

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

APPLICANT: Puscheck LLC

LOCATION: Old and Historic Alexandria District
810 Prince Street

ZONE: RM/Residential Townhouse Zone

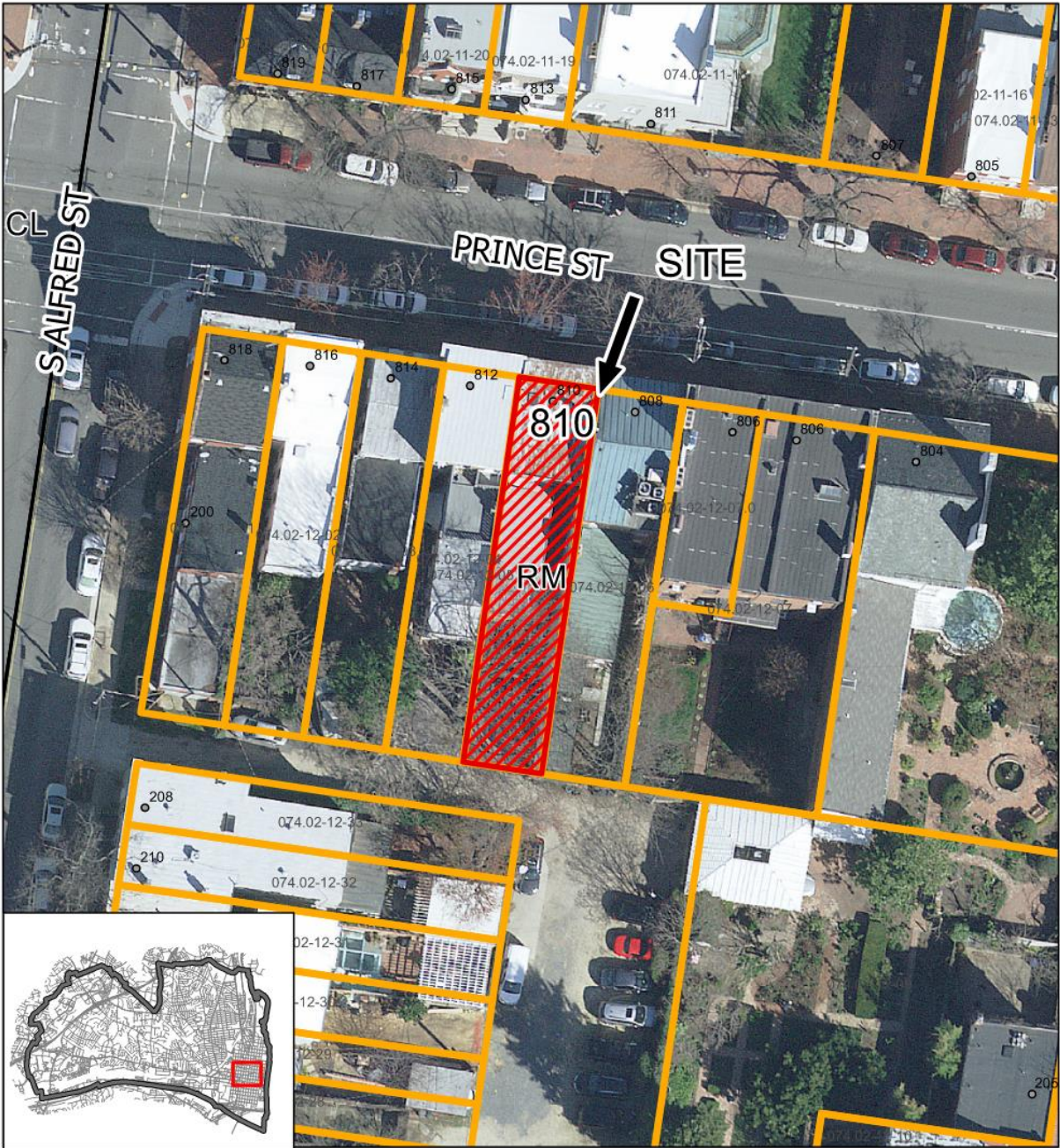
STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations with the condition that the statements in archaeology conditions below appear on the grading plans so that on-site contractors are aware of the requirements:

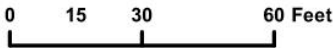
- a. The applicant/developer shall call Alexandria Archaeology immediately (703.746.4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
- c. All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR #2020-00617 & BAR #2020-00619
810 Prince Street



Note: Staff coupled the applications for a Permit to Demolish (BAR #2020-00619) and Certificate of Appropriateness (BAR #2020-00617) for clarity and brevity. The Permit to Demolish requires a roll call vote.

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to build two roof terraces and associated exterior stairs. The applicant also proposes to add two new windows at existing openings and an exterior stair and door leading to a new full basement at 810 Prince Street.

Permit to Demolish/Capsulate

The applicant proposes enlarging a window opening on the third-floor south elevation of the main block of the house to convert it to a door, as well as removing a cellar crawl-space access hatch on the same elevation to replace it with a new stair and door to the cellar. See Figure 1.

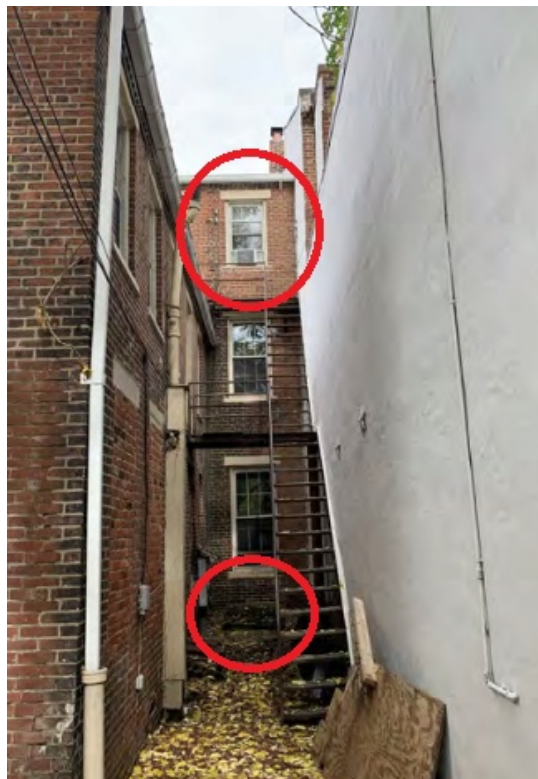


Figure 1: Top circle indicates window to be converted to door. Bottom circle indicates existing hatch.

Certificate of Appropriateness *Alterations*

The applicant proposes to construct a roof terrace on each of the house's two roofs: the northernmost roof over the third floor of the main block and the southernmost roof over the second

floor of the rear ell. Each roof deck will be constructed of painted pressure-treated lumber with composite decking for the flooring and stair treads.

- Main block “high” roof: The existing roof measures 27’ 6 ¼” deep by 19’ 7 7/8” wide. The proposed roof deck will span the width of the house and be placed 12’ 4” away from the front/north elevation, ensuring minimal visibility from Prince Street. An existing chimney will remain in place and a skylight/roof hatch will be eliminated. A window on the third floor of the southernmost elevation of the main block will be converted to a door to provide egress to the proposed painted wood stair leading to the upper roof terrace as well as to the existing fire escape. A 3’6” painted metal cable rail will surround the terrace.
- Ell “low” roof: This roof measures 31’5 7/8” deep by 13’ 1 7/8” wide. The proposed roof deck will be constructed adjacent to the rear wall of the house, spanning the entire width and measuring 22’6” deep. This will leave 9’ of roof at the rear/southernmost portion of the ell. A new painted wood stair will lead up to the roof deck from the existing fire escape and door on the east elevation of the ell. A 3’6” painted metal cable rail will surround the deck.

Additionally, the applicant proposes adding a basement entry on the south elevation of the main block of the house. The entry will measure 6’9” and will be accessed by a proposed 9’9” long concrete stair leading down from grade. The applicant would also like to add window inserts to existing window openings at the basement level of the primary/north elevation.

Site context

The building sits in the center of the south side of the 800 block of Prince Street. Buildings to either side block any view of the rear of the property from North Alfred and North Columbus streets. A large alley behind the building to the south is privately owned. The front/north elevation is therefore the only part of the building visible from any public right of way.

II. HISTORY

According to Ethelyn Cox in her book *Historic Alexandria Virginia Street by Street*, George D. Fowle purchased the lots at 810 and 812 Prince in 1851 for \$247. In 1868 Fowle sold both lots for \$1175 to William F. Vincent. Ms. Cox believes that Fowle built the house at 810 Prince between **1851 and 1868**.

The three-bay, three-story Italianate house consists of a masonry main block and a two-story brick ell. The form of the house has remained basically unchanged since the publication of the 1885 Sanborn Fire Insurance map. This map shows the same materials and configuration, with the exception of a one-story frame addition which no longer exists at the rear of the ell.

Previous BAR Approvals

In early January 2021 staff administratively approved the replacement of three exterior doors and two windows due to fire damage (BAR2020-00623).

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met in this case and the Permit to Demolish/Capsulate should be granted. The area to be demolished is minimal, does not exhibit a high level of design or architectural detail, and its removal will improve the safety of the dwelling. The Board routinely approves alterations to historic properties as homeowners seek to create safe and modern living spaces.

Certificate of Appropriateness

Cellar windows on north elevation: As seen in Figure 2, the front/north elevation has openings for cellar windows, but those openings are covered with plywood. The proposed Marvin windows comply with *Alexandria New and Replacement Window Performance Specifications in the Historic Districts* and represent a great improvement over the existing plywood.



Figure 2: Front elevation with cellar window circled. Other cellar window obscured by car.

New entry to cellar on rear/south elevation: Currently, the cellar space is little more than a crawl space under the house. By deepening the cellar and adding a new entry, the area will become usable space. The proposed Marvin French door and sidelight for the new rear cellar entrance also comply with *Alexandria New and Replacement Window Performance Specifications in the Historic Districts*. They will not be visible from any public right of way.

Roof decks: The *Design Guidelines* state that “Roof decks should be constructed so that they do not interfere with the historic roofline of a building” and “Material should not be used on a roof deck that detracts from the historic architecture of a structure.” Additionally, the Design Guidelines indicate that the Board “has approved the construction of decks in a number of instances...where there is minimal visibility of the deck from a public way.”

In the case of 810 Prince Street, both roof decks will be minimally visible from a public right of way. The “low” deck will not be visible at all, and will be similar to, but far less obtrusive than, an existing roof deck at adjacent 812 Prince Street (Figure 3). [Note: Staff could find no BAR approval or permit for the roof deck at 812 Prince Street.]



Figure 3: Roof deck at adjacent property

The proposed painted metal cable rail will minimize the visibility of the low roof deck while ensuring that it never be confused with an original historic element of the house. Like the painted pressure-treated lumber and composite decking, the rail in no way detracts from the historic architecture of the structure. The same applies to the front high roof deck. In addition to appropriate materials, the upper deck will be placed far enough back to the roof to greatly reduce its visibility from Prince Street. See Figures 4 and 5.

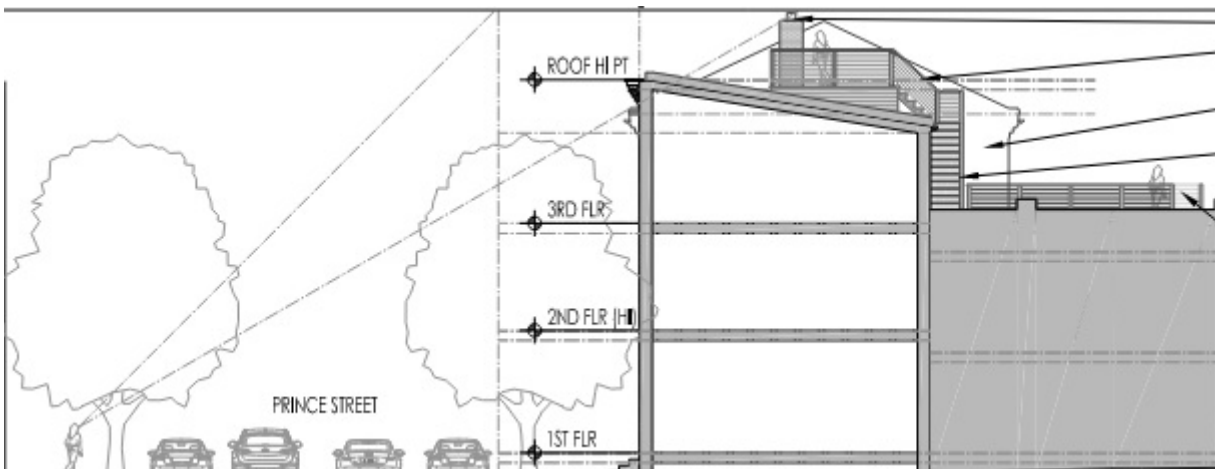


Figure 4: Section looking east showing sightlines from Prince Street



Figure 5: The rendering on the right indicates that the metal railing will extend approximately halfway up the existing chimney. The photo on the left indicates that the chimney is barely visible from the street.

Staff recommends approval of the project, noting the recommendations of Alexandria Archaeology.

STAFF

Susan Hellman, Historic Preservation Planner, Planning & Zoning
 Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 The property currently has 560 square feet of open space (including one of the two parking spaces on the property). The property is 2,042 square feet and the required open space is 715 square feet of open space. The property is deficient in open space by 155 square feet.

C-2 The proposed roof decks and new stairs will not decrease the open space on the property and the property will continue to have 560 square feet of open space.

- C-3 Per §6-403(B)(2), the Board of Architectural Review may waive or modify the screening requirement of the proposed roof deck, if the board finds such requirement to be architecturally inappropriate.
- C-4 Per §6-403(B), the roof deck and railing guards may be erected as part of the main building to their required heights, regardless of any other height provision or restriction.
- C-5 Per §6-403(B)(4), the roof decks and railing guards may be up to six feet in height or meet the minimum height required by the Virginia Uniform Statewide Building Code, whichever is higher. The roof decks and guards must comply with required setbacks. The existing structure is a townhouse and has no side yard setbacks. The proposed roof decks meet the rear yard setback.
- C-5 The proposed roof decks do not count towards FAR.
- F-1 The proposed roof decks, railing guards, and stairs comply with zoning.

Code Administration

- C-1 A building permit and plan review are required prior to the start of construction.

Transportation and Environmental Services

No comments received.

Alexandria Archaeology

- F-1 According to *Historic Alexandria Virginia Street by Street* by Ethelyn Cox, George D. Fowle purchased the vacant lots at 810 and 812 Prince St. in 1851 for \$247. Soon thereafter Fowle built the house at 810 Prince St., later selling both lots to William F. Vincent in 1868. The property has the potential to contain significant archaeological remains that relate to the mid-nineteenth century development of Alexandria.
- R-1 The statements in archaeology conditions below shall appear on the grading plans so that on-site contractors are aware of the requirements:
- a. The applicant/developer shall call Alexandria Archaeology immediately (703.746.4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.
 - c. All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

V. ATTACHMENTS

1 – Application Materials

2 – Supplemental Materials

ADDRESS OF PROJECT: 810 PRINCE STREET, ALEXANDRIA, VA 22314

DISTRICT: Old & Historic Alexandria Parker – Gray 100 Year Old Building

TAX MAP AND PARCEL: 074.02-12-05 ZONING: RM

APPLICATION FOR: (Please check all that apply)

CERTIFICATE OF APPROPRIATENESS

PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: Property Owner Business (Please provide business name & contact person)

Name: REGENT COMPANY

Address: 3208 SPRING DRIVE

City: ALEXANDRIA State: VA Zip: 22306

Phone: 202-255-5418 E-mail: ksdjr@regentcompany.com

Authorized Agent (if applicable): Attorney Architect _____

Name: KAREN CONKEY Phone: 703-589-4550

E-mail: kconkey@conkeyarchitects.com

Legal Property Owner:

Name: PUSCHECK LLC

Address: 8106 W BOULEVARD DRIVE

City: ALEXANDRIA State: VA Zip: 22308

Phone: _____ E-mail: hbpuscheck@gmail.com

- Yes No Is there an historic preservation easement on this property?
- Yes No If yes, has the easement holder agreed to the proposed alterations?
- Yes No Is there a homeowner's association for this property?
- Yes No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- NEW CONSTRUCTION
- EXTERIOR ALTERATION: *Please check all that apply.*
 - awning
 - doors
 - lighting
 - other _____
 - fence, gate or garden wall
 - windows
 - pergola/trellis
 - HVAC equipment
 - siding
 - painting unpainted masonry
 - shutters
 - shed
- ADDITION
- DEMOLITION/ENCAPSULATION
- SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

The applicant proposes to build two roof terraces and associated exterior stairs at the rear of their midblock 1820's town home located at 810 Prince Street. They also propose to add two new windows at existing openings and a new exterior stair and door to the existing basement.

The building consists of 3 apartment units, and the lower roof terrace is proposed to be built above the existing 2 story rear flounder. The upper roof terrace is proposed to be built above the rear of the existing 3 story main block of the structure.

The roof terraces are proposed to be constructed of painted pressure treated lumber, composite decking for the flooring / stair treads and a visually minimal cable railing. The proposed basement stairs will be concrete with both the proposed door and windows meeting the design guidelines.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- Survey plat showing the extent of the proposed demolition/encapsulation.
 - Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
 - Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
 - Description of the reason for demolition/encapsulation.
 - Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- FAR & Open Space calculation form.
- Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- Existing elevations must be scaled and include dimensions.
- Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- Square feet of existing signs to remain: _____.
- Photograph of building showing existing conditions.
- Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- Location of sign (show exact location on building including the height above sidewalk).
- Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- I, the applicant, or an authorized representative will be present at the public hearing.
- I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature:  _____

Printed Name: KAREN CONKEY

Date: 12/21/2020

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. KAHAN DHILLON	3208 SPRING DRIVE	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 810 PRINCE STREET (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. ELIZABETH & HERB PUSCHECK	8106 W. BOULEVARD DR	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. ELIZABETH & HERB PUSCHECK	N/A	N/A
2. KAHAN DHILLON	N/A	N/A
3. KAREN CONKEY	SPOUSE	WILLIAM CONKEY

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

12/21/20
Date

KAREN CONKEY
Printed Name


Signature



Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. 810 PRINCE STREET, ALEXANDRIA, VA 22314		RM	
Street Address		Zone	
A2. 2,042.00	x 1.50	= 3,063.00	
Total Lot Area	Floor Area Ratio Allowed by Zone	Maximum Allowable Floor Area	

B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	0.00	Basement**	0.00	B1. <input style="width: 150px;" type="text" value="2,603.00"/> Sq. Ft.
First Floor	1,021.00	Stairways**	155.00	Existing Gross Floor Area*
Second Floor	1,021.00	Mechanical**	32.00	B2. <input style="width: 150px;" type="text" value="322.00"/> Sq. Ft.
Third Floor	561.00	Attic less than 7'***		Allowable Floor Exclusions**
Attic		Porches**		B3. <input style="width: 150px;" type="text" value="2,281.00"/> Sq. Ft.
Porches		Balcony/Deck**		Existing Floor Area Minus Exclusions (subtract B2 from B1)
Balcony/Deck		Lavatory***	135.00	
Lavatory***		Other**		
Other**		Other**		
B1. Total Gross	<input style="width: 100px;" type="text" value="2,603.00"/>	B2. Total Exclusions	<input style="width: 100px;" type="text" value="322.00"/>	Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	561.00	Basement**	561.00	C1. <input style="width: 150px;" type="text" value="1,077.00"/> Sq. Ft.
First Floor	0.00	Stairways**		Proposed Gross Floor Area*
Second Floor		Mechanical**		C2. <input style="width: 150px;" type="text" value="1,077.00"/> Sq. Ft.
Third Floor		Attic less than 7'***		Allowable Floor Exclusions**
Attic		Porches**		C3. <input style="width: 150px;" type="text" value="0.00"/> Sq. Ft.
Porches		Balcony/Deck**	516.00	Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Balcony/Deck	516.00	Lavatory***		
Lavatory***		Other**		
Other		Other**		
C1. Total Gross	<input style="width: 100px;" type="text" value="1,077.00"/>	C2. Total Exclusions	<input style="width: 100px;" type="text" value="1,077.00"/>	

D. Total Floor Area

D1. <input style="width: 150px;" type="text" value="2,281.00"/> Sq. Ft.
Total Floor Area (add B3 and C3)
D2. <input style="width: 150px;" type="text" value="3,063.00"/> Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

E1. <input style="width: 150px;" type="text" value="250.00"/> Sq. Ft.
Existing Open Space
E2. <input style="width: 150px;" type="text" value="250.00"/> Sq. Ft.
Required Open Space
E3. <input style="width: 150px;" type="text" value="250.00"/> Sq. Ft.
Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:

Date: 12/21/2020

LINE TYPES:

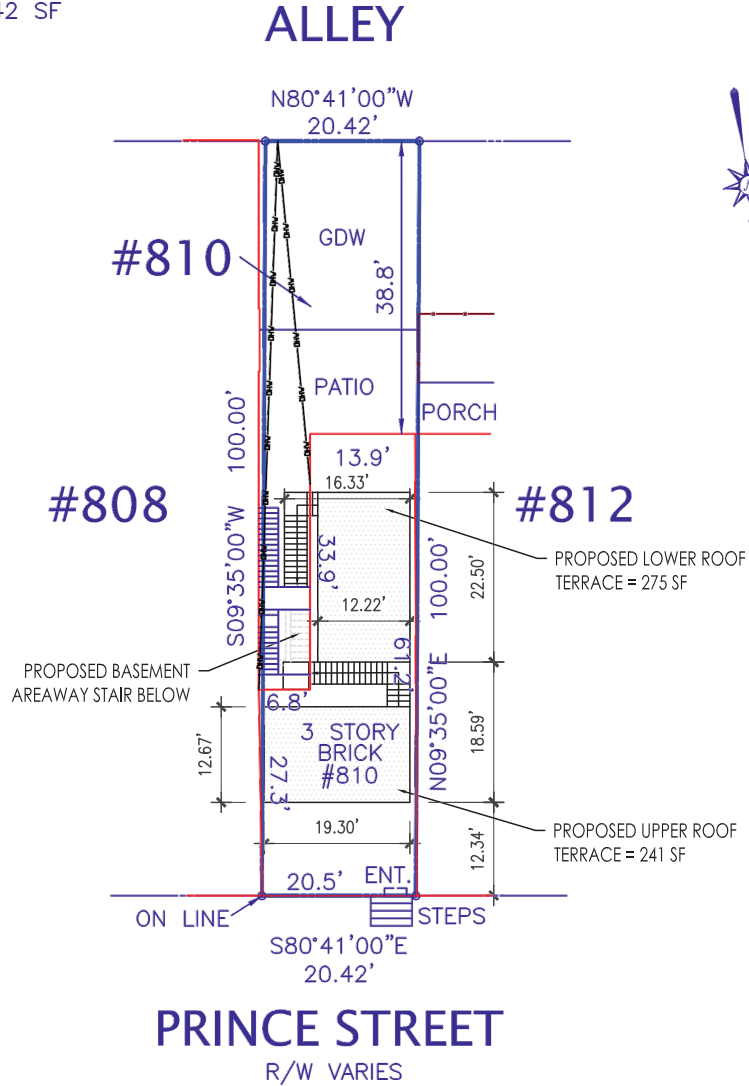
- BOUNDARY LINE
- EASEMENT
- DRIVEWAY/ROAD
- FENCING
- OVERHEAD WIRE
- STRUCTURE

LEGEND:

- ADW-ASPHALT DRIVEWAY
- A/C-AIR CONDITIONING
- A/W-AREAWAY
- B.E.-BASEMENT ENTRANCE
- BRL-BUILDING RESTRICTION LINE
- CDW-CONCRETE DRIVEWAY
- CM- CONCRETE MONUMENT
- CONC.-CONCRETE
- DHS-DRILL HOLE SET
- ENT.-ENTRY WAY
- ER-ELECTRICAL RISER
- F.E.-FIRE ESCAPE
- FIOS-FIBER OPTICS UTILITY BOX
- GDW-GRAVEL DRIVEWAY
- IPF-IRON PIPE FOUND
- IRS- IRON ROD SET
- IRF-IRON ROD FOUND
- LA.-LANDING
- MH-MANHOLE
- PAD-CONCRETE PAD

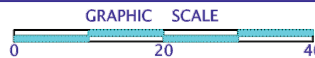
- P.-PORCH
- PL-PLANTER
- PP-POWER POLE
- R/W-RIGHT OF WAY
- SMH-SANITARY MANHOLE
- ST.-STOOP
- TELE-TELEPHONE PEDESTAL
- TR/TRANS-TRANSFORMER
- W.-WALK
- WM-WATER METER
- W.W-WINDOW WELL

TOTAL AREA= 2,042 SF



PRINCE STREET
R/W VARIES

PLAT
SHOWING LOCATION SURVEY ON
THE PROPERTY LOCATED AT
#810 PRINCE STREET
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 20' DECEMBER 14, 2020



BY PROVISIONS OF THE VIRGINIA CODE: NO CORNER MARKERS SET.
BOUNDARY SURVEY NOT PERFORMED.
PLAT SUBJECT TO RESTRICTIONS OF RECORD, TITLE REPORT NOT FURNISHED.

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY, AND UNLESS OTHERWISE SHOWN, THERE ARE NO VISIBLE ENCROACHMENTS.

REQUESTED BY:
PREMIUM TITLE & ESCROW, LLC

ALEXANDRIA SURVEYS, LLC
1229 GARRISONVILLE ROAD SUITE 105B STAFFORD, VA 22556
TEL. NO. 703-636-1313 FAX NO. 703-636-4266



810 PRINCE ST

810 Prince Street, Alexandria, VA 22314 (Phase 2)

PHOTOS OF EXISTING CONDITIONS - FRONT FACADE LOOKING EASTWARD DOWN PRINCE STREET

CLIENT:

Regent Company
 3208 Spring Drive
 Alexandria, VA 22306

ARCHITECT:

325 north patrick street
 alexandria, va 22314
 703 . 589 . 4550
 info@conkeyarchitects.com

21 DECEMBER 2020

Conkey | architects

BAR SUBMISSION

**ASK
 0.1A**

NOT FOR CONSTRUCTION



810 Prince Street, Alexandria, VA 22314 (Phase 2)

PHOTOS OF EXISTING CONDITIONS - FRONT FACADE

CLIENT:

Regent Company
 3208 Spring Drive
 Alexandria, VA 22306

ARCHITECT:

325 north patrick street
 alexandria, va 22314
 703 . 589 . 4550
 info@conkeyarchitects.com

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 0.1B**

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810 PRINCE ST

810 Prince Street, Alexandria, VA 22314 (Phase 2)

PHOTOS OF EXISTING CONDITIONS - FRONT FACADE LOOKING WESTWARD UP PRINCE STREET

CLIENT:

Regent Company
3208 Spring Drive
Alexandria, VA 22306

ARCHITECT:

325 north patrick street
alexandria, va 22314
703 . 589 . 4550
info@conkeyarchitects.com

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0.1C**

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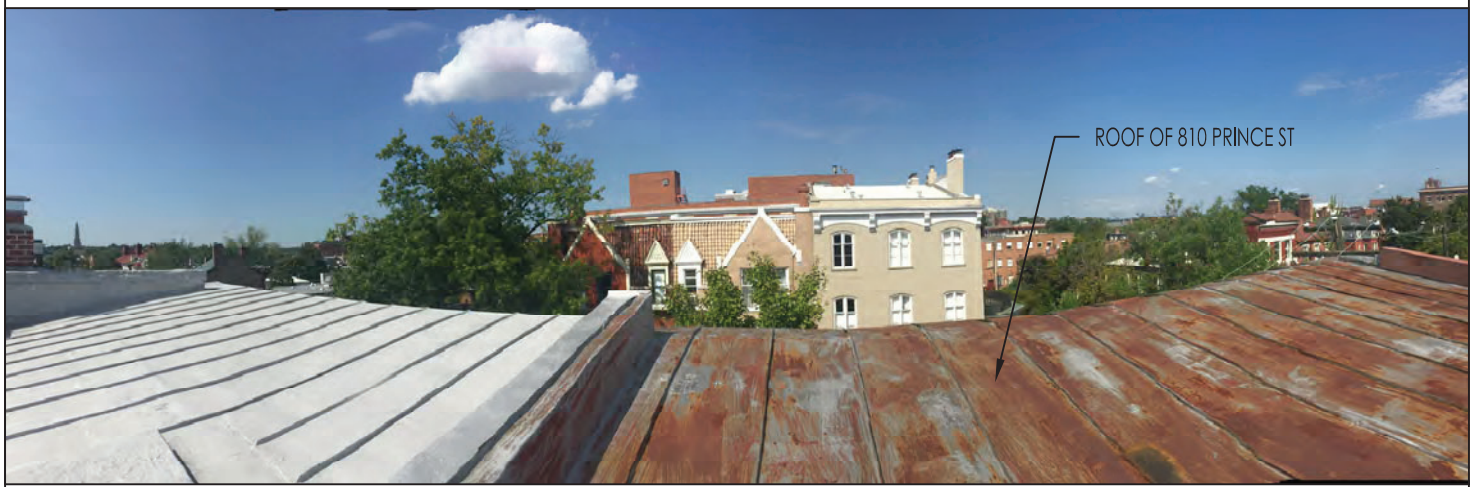
ROOF OF 810 PRINCE ST

PANORAMA OF UPPER ROOF VIEW LOOKING EAST



ROOF OF 810 PRINCE ST

PANORAMA OF UPPER ROOF VIEW LOOKING SOUTH



ROOF OF 810 PRINCE ST

PANORAMA OF UPPER ROOF VIEW LOOKING NORTH

810 Prince Street, Alexandria, VA 22314 (Phase 2)

PHOTOS OF EXISTING CONDITIONS

CLIENT:
Regent Company
 3208 Spring Drive
 Alexandria, VA 22306

21 DECEMBER 2020

ARCHITECT:
 325 north patrick street
 alexandria, va 22314
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VIEW OF LOW ROOF LOOKING SOUTH



VIEW OF ADJACENT PROPERTY (812 PRINCE ST) W/ SIM ROOF TERRACE



VIEW OF FIRE EXISTING FIRE ESCAPE TO REMAIN



VIEW OF REAR OF FACADE FROM ALLEY

810 Prince Street, Alexandria, VA 22314 (Phase 2)

PHOTOS OF EXISTING CONDITIONS

CLIENT:

Regent Company
3208 Spring Drive
Alexandria, VA 22306

ARCHITECT:

325 north patrick street
alexandria, va 22314
703 . 589 . 4550
info@conkeyarchitects.com

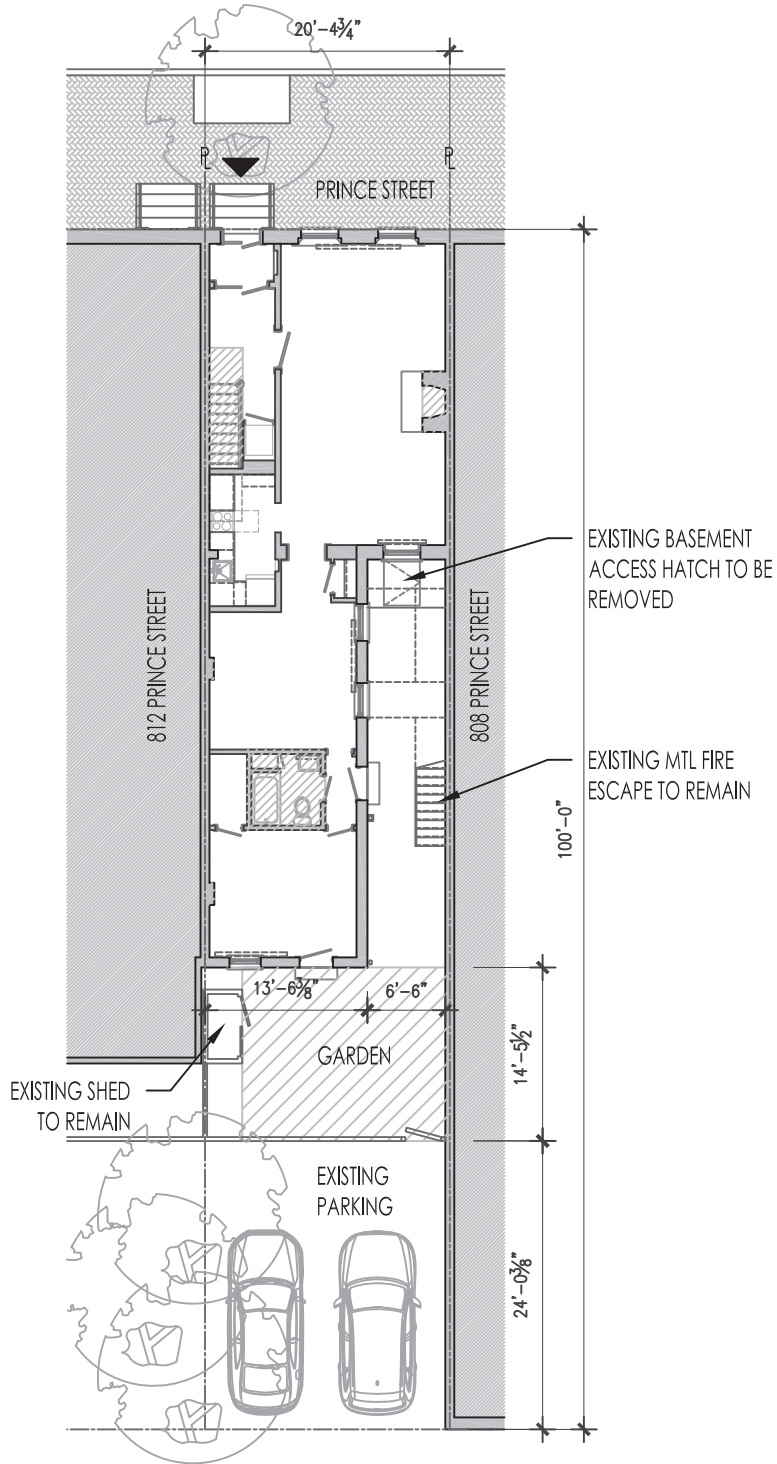
21 DECEMBER 2020




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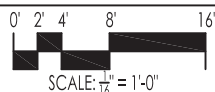
-  PROPOSED NEW AREA TO BE DEDUCTED
-  EXISTING AREA DEDUCTED
-  EXISTING OPEN SPACE

THESE DRAWINGS AND SPECIFICATIONS, AND THE IDEAS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, CONKEY ARCHITECTS. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT, OR BY ANY OTHER PERSON FOR ANY PURPOSE OTHER THAN FOR THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

810 Prince Street, Alexandria, VA 22314 (Phase 2)

EXISTING SITE & 1ST FLOOR PLAN

CLIENT:
Regent Company
 3208 Spring Drive
 Alexandria, VA 22306



21 DECEMBER 2020

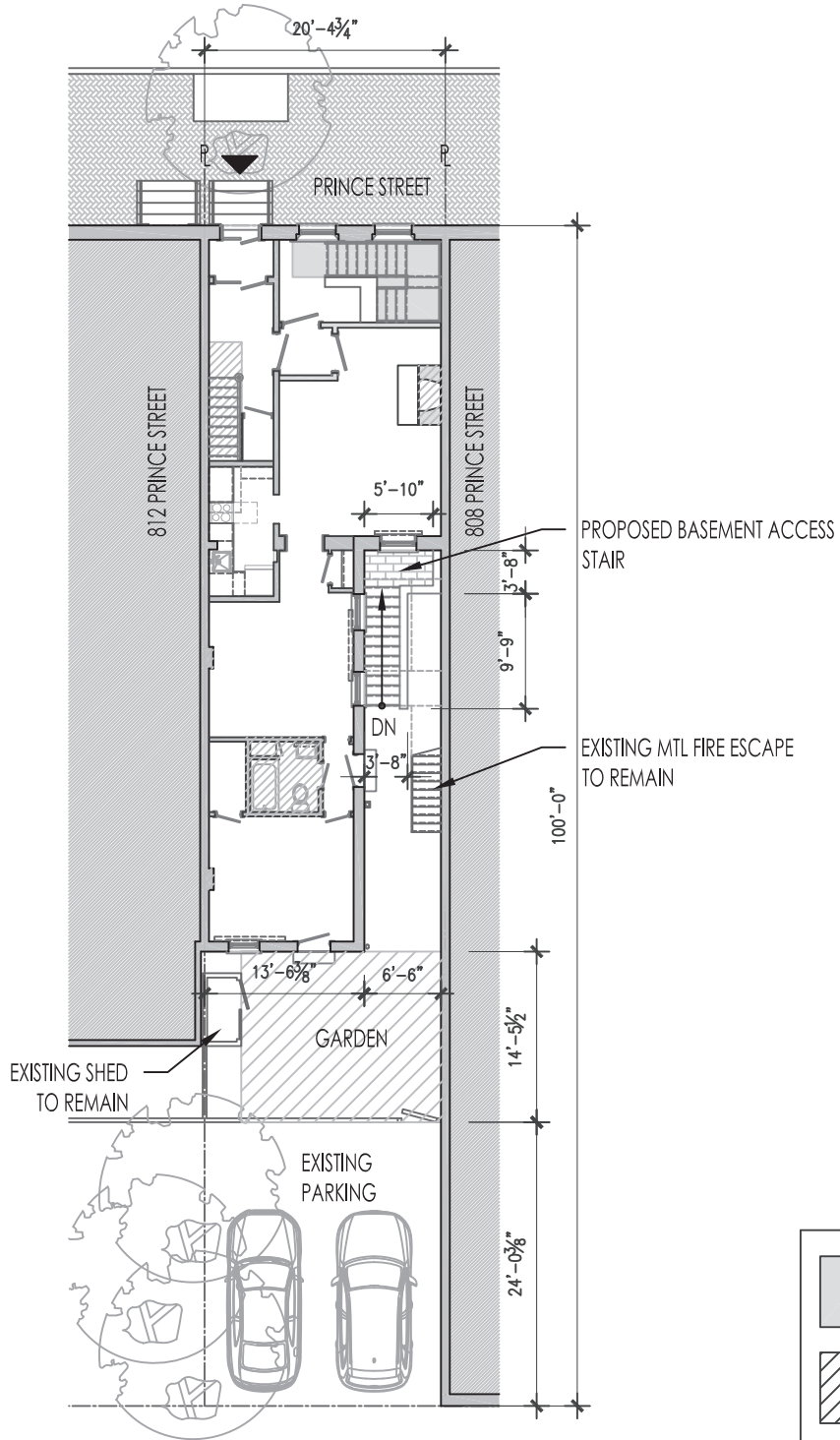
ARCHITECT:
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1.0

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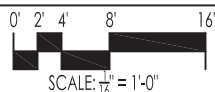
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810 Prince Street, Alexandria, VA 22314 (Phase 2)

PROPOSED SITE & 1ST FLOOR PLAN

CLIENT:

Regent Company
3208 Spring Drive
Alexandria, VA 22306



21 DECEMBER 2020

ARCHITECT:

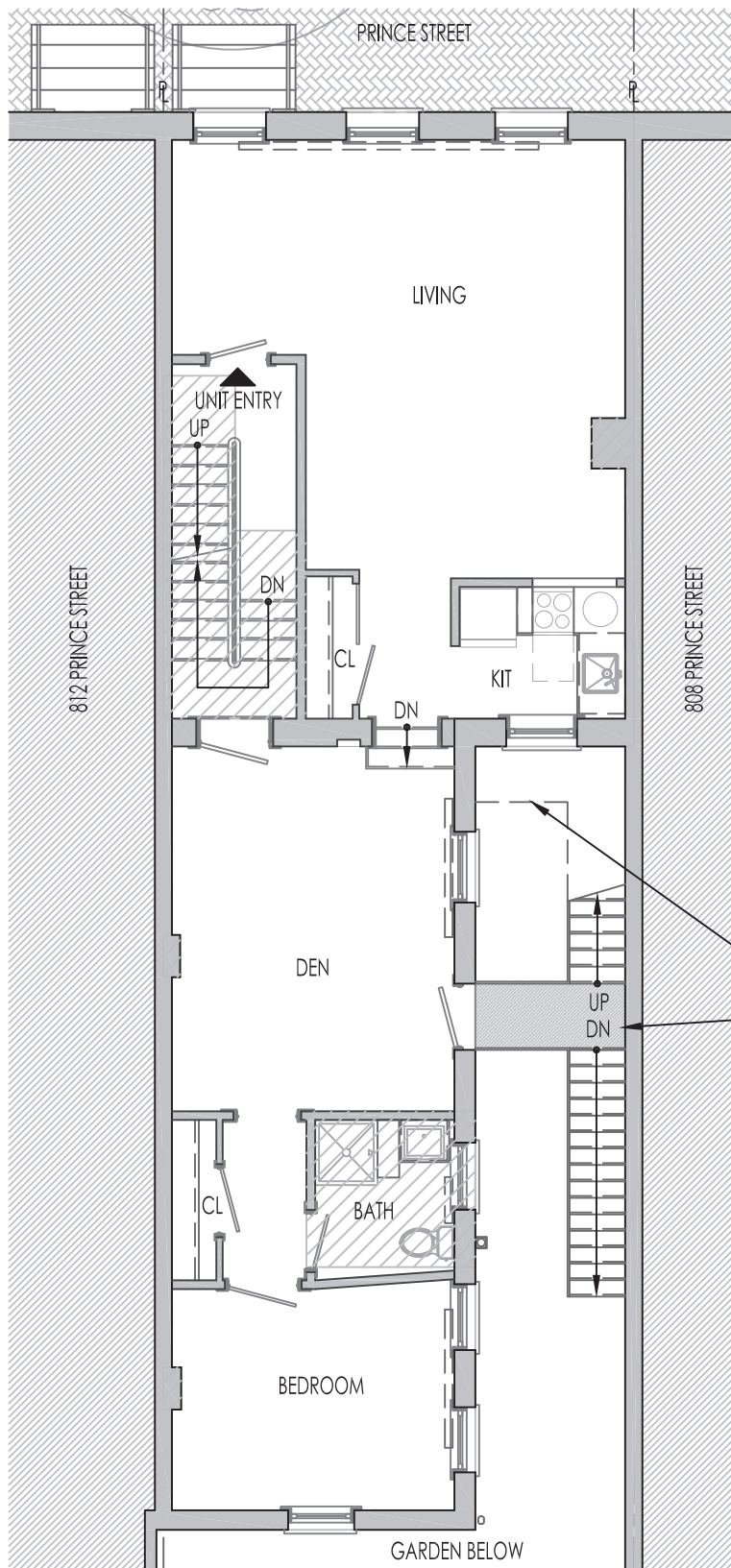
325 north patrick street
alexandria, va 22314
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ASK
1.0A

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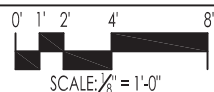


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810 Prince Street, Alexandria, VA 22314 (Phase 2)

EXISTING 2ND FLOOR PLAN - SHOWN FOR REFERENCE ONLY

CLIENT:
Regent Company
 3208 Spring Drive
 Alexandria, VA 22306



21 DECEMBER 2020

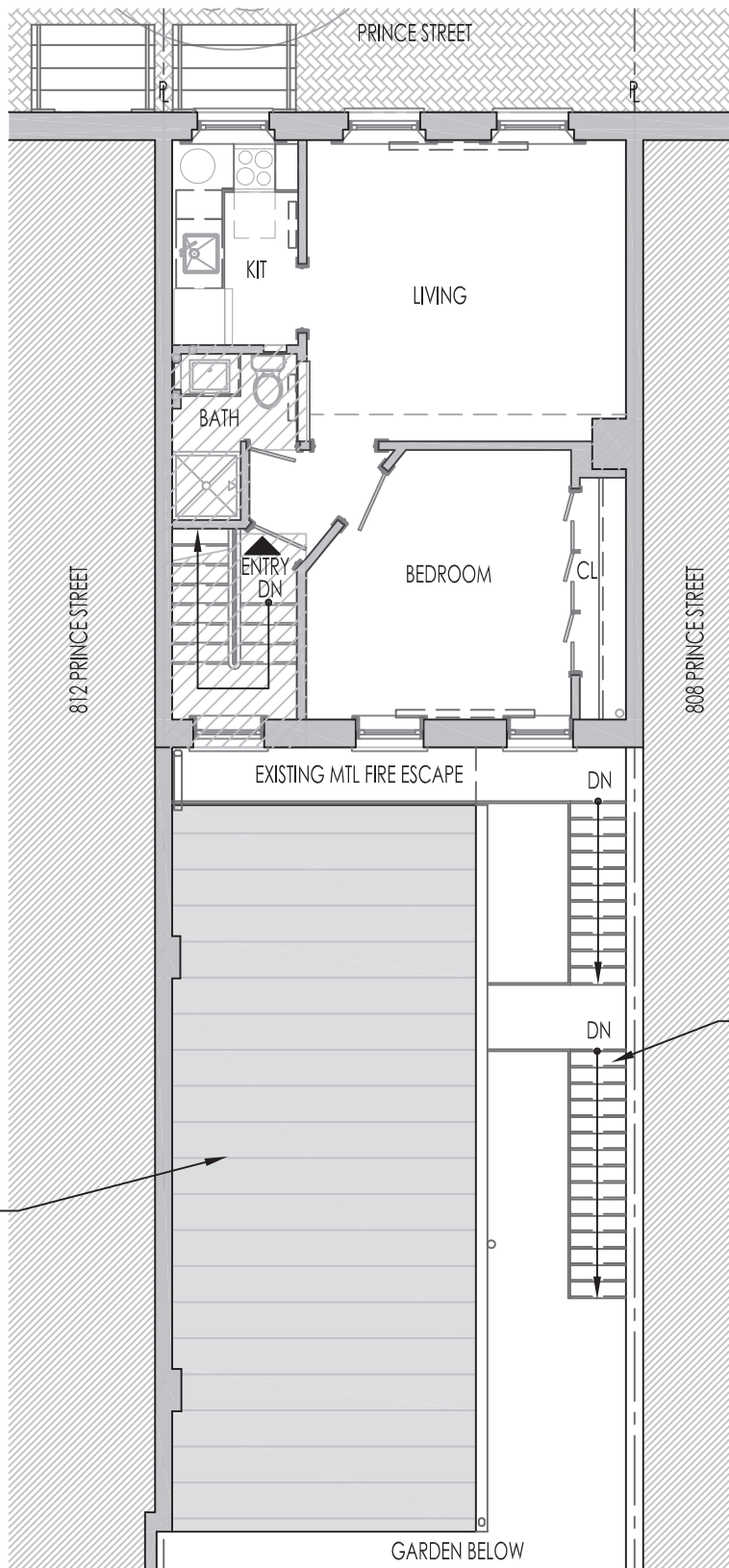
ARCHITECT:
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**ASK
 2.2**

NOT FOR CONSTRUCTION



EXISTING MTL FIRE ESCAPE TO REMAIN

ROOF OF 2ND FLOOR BELOW

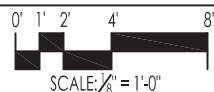
-  PROPOSED NEW AREA TO BE DEDUCTED
-  EXISTING AREA DEDUCTED
-  EXISTING OPEN SPACE

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810 Prince Street, Alexandria, VA 22314 (Phase 2)

EXISTING 3RD FLOOR PLAN

CLIENT:
Regent Company
 3208 Spring Drive
 Alexandria, VA 22306



21 DECEMBER 2020

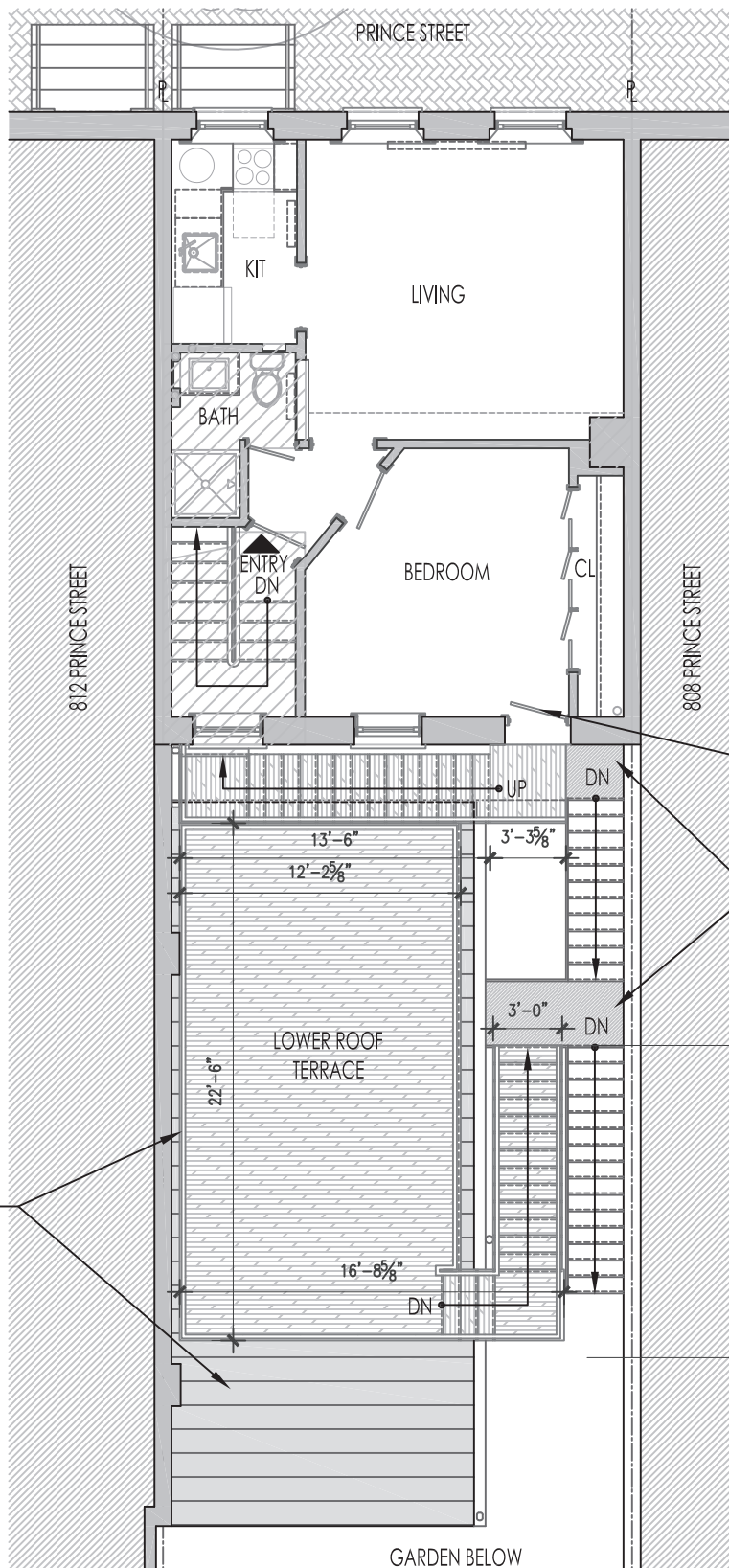
ARCHITECT: 325 north patrick street
 alexandria, va 22314
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**ASK
 2.3**

NOT FOR CONSTRUCTION






NEW DOOR OUT TO FIRE ESCAPE / STAIR TO ROOF TERRACE (UTILIZING EXISTING WINDOW OPENING)

EXISTING MTL FIRE ESCAPE TO REMAIN

ROOF OF 2ND FLOOR BELOW

GARDEN BELOW

-  PROPOSED NEW AREA TO BE DEDUCTED
-  EXISTING AREA DEDUCTED
-  EXISTING OPEN SPACE

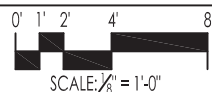
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810 Prince Street, Alexandria, VA 22314 (Phase 2)

PROPOSED 3RD FLOOR PLAN

CLIENT:

Regent Company
3208 Spring Drive
Alexandria, VA 22306



21 DECEMBER 2020

ARCHITECT:

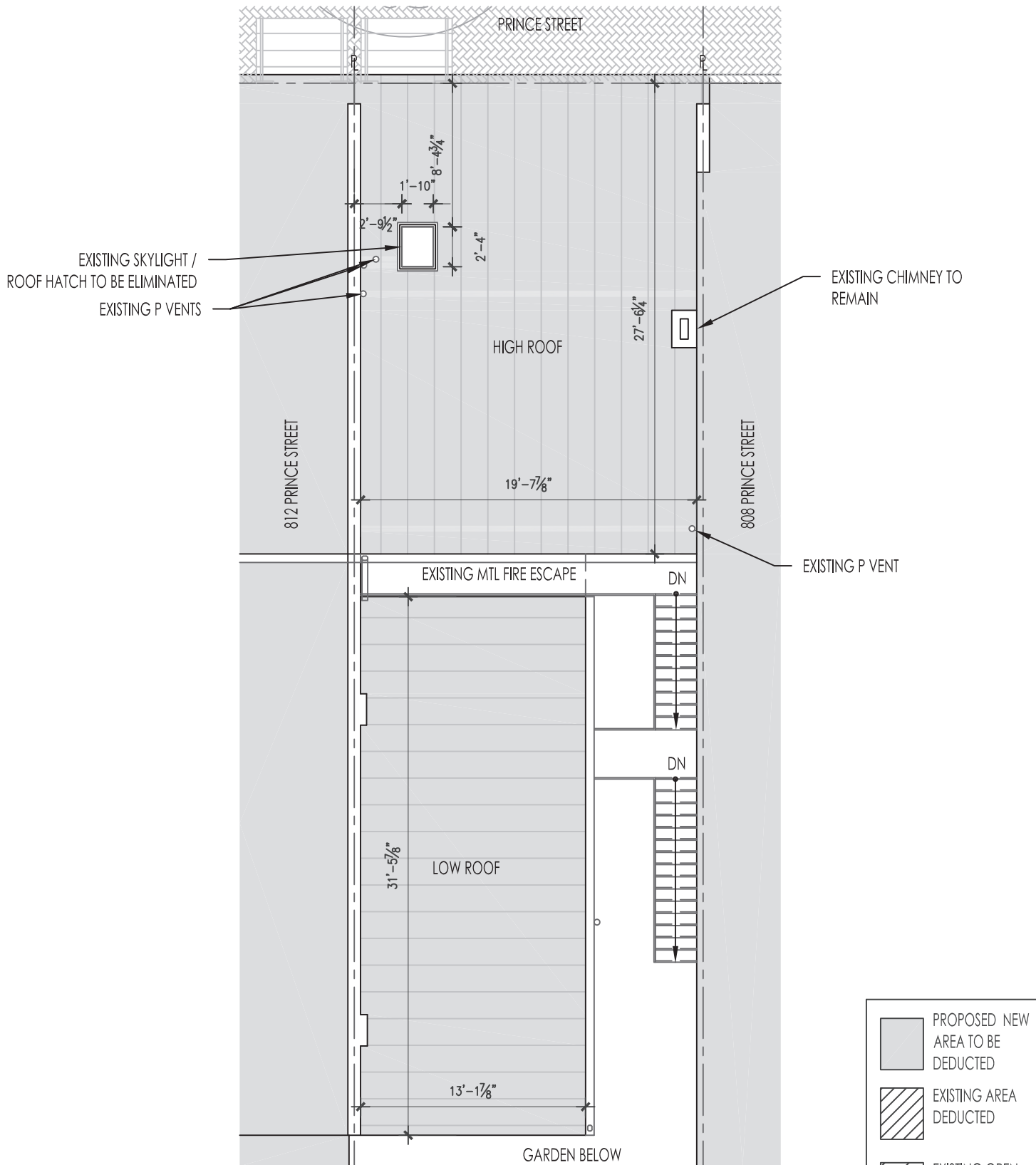
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ASK
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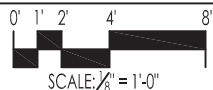


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810 Prince Street, Alexandria, VA 22314 (Phase 2)

EXISTING ROOF PLAN

CLIENT:
Regent Company
 3208 Spring Drive
 Alexandria, VA 22306



21 DECEMBER 2020

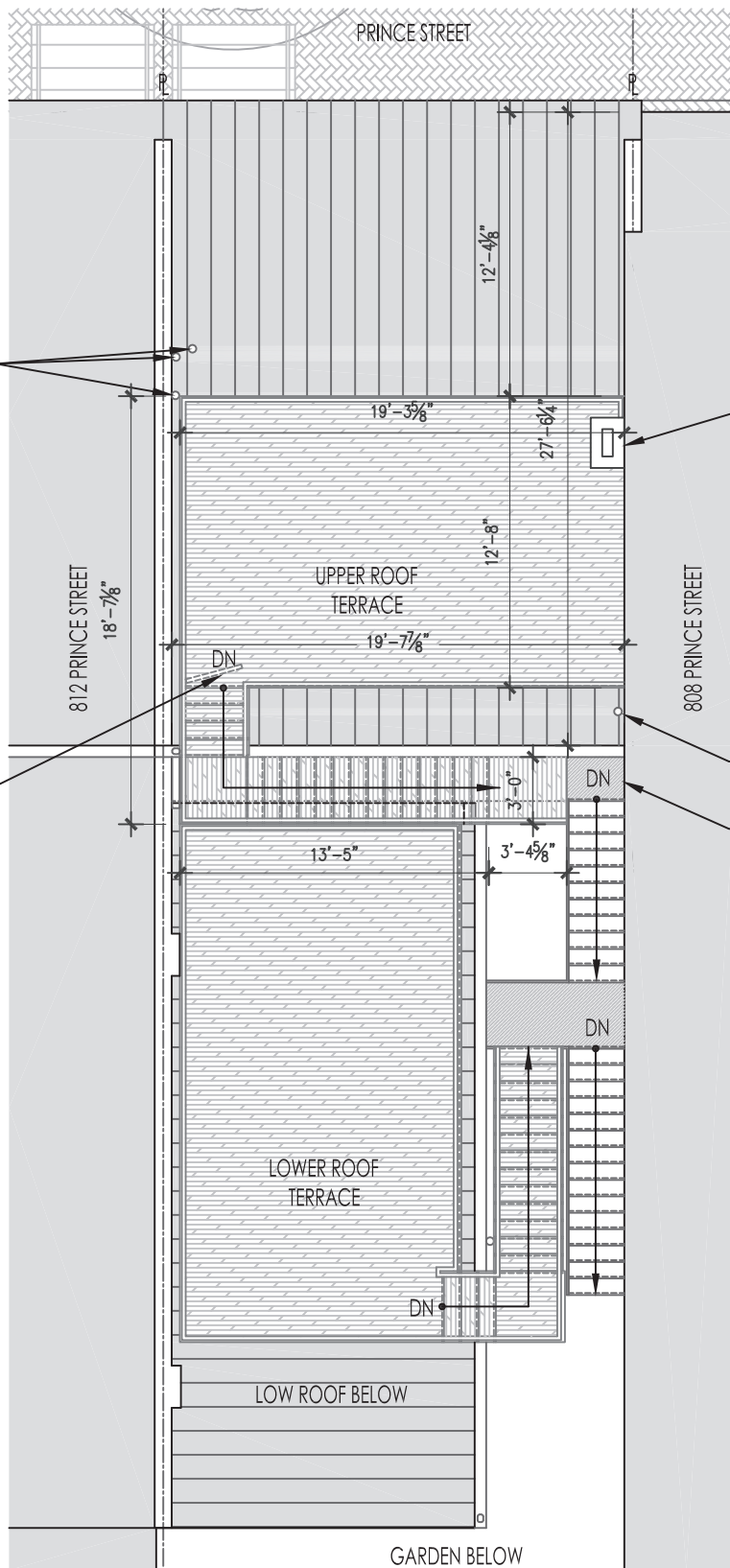
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**ASK
 2.4**

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EXISTING P VENTS

EXISTING CHIMNEY TO REMAIN

EXISTING P VENT

EXISTING MTL FIRE ESCAPE

812 PRINCE STREET 18'-7 1/8"

808 PRINCE STREET

GATE TO SECURE UPPER ROOF TERRACE

UPPER ROOF TERRACE

LOWER ROOF TERRACE

LOW ROOF BELOW

GARDEN BELOW

12'-4 1/8"

19'-3 5/8"

27'-6 1/4"

12'-8"

19'-7 1/8"

3'-0"

3'-4 5/8"




13'-5"

DN

DN

DN

DN

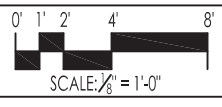
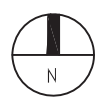
-  PROPOSED NEW AREA TO BE DEDUCTED
-  EXISTING AREA DEDUCTED
-  EXISTING OPEN SPACE

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810 Prince Street, Alexandria, VA 22314 (Phase 2)

PROPOSED ROOF PLAN

CLIENT:
Regent Company
 3208 Spring Drive
 Alexandria, VA 22306



21 DECEMBER 2020

ARCHITECT:
 325 north patrick street
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BAR SUBMISSION
ASK
2.4A
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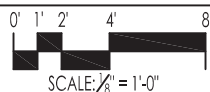


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810 Prince Street, Alexandria, VA 22314 (Phase 2)

EXISTING FRONT ELEVATION

CLIENT:
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 3208 Spring Drive
 Alexandria, VA 22306



21 DECEMBER 2020

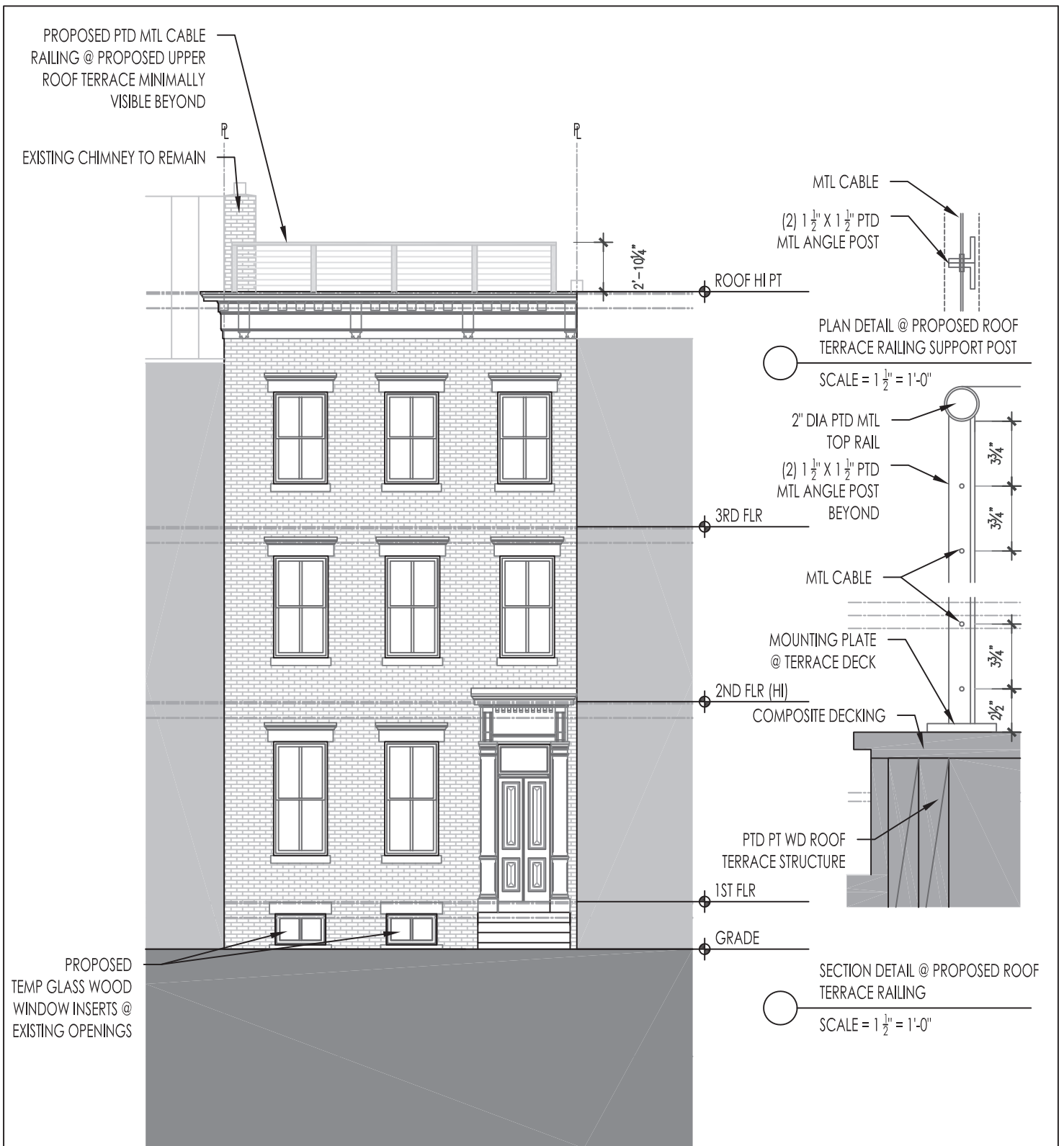
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ASK
3.1

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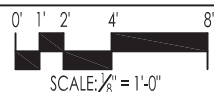


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810 Prince Street, Alexandria, VA 22314 (Phase 2)

PROPOSED FRONT ELEVATION

CLIENT:
Regent Company
 3208 Spring Drive
 Alexandria, VA 22306



21 DECEMBER 2020

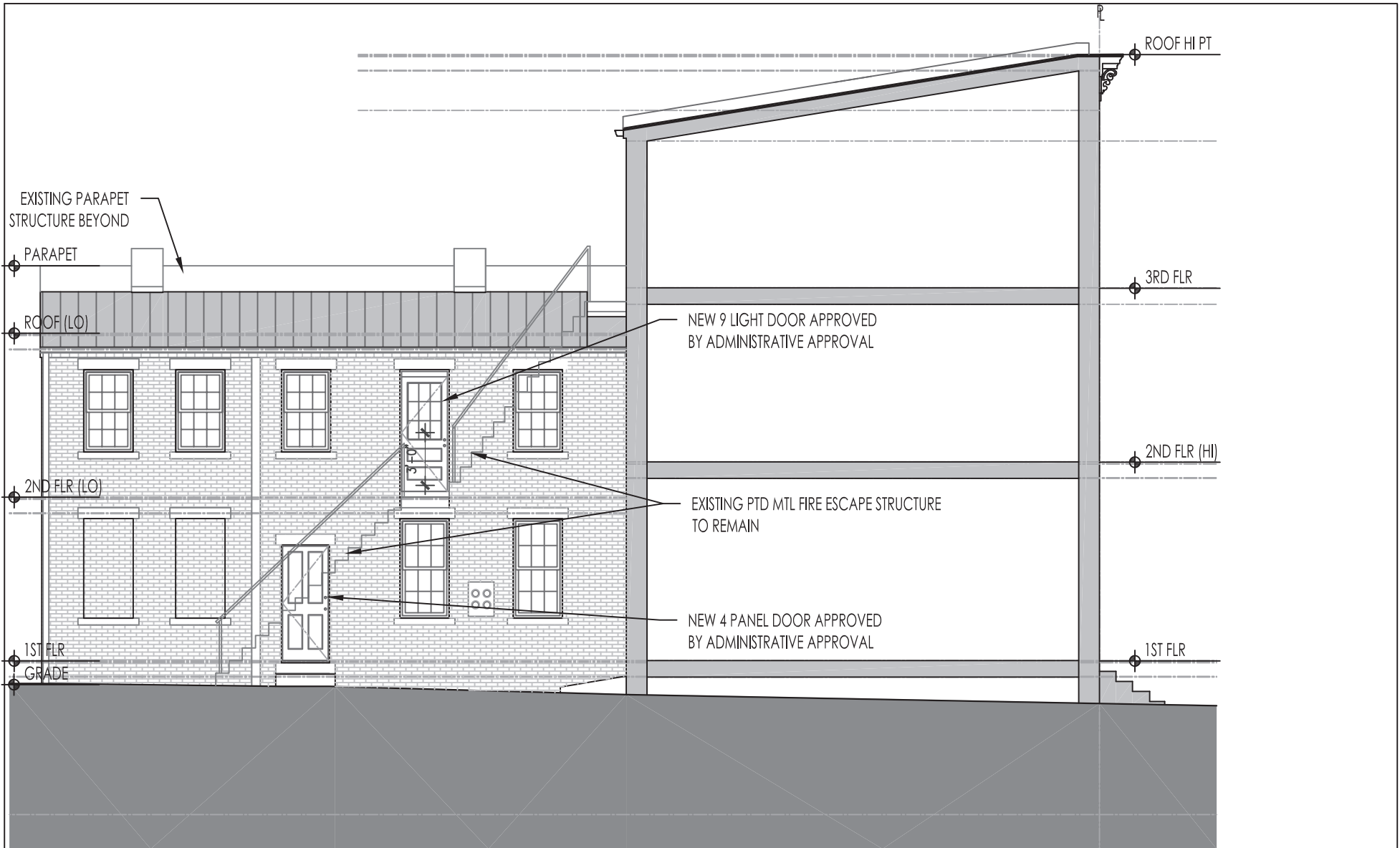
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**ASK
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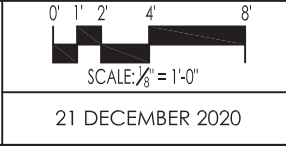


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810 Prince Street, Alexandria, VA 22314 (Phase 2)

EXISTING SIDE ELEVATION LOOKING WEST

CLIENT:
Regent Company
 3208 Spring Drive
 Alexandria, VA 22306

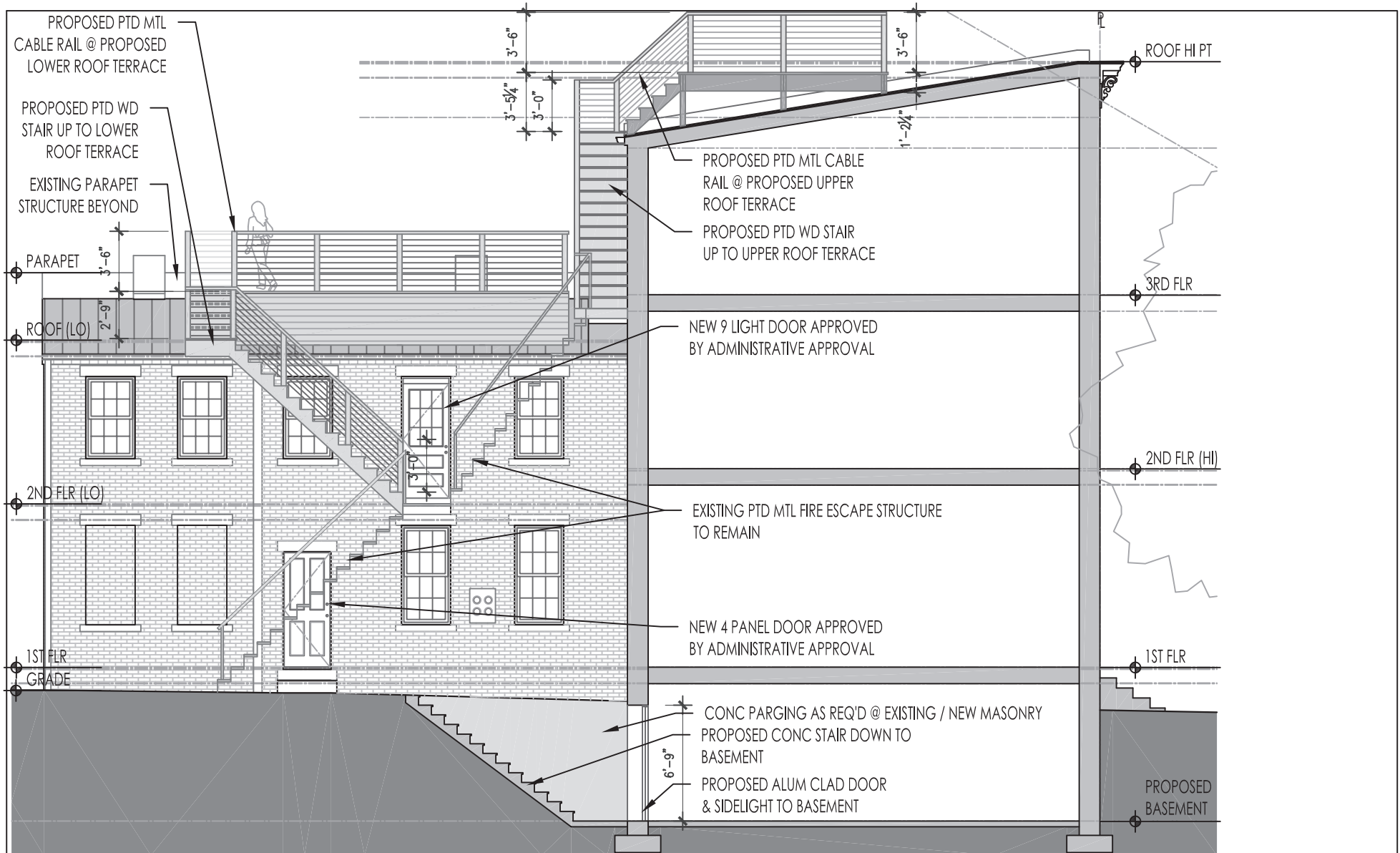


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SCHEMATIC DESIGN

ASK 3.2



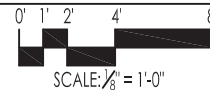
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810 Prince Street, Alexandria, VA 22314 (Phase 2)

PROPOSED SIDE ELEVATION LOOKING WEST

CLIENT:

Regent Company
 3208 Spring Drive
 Alexandria, VA 22306



21 DECEMBER 2020

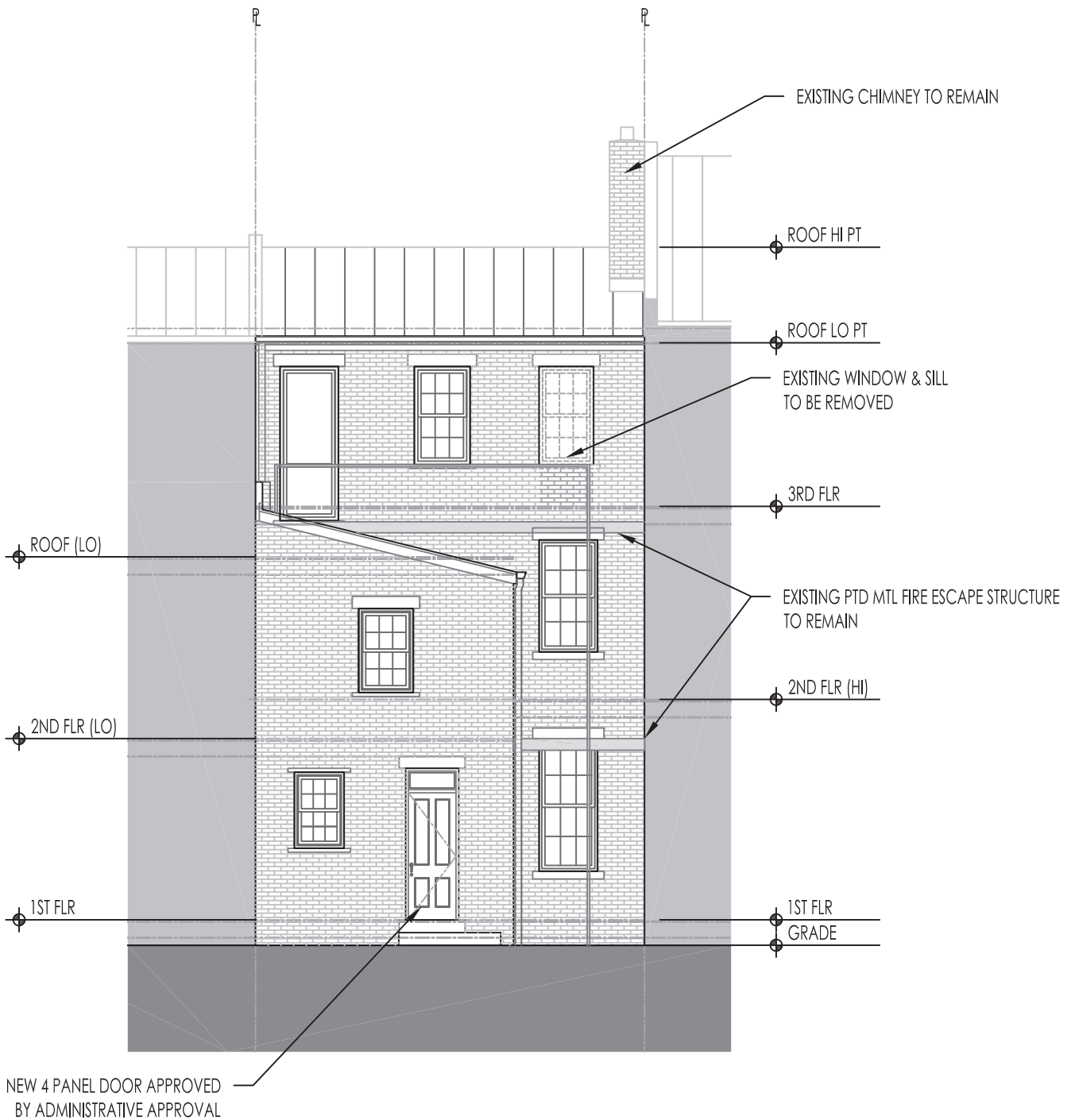
ARCHITECT:

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 alexandria, va 22314
 703 . 589 . 4550
 info@conkeyarchitects.com

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SCHEMATIC DESIGN

ASK
3.2A

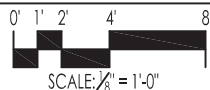


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810 Prince Street, Alexandria, VA 22314 (Phase 2)

EXISTING REAR ELEVATION

CLIENT:
Regent Company
 3208 Spring Drive
 Alexandria, VA 22306



21 DECEMBER 2020

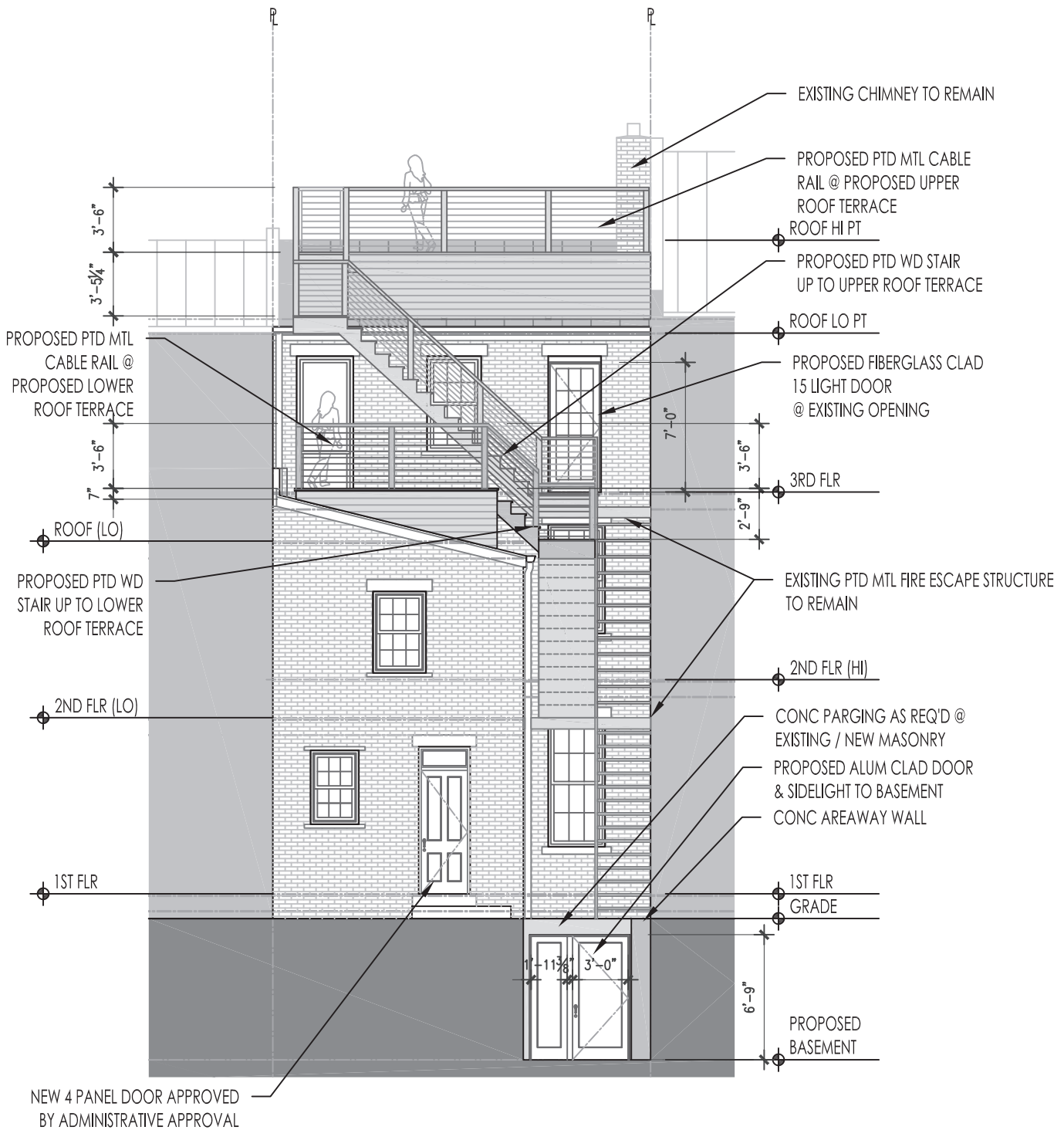
ARCHITECT:
 325 north patrick street
 alexandria, va 22314
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 info@conkeyarchitects.com

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BAR SUBMISSION

ASK
3.3

NOT FOR CONSTRUCTION

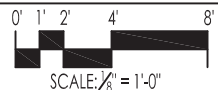


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810 Prince Street, Alexandria, VA 22314 (Phase 2)

PROPOSED REAR ELEVATION

CLIENT:
Regent Company
 3208 Spring Drive
 Alexandria, VA 22306



21 DECEMBER 2020

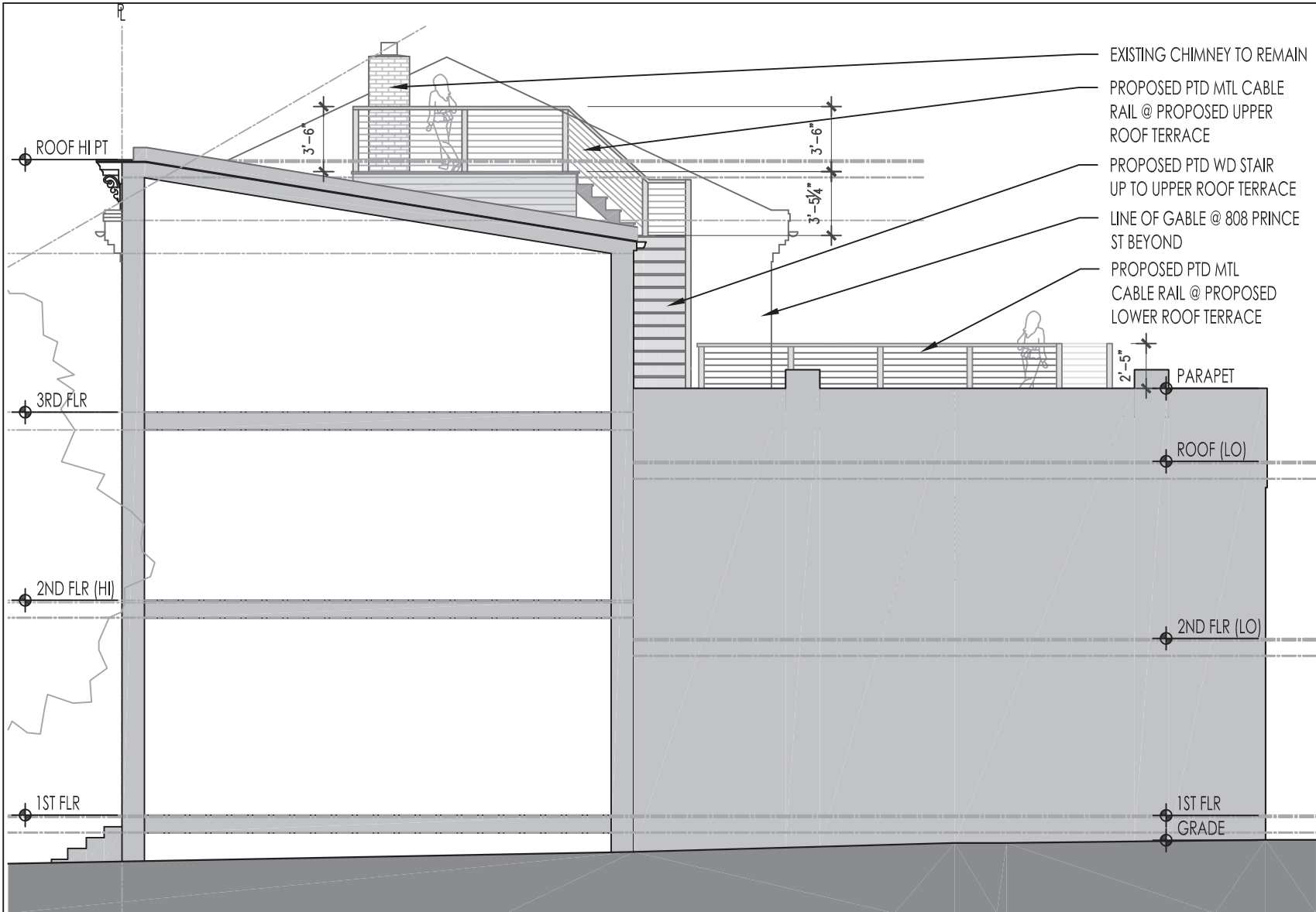
ARCHITECT:
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 703 . 589 . 4550
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ASK
3.3A

NOT FOR CONSTRUCTION



- EXISTING CHIMNEY TO REMAIN
- PROPOSED PTD MTL CABLE RAIL @ PROPOSED UPPER ROOF TERRACE
- PROPOSED PTD WD STAIR UP TO UPPER ROOF TERRACE
- LINE OF GABLE @ 808 PRINCE ST BEYOND
- PROPOSED PTD MTL CABLE RAIL @ PROPOSED LOWER ROOF TERRACE

THESE DRAWINGS AND SPECIFICATIONS, AND THE IDEAS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, CONKEY ARCHITECTS. NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT, OR BY ANY OTHER PERSON FOR ANY PURPOSE OTHER THAN FOR THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

810 Prince Street, Alexandria, VA 22314 (Phase 2)

PROPOSED SIDE ELEVATION LOOKING EAST

CLIENT:
Regent Company
 3208 Spring Drive
 Alexandria, VA 22306

SCALE: 1/8" = 1'-0"

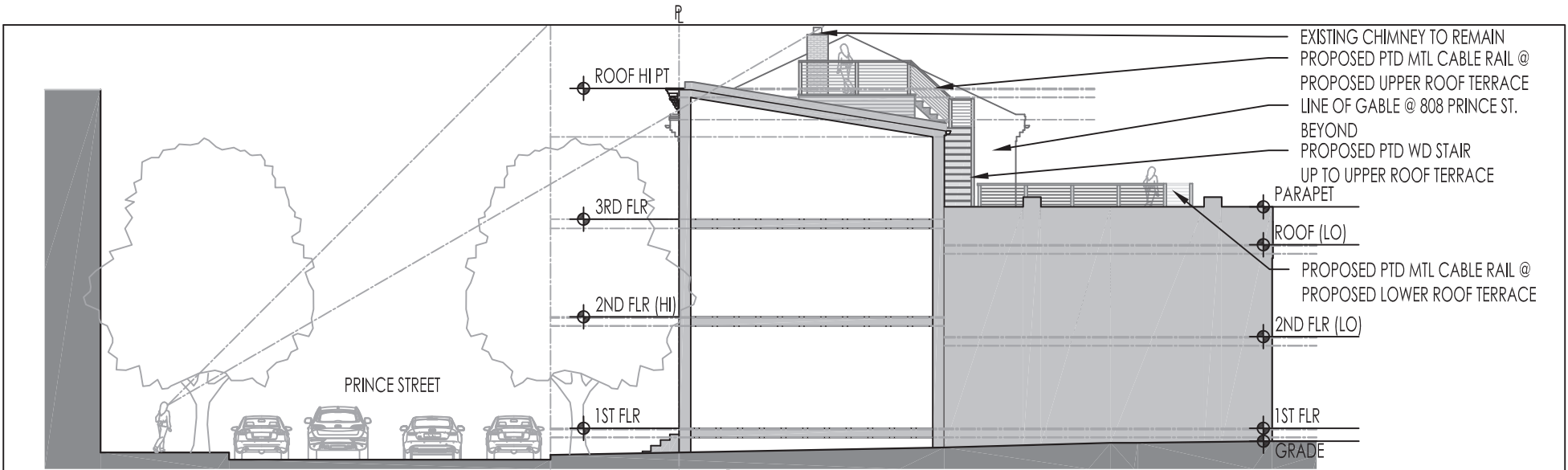
21 DECEMBER 2020

ARCHITECT: 325 north patrick street
 alexandria, va 22314
 703 . 589 . 4550
 info@conkeyarchitects.com

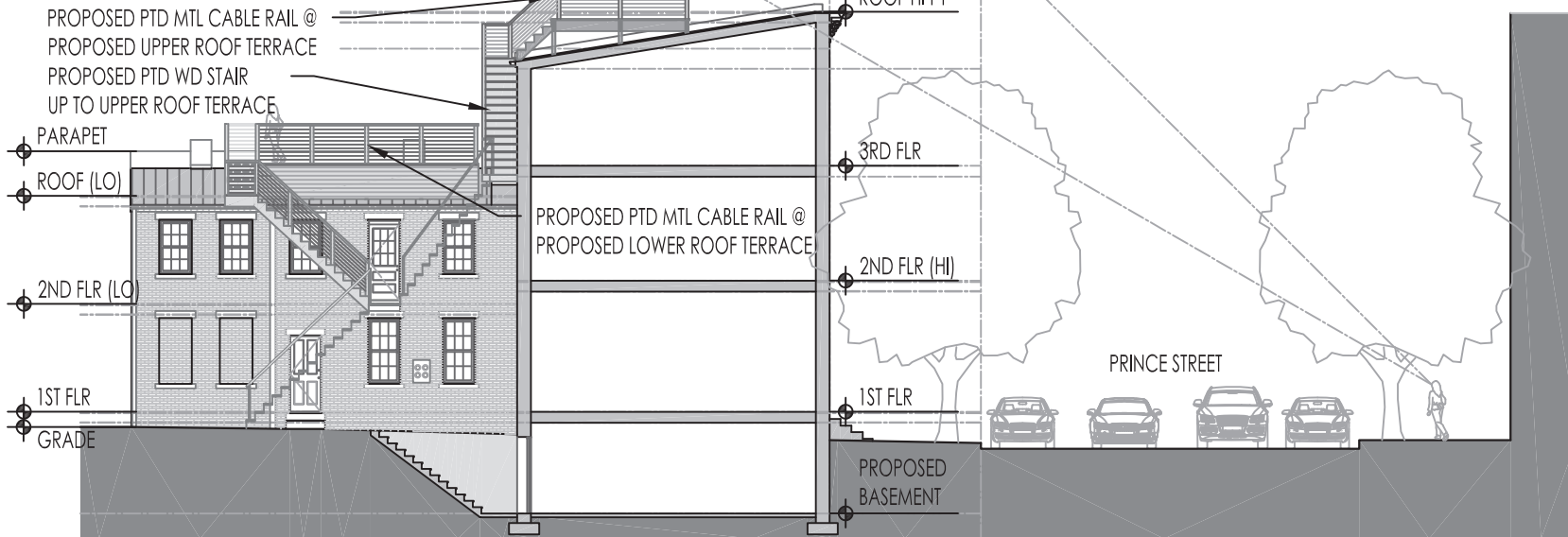
Conkey | architects

SCHEMATIC DESIGN

ASK 3.4A



SECTION LOOKING EAST DOWN PRINCE STREET



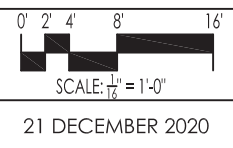
SECTION LOOKING WEST UP PRINCE STREET

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810 Prince Street, Alexandria, VA 22314 (Phase 2)

PROPOSED BUILDING SECTIONS SHOWING SIGHT LINES ACROSS PRINCE STREET

CLIENT:
Regent Company
 3208 Spring Drive
 Alexandria, VA 22306



21 DECEMBER 2020

ARCHITECT: 325 north patrick street
 alexandria, va 22314
 703 . 589 . 4550
 info@conkeyarchitects.com

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SCHEMATIC DESIGN

ASK 3.5A

ULTIMATE

MARVIN SIGNATURE™ COLLECTION



WOOD EXTERIOR DOUBLE HUNG WINDOWS



Casement windows in Bronze with Oil Rubbed Bronze hardware



Wood Double Hung windows with custom stain

WOOD EXTERIOR DOUBLE HUNG WINDOWS

WOOD PICTURE@ BASEMENT FRONT FACADE

The Ultimate Wood Double/Single Hung, Ultimate Wood Double Hung Magnum, and Ultimate Wood Double Hung Insert are quintessentially American windows designed to fit seamlessly into the historic fabric of your home, neighborhood, or community. With residential and commercial applications, these windows are perfect for any historic building.



ULTIMATE WOOD DOUBLE/SINGLE HUNG



ULTIMATE WOOD DOUBLE HUNG MAGNUM



ULTIMATE WOOD DOUBLE HUNG INSERT

ULTIMATE SWINGING FRENCH DOOR



Inswing French door with Matte Black hardware



Swinging French door and Picture windows

ULTIMATE SWINGING FRENCH DOOR

BASEMENT DOOR & SIDELIGHT

The Ultimate Swinging French door combines a classic single- and double-panel French style with expert craftsmanship. Engineered for both quality and performance, this door features a beautiful, substantial wood surround and a durable sill for weather protection even in harsh climates. To maximize views and access to the outdoors, select from inswing or outswing operation in sizes up to 14 feet wide and 9 feet high, and if a more streamlined look is desired, choose our short bottom rail option with sleek 4 3/4 inch wood surround on all sides.



OUTSWING INTERIOR WITH TALL BOTTOM RAIL



ARCH TOP INSWING INTERIOR WITH TALL BOTTOM RAIL



INSWING INTERIOR WITH SHORT BOTTOM RAIL



INSWING EXTERIOR WITH SHORT BOTTOM RAIL

CE THIS PRODUCT IS CE CERTIFIED

EXTERIOR FINISH OPTIONS

STONE WHITE

COCONUT CREAM

SIERRA WHITE

CASHMERE

PEBBLE GRAY

HAMPTON SAGE

CADET GRAY

CLAY

CASCADE BLUE

SUEDE

GUNMETAL

WINEBERRY

BRONZE

BAHAMA BROWN

EVERGREEN

EBONY

BRIGHT SILVER (PEARLESCENT)

COPPER (PEARLESCENT)

LIBERTY BRONZE (PEARLESCENT)

CUSTOM COLOR: ANY COLOR YOU WANT

COLOR TBD FROM MANF STANDARD COLORS

EXTRUDED ALUMINUM

Extruded aluminum is an extremely tough cladding that protects wood windows, mimics the profiles of wood, and provides superior durability. It is the most commonly ordered Marvin material.

Select a color from our palette of 19 durable extruded aluminum colors, including a spectrum of rich hues and three pearlescent finishes. If you have more specialized needs, we can also work with you to create a custom color.

WOOD SPECIES

Wood is a premium material for windows and doors, offering classic aesthetic appeal, many options for customization, and design versatility.

We treat exposed millwork with a water repellent wood preservative to help it last longer. Choose from one of the four options below. Each is ready to be finished to match your project's exacting requirements.

PINE

VERTICAL GRAIN
DOUGLAS FIR

MAHOGANY

WESTERN RED CEDAR
Exterior trim package only



Ultimate Double Hung G2 window in Ebony

Ultimate Double Hung G2 window in Suede



DIVIDED LITES



Casement windows with custom Simulated Divided Lites



DIVIDED LITES

The look of multiple, individual panes of glass in a window sash is popular in a wide range of architectural styles—from historic replications to modern farmhouses. For those who seek historical accuracy, authentic divided lites utilize many individual glass panes in a single window. Simulated divided lites, available in a number of different styles, mimic the look of individual panes of glass in a window sash without sacrificing the energy efficiency of a single pane of glass. Our custom capabilities allow us to create almost any divided lite pattern to match your design style.



SIMULATED DIVIDED LITE (SDL)

SDL bars are permanently adhered to both sides of the glass. Simulated Divided Lites with Spacer Bars (SDLs) are an energy-efficient way to create the look of authentic divided lites.



AUTHENTIC DIVIDED LITE (ADL)

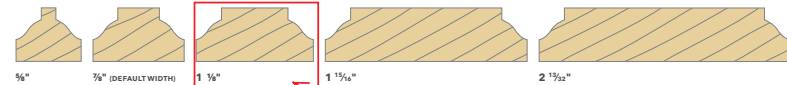
Separate panes of glass are glazed between bars—the way windows have been made since the beginning. Available exclusively with wood exterior units.



GRILLES-BETWEEN-THE-GLASS (GBG)

Grilles are permanently installed between the glass panes. This low-maintenance grille offers the look of a divided lite pattern with the ease of cleaning just one pane of glass. Available with different interior and exterior colors.

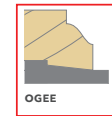
FIVE STANDARD BAR WIDTHS



@ WINDOWS IN BASEMENT

STICKING AND PROFILES

Sticking refers to the interior profiles of your wood window. Choose from the standard Ogee profile (used on traditional projects) or the optional clean, contemporary Square sticking.



OGEE



SQUARE



SQUARE STICKING



Design Your Door

DOOR @ 3RD FLOOR TO UPPER ROOF TERRACE



1
EDIT

2
EDIT

3



Smooth-Star®
S108-SDL

DOOR SUMMARY

ORDER FINISH SAMPLES

Project

DOOR TYPE

Back of House

DOOR SIZE

2'8" x 7'0"

DOOR FINISH



Alpine

DOOR CONFIGURATION

Single

DOOR GLASS



Colonial 15 Lite 3Wx5H Simulated Divided Lites

FRAME FINISH



Alpine

ACCESSORIES

Venture Bright Brass Handleset

Included in Your Configured Product:

Door Configuration

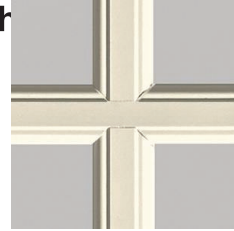
Door Style

Glass Style



Smooth-Star®

S108-SDL



Colonial 15 Lite 3Wx5H Simulated Divided Lites

Step for Email on the latest from Th

SUBMIT

Finish Option

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