VIRGINIA
AARON M. VINSON
Lic. No.041851
12/18/20
PROFESSIONAL ENGINEER

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

NORTHWEST CORNER OF SOUTH UNION STREET AND DUKE STREET
STAGE II CONCEPT PLAN
CITY OF ALEXANDRIA, VIRGINIA

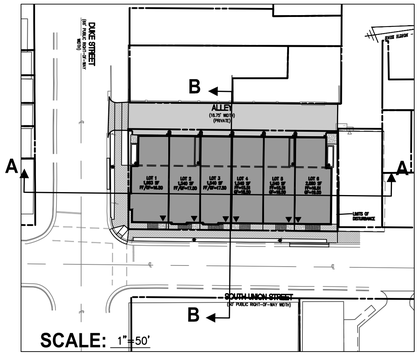
COVER SHEET

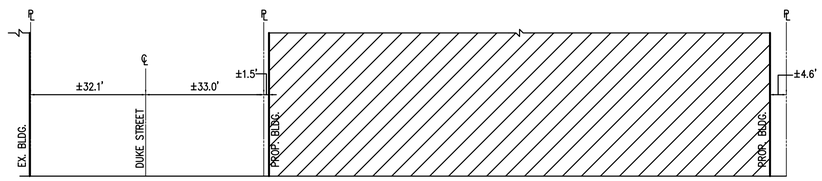
APPROVED
SPECIAL USE PERMIT NO. DSUP 2020–0030
DEPARTMENT OF PLANNING & ZONING
DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No.
DIRECTOR DATE
CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

File No. ALEX Tax Map No. 075.03 Job No. 20-080 Cadd Dwg. File: Q:\sdskproj\20080\dwg\planning\concept II\20080P–0101.dwg

SHEET: P-0101

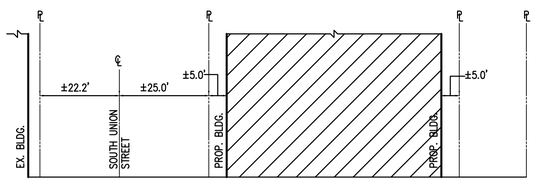
KEY MAP





SECTION A-A

NOT TO SCALE



SECTION B-B

NOT TO SCALE

GREEN BUILDING NARRATIVE

IT IS THE INTENT OF THE APPLICANT TO COMPLY WITH THE CITY OF ALEXANDRIA 2019 GREEN BUILDING POLICY, WHERE APPLICABLE.

GENERAL APPROACH
IN ORDER TO MEET THE CITY OF ALEXANDRIA'S GREEN BUILDING POLICY REQUIREMENTS, IT IS OUR INTENT TO CERTIFY THE TOWNHOMES TO MEET THE LEED FOR HOMES PROGRAM AT THE SILVER LEVEL.

ENERGY
THE LEED FOR HOMES PROGRAM IS SPECIFICALLY ORIENTED TO RESIDENTIAL BUILDINGS, SUCH AS TOWNHOMES. AS PART OF THE PROGRAM REQUIREMENTS, LEED FOR HOMES REQUIRES THAT PROJECTS MEET THE STRICT GUIDELINES SET FORTH BY THE ENERGY STAR NEW HOMES PROGRAM FOR ENERGY-EFFICIENCY MEASURES. THE ENERGY STAR NEW HOMES PROGRAM REQUIRES DUCT LEAKAGE, AIR INFILTRATION, AND OTHER PERFORMANCE TESTING REQUIREMENTS SIMILAR TO COMMISSIONING REQUIREMENTS FOUND IN TYPICAL COMMERCIAL PROJECTS. IN ADDITION, ENERGY STAR NEW HOMES PAYS PARTICULAR ATTENTION TO BEYOND-CODE AIR BARRIER AND INSULATION REQUIREMENTS. AS A RESULT, ENERGY STAR NEW HOMES ARE AT LEAST 15% MORE ENERGY-EFFICIENT THAN THE STANDARD ENERGY CODE-BUILT HOME AND ON TOP OF THAT, LEED FOR HOMES REQUIRES THAT THE PERFORMANCE OF THE HOME BE 15% MORE ENERGY-EFFICIENT THAN AN ENERGY STAR NEW HOME.

THE 101 DUKE STREET TOWNHOMES ARE PROJECTED TO BE BUILT WITH 2X6 EXTERIOR WALL FRAMING WITH R19 TO R21 INSULATION, R38 INSULATION IN THE CEILINGS, HIGH-EFFICIENCY, VARIABLE-SPEED HEATING A COOLING APPLIANCES (SEER 14 AIR CONDITIONERS AND 90+ AFUE GAS FURNACES), HIGH-EFFICIENCY WATER HEATERS, ENERGY STAR-RATED KITCHEN APPLIANCES, AT LEAST 90% LED LIGHTING, ENERGY STAR-RATED FENESTRATION, AND MECHANICAL VENTILATION FOR FRESH AIR REQUIREMENTS.

ENERGY MODELING
THE ENERGY STAR NEW HOME AND LEED FOR HOMES PROGRAMS BOTH REQUIRE AN OFFICIAL HOME ENERGY RATING SCORE (HERS) BE COMPLETED TO PROVE THE ENERGY-EFFICIENCY OF THE HOME. THIS IS DONE BY COMPLETING AN ENERGY MODEL (HERS SCORE). THIS PROJECT WILL MEET THIS REQUIREMENT BY HAVING AN ENERGY MODEL COMPLETED PRIOR TO CONSTRUCTION BEGINNING (A 'PROJECTED' SCORE) AND AN OFFICIAL SCORE AT FINAL ONCE ALL THE INSPECTIONS AND PERFORMANCE TESTS ARE COMPLETED. LEED REQUIRES THAT ALL HOMES HAVE A MAXIMUM HERS SCORE OF 70, WHICH IS 30% MORE ENERGY-EFFICIENT THAN A CODE-BUILT HOME. HOWEVER, A PROJECTED ENERGY MODEL CANNOT BE PRODUCED UNTIL OFFICIAL CONSTRUCTION PLANS HAVE BEEN APPROVED.

WATER REDUCTION
AS FOR MEETING WATER REDUCTION GOALS, THE LEED FOR HOMES PROGRAM REQUIRES A MINIMUM SCORE IN THE WATER EFFICIENCY CHAPTER OF THE PROGRAM. IT IS THE PROJECTS' INTENT TO INSTALL WATERSENSE-CERTIFIED LAVATORY FAUCETS, TOILETS, AND SHOWERHEADS IN ALL OF THE UNITS TO MEET THE LEED FOR HOMES REQUIREMENTS. IN ADDITION, IT WILL BE RECOMMENDED THAT ANY PLANTS INSTALLED ARE NATIVE TO THE REGION AND/OR NON-INVASIVE, DROUGHT TOLERANT.

INDOOR AIR QUALITY
LEED FOR HOMES ALSO HAS REQUIREMENTS FOR ALL PROJECTS TO MEET INDOOR AIR QUALITY GOALS, SUCH AS ADVANCED FILTRATION, MECHANICAL VENTILATION (AS DOES ENERGY STAR), CONTAMINATE AND HUMIDITY CONTROL, USE OF LOW-VOC PRODUCTS (E.G. PAINT, SEALANTS, PARTICLEBOARD, ETC.), AND MORE. THIS PROJECT WILL PURSUE SIMILAR MEASURES TO ACHIEVE THE MINIMUM POINT REQUIREMENTS OF THE LEED FOR HOMES PROGRAM.

SAMPLE PRELIMINARY LEED FOR HOMES CHECKLIST
A SAMPLE PRELIMINARY LEED FOR HOMES CHECKLIST (SILVER) IS PROVIDED TO DEMONSTRATE THE CREDITS THAT MAY BE PURSUED TO OBTAIN THE SILVER CERTIFICATION OF THE TOWNHOMES. THIS CHECKLIST IS A DRAFT AS FINAL DECISIONS ABOUT WHAT CREDITS WILL BE ULTIMATELY PURSUED HAVE NOT YET BEEN DETERMINED.

PREPARED BY KELLY ROSS GILLESPIE OF KELLY GREEN ENERGY RATERS, HERS RATER, LEED FOR HOMES GREEN VERIFIER

RESOURCE PROTECTION AREA NOTE

THE SUBJECT PROPERTY DOES NOT LIE WITHIN THE CITY OF ALEXANDRIA RESOURCE PROTECTION AREA (RPA) AND THERE ARE NO MAPPED RPA'S ON THIS PROPERTY.

FLOOD PLAIN NOTE

THE SITE IS LOCATED WITHIN 100-YEAR FLOOD PLAIN WATER SURFACE ELEVATION (WSE) PER THE DEMARCATION OF THE CURRENT FLOOD INSURANCE RATE MAP (FIRM) PUBLISHED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).

CEMETERY AND/OR BURIAL GROUNDS

THERE IS NO OBSERVABLE, HISTORICAL OR ARCHAEOLOGICAL EVIDENCE OF CEMETERIES OR BURIAL GROUNDS ON THIS PROPERTY.

UTILITY CONTACTS

ELECTRIC:
VIRGINIA DOMINION POWER
C/O KEN HOLMES
907 WEST GLEBE ROAD
ALEXANDRIA, VA 22305
(703) 838-2437

NATURAL GAS:
WASHINGTON GAS
C/O RAY BAKER
6801 INDUSTRIAL ROAD
SPRINGFIELD, VA 22151
(703) 750-5953

WATER:
VIRGINIA AMERICAN WATER COMPANY
C/O HAO (STEVE) CHEN
2223 DUKE STREET
ALEXANDRIA, VA 22314
(703) 706-3889

TELEPHONE:
VERIZON
C/O VAL FISHER
2980 FAIRVIEW PARK N., 6TH FLOOR
FALLS CHURCH, VA 22042
(703) 204-5068

CATV/HS INTERNET:
COMCAST
C/O BRIAN SHADE
3900 WHEELER AVENUE
ALEXANDRIA, VA 22304
(703) 567-4449

COMBINED SEWER NARRATIVE

STORMWATER RUNOFF FROM THE SITE CURRENTLY FLOWS TOWARD DUKE STREET AND SOUTH UNION STREET WHERE IT ENTERS A SEPARATED STORM SEWER SYSTEM AND ULTIMATELY DISCHARGING INTO THE POTOMAC RIVER.

SANITARY SEWER DISCHARGE FROM THE SITE ENTERS AN EXISTING COMBINED SEWER MAIN RUNNING SOUTH IN UNION STREET. THIS DEVELOPMENT IS SUBJECT TO THE COMBINED SEWER SYSTEM MANAGEMENT POLICY PER MEMO TO INDUSTRY 07-14.

FEDERAL FUNDING NOTE

THIS PROJECT IS NOT A FEDERAL UNDERTAKING. ANY REQUIRED FEDERAL PERMITS WILL BE OBTAINED BY THE APPLICANT PRIOR TO CONSTRUCTION.

GEOTECHNICAL REPORT NOTE

A SITE SPECIFIC GEOTECHNICAL REPORT WILL BE PREPARED FOR THIS PROPERTY AND WILL BE PROVIDED UNDER SEPARATE COVER.

SANITARY SEWER OUTFALL NARRATIVE

THE SUBJECT SITE IS CURRENTLY SERVED BY A SEPARATE SANITARY SEWER SYSTEM ACCORDING TO THE CITY OF ALEXANDRIA GIS SEWER VIEWER. THE SANITARY FLOW FROM THIS DEVELOPMENT SHALL CONNECT TO THE EXISTING SEWER NETWORK IN KING STREET.

IT IS ANTICIPATED THAT THE SANITARY FLOW RESULTING FROM THIS DEVELOPMENT WILL BE APPROXIMATELY:

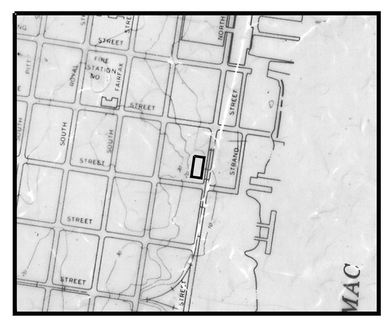
TOWNHOUSE RESIDENTIAL: 350 GPD x 6 UNITS = 2,100 GPD

2,100 GPD x 4 (PEAK FACTOR) = 8,400 GPD

THE EXISTING SANITARY FLOW FROM THIS BUILDING IS NEGLIGIBLE.

BECAUSE THE PROPOSED DEVELOPMENT WILL RESULT IN AN INCREASE IN EXPECTED SANITARY SEWER FLOW LESS THAN 10,000 GPD, SANITARY SEWER OUTFALL ANALYSIS IS NOT REQUIRED IN ACCORDANCE WITH MEMO TO INDUSTRY NO. 06-14.

MARINE CLAY SOILS MAP



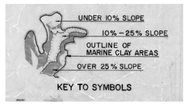
* THERE ARE NO KNOWN AREA OF MARINE CLAY DEPOSITS ONSITE, ACCORDING TO THE CITY'S MARINE CLAY MAP

MASTER LEGEND

PROPOSED	DESCRIPTION	EXISTING
EP	EDGE OF PAVEMENT	EP.
MH	MANHOLE	MH
WV	WATER VALVE	WV
WM	WATER METER	WM
GM	GAS METER	GM
GV	GAS VALVE	GV
RD	ROOF DRAIN	RD
TCB	TRAFFIC CONTROL BOX	TCB
LP	LIGHT POLE	LP
TRLP	LIGHT POLE WITH SIGNALS	TRLP
TC	TOP OF CURB	TC
BC	BOTTOM OF CURB	BC
TW	TOP OF WALL	TW
BW	BOTTOM OF WALL	BW
HP	HIGH POINT	H.P.
	CURB & GUTTER CG-2	
CG-6R CG-6	TRANSITION FROM CG-6 TO CG-6R	CG-6 CG-6R
	SANITARY SEWER	S
SL	SANITARY LATERAL	SL
C.O.	CLEAN OUT	C.O.
	STORM SEWER	
	COMBINED SEWER	
	FLOW DIRECTION	
W	WATER MAIN	W
	FIRE HYDRANT	
	PLUG	
	OVERHEAD WIRES	
	UTILITY POLE	
T	COMMUNICATION	T
G	GAS MAIN	G
E	UNDERGROUND ELECTRIC	E
	TRANSFORMER	
	HANDICAP RAMP	
	GUARDRAIL	
X X X	FENCE	X X X
	TRAFFIC FLOW	
	TEST PIT	
	LIGHT	
	DOOR	
	TREES	
	LIMITS OF CLEARING AND GRADING	
40 44	CONTOURS	40 44
+44 50	SPOT ELEVATION	+44 50
	DRAINAGE FLOW DIRECTION	
	BUILDING	

SCALE: 1"=500'

LIMITS OF SITE



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SCALE: AS NOTED | DATE: 10/21/2020 | DRAWN: TB | CHECKED: TB/AV

PLAN STATUS

DATE	DESCRIPTION
10/21/2020	STAGE I CONCEPT PLAN
12/18/2020	STAGE II CONCEPT PLAN

COMMONWEALTH OF VIRGINIA
AARON M. VINSON
Lic. No.041851
12/18/20
PROFESSIONAL ENGINEER

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

NORTHWEST CORNER OF SOUTH UNION STREET AND DUKE STREET STAGE II CONCEPT PLAN

CITY OF ALEXANDRIA, VIRGINIA

GENERAL NOTES

APPROVED
SPECIAL USE PERMIT NO. DSUP 2020-0030
DEPARTMENT OF PLANNING & ZONING

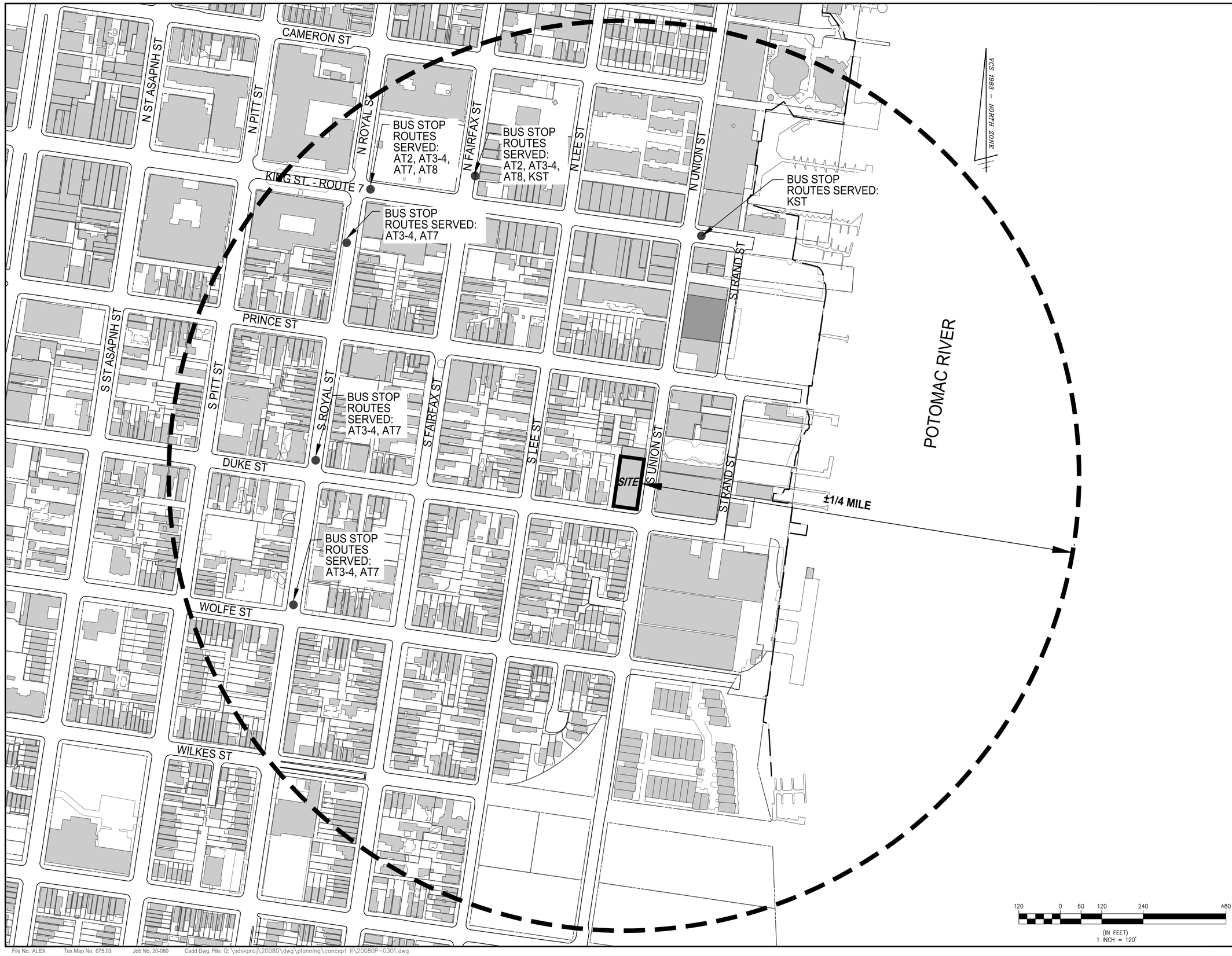
DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.



File No. ALEX Tax Map No. 075.03 Job No. 20-080 Cadd Dwg. File: Q:\sdskproj\20080\dwg\planning\concept II\20080P-0301.dwg

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SCALE: 1" = 120' | DATE: 10/21/2020 | DRAWN: TB | CHECKED: TB/AV

PLAN STATUS

DATE	DESCRIPTION
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12/18/2020	STAGE II CONCEPT PLAN

COMMONWEALTH OF VIRGINIA
AARON M. VINSON
Lic. No. 041851
12/18/20
PROFESSIONAL ENGINEER

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

NORTHWEST CORNER OF SOUTH UNION STREET AND DUKE STREET STAGE II CONCEPT PLAN

CITY OF ALEXANDRIA, VIRGINIA

SITE CONTEXT PLAN

APPROVED
SPECIAL USE PERMIT NO. DSUP 2020-0030
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

SHEET: **P-0301**

STORM SEWER AS-BUILTS

SD 744			
CURB INLET TOP =			11.78
12"RCP IN	(NORTH)=	9.58	
12"RCP IN	(WEST)=	9.68	
12"RCP IN	(S.EAST)=	9.58	
15"RCP OUT	(SD 746)=	8.90	
SD 746			
CURB INLET TOP =			12.91
15"RCP IN	(WEST)=	9.41	(ABANDONED)
15"RCP IN	(WEST)=	5.89	
15"RCP IN	(SD 744)	6.88	
18"RCP OUT	(SD 740)=	5.31	(ABANDONED)
18"RCP OUT	(SD 740)=	5.53	
SD 723			
MANHOLE TOP			10.86
15"RCP IN	(S.WEST)=	5.78	
15"RCP OUT	(SD 741)=	5.62	
SD 741			
GRATE INLET TOP =			10.58
15"RCP IN	(SD 723)=	5.38	
15"RCP OUT	(SD 740)=	5.35	
SD 740			
MANHOLE TOP =			11.07
15"RCP IN	(SD 741)=	5.54	
18"RCP IN	(SD 746)=	5.04	
15"RCP OUT	(SD 727)	4.96	
SD 727			
MANHOLE TOP =			10.37
15"RCP IN	(SD 740)=	4.91	
15"RCP OUT	(SD 728)=	4.89	

PIPE SIZES ARE PER RECORD INFORMATION

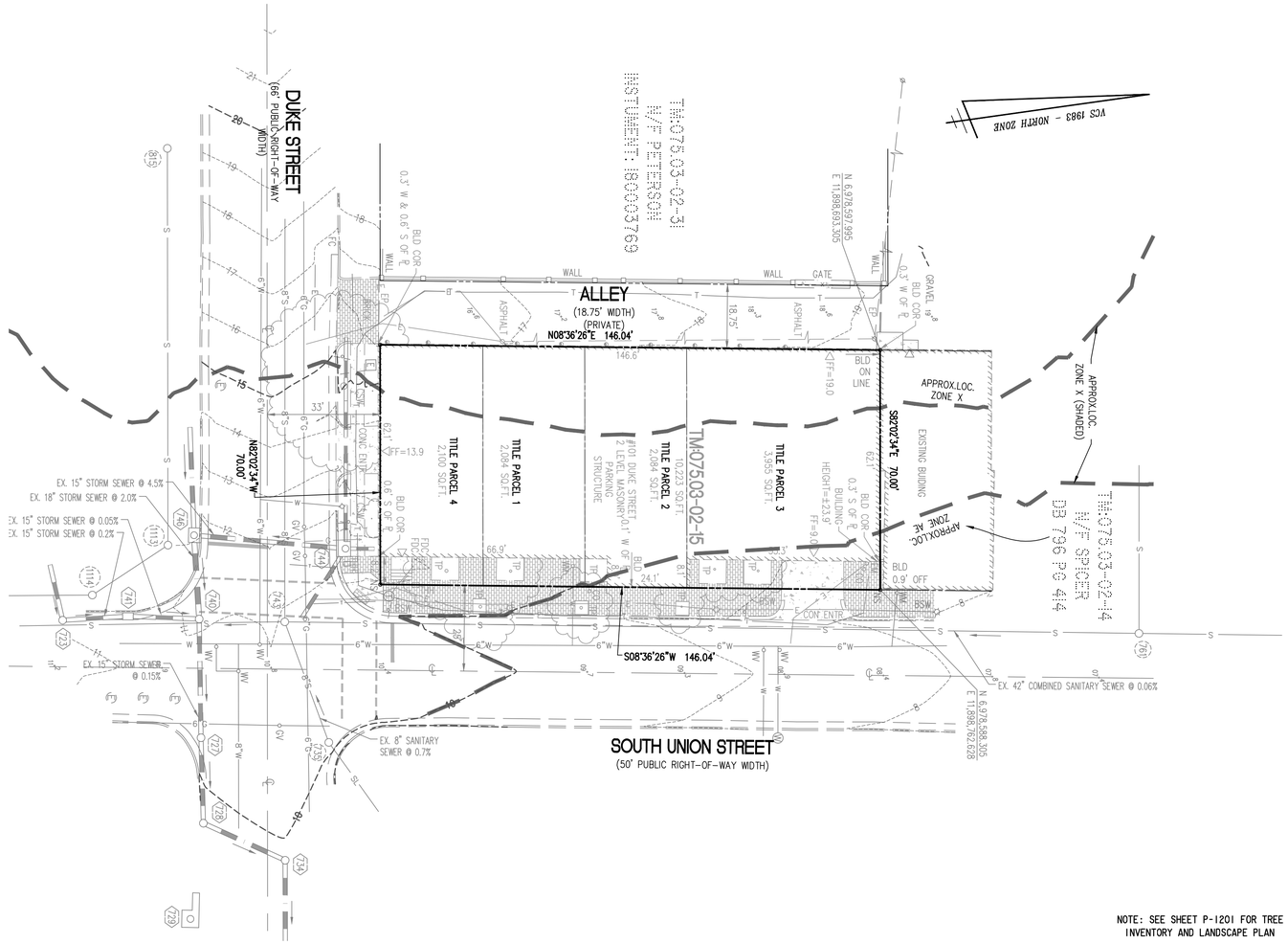
SANITARY SEWER AS-BUILTS

SME 761			
MANHOLE TOP =			6.82
10"INV IN	(WEST)=	0.67	
42"INV IN	(NORTH)=	-4.93	
42"INV OUT	(SME 743)=	-4.48	
SME 735			
MANHOLE TOP =			10.13
LAT INV IN	(EAST)	0.23	
8"INV OUT	(SME 743)=	0.18	
SME 743			
MANHOLE TOP =			10.78
8"INV IN	(SME 735)=	-0.68	
8"INV IN	(WEST)=	-1.82	
42"INV IN	(SME 761)=	-4.62	
42"INV OUT	(SOUTH)=	-4.77	

PIPE SIZES ARE PER RECORD INFORMATION

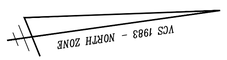
LEGEND

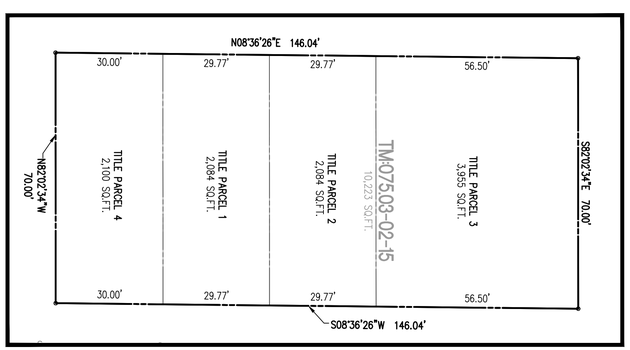
APPROX.LOC..... APPROXIMATE LOCATION
BLD..... BUILDING
BSW..... BRICK SIDEWALK
CO..... CLEANOUT
CONC..... CONCRETE
CSW..... CONCRETE SIDEWALK
DB..... DEED BOOK
EM..... ELECTRIC METER
ENTR..... ENTRANCE
EP..... EDGE OF PAVEMENT
ESMT..... EASEMENT
FC..... HEADER CURB
FDC..... FIRE DEPARTMENT CONNECTION
FDC..... FIRE DEPARTMENT CONNECTION
FF..... FINISHED FLOOR ELEVATION
INV..... INVERT
N/F..... NOW OR FORMERLY
NS..... NAIL SET (PROPERTY CORNER)
PG..... PAGE
PL..... PROPERTY LINE
RCP..... REINFORCED CONCRETE PIPE
SD.(123)..... STORM SEWER STRUCTURE
SMH.(123)..... SANITARY SEWER STRUCTURE
SQ.FT..... SQUARE FEET
THH..... TELECOMMUNICATIONS HAND HOLE
TP..... TREE PIT
WM..... WATER METER
WV..... WATER VALVE
..... FIRE HYDRANT
..... DOORWAY/ENTRANCE
..... UTILITY POLE
..... LIGHT POLE
—X— ..... FENCE
..... OVERHEAD WIRES
—E— ..... UNDERGROUND ELECTRIC LINE
—G— ..... UNDERGROUND GAS LINE
—S— ..... UNDERGROUND SANITARY LINE
—SL— ..... UNDERGROUND SANITARY LATERAL LINE
—S— ..... UNDERGROUND STORM SEWER LINE
—T— ..... UNDERGROUND TELECOMMUNICATIONS LINE
—W— ..... UNDERGROUND WATER LINE
..... TREE
..... LIMITS OF TREE CANOPY/VEGETATION
..... CURB AND GUTTER
..... BOLLARD
..... ELECTRIC TRANSFORMER
..... SIGN
123.4 ..... SPOT ELEVATION
..... ELECTRIC MANHOLE
..... WATER MANHOLE
..... TELECOMMUNICATIONS MANHOLE



NOTE: SEE SHEET P-1201 FOR TREE INVENTORY AND LANDSCAPE PLAN

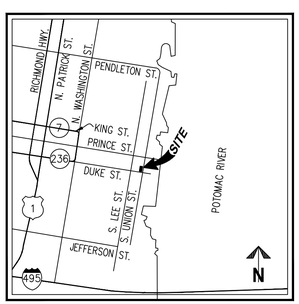
20 0 10 20 40 80
(IN FEET)
1 INCH = 20'





PROPERTY DETAIL

1" = 20'



VICINITY MAP SCALE: 1"=2000'

NOTES:

1. THE PROPERTY SHOWN HEREON IS DESIGNATED BY THE CITY OF ALEXANDRIA, VIRGINIA, AS TAX ASSESSMENT NUMBER 075.03-02-15 AND IS ZONED W-1 PER THE CITY OF ALEXANDRIA ZONING MAP. A ZONING REPORT WAS NOT PROVIDED TO THE SURVEYOR.

2. THE PROPERTY IS NOW IN THE NAME OF CUMMINGS INVESTMENT ASSOCIATES, INC., AS RECORDED IN DEED BOOK 501 AT PAGE 187, AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.

3. THIS PLAT AND THE SURVEY UPON WHICH IT IS BASED SHOWS ONLY THOSE IMPROVEMENTS THAT ARE OBSERVABLE AND CAN BE LOCATED USING NORMAL SURVEY METHODS. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, MISS UTILITY MARKINGS AND EXISTING RECORDS. THERE ARE NO GUARANTEES, EITHER EXPRESS OR IMPLIED, THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED, OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE UNDERGROUND UTILITIES HAVE NOT BEEN PHYSICALLY LOCATED. WATER AND GAS LINE SIZES ARE FROM RECORD INFORMATION.

4. TOTAL AREA OF THE PROPERTY IS 10,223 SQUARE FEET OR 0.2347 ACRES.

5. THIS PLAT IS BASED ON A FIELD SURVEY BY THIS FIRM, DATED 10/19/2020.

6. THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR THE CITY OF ALEXANDRIA, VIRGINIA, MAP NUMBER 5155190041E, EFFECTIVE DATE JUNE 16, 2011, DESIGNATES THE PROPERTY AS BEING IN THE FOLLOWING ZONES:
   - ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN
   - ZONE X (SHADED), AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD
   - ZONE AE, SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOW WITH BASE FLOOD ELEVATIONS DETERMINED. (NOTE: THE LINE SHOWN HEREON IS BASED UPON THE 10' CONTOUR)

7. EASEMENTS, CONDITIONS, COVENANTS AND RESTRICTIONS, SHOWN AND/OR NOTED, ARE PER THE TITLE REPORT ISSUED BY WALKER TITLE, LLC, CASE NUMBER A2001356 EFFECTIVE DATE OCTOBER 15, 2020.

8. THE SITE SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS COMPUTED FROM A FIELD RUN VERTICAL CONTROL SURVEY AND IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983, [NAD 83(2011) (EPOCH:2010.0000)] AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY THAT TIES THIS BOUNDARY AND THE BENCHMARK(S) SHOWN TO THE TOPCON GNSS RTK REFERENCE NETWORK. THE COMBINED FACTOR APPLIED TO THE FIELD DISTANCES TO DERIVE THE REFERENCED COORDINATES IS 0.99994766. THE FOOT DEFINITION USED FOR CONVERSION OF THE MONUMENT COORDINATES AND IN THE PERFORMANCE OF THIS SURVEY IS THE U.S. SURVEY FOOT. CONTOUR INTERVAL IS ONE FOOT.

9. THIS SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF, DAVID N. ISHERWOOD, L.S., FROM AN ACTUAL [X] GROUND OR [ ] AIRBORNE SURVEY MADE UNDER MY SUPERVISION; THAT THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON OCTOBER 19, 2020; AND THAT THIS PLAT, MAP, OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

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SCALE: 1" = 20' | DATE: 10/21/2020 | DRAWN: TB | CHECKED: TB/AW

PLAN STATUS		
DATE	DESCRIPTION	DATE	DESCRIPTION
10/21/2020	STAGE I CONCEPT PLAN		
12/18/2020	STAGE II CONCEPT PLAN		

COMMONWEALTH OF VIRGINIA AARON M. VINSON Lic. No.041851 12/18/20 PROFESSIONAL ENGINEER

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

NORTHWEST CORNER OF SOUTH UNION STREET AND DUKE STREET
STAGE II CONCEPT PLAN
CITY OF ALEXANDRIA, VIRGINIA

EXISTING CONDITIONS PLAN

APPROVED
SPECIAL USE PERMIT NO. DSUP 2020-0030
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No.

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

File No. ALEX Tax Map No. 075.03 Job No. 20-080 Cadd Dwg. File: Q:\sdskproj\20080\dwg\planning\concept II\20080P-0302.dwg

SHEET: P-0302

LEGEND

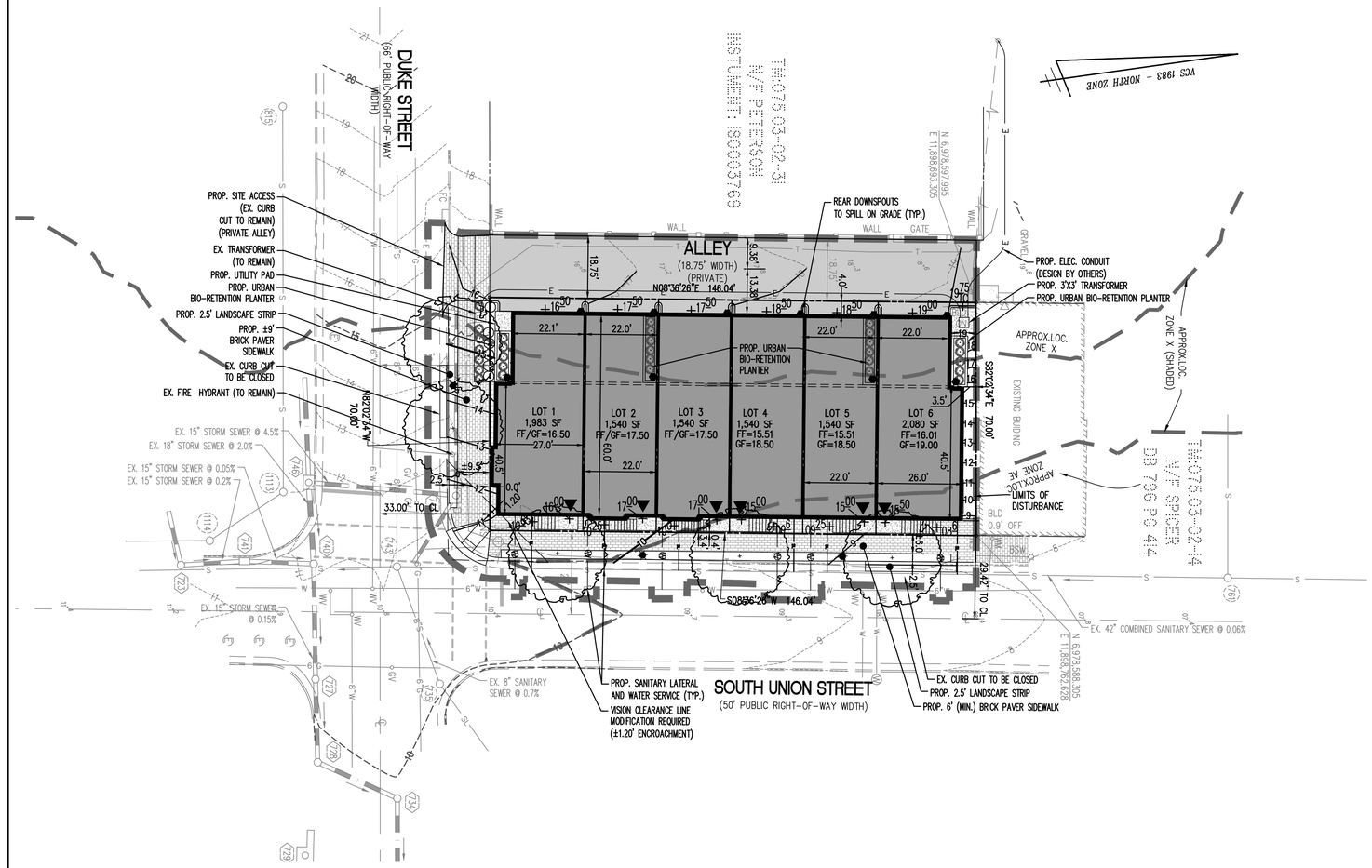
PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER CG-2	
CG-6R CG-6	TRANSITION FROM CG-6 TO CG-6R	CG-6 CG-6R
S	SANITARY SEWER	S
SL	SANITARY LATERAL	SL
C.O.	CLEAN OUT	C.O.
	STORM SEWER	
W	WATER MAIN	W
	FIRE HYDRANT	
	PLUG	
	OVERHEAD WIRES	
	UTILITY POLE	
UE	UNDERGROUND ELECTRIC	UE
T	TELEPHONE	T
G	GAS MAIN	G
E	ELECTRICAL	E
	TRANSFORMER	
	HANDICAP RAMP (CG-12)	
	GUARDRAIL	
X X X	FENCE	X X X
	TRAFFIC FLOW	
	LIGHT	
	DOOR	
	TREES	
260 264	CONTOURS	260 264
+264 50	SPOT ELEVATION	+264 50
	DRAINAGE FLOW DIRECTION	
TC	TOP OF CURB	TC
BC	BOTTOM OF CURB	BC
TW	TOP OF WALL	TW
BW	BOTTOM OF WALL	BW
HP	HIGH POINT	H.P.
TP	TEST PIT	
	LIMITS OF CLEARING AND GRADING	

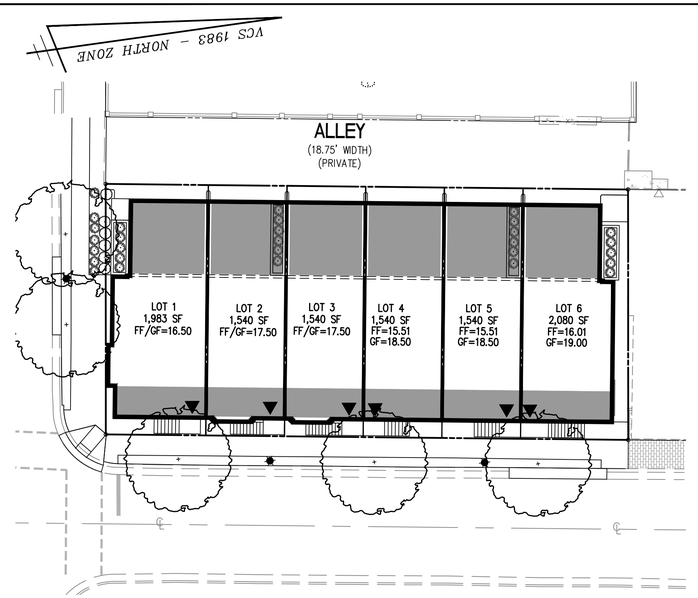
TRASH COLLECTION NOTE

TRASH WILL BE ROLLED FROM INDIVIDUAL GARAGES TO THE DUKE STREET FRONTAGE ON COLLECTION DAYS AND PICKED UP BY CITY TRASH SERVICE.

20 0 10 20 40 80

(IN FEET)
1 INCH = 20'

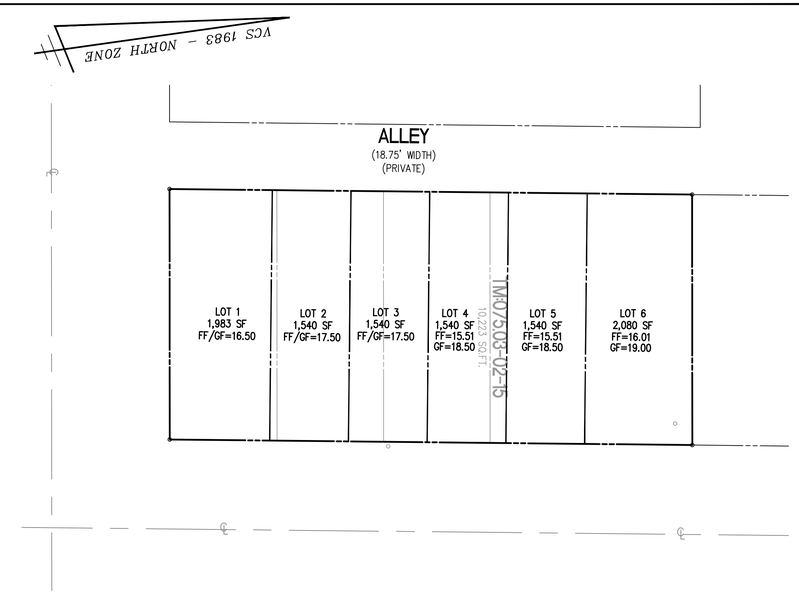




CONCEPTUAL OPEN SPACE DIAGRAM

SCALE: 1" = 20'

ABOVE GRADE OPEN SPACE (±3,300 SF)



CONCEPTUAL SUBDIVISION DIAGRAM

SCALE: 1" = 20'

SEE C-0101 FOR LOT TABULATIONS

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PLAN STATUS

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10/21/2020	STAGE I CONCEPT PLAN
12/18/2020	STAGE II CONCEPT PLAN

COMMONWEALTH OF VIRGINIA
AARON M. VINSON
Lic. No.041851
12/18/20
PROFESSIONAL ENGINEER

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

NORTHWEST CORNER OF SOUTH UNION STREET AND DUKE STREET STAGE II CONCEPT PLAN

CITY OF ALEXANDRIA, VIRGINIA

CONCEPTUAL LAYOUT PLAN

APPROVED
SPECIAL USE PERMIT NO. DSUP 2020-0030
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE

DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

NFIP

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0041E

FIRM
FLOOD INSURANCE RATE MAP

CITY OF ALEXANDRIA, VIRGINIA
INDEPENDENT CITY

PANEL 41 OF 45

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

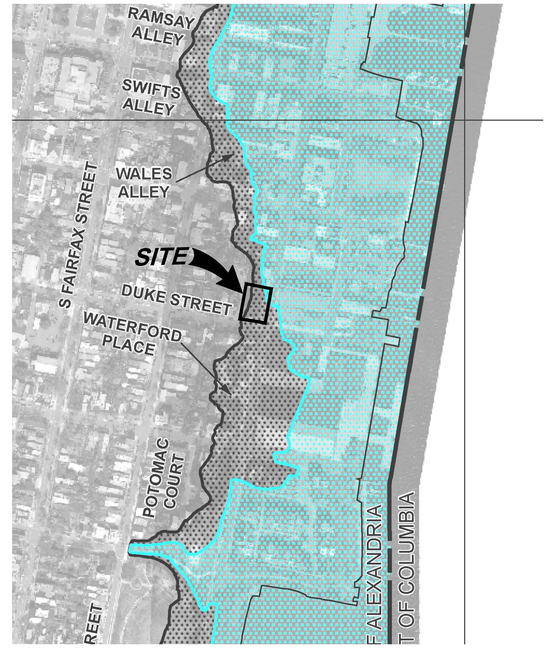
COMMUNITY	NUMBER	PANEL	SUFFIX
ALEXANDRIA, CITY OF (INDEPENDENT CITY)	515519	0041	E

Notice to User: The **Map Number** shown below should be used when placing map orders; the **Community Number** shown above should be used on insurance applications for the subject community.

MAP NUMBER
5155190041E

MAP REVISED
JUNE 16, 2011

Federal Emergency Management Agency



NOT TO SCALE

FLOODPLAIN NARRATIVE

THE FOLLOWING INFORMATION IS PROVIDED BY VHB, DATED 10/20/2020. ADDITIONAL, MORE DETAILED INFORMATION REGARDING COMPLIANCE WITH FLOODPLAIN REGULATIONS WILL BE PROVIDED WITH FUTURE PLAN SUBMISSIONS.

THE 101 DUKE STREET PROPERTY, CURRENTLY A THREE-LEVEL PARKING GARAGE, IS PARTIALLY LOCATED WITHIN THE FEMA-MAPPED 100-YEAR AND 500-YEAR FLOODPLAIN FRINGE AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP (FIRM) PANEL 5155190041E, DATED JUNE 16, 2011 AND THE PRELIMINARY MAP DATED SEPTEMBER 30, 2020. THE 100-YEAR FLOOD ELEVATION IS MAPPED AT ELEVATION 10.0' AND THE 500-YEAR FLOOD ELEVATION AT 14.0' (NAVD88) BASED ON INTERPRETATION OF THE FLOOD INSURANCE STUDY FLOOD PROFILE (13P) FOR THE POTOMAC RIVER. NOTE THAT NO CHANGE IN THE FLOOD ELEVATIONS ARE PROPOSED IN THE SEPTEMBER 30, 2020 PRELIMINARY MAP; HOWEVER, THE MAPPED BOUNDARY IS SLIGHTLY DIFFERENT THAN THE 2011 MAP, MOST LIKELY DUE TO UPDATED GROUND SURFACE MAPPING USED BY FEMA.

EXISTING GRADES AT THE PROPERTY RANGE FROM APPROXIMATELY 8.6' AT THE NORTHEAST CORNER TO ABOVE 19.7' ALONG THE REAR ALLEY OF THE PROPERTY. THE PROPOSED PROJECT INCLUDES THE REMOVAL OF THE THREE-LEVEL PARKING GARAGE AND THE CONSTRUCTION OF SIX (6) ATTACHED TOWNHOUSES FRONTING SOUTH UNION STREET. THE LOWEST FLOOR ELEVATION OF THE PROPOSED TOWNHOUSES IS ELEVATION 15.51', WHICH WILL EXCEED THE 1-FOOT FREEBOARD REQUIREMENT PER SECTION 6-306(A) OF THE ZONING ORDINANCE. ENTRANCE TO THE UNITS FROM UNION STREET WILL BE VIA INDIVIDUAL STAIRS FROM THE EXISTING CURB. ENTRANCE FROM THE REAR WILL BE VIA INDIVIDUAL GARAGES FOR EACH UNIT ALSO AT ELEVATIONS RANGING BETWEEN 16.0' - 19.7. NO ACCESSIBLE SPACE OR ENCLOSURE IS PROPOSED BELOW THE LOWEST FLOOR ELEVATION. NO WATER HEATERS, FURNACES, ELECTRICAL DISTRIBUTION PANELS OR OTHER CRITICAL MECHANICAL OR ELECTRICAL INSTALLATIONS ARE PROPOSED TO BE INSTALLED BELOW THE 100-YEAR BASE FLOOD ELEVATION. TO ACHIEVE THE LOWEST FLOOR ELEVATION OF 15.51', COMPACTED FILL AND/OR STONE WILL BE PLACED WITHIN THE FOUNDATION OF THE PROPOSED TOWNHOUSES AND WITHIN THE MAPPED 100-YEAR FLOODPLAIN.

AS PER SECTION 6-306(E) AND 6-307(A), WE DO NOT ANTICIPATE THAT THE PROPOSED PROJECT WILL INCREASE THE WATER-SURFACE ELEVATION OF THE 100-YEAR FLOOD BY MORE THAN 0.5 FOOT, HOWEVER NO HYDRAULIC ANALYSIS HAS BEEN PREPARED TO-DATE. DUE TO THE SITE'S LOCATION AND THE SCALE OF FILL PROPOSED IN COMPARISON TO THE SCALE OF THE POTOMAC RIVER AND ITS 100-YEAR FLOODPLAIN VOLUME, WE ANTICIPATE THAT THE PROPOSED PROJECT WILL HAVE NO EFFECT ON THE 100-YEAR WATER SURFACE ELEVATION.

FEMA

National Flood Insurance Program

NATIONAL FLOOD INSURANCE PROGRAM
FLOOD INSURANCE RATE MAP

CITY OF ALEXANDRIA, VIRGINIA
Independent City

PANEL 41 OF 45

FEMA

Panel Contains:

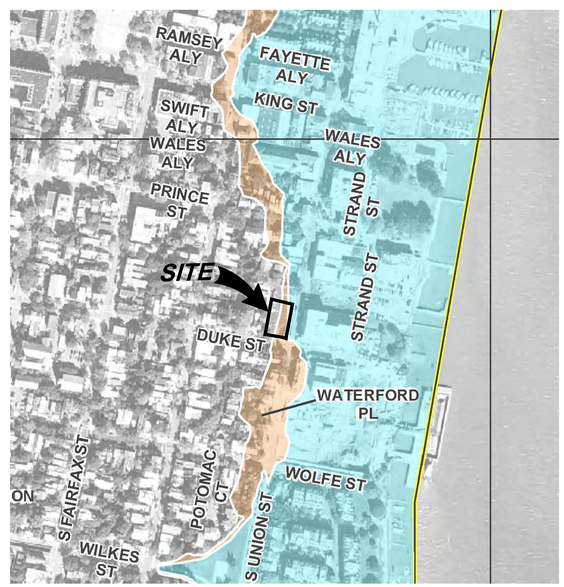
COMMUNITY	NUMBER	PANEL	SUFFIX
ALEXANDRIA, CITY OF	515519	0041	F

PRELIMINARY
9/30/2020

VERSION NUMBER
2.6.4.6

MAP NUMBER
5155190041F

MAP REVISED



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COMMONWEALTH OF VIRGINIA
AARON M. VINSON
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12/18/20
PROFESSIONAL ENGINEER

PLAN STATUS

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10/21/2020	STAGE I CONCEPT PLAN
12/18/2020	STAGE II CONCEPT PLAN

DATE	DESCRIPTION

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

NORTHWEST CORNER OF SOUTH UNION STREET AND DUKE STREET
STAGE II CONCEPT PLAN
CITY OF ALEXANDRIA, VIRGINIA

FLOODPLAIN NARRATIVE

APPROVED
SPECIAL USE PERMIT NO. DSUP 2020-0030
DEPARTMENT OF PLANNING & ZONING

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DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
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DIRECTOR DATE

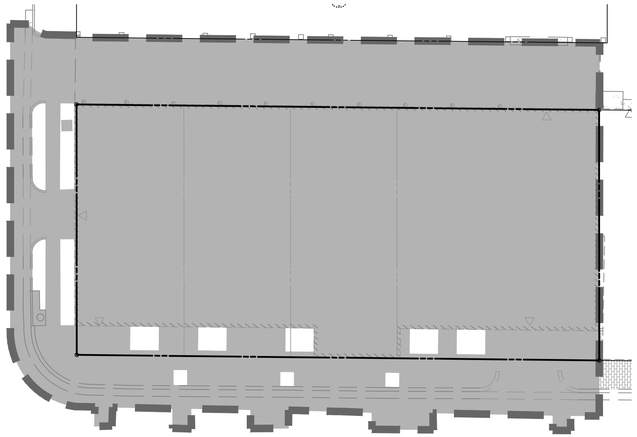
CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

File No. ALEX Tax Map No. 075.03 Job No. 20-080 Cadd Dwg. File: Q:\sdskproj\20080\dwg\planning\concept II\20080P-0401.dwg

SHEET: **P-0402**



PRE-DEVELOPMENT IMPERVIOUS AREA MAP

SCALE: 1" = 20'

VCS 1983 – NORTH ZONE

IMPERVIOUS AREA

LIMITS OF CLEARING (SWM AREA)

PRE-DEVELOPMENT CURVE NUMBER

LIMITS OF DISTURBANCE (SWM AREA):	17,230 SQ. FT. OR 0.3955 ACRES
EXISTING PERVIOUS AREA:	656 SQ. FT. OR 0.0151 ACRES
EXISTING IMPERVIOUS AREA:	16,574 SQ. FT. OR 0.3805 ACRES
CURVE NUMBER:	[(16,574 X 98) + (656 X 80)] / 17,230 = 97

PRE-DEVELOPMENT

PRE-DEVELOPMENT

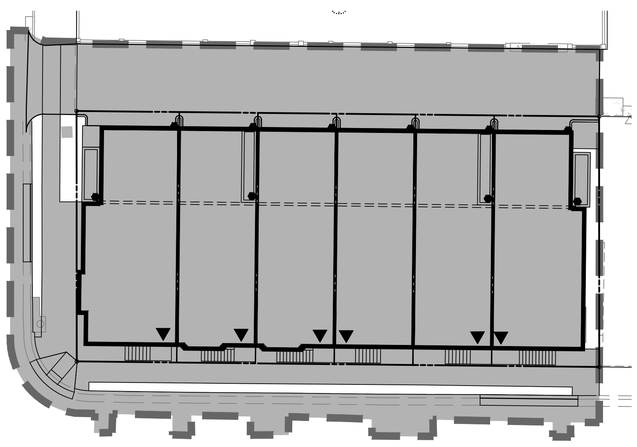
Hydrograph type	= SCS Runoff	Peak discharge	= 1.409 cfs
Storm frequency	= 1 yrs	Time to peak	= 11.93 hrs
Time interval	= 2 min	Hyd. volume	= 3,178 cuft
Drainage area	= 0.396 ac	Curve number	= 97
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 2.70 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

PRE-DEVELOPMENT

Hydrograph type	= SCS Runoff	Peak discharge	= 1.685 cfs
Storm frequency	= 2 yrs	Time to peak	= 11.93 hrs
Time interval	= 2 min	Hyd. volume	= 3,845 cuft
Drainage area	= 0.396 ac	Curve number	= 97
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 3.20 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

PRE-DEVELOPMENT

Hydrograph type	= SCS Runoff	Peak discharge	= 2.780 cfs
Storm frequency	= 10 yrs	Time to peak	= 11.93 hrs
Time interval	= 2 min	Hyd. volume	= 6,523 cuft
Drainage area	= 0.396 ac	Curve number	= 97
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 5.20 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484



POST-DEVELOPMENT IMPERVIOUS AREA MAP

SCALE: 1" = 20'

VCS 1983 – NORTH ZONE

IMPERVIOUS AREA

LIMITS OF CLEARING (SWM AREA)

POST-DEVELOPMENT CURVE NUMBER

LIMITS OF DISTURBANCE (SWM AREA):	17,230 SQ. FT. OR 0.3955 ACRES
PROPOSED PERVIOUS AREA:	829 SQ. FT. OR 0.0190 ACRES
PROPOSED IMPERVIOUS AREA:	16,401 SQ. FT. OR 0.3765 ACRES
ADJ. CURVE NUMBER:	96 (SEE VRRM SPREADSHEET – P-0702)

POST-DEVELOPMENT

POST-DEVELOPMENT

Hydrograph type	= SCS Runoff	Peak discharge	= 1.376 cfs
Storm frequency	= 1 yrs	Time to peak	= 11.93 hrs
Time interval	= 2 min	Hyd. volume	= 3,038 cuft
Drainage area	= 0.396 ac	Curve number	= 96
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 2.70 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

POST-DEVELOPMENT

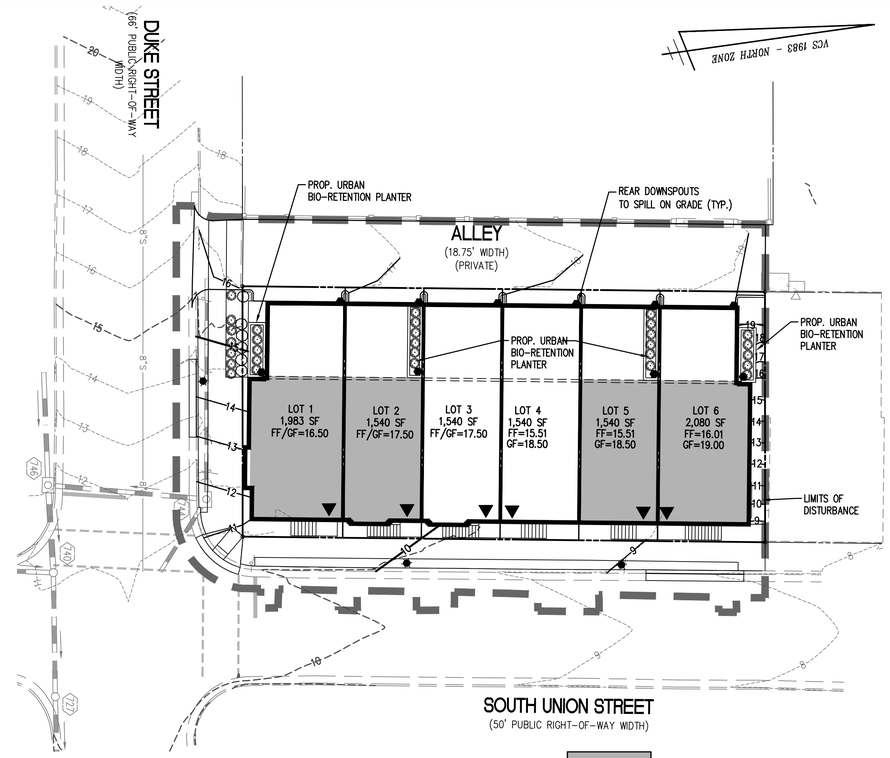
Hydrograph type	= SCS Runoff	Peak discharge	= 1.655 cfs
Storm frequency	= 2 yrs	Time to peak	= 11.93 hrs
Time interval	= 2 min	Hyd. volume	= 3,700 cuft
Drainage area	= 0.396 ac	Curve number	= 96
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 3.20 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

POST-DEVELOPMENT

Hydrograph type	= SCS Runoff	Peak discharge	= 2.758 cfs
Storm frequency	= 10 yrs	Time to peak	= 11.93 hrs
Time interval	= 2 min	Hyd. volume	= 6,368 cuft
Drainage area	= 0.396 ac	Curve number	= 96
Basin Slope	= 0.0 %	Hydraulic length	= 0 ft
Tc method	= User	Time of conc. (Tc)	= 5.00 min
Total precip.	= 5.20 in	Distribution	= Type II
Storm duration	= 24 hrs	Shape factor	= 484

20 0 10 20 40 80

(IN FEET)
1 INCH = 20'



BMP SCHEMATIC

SCALE: 1" = 20'

AREA TO URBAN BIO-RETENTION FACILITIES (3,900 SQ. FT.)

20 0 10 20 40 80

(IN FEET)
1 INCH = 20'

STORMWATER MANAGEMENT & BEST MANAGEMENT PRACTICES NARRATIVE

EXISTING CONDITIONS:
THE SITE CURRENTLY CONSISTS OF AN EXISTING PARKING GARAGE, UTILITY CONNECTIONS, AND STREET TREES. THE 10,223 SF (0.2347 AC.) SITE DRAINS FROM A HIGH POINT IN THE EXISTING ALLEY, THEN SOUTH TO DUKE STREET AND ULTIMATELY EAST TOWARD THE POTOMAC RIVER VIA THE MUNICIPAL STORM SEWER SYSTEM IN DUKE STREET. CURRENTLY NO STORMWATER CONTROLS EXIST ON-SITE. THE EXISTING DRAINAGE DIVIDES FOR THE SITE WILL GENERALLY BE MAINTAINED IN THE PROPOSED DEVELOPMENT. FOR THE PURPOSES OF STORMWATER MANAGEMENT, THE SITE AREA WILL BE THE LIMITS OF DISTURBANCE 17,230 SF OR 0.3955 ACRES

PROPOSED CONDITIONS:
THE PURPOSE OF THIS PROJECT IS TO CONSTRUCT SIX (6) FEE-SIMPLE TOWNHOUSES AND STREETSCAPE IMPROVEMENTS. THE PROPOSED IMPROVEMENTS INCLUDE CONSTRUCTION OF THE BUILDINGS, URBAN BIO-RETENTION, STREETSCAPE, AND OTHER SUPPORT UTILITY INFRASTRUCTURE. THE EXISTING REAR ALLEY WILL BE USED FOR SITE ACCESS.

STORMWATER QUALITY (SEE BMP SCHEMATIC – THIS SHEET):
IN ORDER TO COMPLY WITH ARTICLE 13 OF THE CITY OF ALEXANDRIA ZONING ORDINANCE AND THE VIRGINIA STATE WATER QUALITY REQUIREMENTS (9VAC25-870-63), THE SITE WILL INCLUDE LEVEL 1 URBAN BIO-RETENTION LOCATED ADJACENT TO THE BUILDING AND ON THE GARAGE ROOF AREAS. THE PROPOSED SYSTEM OF BMPS WILL REDUCE PHOSPHORUS LEVELS AND COMPLY WITH ALL STATE AND CITY REQUIREMENTS. APPROXIMATELY 12,501 SF OF IMPERVIOUS AREA CANNOT BE CAPTURED AND TREATED DUE TO SITE AND GRADING CONSTRAINTS AND STRUCTURAL CONCERNS. THE WQV TREATMENT VOLUME FOR THIS IMPERVIOUS AREA WILL BE MITIGATED THROUGH PAYMENT INTO THE CITY OF ALEXANDRIA WATER QUALITY IMPACT FUND.

STORMWATER QUANTITY:

CHANNEL PROTECTION:
THE SITE OUTFALLS TO THE MUNICIPAL STORM SEWER SYSTEM LOCATED IN DUKE STREET AND SOUTH UNION STREET. BASED ON REVIEW OF CITY STORM SEWER MAPS (GIS), THE DISCHARGE OF THE 2-YEAR 24-HOUR STORM FROM THE SITE CAN BE CONVEYED UP TO THE LIMITS OF ANALYSIS (100 TIMES THE SITE AREA) WITHOUT CAUSING EROSION, SINCE ALL OF THE PIPES OR CULVERTS WITHIN THE LIMITS OF ANALYSIS ARE CONCRETE. THEREFORE, THE SITE MEETS CHANNEL PROTECTION REQUIREMENTS SPECIFIED IN THE CITY OF ALEXANDRIA STORMWATER CODE (ARTICLE XIII) AND NO ADDITIONAL STORMWATER DETENTION IS NECESSARY FOR THE PURPOSES OF CHANNEL PROTECTION.

FLOOD CONTROL:
THE SITE OUTFALLS TO THE MUNICIPAL STORM SEWER SYSTEM LOCATED IN DUKE STREET AND SOUTH UNION STREET. THE CITY OF ALEXANDRIA STORMWATER REQUIREMENTS SPECIFY THAT THE 10-YEAR, 24 HOUR STORM POST-DEVELOPMENT FLOW MUST BE CONVEYED WITHIN THE SYSTEM UP TO THE LIMITS OF ANALYSIS AND THAT THE POST-DEVELOPMENT FLOW FOR THE 10-YEAR, 24-HOUR STORM MUST NOT EXCEED PRE-DEVELOPMENT LEVELS. REVIEW OF THE STORMWATER OUTFALL WITHIN THE LIMITS OF ANALYSIS INDICATES THAT DOWNSTREAM STORMWATER PIPES APPEAR TO BE ADEQUATE TO CONVEY THE 10-YEAR, 24-HOUR STORM WITHIN THE SYSTEM AND SITE DISCHARGE RATES WILL BE REDUCED TO BELOW PRE-DEVELOPMENT LEVELS DUE TO IMPLEMENTATION OF RUNOFF REDUCTION PRACTICES (URBAN BIO-RETENTION). THEREFORE, THE SITE MEETS FLOOD CONTROL REQUIREMENTS SPECIFIED IN THE CITY OF ALEXANDRIA STORMWATER CODE (ARTICLE XIII) AND NO ADDITIONAL STORMWATER DETENTION IS NECESSARY FOR THE PURPOSES OF FLOOD CONTROL. IT IS ALSO NOTED, THAT THIS SITE IS LOCATED AT THE BOTTOM OF THE LOCAL WATERSHED AND DETENTION IS NOT TYPICALLY PROVIDED IN THIS AREA..

ADJACENT PROPERTIES:
ALL UNCONTROLLED SHEET FLOW WILL BE DIRECTED TO EXISTING STORM STRUCTURES WITHIN THE DUKE STREET AND SOUTH UNION STREET RIGHT-OF-WAYS AND INTO THE MUNICIPAL STORM SEWER SYSTEM. THERE WILL NOT BE ANY ADVERSE IMPACT TO ADJACENT PROPERTIES AS A RESULT OF THIS PROJECT AND THE PROPOSED IMPROVEMENTS.

FLOODPLAIN BOUNDARY:
THIS SITE IS LOCATED PARTIALLY WITHIN THE 100-YEAR FLOODPLAIN BOUNDARY. SEE P-0402 FOR ADDITIONAL INFORMATION.

RESOURCE PROTECTION AREAS:
THERE ARE NO RESOURCE PROTECTION AREAS KNOWN TO EXIST ON THE SITE.

THE SITE RESIDES IN THE POTOMAC RIVER WATERSHED

THE BMP FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED.

THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO ADJUSTMENT AS DESIGN PROGRESSES

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COMMONWEALTH OF VIRGINIA
AARON M. VINSON
Lic. No.041851
12/18/20
PROFESSIONAL ENGINEER

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

NORTHWEST CORNER OF SOUTH UNION STREET AND DUKE STREET STAGE II CONCEPT PLAN

CITY OF ALEXANDRIA, VIRGINIA

CONCEPTUAL SWM PLAN AND NARRATIVE

APPROVED
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CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

SHEET: **P-0701**

Project Name:	NORTHWEST CORNER OF SOUTH UNION ST AND DUKE ST
Date:	12/18/2020
Linear Development Project?	No

CLEAR ALL

data input cells
constant values
calculation cells
final results

Site Information

Post-Development Project (Treatment Volume and Loads)

Enter Total Disturbed Area *(acres)* → 0.40

Maximum reduction required:	*10%*
The site's net increase in impervious cover (acres) is:	*0*
Post-Development TP Load Reduction for Site (lb/yr):	*0.08*

Check:
BMP Design Specifications List: 2013 Draft Stds & Specs
Linear project? No
Land cover areas entered correctly? ✓
Total disturbed area entered? ✓

Pre-ReDevelopment Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed forest/open space					0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be mowed/managed				0.02	0.02
Impervious Cover (acres)				0.38	0.38
					0.40

Post-Development Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested land					0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be mowed/managed				0.02	0.02
Impervious Cover (acres)				0.38	0.38
Area Check	OK.	OK.	OK.	OK.	0.40

Constants

Annual Rainfall (inches)	43
Target Rainfall Event (inches)	1.00
Total Phosphorus (TP) EMC (mg/L)	0.26
Total Nitrogen (TN) EMC (mg/L)	1.86
Target TP Load (lb/acre/yr)	0.41
Pj (unitless correction factor)	0.90

Runoff Coefficients (Rv)

	A Soils	B Soils	C Soils	D Soils
Forest/Open Space	0.02	0.03	0.04	0.05
Managed Turf	0.15	0.20	0.22	0.25
Impervious Cover	0.95	0.95	0.95	0.95

LAND COVER SUMMARY -- PRE-REDEVELOPMENT

Land Cover Summary-Pre

Pre-ReDevelopment	Listed	Adjusted[1]
Forest/Open Space Cover (acres)	0.00	0.00
Weighted Rv(forest)	0.00	0.00
% Forest	0%	0%
Managed Turf Cover (acres)	0.02	0.02
Weighted Rv(turf)	0.25	0.25
% Managed Turf	4%	4%
Impervious Cover (acres)	0.38	0.38
Rv(impervious)	0.95	0.95
% Impervious	96%	96%
Total Site Area (acres)	**0.40**	**0.40**
Site Rv	**0.92**	**0.92**

Treatment Volume and Nutrient Load

Pre-ReDevelopment Treatment Volume (acre-ft)	0.0304	0.0304
Pre-ReDevelopment Treatment Volume (cubic feet)	1,326	1,326
Pre-ReDevelopment TP Load (lb/yr)	**0.83**	**0.83**
Pre-ReDevelopment TP Load per acre (lb/acre/yr)	2.11	2.11
Baseline TP Load (lb/yr) (**0.41 lbs/acre/yr** applied to pre-redevelopment area excluding pervious land proposed for new impervious cover)		*0.16*

[1] *Adjusted Land Cover Summary:*
Pre ReDevelopment land cover minus pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover.

Adjusted total acreage is consistent with Post-ReDevelopment acreage (minus acreage of new impervious cover).

Column I shows load reduction requirement for new impervious cover (based on new development load limit, 0.41 lbs/acre/year).

LAND COVER SUMMARY -- POST DEVELOPMENT

Land Cover Summary-Post (Final)

Post ReDev. & New Impervious	
Forest/Open Space Cover (acres)	0.00
Weighted Rv(forest)	0.00
% Forest	0%
Managed Turf Cover (acres)	0.02
Weighted Rv (turf)	0.25
% Managed Turf	5%
Impervious Cover (acres)	0.38
Rv(impervious)	0.95
% Impervious	95%
Final Site Area (acres)	**0.40**
Final Post Dev Site Rv	**0.92**

Land Cover Summary-Post

Post-ReDevelopment	
Forest/Open Space Cover (acres)	0.00
Weighted Rv(forest)	0.00
% Forest	0%
Managed Turf Cover (acres)	0.02
Weighted Rv (turf)	0.25
% Managed Turf	5%
ReDev. Impervious Cover (acres)	0.38
Rv(impervious)	0.95
% Impervious	95%
Total ReDev. Site Area (acres)	**0.40**
ReDev Site Rv	**0.92**

Land Cover Summary-Post

Post-Development New Impervious	
New Impervious Cover (acres)	0.00
Rv(impervious)	--

Treatment Volume and Nutrient Load

Final Post-Development Treatment Volume (acre-ft)	0.0302
Final Post-Development Treatment Volume (cubic feet)	1,316
Final Post-Development TP Load (lb/yr)	**0.83**
Final Post-Development TP Load per acre (lb/acre/yr)	2.09

Post-ReDevelopment Treatment Volume (acre-ft)	0.0302
Post-ReDevelopment Treatment Volume (cubic feet)	1,316
Post-ReDevelopment Load (TP) (lb/yr)*	**0.83**
Post-ReDevelopment TP Load per acre (lb/acre/yr)	2.09
Max. Reduction Required (Below Pre-ReDevelopment Load)	10%
TP Load Reduction Required for Redeveloped Area (lb/yr)	**0.08**

Post-Development Treatment Volume (acre-ft)	--
Post-Development Treatment Volume (cubic feet)	--
Post-Development TP Load (lb/yr)	--
TP Load Reduction Required for New Impervious Area (lb/yr)	**0**

Post-Development Requirement for Site Area

TP Load Reduction Required (lb/yr)	0.08

Nitrogen Loads (Informational Purposes Only)

Pre-ReDevelopment TN Load (lb/yr)	5.96
Final Post-Development TN Load (Post-ReDevelopment & New Impervious) (lb/yr)	5.91

Site Results (Water Quality Compliance)

Area Checks	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
FOREST/OPEN SPACE (ac)	0.00	0.00	0.00	0.00	0.00	OK.
IMPERVIOUS COVER (ac)	0.38	0.00	0.00	0.00	0.00	OK.
IMPERVIOUS COVER TREATED (ac)	0.09	0.00	0.00	0.00	0.00	OK.
MANAGED TURF AREA (ac)	0.02	0.00	0.00	0.00	0.00	OK.
MANAGED TURF AREA TREATED (ac)	0.00	0.00	0.00	0.00	0.00	OK.
AREA CHECK	OK.	OK.	OK.	OK.	OK.	

Site Treatment Volume (ft^3) 1,316

Runoff Reduction Volume and TP By Drainage Area

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	TOTAL
RUNOFF REDUCTION VOLUME ACHIEVED (ft^3)	124	0	0	0	0	124
TP LOAD AVAILABLE FOR REMOVAL (lb/yr)	0.83	0.00	0.00	0.00	0.00	0.83
TP LOAD REDUCTION ACHIEVED (lb/yr)	0.11	0.00	0.00	0.00	0.00	0.11
TP LOAD REMAINING (lb/yr)	0.72	0.00	0.00	0.00	0.00	0.72
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	0.89	0.00	0.00	0.00	0.00	0.89

Total Phosphorus

FINAL POST-DEVELOPMENT TP LOAD (lb/yr)	0.83
TP LOAD REDUCTION REQUIRED (lb/yr)	0.08
TP LOAD REDUCTION ACHIEVED (lb/yr)	0.11
TP LOAD REMAINING (lb/yr):	0.72
REMAINING TP LOAD REDUCTION REQUIRED (lb/yr):	0.00 **

** TARGET TP REDUCTION EXCEEDED BY 0.03 LB/YEAR **

Total Nitrogen (For Information Purposes)

POST-DEVELOPMENT LOAD (lb/yr)	5.91
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	0.89
REMAINING POST-DEVELOPMENT NITROGEN LOAD (lb/yr)	5.03

Drainage Area A		A Soils	B Soils	C Soils	D Soils
Forest/Open Space -- undisturbed, protected forest/open space or reforested land	Area (acres)	0.00	0.00	0.00	0.00
	CN	30	55	70	77
Managed Turf -- disturbed, graded for yards or other turf to be mowed/managed	Area (acres)	0.00	0.00	0.00	0.02
	CN	39	61	74	80
Impervious Cover	Area (acres)	0.00	0.00	0.00	0.38
	CN	98	98	98	98

$CN_{(D.A. A)}$ 97

	Total Area (acres):	0.40
	Runoff Reduction Volume (ft^3):	124

	1-year storm	2-year storm	10-year storm
$RV_{Developed}$ *(watershed-inch)* with no Runoff Reduction*	2.36	2.86	4.85
$RV_{Developed}$ *(watershed-inch)* with Runoff Reduction*	2.28	2.77	4.76
Adjusted CN*	**96**	**96**	**96**

1-year storm	2-year storm	10-year storm
2.70	3.20	5.20

Use NOAA Atlas 14 (http://hdsc.nws.noaa.gov/hdsc/pfds/)

THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO ADJUSTMENT AS DESIGN PROGRESSES

Drainage Area A

CLEAR BMP AREAS

Drainage Area A Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Forest/Open Space (acres)					0.00	0.00
Managed Turf (acres)				0.02	0.02	0.25
Impervious Cover (acres)				0.38	0.38	0.95
				Total	0.40	

Total Phosphorus Available for Removal in D.A. A (lb/yr)	0.83
Post Development Treatment Volume in D.A. A (ft^3)	1,316

Stormwater Best Management Practices (RR = Runoff Reduction)

--Select from dropdown lists--

Practice	Runoff Reduction Credit (%)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft^3)	Runoff Reduction (ft^3)	Remaining Runoff Volume (ft^3)	Total BMP Treatment Volume (ft^3)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (lb)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed By Practice (lb)	Remaining Phosphorus Load (lb)	Downstream Practice to be Employed
6. Bioretention (RR)													
6.a. Bioretention #1 or Micro-Bioretention #1 or Urban Bioretention (Spec #9)	40		0.09	0	124	185	309	25	0.00	0.19	0.11	0.09	

Nitrogen Removal Efficiency (%)	Nitrogen Load from Upstream Practices (lbs)	Untreated Nitrogen Load to Practice (lbs)	Nitrogen Removed By Practice (lbs)	Remaining Nitrogen Load (lbs)
6. Bioretention (RR)				
40	0.00	1.39	0.89	0.50

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SCALE: N.T.S.	DATE: 10/21/2020
DRAWN: TB	CHECKED: TB/AV

PLAN STATUS	
DATE	DESCRIPTION
10/21/2020	STAGE I CONCEPT PLAN
12/18/2020	STAGE II CONCEPT PLAN

COMMONWEALTH OF VIRGINIA AARON M. VINSON Lic. No. 041851 12/18/20 PROFESSIONAL ENGINEER

REVISION APPROVED BY					
NO.	DESCRIPTION	DATE	RCV. BY	APPROVED	DATE

NORTHWEST CORNER OF SOUTH UNION STREET AND DUKE STREET STAGE II CONCEPT PLAN

CITY OF ALEXANDRIA, VIRGINIA

CONCEPTUAL VRRM SPREADSHEET

APPROVED
SPECIAL USE PERMIT NO. DSUP 2020-0030
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

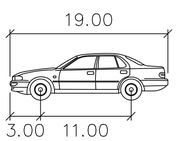
DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED _____
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

VCS 1983 – NORTH ZONE

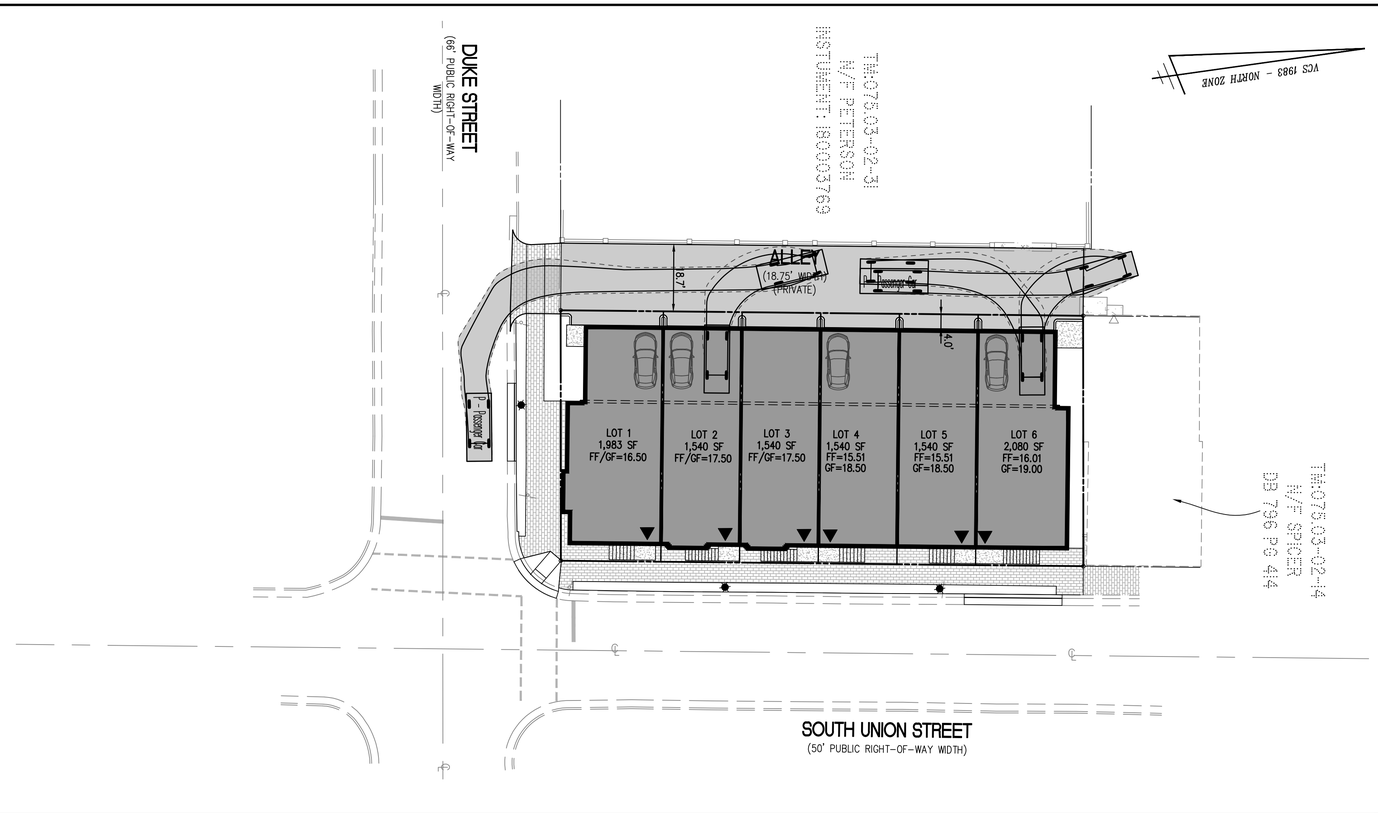
LEGEND

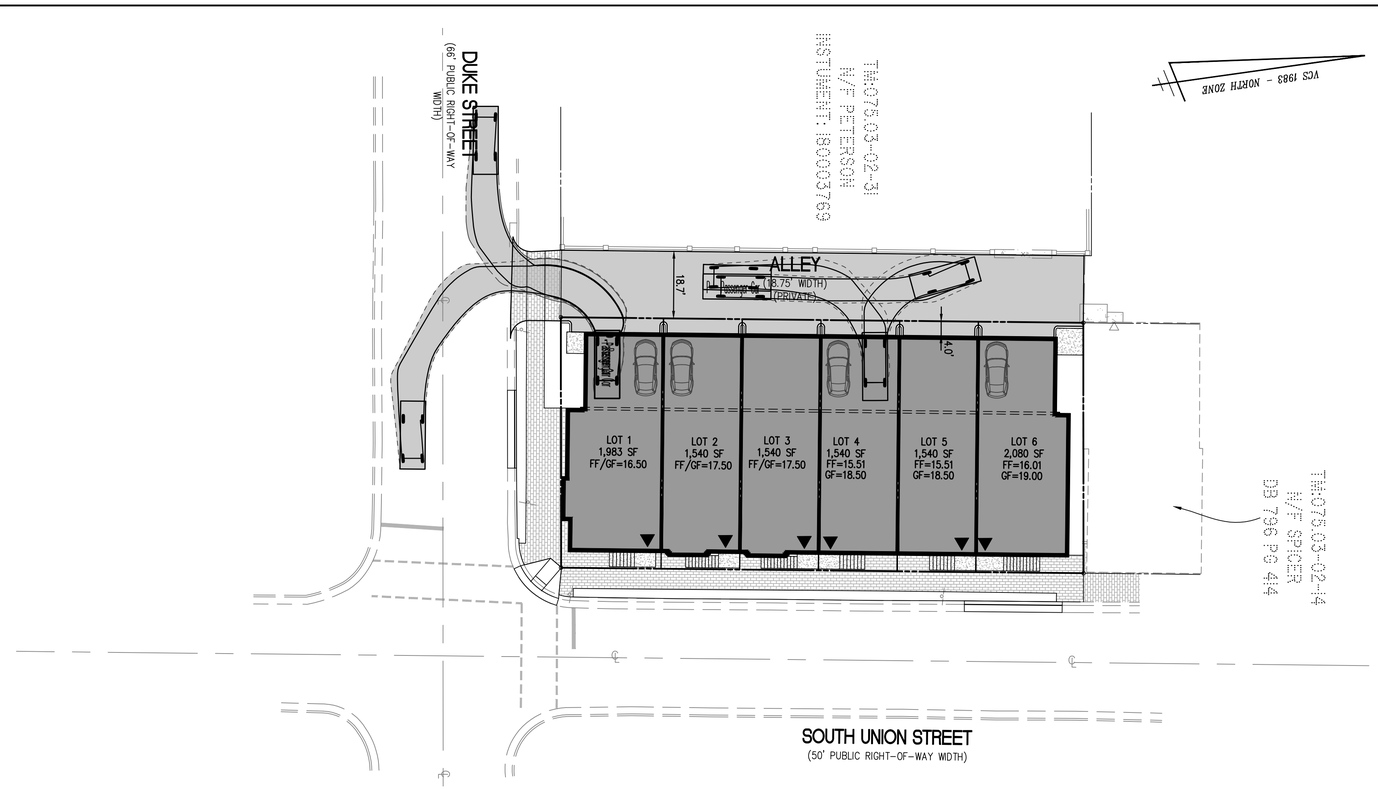
PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER CG-2	
CG-6R CG-6	TRANSITION FROM CG-6 TO CG-6R	CG-6 CG-6R
S	SANITARY SEWER	S
SL	SANITARY LATERAL	SL
C.O.	CLEAN OUT	C.O.
	STORM SEWER	
W	WATER MAIN	W
	FIRE HYDRANT	
	PLUG	
	OVERHEAD WIRES	
	UTILITY POLE	
UE	UNDERGROUND ELECTRIC	UE
T	TELEPHONE	T
G	GAS MAIN	G
E	ELECTRICAL	E
	TRANSFORMER	
	HANDICAP RAMP (CG-12)	
	GUARDRAIL	
X X X	FENCE	X X X
	TRAFFIC FLOW	
	LIGHT	
	DOOR	
	TREES	
260 264	CONTOURS	260 264
+264 50	SPOT ELEVATION	+264 50
	DRAINAGE FLOW DIRECTION	
TC	TOP OF CURB	TC
BC	BOTTOM OF CURB	BC
TW	TOP OF WALL	TW
BW	BOTTOM OF WALL	BW
HP	HIGH POINT	H.P.
TP	TEST PIT	
	LIMITS OF CLEARING AND GRADING	



P CAR	feet
Width	: 7.00
Track	: 6.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.6

20 0 10 20 40 80
(IN FEET)
1 INCH = 20'





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PLAN STATUS

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10/21/2020	STAGE I CONCEPT PLAN
12/18/2020	STAGE II CONCEPT PLAN

COMMONWEALTH OF VIRGINIA
AARON M. VINSON
Lic. No.041851
12/18/20
PROFESSIONAL ENGINEER

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

NORTHWEST CORNER OF SOUTH UNION STREET AND DUKE STREET
STAGE II CONCEPT PLAN
CITY OF ALEXANDRIA, VIRGINIA

CONCEPTUAL VEHICULAR MOVEMENT PLAN

APPROVED
SPECIAL USE PERMIT NO. DSUP 2020-0030
DEPARTMENT OF PLANNING & ZONING

DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____

DIRECTOR DATE

CHAIRMAN, PLANNING COMMISSION DATE

DATE RECORDED _____

INSTRUMENT NO. DEED BOOK NO. PAGE NO.

File No. ALEX Tax Map No. 075.03 Job No. 20-080 Cadd Dwg. File: Q:\sdskproj\20080\dwg\planning\concept II\20080P-1101.dwg

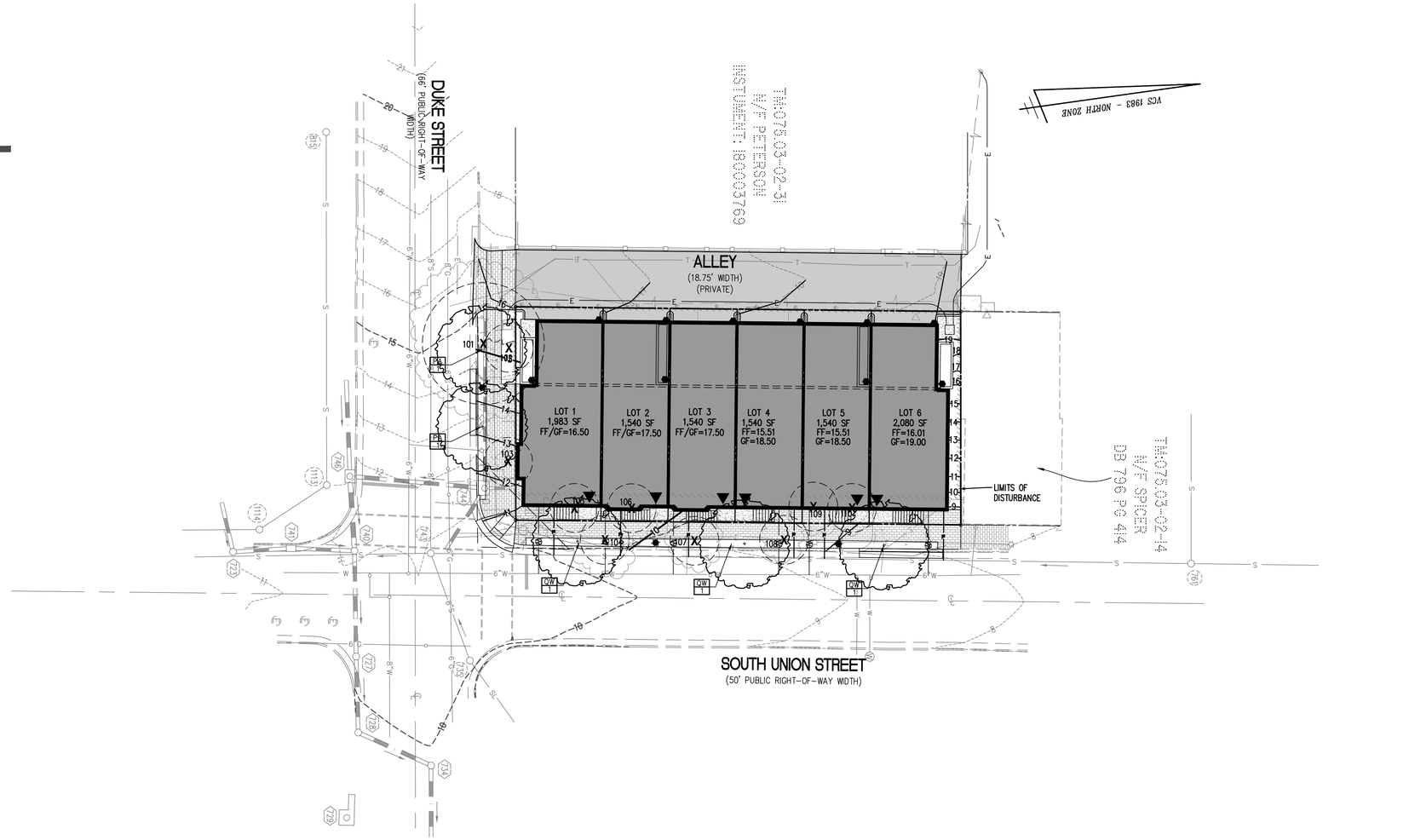
SHEET: P-1101

TREE LEGEND

KEY	TITLE	SYMBOL
	TREE TO BE REMOVED	X
	EXISTING TREELINE	
	LIMITS OF DISTURBANCE	
	CRITICAL ROOT ZONE (CRZ)	
	PROPOSED TREE	

LANDSCAPE PLAN NOTES

1. THERE IS NO RPA, INTERMITTENT STREAM, WETLANDS, ASSOCIATED BUFFER, OR EXISTING STORMWATER FACILITIES LOCATED ONSITE. THE SITE IS LOCATED WITHIN A FLOODPLAIN.
2. NO KNOWN MARINE CLAY ONSITE, SEE SHEET P-0201. NO KNOWN CONTAMINATION KNOWN ONSITE. NO PLANTINGS PROPOSED AT THIS TIME.
3. THIS PLAN IS FOR LIMITED WORK TO THE EXISTING BUILDING. THERE ARE NO EXISTING OR PROPOSED TREES ONSITE.
4. THERE ARE NO EASEMENTS LOCATED ONSITE
5. THERE ARE NO EXISTING CULTURAL RESOURCES.



(IN FEET)
1 INCH = 20'

CANOPY TREES

KEY	BOTANICAL NAME	COMMON NAME	QTY	CAL.	HT.	COMMENTS
PA	Platanus x acerifolia 'Bloodgood'	Bloodgood London Planetree	1	2"-2.5"	12'-14'	B&B, full specimen
QW	Quercus phellos	Willow Oak	1	2"-2.5"	12'-14'	B&B, full specimen

Alexandria — **Tree Inventory**

Tree #	Botanical Name	Common Name	Size DBH (in)	Critical Root Zone (CRZ) Radius (ft)	Species Rating (%)	Condition (%)	Activities: Removal	Tree Protection Fence	Root Prune	Root Padding	Hand Removal/ Selective Removal	Notes
101	Fraxinus pennsylvanica	Green ash	20"	20'	53%	59%	x					
102	Lagerstroemia indica	Crape Myrtle	2"	8'	78%	66%	x					
103	Lagerstroemia indica	Crape Myrtle	2"	8'	78%	66%	x					
104	Quercus phellos	Willow oak	8"	8'	75%	63%	x					
105	Prunus spp.	Ornamental Cherry	5"	8'	55%	63%	x					
106	Prunus spp.	Ornamental Cherry	5"	8'	55%	63%	x					
107	Quercus phellos	Willow oak	7"	8'	75%	63%	x					
108	Quercus phellos	Willow oak	4"	8'	75%	59%	x					
109	Prunus spp.	Ornamental Cherry	6"	8'	55%	66%	x					
110	Prunus spp.	Ornamental Cherry	6"	8'	55%	66%	x					

DBH = Diameter at Breast Height (measured 4.5 feet above ground)

CRZ = Critical Root Zone = 1 foot radius per inch of tree diameter, trees over 30" DBH= 1.5 foot radius per inch of tree diameter

CRZ values for trees with multiple stems were calculated based on methods outlined in the 9th edition of the Guide for Plant Appraisal, published by the I.S.A.

Condition Ratings provided as percentages based on methods outlined in the 9th edition of the Guide for Plant Appraisal, published by the I.S.A.

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PLAN STATUS

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12/18/2020	STAGE II CONCEPT PLAN

COMMONWEALTH OF VIRGINIA — AARON M. VINSON — Lic. No.041851 — 12/18/20 — PROFESSIONAL ENGINEER

REVISION APPROVED BY

NO.	DESCRIPTION	DATE	REV. BY	APPROVED	DATE

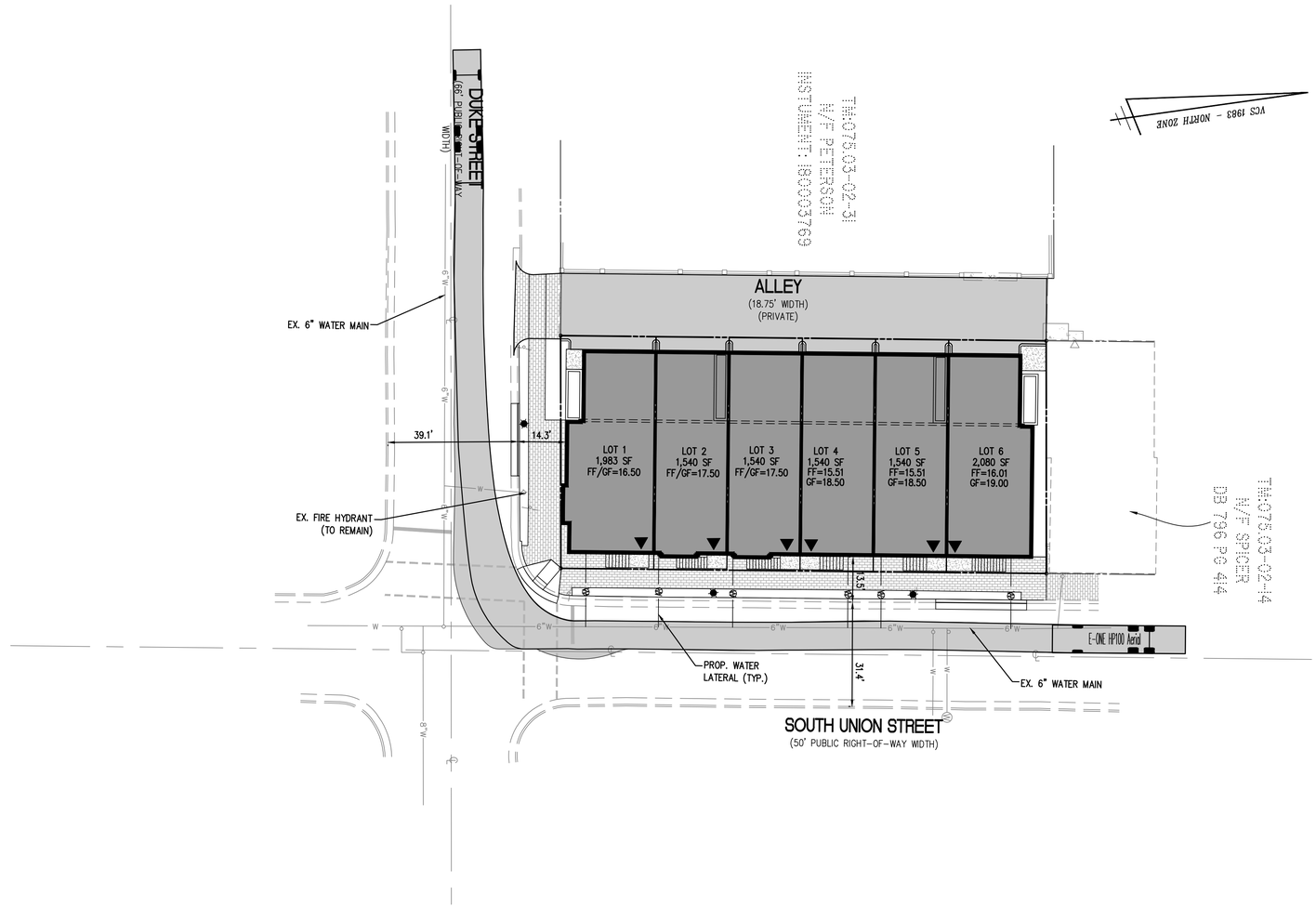
NORTHWEST CORNER OF SOUTH UNION STREET AND DUKE STREET
STAGE II CONCEPT PLAN
CITY OF ALEXANDRIA, VIRGINIA

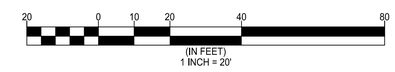
CONCEPTUAL LANDSCAPE PLAN

APPROVED
SPECIAL USE PERMIT NO. DSUP 2020-0030
DEPARTMENT OF PLANNING & ZONING
DIRECTOR DATE
DEPARTMENT OF TRANSPORTATION & ENVIRONMENTAL SERVICES
SITE PLAN No. _____
DIRECTOR DATE
CHAIRMAN, PLANNING COMMISSION DATE
DATE RECORDED _____
INSTRUMENT NO. DEED BOOK NO. PAGE NO.

File No. ALEX Tax Map No. 075.03 Job No. 20-080 Cadd Dwg. File: Q:\sdskproj\20080\dwg\planning\concept II\20080P-1201.dwg

SHEET: P-1201

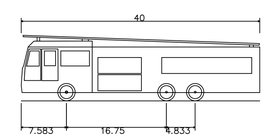




LEGEND

PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER CG-2	
CG-6R CG-6	TRANSITION FROM CG-6 TO CG-6R	CG-6 CG-6R
S	SANITARY SEWER	S
SL	SANITARY LATERAL	SL
C.O.	CLEAN OUT	C.O.
	STORM SEWER	
W	WATER MAIN	W
	FIRE HYDRANT	
	PLUG	
	OVERHEAD WIRES	
	UTILITY POLE	
UE	UNDERGROUND ELECTRIC	UE
T	TELEPHONE	T
G	GAS MAIN	G
E	ELECTRICAL	E
	TRANSFORMER	

PROPOSED	DESCRIPTION	EXISTING
	HANDICAP RAMP (CG-12)	
	GUARDRAIL	
X X X	FENCE	X X X
	TRAFFIC FLOW	
	LIGHT	
	DOOR	
	TREES	
260 264	CONTOURS	260 264
+264 50	SPOT ELEVATION	+264 50
	DRAINAGE FLOW DIRECTION	
TC	TOP OF CURB	TC
BC	BOTTOM OF CURB	BC
TW	TOP OF WALL	TW
BW	BOTTOM OF WALL	BW
HP	HIGH POINT	H.P.
TP	TEST PIT	
	LIMITS OF CLEARING AND GRADING	



E-ONE HP100 Aerial	
Overall Length	40.000ft
Overall Width	8.333ft
Overall Body Height	11.000ft
Min Body Ground Clearance	1.393ft
Track Width	8.333ft
Lock-to-lock time	6.00s
Max Wheel Angle	45.00°

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AARON M. VINSON
Lic. No.041851
12/18/20
PROFESSIONAL ENGINEER

REVISION APPROVED BY

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NORTHWEST CORNER OF SOUTH UNION STREET AND DUKE STREET
STAGE II CONCEPT PLAN
CITY OF ALEXANDRIA, VIRGINIA

CONCEPTUAL FIRE SERVICE PLAN

APPROVED
SPECIAL USE PERMIT NO. DSUP 2020-0030
DEPARTMENT OF PLANNING & ZONING
DIRECTOR DATE
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DIRECTOR DATE
CHAIRMAN, PLANNING COMMISSION DATE
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SHEET: P-1301

BAR Concept Review Policy

adopted January 2001, amended and restated December 2016

Background & Purpose

In addition to a Certificate of Appropriateness from the appropriate Board of Architectural Review (BAR), applications for development projects of a certain size are required to obtain development approvals (DSP or DSUP) from the Planning Commission and often the City Council. Because the size, footprint or design of a project may be amended during the DSP or DSUP process, a Certificate of Appropriateness is not typically granted until after the DSP or DSUP is approved. Therefore, the Boards of Architectural Review adopted a Concept Review policy in January 2001 as an optional, informal review at the beginning of the development process whereby the BAR provides the applicant, staff, Planning Commission and the City Council, with comments relating to the overall appropriateness of a project's **height, mass, scale and general architectural character**. The Concept Review is intended to minimize future architectural design conflicts between what is shown to the community, the Planning Commission or City Council during the development approval process and what the BAR later finds architecturally appropriate under the criteria and standards in Chapter 10 of the Zoning Ordinance and the BAR's adopted policies and *Design Guidelines*. The information provided by the BAR in the Concept Review will be used by the applicant, staff, Planning Commission and City Council to make decisions regarding the DSP or DSUP and as such serves as an important step in an efficient development review process. This document is an update and clarification of the policy adopted in 2001 and will serve as the current policy.

Principles

1. The BAR Concept Review process is encouraged – but not required – for any development project prior to submission of a development application to the Planning Commission and, if required, the City Council in order to ensure that each body has the information they need to make their decisions.

2. The Concept Review is not an approval by the BAR. If the application for the development project is approved by the Planning Commission and the City Council, then the applicant must apply for and obtain a Certificate of Appropriateness from the BAR following attainment of the DSP or DSUP.

3. The Concept Review will review:
   a. The appropriateness of height, mass, scale and general architectural character based on criteria set forth in the BAR *Design Guidelines* for the historic districts.
   b. If a project is located within the boundaries of Washington Street or the Potomac River Vicinity, the BAR will review the additional standards for these areas, to the extent possible without final architectural details.
   c. The appropriateness of a Permit to Demolish, when one will be required for the project.

4. The project is discussed in an informal work session and is open to public comment. The BAR may require several work sessions and additional information before they provide comments and guidance. The BAR will then take a poll of its members on what their guidance is related to the height, mass, scale, and general architectural character of a project. They may also provide general feedback as to what additional information they would like to see when, and if, the project returns for a Certificate of Appropriateness and/or a Permit to Demolish.

5. As an informal work session, the applicant is strongly encouraged – but not required – to give public notice to adjoining property owners. Notice of the work session will be posted on the City's web page and in the BAR's preliminary docket and the property will be placarded by BAR staff as a courtesy.

6. The Concept Review by the BAR is advisory to the applicant, staff, the Planning Commission and the City Council, and is not intended to create vested or appealable rights.

7. The BAR Concept Review work session comments are shared with the Planning Commission and the City Council and may be used by those bodies for advisory purposes. The final Concept Review drawings shown to the BAR must, therefore, be the same general architectural character as submitted for the Preliminary Site Plan.

Typical Proposals Reviewed in Concept by the BAR

- When the proposal requires a DSP or DSUP for additional density or height;
- When the proposal requires Planning Commission review for a new building; and
- When staff determines that the proposal requires preliminary review because the design would be a principal determining factor in the ultimate approval by other bodies.

Concept Review Submission Materials

Three 11" x 17" hard copies and one digital copy of the following:

1. An architectural site plan showing, at a minimum, building footprints on the block on which the project is located and the surrounding block faces
2. Schematic architectural drawings which show the proposed height and scale in relation to surrounding properties
3. 3D digital and/or physical massing study models
4. Building materials, precedent images, etc., as required to explain the concept

Process

1. The BAR will only review projects when staff has confirmed through the Development Concept Stage 1 review process that a proposed project complies with zoning requirements or where staff supports any required modifications. When the applicant is notified that they may submit a Development Concept Stage 2 package, the applicant may also apply for BAR Concept Review work session.
2. The City will place the Concept Review project on the next available docket and advertise it in the newspaper with the other cases for that hearing and placard the property. Notice by the applicant to abutting property owners is strongly encouraged but is not required.
3. BAR staff may prepare a report which will be available on the City's web site the Friday evening prior to the BAR meeting.
4. BAR Concept Review requests are docketed for consideration under Other Business at a regular BAR public hearing. Additional work sessions may be requested.
5. The applicant is expected to make a presentation at the meeting to explain the concept.
6. The public will be invited to speak at the BAR meeting to receive their feedback only on issues related to the BAR's purview.