

ISSUE: Certificate of Appropriateness for alterations (standalone pole with small cell antenna)

APPLICANT: Cellco Partnership dba Verizon Wireless

LOCATION: Old and Historic Alexandria District
New standalone pole in the right-of-way near 1 Prince Street

ZONE: CD/Commercial Downtown Zone

STAFF RECOMMENDATION

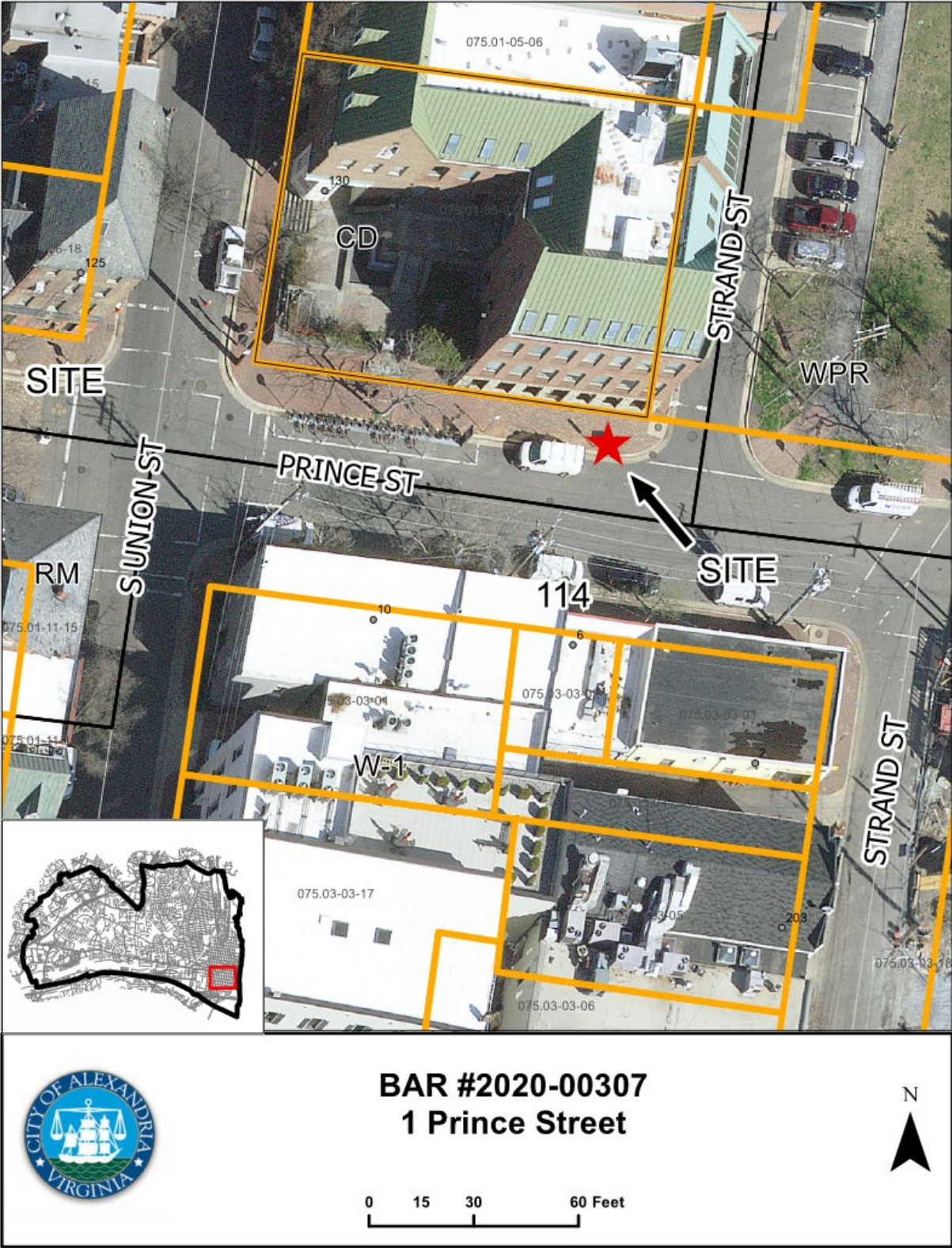
Staff recommends approval of the Certificate of Appropriateness as submitted.

BOARD ACTION: Deferred

By unanimous consent, the Board of Architectural Review accepted the request for deferral of BAR #2020-00307.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



Update

The application was deferred from the September 2, 2020 hearing because the City Council had not yet approved the standalone pole design and did not have a franchise agreement with the carriers at the time. A Franchise agreement and the design for the standalone poles were approved by the City Council on December 12, 2020.

I. APPLICANT'S PROPOSAL

The applicant is requesting a Certificate of Appropriateness to install a new standalone metal pole with small cell equipment in the right-of-way in front of the parcel at 1 Prince Street.

The new 32'-5" high standalone aluminum alloy smart pole will be placed on a concrete pier foundation. The decorative Raycap Stealth base (4.42 CU FT) is 20" in diameter and 5'-6" tall with a decorative top connecting it to the pole's fluted Rapco Tri-Chamber 8" diameter shaft. The 5G small cell facility (2.50 CU FT) measuring approximately 2'6" high will be mounted on top of the pole which will have a Hapco cap and decorative finial at the top end (Figure 1). The pole and equipment will be black.

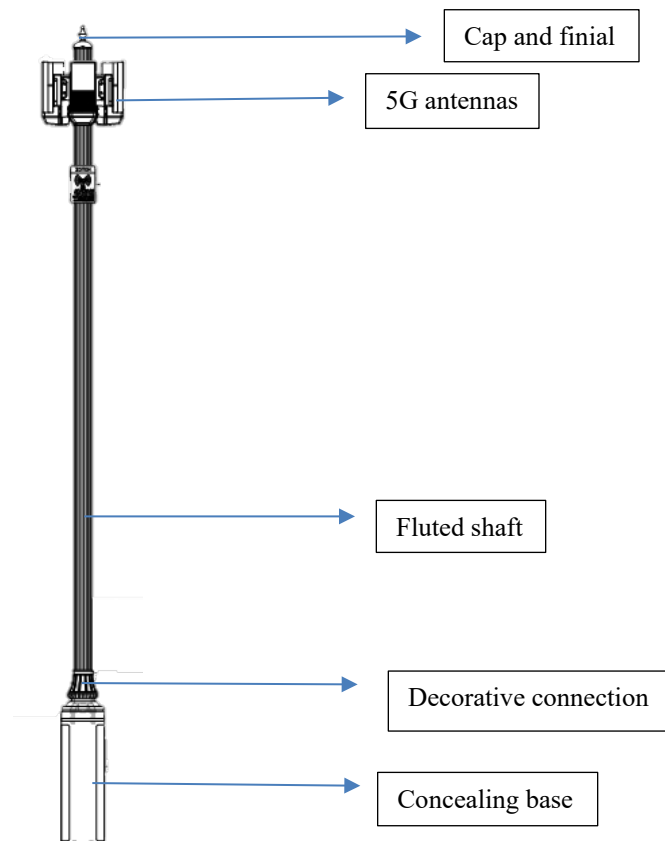


Figure 1- proposed pole

Site context

The new metal standalone pole will be installed at the northwest corner of Prince and Strand streets intersection in the right-of-way in front of the three-story Strand Building. The pole will be across the Waterfront Park on the east side of Strand Street, and across two, one-story commercial buildings on Prince Street south side.

II. HISTORY

The Strand Building is a three-story brick/stone commercial building built in 1990. The Waterfront Park combines the original King Street Park and Waterfront Park sites with the sites of the former Old Dominion Boat Club building and parking lot to create a seamless transition between Old Town's historic retail corridor and the water. The interim park features an open plaza, a waterfront promenade, shade structures, and a modular space that can adapt to different purposes throughout the year.¹

III. ANALYSIS

To address the growing demand for wireless services across the United States, telecommunication providers are increasing the capacity of their networks by deploying small cell wireless facilities within the public right-of-way to reduce the data traffic load on roof-mounted equipment and larger cell towers. Small cell facilities are low-powered antennas that provide wireless service coverage to a limited geographic area (often with ranges of a few hundred feet) and are used to supplement and expand the coverage provided by the traditional, larger-scale network. The next generation of small cell wireless facilities, known as 5G, is currently being installed across the city. The new 5G networks will not just serve cellphones, but also be used as general internet service providers for laptops, desktop computers, smart home digital devices, urban infrastructure monitoring, smart traffic control, remote health monitoring, emergency monitoring and notification systems, connected and autonomous vehicles, and many more applications.

In the past several years, Federal and State legislation has been enacted to further streamline the local approval process for cellular facilities, shortening the approval time and limiting jurisdictions' authority. In 2017, and again in March 2020, City Council approved amendments to the zoning ordinance to ensure compliance with these laws.

In June 2019, the BAR approved the first small cell facilities in the historic district and shortly after adopted a BAR administrative policy for approval of certain small cell facilities (4G) in the historic districts. To date, several small cell facilities have been approved in the historic districts, either by the BAR at public hearing or administratively by staff. City Council has recently approved license agreements for some of the wireless carriers and the City has seen a sharp increase in the number of applications for small cell facilities. Because the design of the antennas has evolved since the BAR administrative policy was adopted in June 2019, BAR staff proposed amendments to the policy to allow for more administrative approvals at the Board's April 22, 2020 electronic hearing (conducted electronically due to the Covid-19 emergency) at which time the

¹ City of Alexandria Website <https://www.alexandriava.gov/special/waterfront/default.aspx?id=89727>

Board tabled proposed amendments and rescinded the administrative policy. As a result, at this time all small cell facilities must now be approved by the BAR at public hearing.

A Certificate of Appropriateness is required in the historic districts under Section 10-103 (A) and 203(A) of the zoning ordinance, which state that “No building or structure shall be erected, reconstructed, altered or restored within the Old and Historic Alexandria District unless and until an application for a certificate of appropriateness shall have been approved...”

Although this is the first time that the BAR is seeing a standalone metal pole, staff has no objection to the pole’s design or the installation of the small cell facility equipment in this location. The proposed smart pole was developed specifically for small cell facilities and is compatible with the standalone pole design approved by the City Council (Figure 2). The base conceals the equipment which would otherwise be placed in the right-of-way or mounted on an existing pole and the shaft is divided in chambers for wiring management. The smart poles are more efficient and have a more streamlined appearance than regular poles carrying multiple utility functions.

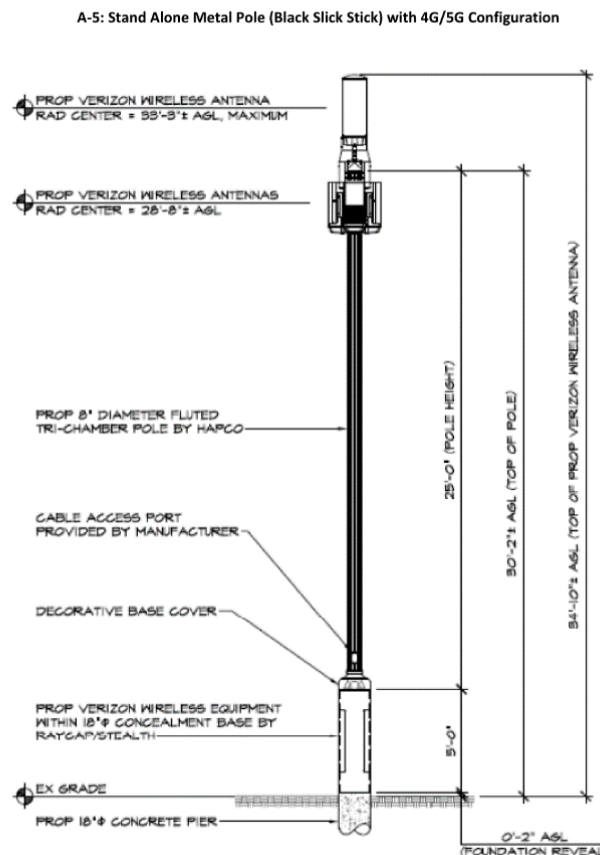


Figure 2- Standalone pole design approved by the City Council

The standalone pole design has been found to be appropriate by the City’s internal Small Cell Pole Design Review Committee based upon design requirements for 4G and 5G installations. The

Review Committee was composed of staff from Land Use Services, Historic Preservation and Transportation and Environmental Services. This style of standalone pole is the same as, or similar to, poles that have been installed in other historic districts throughout the country and would be installed in other locations around the city as well. In addition, the standalone pole design has been approved by City Council under the Verizon's Franchise Agreement passed on December 12, 2020, therefore staff recommends approval of the application as submitted.

STAFF

Marina Novaes, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

- F-1 Height of the pole shall not exceed 50.00 feet without a Special Use Permit.
Pole indicated on the plans show a height of 26.92 and overall height with equipment 32.42 feet
- F-2 Pole must be in the same general location as existing pole.
This will be a new pole installation. There are no utility equipment in along this frontage.
- F-3 The replacement pole is not located in a manner that requires the removal of an existing tree or impacts of root zone.
No trees nearby.
- F-4 Replacement people shall be located that meets ADA requirements that do not impede or hinder pedestrian or vehicular travel.
The proposal indicates that no ADA requirements will be inhibited or compromised.
- F-5 Wireless facility shall be painted to match similar infrastructure on the block or earth tone color.
Plans indicate that the facility and the antenna is to be painted black.

Code Administration

A building permit and plan review are required prior to construction.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-4 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-5 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)
- C-6 An encroachment request will be required for projections into the public right of way. (T&ES)
- C-7 The owner shall obtain and maintain a policy of general liability insurance in the amount of \$1,000,000 which will indemnify the owner (and all successors in interest); and the City as an Additional Insured, against claims, demands, suits and related costs, including attorneys' fees, arising from any bodily injury or property damage which may occur as a result of the encroachment. (Sec. 5-29 (h)(1)) (T&ES)

**Please submit Insurance Certificate:
City of Alexandria T&ES
Attn: Development Services
301 King Street, Room 4130
Alexandria, VA 22314**

Alexandria Archaeology

No archaeological oversight required

V. ATTACHMENTS

- 1 – Application Materials*
- 2 – Supplemental Materials*

ADDRESS OF PROJECT: 1 Prince StreetDISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old BuildingTAX MAP AND PARCEL: 075.01-05-07ZONING: CDAPPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
*(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)*Applicant: ☐ Property Owner ☒ Business *(Please provide business name & contact person)*Name: Cellco Partnership dba Verizon WirelessAddress: 9115 Guilford Road, Suite 400City: Columbai State: MD Zip: 21046Phone: 703-969-9309 E-mail: joshua.schakola@mastec.comAuthorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☒ AgentName: Joshua SchakolaPhone: 703-969-9309E-mail: joshua.schakola@mastec.com

Legal Property Owner:

Name: Cellco Partnership dba Verizon WirelessAddress: 10170 Junction Drive, 3rd floorCity: Annapolis Junction State: MD Zip: 20701Phone: 443-741-4810 E-mail: joshua.schakola@mastec.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☐ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☒ EXTERIOR ALTERATION: *Please check all that apply.*

☐ awning
☐ doors
☐ lighting
☒ other _____ antenna

☐ fence, gate or garden wall
☐ windows
☐ pergola/trellis

☐ HVAC equipment
☐ siding
☐ painting unpainted masonry

☐ shutters
☐ shed

☐ ADDITION
☐ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Install a new stand alone structure to support small cell antennas and associated equipment in the right of way.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- ☐ N/A

☒ Survey plat showing the extent of the proposed demolition/encapsulation.
☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☒ Description of the reason for demolition/encapsulation.
☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☒ FAR & Open Space calculation form.
- ☐ ☒ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☒ Existing elevations must be scaled and include dimensions.
- ☐ ☒ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☒ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☒ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet or bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☒ ☒ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: Joshua Schakola

Date: 8/6/2020

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Cellco Partnership dba Veri	10170 Junction Drive, Annapolis Junction, MD 20701	n/a
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Cellco Partnership dba Veri	10170 Junction Drive, Annapolis Junction, MD 20701	n/a
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. n/a	n/a	n/a
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

8/6/2020

Joshua Schakola

Date

Printed Name

Signature

GENERAL NOTES

1. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND JUDICIAL, AND ALL APPLICABLE CODES, RULES, AND REGULATIONS OF THE LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE STRICTLY IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
2. THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BEING THE JOB IS NEVER LESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND LABOR ITEMS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
3. THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE VERIZON REPRESENTATIVE OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE BEGINNING OF THE CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES, THE CONTRACTOR SHALL PREPARE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
4. THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ALL OTHER NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
5. THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
7. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S/ VENDOR'S SPECIFICATIONS UNLESS OTHERWISE NOTED OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
8. THE CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ALL NECESSARY CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
9. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COMPLETING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY, OR LOCAL GOVERNMENT AUTHORITY.
11. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVEMENTS, CURBS, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGES THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
12. THE CONTRACTOR SHALL MAINTAIN THE GENERAL WORK AREA AS CLEAN AND UNHINDERED DURING CONSTRUCTION AND DISPOSE OF ALL DEBRIS, TRASH, AND REMOVE EQUIPMENT NOT REQUIRED AS REMAINING ON THE PROPERTY. DETAILS OF EQUIPMENT TO BE INCLUDED IN BID PACKAGE. PRIMERS SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR STAINING OF ANY NATURE.
13. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
14. THE CONTRACTOR SHALL NOTIFY THE VERIZON REPRESENTATIVE IF A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK UNLESS THE CONFLICT IS RESOLVED BY THE VERIZON REPRESENTATIVE.
15. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.
16. ALL UNSTRUCTURED, HARDWARE, AND OUTDOOR JUNCTION BOXES SHALL BE GALVANIZED STEEL. FOR FIELD CUTS OF GALVANIZED ITEMS FIRST COAT SHALL BE COLORED GALVANIZED AND SECOND COAT SHALL BE COLORED GRADE GALVANIZED.
17. RETURN ANY UNUSED MATERIALS WITH REQUIRED DOCUMENTATION TO THE VERIZON WAREHOUSE WITHIN 14 DAYS OF PROJECT COMPLETION. RETURNED MATERIAL NEEDS TO BE ACCOMPANIED WITH ALL MATERIAL AND PACKAGING REQUIREMENTS STIPULATED BY THE VERIZON CONSTRUCTION ENGINEERING.
18. CONTRACTOR IS RESPONSIBLE FOR STORAGE OF ALL MATERIALS IN VERIZON WAREHOUSE AND IS LIABLE FOR THESE MATERIALS TO BE PICKED UP FROM THE WAREHOUSE.
19. CONTRACTOR SHALL PERFORM A RANCH WALK WITH VERIZON CONSTRUCTION & OPERATION REPRESENTATIVE PRIOR TO DECLARING CONSTRUCTION COMPLETE.
20. GENERAL CONTRACTOR SHALL PROVIDE A VALID, EXISTING, AND CURRENTLY VALID, VERIZON SITE DURING CONSTRUCTION. UPON COMPLETION OF ALL WORK, CONTRACTOR SHALL REMOVE FIRE EXTINGUISHER FROM SITE.

INDEX OF DRAWINGS

- | | |
|-------|---|
| CS-1 | SITE LOCATION AND VICINITY PLAN, INDEX OF DRAWINGS, AND CODE ANALYSIS |
| C-1 | SITE PLAN |
| C-2 | SITE DETAILS |
| TMP-1 | TRANSPORTATION MANAGEMENT PLAN NOTES |
| TMP-2 | TRANSPORTATION MANAGEMENT PLAN |
| S-1 | STRUCTURAL SECTIONS AND DETAILS |
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| E-1 | ROUTING SITE PLAN |
| E-2 | SPECIFICATIONS, SYMBOLS LIST, PANEL SCHEDULE AND DETAILS |
| E-3 | POWER RISER DIAGRAM, EQUIPMENT PLAN, AND NOTES |
| E-4 | GROUNDING DIAGRAM, DETAILS, AND NOTES |
| E-5 | DIAGRAMS |

CODE ANALYSIS

- | | |
|---------------------------|-------------|
| APPLICABLE BUILDING CODE: | IBC 2015 |
| USE GROUP: | UTILITY (U) |
| CONSTRUCTION TYPE: | IIB |
| UTILITY COMPANY: | DOMINION |

VICINITY PLAN



PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE INSTALLATION OF VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT ON A PROPOSED POLE TO REPLACE EXISTING. THE ASSOCIATED ANTENNAS WILL BE MOUNTED ON THE PROPOSED POLE AT A RAD CENTER OF 25'-0".

DIRECTIONS TO SITE

- FROM JUNCTION DRIVE:
- TURN LEFT ONTO HENKELS LANE
 - TAKE RAMP ON LEFT FOR MD-32 EAST
 - TAKE EXIT W/O RAMP ON RIGHT FOR BALTIMORE
 - WASHINGTON PARKWAY SOUTH
 - TAKE EXIT VIA RAMP ON LEFT AND FOLLOW SIGNS FOR I-295 SOUTH
 - TAKE EXIT W/O RAMP ON RIGHT FOR US-1 NORTH
 - TURN RIGHT ONTO VA-236/ DUKE STREET
 - KEEP STRAIGHT ONTO DUKE STREET
 - TURN LEFT ONTO SOUTH UNION STREET
 - TURN RIGHT ONTO PRINCE STREET
 - THE DESTINATION WILL BE ON THE LEFT

VERIZON WIRELESS REVIEW

BUILDING OWNER	DATE
ENGINEERING	DATE
OPERATIONS	DATE
CONSTRUCTION	DATE



verizon
OLD TOWN N 7 - B - SMALL CELL
RIGHT OF WAY ADJACENT TO 1 PRINCE STREET, ALEXANDRIA, VIRGINIA 22314

REVISIONS:

NO.	DESCRIPTION	DATE

PERMIT DWGS 16/18/20

LAST REV:

PROJECT NO: 20076L

DATE: JUNE 18, 2020

SCALE: AS NOTED

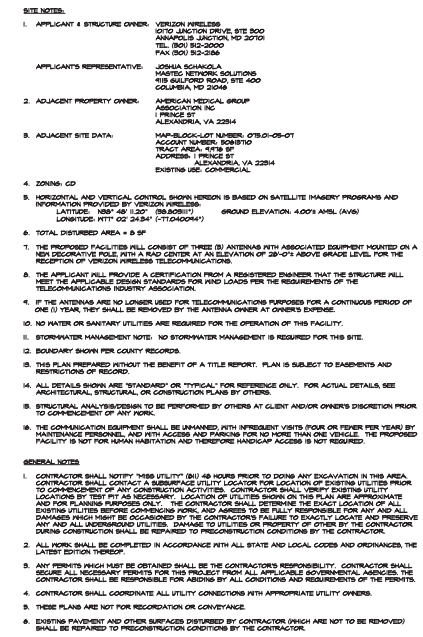
TITLE:

SITE LOCATION AND VICINITY PLAN, INDEX OF DRAWINGS, AND CODE ANALYSIS

SHEET:

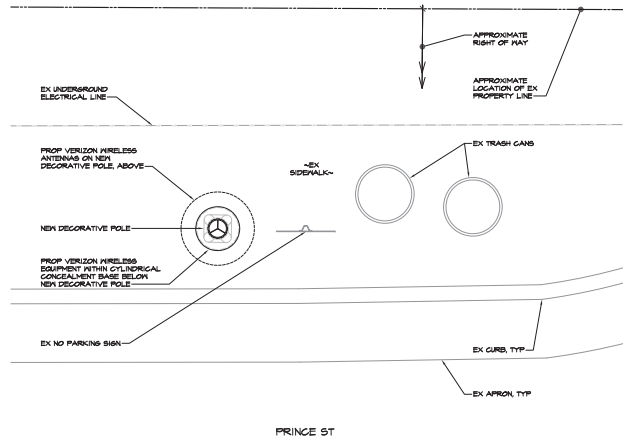
CS-1

TEI#20076L

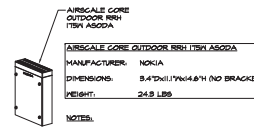
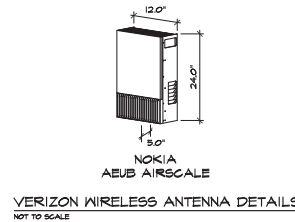


REVISIONS:	
NO.	DESCRIPTION DATE
	PERMIT DWGS 06/18/2020
DESIGNED BY: RD	
DRAWN BY: DNT/JCN	
PROJECT NO: 10427.3000	
DATE: 06/17/2020	
SCALE: AS NOTED	
TITLE:	
<p style="text-align: center;">Site Plan</p>	
SHEET:	

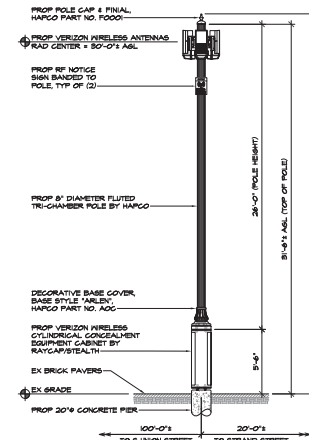
A B C D E F G H J K L M N P Q R



ENLARGED EQUIPMENT LAYOUT
SCALE: 1" = 5'-0"



NOKIA AIRSCALE CORE OUTDOOR RRH 175 W ASODA DETAIL
NOT TO SCALE



PROPOSED POLE ELEVATION
SCALE: 1" = 5'-0"

VOLUMETRIC CALCULATIONS			
ANTENNA VOLUMETRIC CALCULATION		EQUIPMENT VOLUMETRIC CALCULATION	
NOKIA AEB		RAYCAP / STEALTH CONCEALMENT BASE	4.42 CU FT
15 ANTENNAS, 0.85 CU FT EACH	12.75 CU FT	NOKIA ASODA RRH	0.96 CU FT
TOTAL	12.75 CU FT	15 UNITS, 0.82 CU FT EACH	12.30 CU FT
		TOTAL	25.06 CU FT



MORRIS & RITCHIE ASSOCIATES, INC.
Civil / Structural Engineers
2280 East Avenue Road, Suite 100
Tampa, Florida 33613
813-281-1888
813-281-1889 Fax



verizon
OLD TOWN N 7 - B - SMALL CELL
RIGHT OF WAY ADJACENT TO I PRINCE STREET
ALEXANDRIA, VIRGINIA 22314 (CITY OF ALEXANDRIA)

NO.	DESCRIPTION	DATE
1	PERMIT DWGS	06/11/2020

DESIGNED BY: RJD

DRAWN BY: DNT/JCN

PROJECT NO: 10421.5000

DATE: 06/11/2020

SCALE: AS NOTED

TITLE:

Site Details

SHEET:

C-2

TRANSPORTATION MANAGEMENT PLAN

TEMPORARY TRAFFIC CONTROL PLAN NOTES & WORK AREA PROTECTION MANUAL TTC'S



PROJECT INFORMATION

- THE PROJECT'S TMP PLAN HAS BEEN DESIGNED IN CONFORMANCE WITH TMP TYPE A.
- WORK ZONE AREAS SHALL BE SETUP AS SHOWN ON TTC'S ON THIS PLAN SHEET. THE WORK ZONE LENGTHS AND WIDTHS MAY VARY BY LOCATION IN ACCORDANCE WITH APPLICABLE TTC.
- CONSTRUCTION HOURS: 8AM-3:30PM MONDAY-THURSDAY, 9AM-2PM FRIDAY. NO WORK ON NIGHTS, WEEKENDS OR HOLIDAYS. NO LANE CLOSURES WILL BE ALLOWED FROM NOON ON THE DAY BEFORE A HOLIDAY UNTIL NOON ON THE WORKDAY FOLLOWING THE HOLIDAY. HOLIDAYS INCLUDE ALL STATE AND FEDERAL HOLIDAYS.
- EXISTING INTERSECTIONS: THE NEAREST INTERSECTION IS PRINCE ST AND STRAND ST.
- EXISTING PEDESTRIAN ACCESS POINTS: THERE IS EXISTING SIDEWALK LOCATED WITHIN THE PROJECT LIMITS.
- EXISTING BUS STOPS: THERE ARE NO BUS STOPS NEAR THE PROJECT LIMITS.
- EXISTING ENTRANCES: THERE ARE NO EXISTING ENTRANCES WITHIN THE CONSTRUCTION LIMITS.
- THE TRAFFIC ON THE ROADWAY CONSIST PRIMARILY OF PASSENGER VEHICLES AND PEDESTRIANS. THE SURROUNDING AREA IS COMMERCIAL.
- THE CONTRACTOR SHALL:
 - DESIGNATE A PERSON ASSIGNED TO THE PROJECT WHO WILL HAVE THE PRIMARY RESPONSIBILITY, WITH SUFFICIENT AUTHORITY, FOR IMPLEMENTING THE TMP/SDC AND OTHER SAFETY AND MOBILITY ASPECTS OF THE PERMITTED WORK. THIS PERSON SHALL COORDINATE WITH THE INSPECTOR FOR THE DURATION OF CONSTRUCTION.
 - ENSURE THAT PERSONNEL IMPLEMENTING THE TMP ARE TRAINED IN TRAFFIC CONTROL TO A LEVEL COMMENSURATE WITH THEIR RESPONSIBILITY IN ACCORDANCE WITH VIRGINIA WORK ZONE TRAFFIC CONTROL TRAINING GUIDELINES.
 - INFORM COUNTY OF ANY WORK REQUIRING LANE SHIFTS, LANE CLOSURES, AND/OR PHASE CHANGES A MINIMUM OF TWO WORKING DAYS PRIOR TO IMPLEMENTING THIS ACTIVITY.
 - PERFORM REVIEWS OF THE CONSTRUCTION AREA TO ENSURE COMPLIANCE WITH CONTRACT DOCUMENTS AT REGULARLY SCHEDULED INTERVALS AT THE DIRECTION OF COUNTY ENGINEERS. CONTRACTOR SHALL MAINTAIN A COPY OF THE TEMPORARY TRAFFIC CONTROL PLAN AT THE WORK SITE AT ALL TIMES.
 - COORDINATE WITH CITY OF ALEXANDRIA POLICE DEPARTMENT AND CITY OF ALEXANDRIA FIRE/RESCUE DEPARTMENT FOR ANY LANE CLOSURES AND ANY DETOURS OF ANY NATURE, AT NO ADDITIONAL COST TO THE PROJECT.

- SCHEDULE ALL PHASES OF CONSTRUCTION IN SUCH A MANNER THAT WATER, SANITARY SEWER, CABLE, FIBER CABLE/OPTIC CABLE, ANY OVERHANGING UTILITIES, AND ANY UNDERGROUND UTILITIES SERVICES WILL NOT BE INTERRUPTED.
- THIS TMP PLAN IS INTENDED AS A GUIDE. IF THE CONTRACTOR IS TO DEVIATE FROM THE APPROVED TMP, A NEW OR REVISED TMP MUST BE SUBMITTED TO COUNTY FOR REVIEW AND APPROVAL.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FOR THE DURATION OF THE PROJECT. CONTRACTOR SHALL ADD ANY ADDITIONAL TEMPORARY MEASURES NECESSARY TO FACILITATE PROPER, POSITIVE DRAINAGE FOR THE DURATION OF CONSTRUCTION.
- WHERE GROUP 2 CHANNELIZING DEVICES ARE USED TO SEPARATE THE CONSTRUCTION AREA AND TRAFFIC, A MINIMUM CLEAR ZONE AREA SUCH AS DEFINED IN THE VMAPM IS TO BE MAINTAINED.
- CONTRACTOR IS TO COORDINATE WITH CITY FOR LOCATION(S) OF THE CONSTRUCTION STAGING AREA. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND/OR EASEMENTS AS NECESSARY.
- IMPLEMENTING THE TRANSPORTATION MANAGEMENT PLAN
 - DURING THE FIRST DAY OF THE NEW WORK ZONE TRAFFIC PATTERN, THE PROJECT'S MANAGER AND CITY'S INSPECTOR SHALL INSPECT THE WORK ZONE TO ENSURE COMPLIANCE WITH THE TMP. ON THE THIRD TO FIFTH DAY OF IMPLEMENTATION OF THE TMP'S NEW WORK ZONE TRAFFIC PATTERN, THE CONSTRUCTION INSPECTOR SHALL CONDUCT AN ON-SITE REVIEW OF THE WORK ZONE'S PERFORMANCE IN COORDINATION WITH COUNTY AND RECOMMEND TO THE CONTRACTOR ANY REQUIRED CHANGES TO THE TMP TO ENHANCE THE WORK ZONE'S SAFETY AND MOBILITY. ALL SUCH CHANGES SHALL BE DOCUMENTED. AN ON-SITE REVIEW OF THE PROJECT'S WORK ZONE TRAFFIC CONTROL BY THE PROJECT MANAGER AND CONTRACTOR SHALL BE CONDUCTED (WITH COORDINATION FROM COUNTY) WITHIN 48 HOURS OF ANY FATAL INCIDENT/CRASH WITHIN THE WORK ZONE.

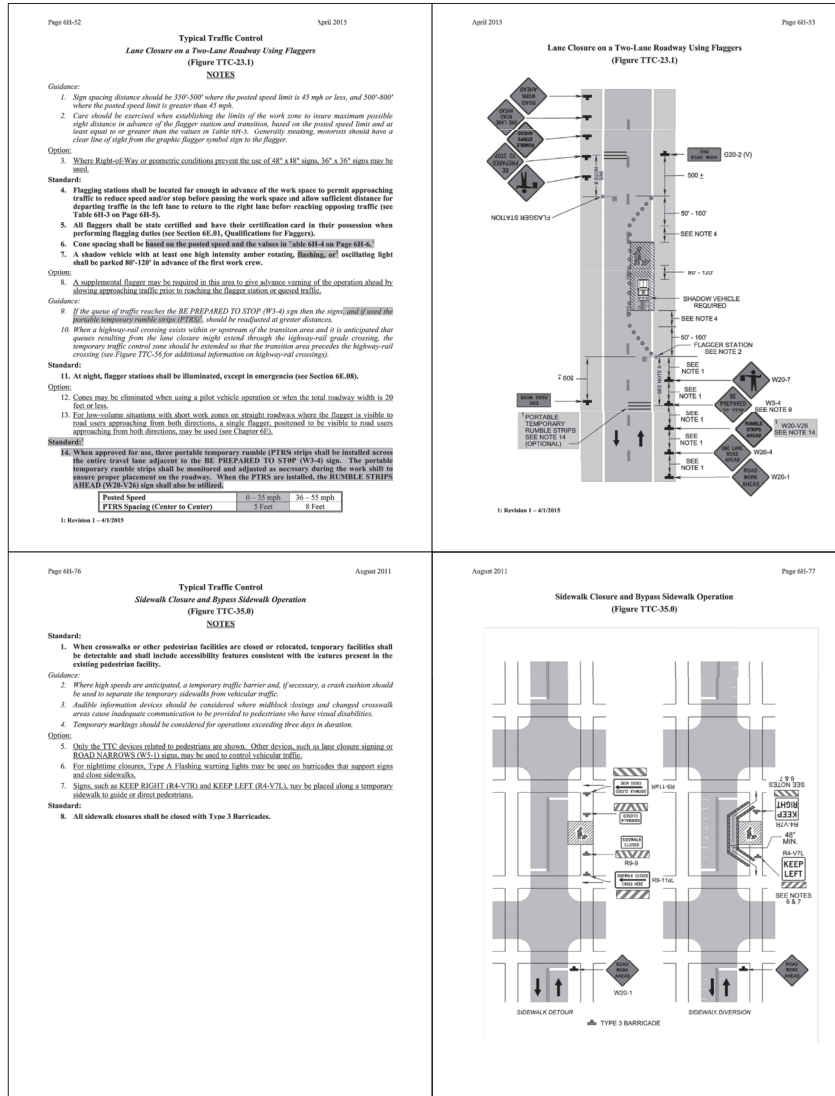
- PUBLIC COMMUNICATIONS PLAN
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
 - A. NOTIFYING THE PROJECT MANAGER AND CITY INSPECTOR TWO WEEKS IN ADVANCE OF ANY SCHEDULED WORK PLANS AND TRAFFIC DELAYS.
 - B. NOTIFYING THE PROJECT MANAGER, CITY INSPECTOR, AND CORRESPONDING COUNTY ENGINEER OF ANY UNSCHEDULED TRAFFIC DELAYS.
- TRANSPORTATION OPERATIONS
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND PROVIDING THE FOLLOWING:
 - A. NOTIFY THE REGIONAL TRANSPORTATION OPERATIONS CENTER (TOC) 1 WEEK IN ADVANCE IN ORDER TO PLAN LANE CLOSURE INFORMATION ON THE 511 SYSTEM AND VA-TRAFFIC.
 - B. IMMEDIATELY REPORT ANY TRAFFIC INCIDENTS THAT MAY OCCUR IN THE WORK ZONE.
 - C. NOTIFY THE PROJECT'S CONSTRUCTION INSPECTOR AND COUNTY ENGINEER OF ANY INCIDENTS AND EXPECTED TRAFFIC DELAYS.
 - D. WITHIN 24 HOURS OF ANY INCIDENTS WITHIN THE CONSTRUCTION WORK ZONE, A REVIEW OF THE TRAFFIC CONTROLS SHALL BE COMPLETED AND NECESSARY ADJUSTMENT MADE TO REDUCE THE FREQUENCY AND SEVERITY OF ANY FUTURE INCIDENTS.
- CONTACT NUMBERS

PROJECT MANAGER:	TBD
CITY INSPECTOR:	TBD
EMERGENCY CALL:	911
NON-EMERGENCY NUMBERS:	
CITY OF ALEXANDRIA POLICE:	703-746-4444
CITY OF ALEXANDRIA FIRE & RESCUE:	703-746-4357

GENERAL CONSTRUCTION NOTES

NOTE: VMAPM VIRGINIA WORK AREA PROTECTION MANUAL (2011) INCLUDING REVISION 1 DATED 2015.

- THE CONTRACTOR SHALL MAKE ANY NECESSARY ADJUSTMENTS DURING BOTH WORK AND NON-WORK HOURS TO ENSURE THE PROTECTION AND SAFETY OF PEDESTRIANS, VEHICULAR TRAFFIC, AND THE GENERAL PUBLIC FROM ANY CONSTRUCTION RELATED ACTIVITY, CONSTRUCTION EQUIPMENT, AND THE CONSTRUCTION SITE ITSELF.



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OLD TOWN N 7 - B - SMALL CELL
RIGHT OF WAY ADJACENT TO PRINCE STREET
ALEXANDRIA, VIRGINIA 22314 (CITY OF ALEXANDRIA)

REVISIONS:		
NO.	DESCRIPTION	DATE

DESIGNED BY: R.D.
DRAWN BY: BES
PROJECT NO: 10471.3000
DATE: 04/20/2020
SCALE: AS NOTED
TITLE: TRANSPORTATION MANAGEMENT PLAN
SHEET: TMP-1

TRANSPORTATION MANAGEMENT PLAN


 Virginia Department of Transportation
 VERIFICATION OF COMPLIANCE OF
 ADVANCED ROAD CLOSING PROCEDURES (TR-100)
 (NOT FOR CONSTRUCTION)
 This is to verify that Jon K. Erickson has successfully completed
 training and an examination by the Department on the proper
 position and methods for the installation, maintenance, removal
 of temporary traffic control devices and flagging operations.
 Date: 6/15/20
 By: J. K. Erickson
 Verification No.: 100210033
 Signature Date: 6/15/2020


**MORRIS & RITCHIE
 ASSOCIATES, INC.**
 Civil/Structural Engineers
 10400 Two Rivers Road, Suite 100
 Fairfax, Virginia 22030
 703-440-0000
 434-480-4748 Fax


 J. K. ERICKSON
 6/15/20
 PROFESSIONAL ENGINEER
 VIRGINIA

verizon
 OLD TOWN N 7 - B - SMALL CELL
 RIGHT OF WAY ADJACENT TO PRINCE STREET
 ALEXANDRIA, VIRGINIA 22314 (CITY OF ALEXANDRIA)

REVISIONS:

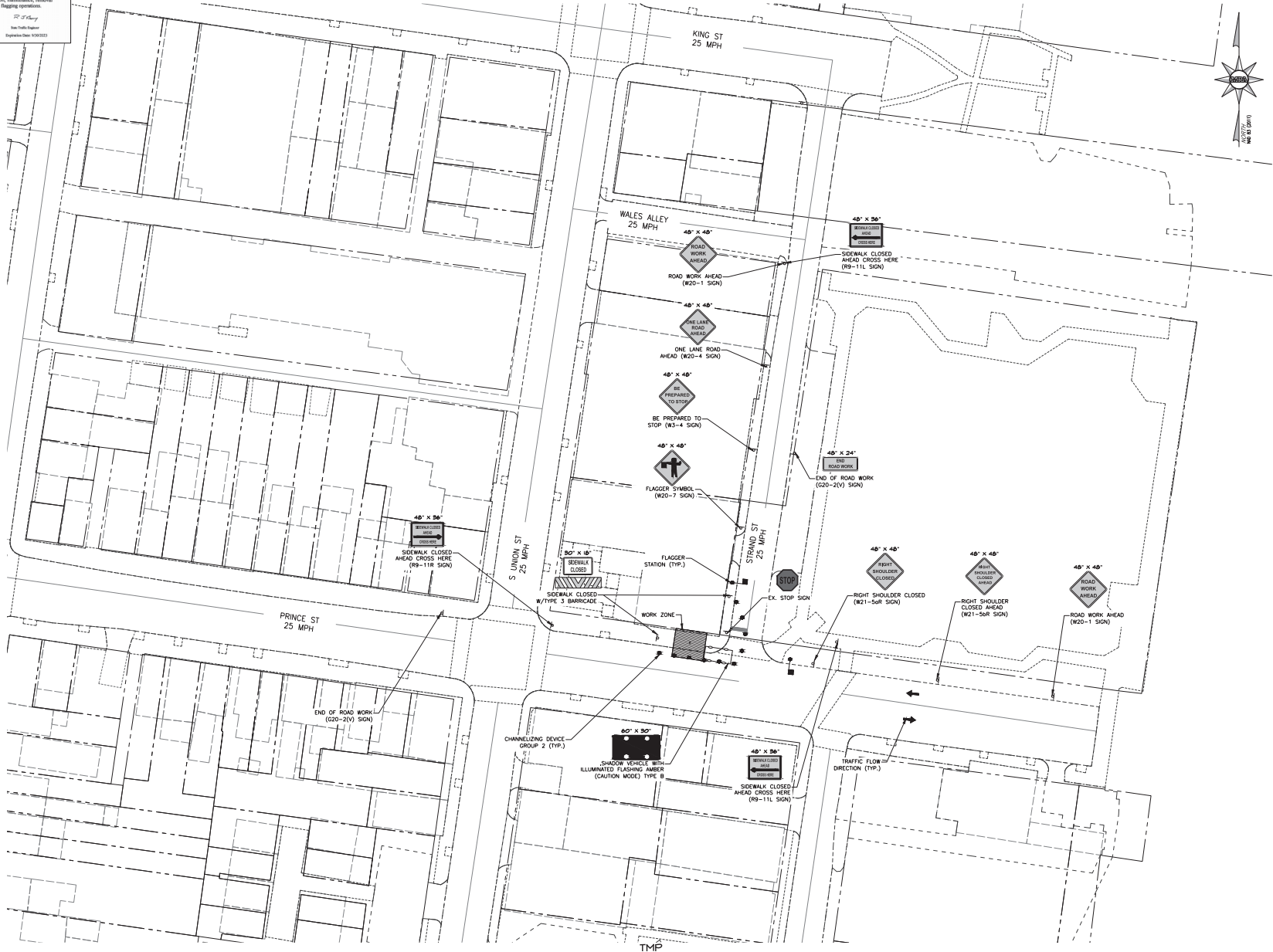
NO.	DESCRIPTION	DATE

DESIGNED BY: R.D.
 DRAWN BY: BES
 PROJECT NO: 10471.3000
 DATE: 04/20/2020
 SCALE: AS NOTED

TITLE:
 TRANSPORTATION
 MANAGEMENT
 PLAN

SHEET:

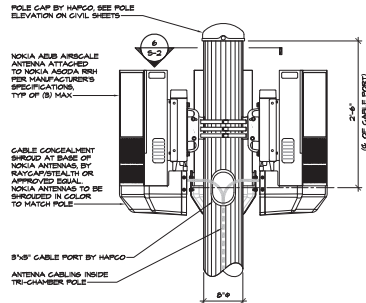
TMP-2



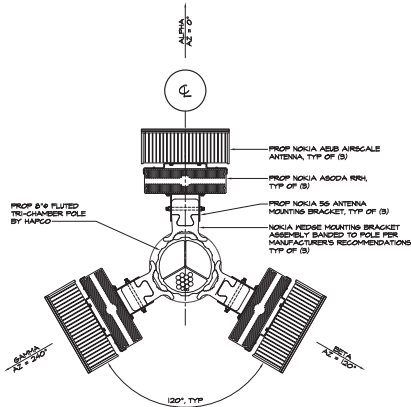


19

A B C D E F G H J K L M N P Q R



ANTENNA MOUNTING DETAIL
SCALE: 1" = 1'-0"



ANTENNA MOUNTING SECTION
SCALE: 1/2" = 1'-0"

CODES

- ANSI/TIA-222-H-2017 "STRUCTURAL STANDARD FOR ANTENNA SUPPORTING STRUCTURES AND ANTENNAS" AND ALL SUBSEQUENT SUPPLEMENTS
- INTERNATIONAL BUILDING CODE (IBC-2018)
- VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VA USBG 2018)
- IN ADDITION, ALL CONSTRUCTION SHALL CONFORM WITH THE GOVERNING LOCAL BUILDING CODE

DESIGN LOADS

- THE EMBEDDED STEEL POLE HAS BEEN DESIGNED TO SUPPORT THE APPEARANCES AS SPECIFIED IN THESE DRAWINGS IN ACCORDANCE WITH THE FOLLOWING DESIGN LOADS:
 - WIND LOAD DESIGN DATA

ULTIMATE WIND SPEED (NO ICE):	V _W = 120 MPH
BASIC WIND SPEED (WITH ICE):	V _I = 40 MPH
DESIGN RADIAL ICE THICKNESS:	0.048 ft
RISK CATEGORY:	II
EXPOSURE CATEGORY:	I
TOPOGRAPHIC CATEGORY:	I
 - EARTHQUAKE LOAD DESIGN DATA

SHORT PERIOD ACCELERATION, S ₁ :	0.08 g
ONE SECOND PERIOD ACCELERATION, S ₂ :	0.048 g
SEISMIC DESIGN CATEGORY:	B
SEISMIC RESPONSE COEFFICIENT, C _s :	0.067 g
- **WIND LOADS GOVERN
- THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AS REQUIRED DURING ERECTION AND CONSTRUCTION. DESIGN OF TEMPORARY BRACING IS THE RESPONSIBILITY OF THE CONTRACTOR.

MISCELLANEOUS

- THE CONTRACTOR SHALL INSTALL THE EMBEDDED STEEL POLE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. IN ADDITION TO THE SPECIFICATIONS ON THESE DRAWINGS.
- THE CONTRACTOR SHALL LOCATE ALL UTILITIES IN THE AREA OF CONSTRUCTION AND PREVENT DAMAGE TO THEM. SHOULD DAMAGE OCCUR TO ANY UTILITIES, THE CONTRACTOR IS REQUIRED TO REPAIR THE DAMAGE TO THE SATISFACTION OF THE OWNER AT HIS OWN EXPENSE.
- IN CASES OF CONFLICT BETWEEN THE DRAWINGS AND/OR SPECIFICATIONS OR EXISTING CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE DESIGN PROFESSIONALS AND OBTAIN CLARIFICATION PRIOR TO BEGINNING AND PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL NOT SUBMIT REPRODUCTIONS OF THE STRUCTURAL CONTRACT DOCUMENTS AS SHOP DRAWINGS.
- SCALES SHOWN ON THE STRUCTURAL CONTRACT DRAWINGS ARE FOR GENERAL INFORMATION ONLY. DIMENSIONAL INFORMATION SHALL NOT BE OBTAINED BY SCALES THE DRAWINGS.
- APPLY DETAILS SECTIONS AND NOTES ON THE DRAWINGS WHERE CONDITIONS ARE SIMILAR TO THOSE INDICATED BY DETAIL, DETAIL TITLE OR NOTE.
- PROVIDE SHORING AND PROTECTION FOR EXCAVATION AS NECESSARY TO PREVENT CAVING AND COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
- SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE CONTRACT DOCUMENTS MUST BE SUBMITTED BY THE CONTRACTOR OR OWNER FOR REVIEW BY THE ENGINEER. IF THE CONTRACTOR OR OWNER FAILS TO SUBMIT THE SHOP DRAWINGS, THE ENGINEER WILL NOT BE RESPONSIBLE FOR STRUCTURAL CERTIFICATION AND DESIGN OF THE PROJECT. THE SHOP DRAWINGS SHALL INDICATE ANY DEVIATIONS OR OMISSIONS FROM THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR SHALL REVISION ALL SHOP DRAWINGS PRIOR TO SUBMISSION AND MAKE ALL CORRECTIONS DEEMED NECESSARY.

FOUNDATION SOIL

- ALL FOUNDATIONS HAVE BEEN DESIGNED FOR THE FOLLOWING MINIMUM SOIL CONDITIONS. SHOULD THE ACTUAL SOIL CONDITIONS DIFFER, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.

STANDARD PENETRATION VALUE, N:	30	BLOWS/FT
ANGLE OF INTERNAL FRICTION, ϕ :	30	DEGREES
EFFECTIVE UNIT WEIGHT OF SOIL, γ :	120	PCF
COHESION, c:	0	PCF
- A REGISTERED GEOTECHNICAL ENGINEER SHALL BE ON SITE AT THE TIME OF CONSTRUCTION TO VERIFY THE ASSUMED SOIL PARAMETERS ABOVE. SOILS THAT DO NOT MEET THE INDICATED SOIL PARAMETERS SHALL BE EVALUATED AND FOUNDATION MAY NEED TO BE REDESIGNED.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING IMMEDIATELY THE GEOTECHNICAL ENGINEER OF RECORD IF GROUND WATER IS ENCOUNTERED DURING CONSTRUCTION.
- BEARING ELEVATION OF DRILLED PIER FOUNDATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE AND MAY NEED TO BE ADJUSTED IN FIELD.
- DRILLED PIER FOUNDATIONS SHALL BE DRILLED WITHOUT DISTURBING THE SURROUNDING SOIL AND SHALL BE KEPT FREE OF WATER INFILTRATION UNTIL CONCRETE CAN BE PLACED.
- ALL FOUNDATION DESIGN ASSUMES LEVEL GRADE AT ALL STEEL POLE LOCATIONS. IMMEDIATELY CONTACT MRA SHOULD SLOPED GRADES (SLOPED GRADES GREATER THAN 3%) BE PRESENT.

STRUCTURAL AND MISCELLANEOUS STEEL

- ALL STEEL CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE AISC STEEL CONSTRUCTION MANUAL, SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS (AN/AISC 360) AND THE AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES.
- ALL MISCELLANEOUS STEEL PLATES AND ANGLES SHALL CONFORM TO ASTM A36 ($F_y = 36$ KSI).
- ALL PIPE SHALL CONFORM TO ASTM A53, GRADE B ($F_y = 55$ KSI).
- ALL STRUCTURAL BOLTS 4 THRU-BOLTS SHALL USE ASTM A308 STEEL, UNLESS NOTED OTHERWISE BY CONTRACT DRAWINGS.
- ALL NUTS SHALL CONFORM TO ASTM A308. ALL WASHERS SHALL CONFORM TO ASTM F436.
- ALL STRUCTURAL STEEL SHALL HAVE LONGITUDINAL CHARPY V-NOTCH VALUES NOT LESS THAN 10 FT-LBS AT -50 DEGREES FAHRENHEIT. ALL CHARPY V-NOTCH TESTS SHALL BE PERFORMED IN ACCORDANCE WITH ASTM A570.
- ALL RODS, WASHERS, AND NUTS SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM F238.
- ALL WELDED CONNECTIONS SHALL USE E70XX LOW-HYDROGEN ELECTRODES.
- ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY CERTIFIED WELDERS AND CONFORM TO THE AMERICAN WELDING SOCIETY CODE FOR BUILDINGS AND S.C.I. WELDS SHALL DEVELOP THE FULL STRENGTH OF MATERIALS BEING WELDED UNLESS OTHERWISE INDICATED.
- ALL STRUCTURAL STEEL SHALL BE FINISHED (GALVANIZED, PRIMER, POWDER COATED, PAINTED, ETC.) AS DIRECTED BY THE CONSTRUCTION MANAGER. ALL FINISHES SHALL BE INSTALLED OR APPLIED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- THE CONTRACTOR SHALL NOT DRILL OR CUT OPENINGS IN STEEL MEMBERS NOT SHOWN ON CONTRACT DRAWINGS WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER.
- AN INDEPENDENT INSPECTION AGENCY SHALL INSPECT ALL STRUCTURAL STEEL AND VERIFY THAT IT CONFORMS TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. FIELD INSPECTION REPORTS SHALL BE SUBMITTED TO THE ENGINEER WITHIN 5 DAYS OF THE INSPECTION. THE CONTRACTOR SHALL NOTIFY THE INSPECTION AGENCY OF ALL PHASES OF STEEL CONSTRUCTION AND WELDING.
- SHOW ALL HOLDING OPENINGS AND NOTIFICATIONS REQUIRED IN STRUCTURAL STEEL MEMBERS FOR ERECTION OR THE WORK OF OTHER TRADES ON THE SHOP DRAWINGS FOR APPROVAL BY THE STRUCTURAL ENGINEER.

CAST-IN-PLACE CONCRETE

- ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 308), AND TO THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318).
- IN ADDITION TO THE ABOVE, ALL CONCRETE FORMS SHALL CONFORM TO THE FOLLOWING:
 - RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING (ACI 308)
 - RECOMMENDED PRACTICE FOR COLD WEATHER CONCRETING (ACI 308)
 - STANDARD SPECIFICATION FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS (ACI 11)
 - CHEMICAL ADJUSTURES FOR CONCRETE (ACI 213.3)
 - STANDARD SPECIFICATION FOR CURING CONCRETE (ACI 308.3)
- ALL CONCRETE, UNLESS NOTED OTHERWISE, SHALL BE STONE AGGREGATE CONCRETE HAVING A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI. ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE AN AIR CONTENT OF 4% - 12%. NO AGGREGATES CONTAINING CALCIUM CHLORIDE SHALL BE PERMITTED. PORTLAND AGGREGATE SIZE SHALL BE $\frac{3}{4}$ " AND MAXIMUM SLUMP SHALL BE 4". MAXIMUM WATER / CEMENT RATIO SHALL BE 0.48. PORTLAND CEMENT SHALL CONFORM TO ASTM C595 AND NORMAL HEIGHT AGGREGATES SHALL CONFORM TO ASTM C25.
- ALL CONCRETE MIX DESIGNS, INCLUDING CEMENT CONTENT, WATER / CEMENT RATIO, FINE AND COARSE AGGREGATE CONTENT AND ALL ADJUSTURES, SHALL BE REVIEWED BY ENGINEER PRIOR TO PLACING FIRST CONCRETE.
- ALL CONCRETE SHALL BE SAMPLED AND TESTED BY THE TESTING AGENCY. THE CONTRACTOR SHALL NOTIFY THE TESTING AGENCY 48 HOURS PRIOR TO THE PLACING OF ANY CONCRETE. TESTING SHALL BE IN ACCORDANCE WITH ASTM C172.
- THE CONCRETE STRUCTURE SHALL NOT SUPPORT THE DESIGN LIVE LOAD FOR A MINIMUM OF 28 DAYS AND ALL SHORING AND RE-SHORING REQUIRED TO SUPPORT THE CONCRETE STRUCTURE DURING CONSTRUCTION SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR. SHOP DRAWINGS, SIGNED AND SEALED BY A REGISTERED ENGINEER IN THE JURISDICTION IN WHICH THE PROJECT IS LOCATED, SHALL BE SUBMITTED FOR REVIEW. SHOP DRAWINGS SHALL INDICATE THE TYPE, EXTENT, SIZE, AND LOCATION OF ALL SHORING AND RE-SHORING AS WELL AS THE SEQUENCE OF CONSTRUCTION.
- GROUND SLURF FINISHES MAY BE USED TO REPLACE UP TO 50 PERCENT OF THE PORTLAND CEMENT IN A CONCRETE MIX, AND FLY ASH OR POZZOLAN MAY BE USED TO REPLACE UP TO 25 PERCENT OF PORTLAND CEMENT, SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER AND SHALL CONFORM TO ASTM C666.
- ALL REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A618 GRADE 60 ($F_y = 60$ KSI).
- ALL REINFORCING SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE CRSI "MANUAL OF STANDARD PRACTICE" (ACI 318) DETAILS AND DETAILS OF CONCRETE REINFORCEMENT, ACI SP 68 DETAILING MANUAL.
- ALL CAST-IN-PLACE CONCRETE WILL EXPERIENCE DIFFERING VARIATIONS OF CRACKING. ANY ELEMENT EXPOSED TO DIRECT WEATHER AND/OR TEMPERATURE VARIATIONS DURING CONSTRUCTION OR IN THE FINAL CONDITION IS TO BE TREATED AND REGULARLY MAINTAINED TO PREVENT PROPAGATION OF CRACKS AND WATER INFILTRATION. THE CONTRACTOR SHALL DEVELOP A REGULAR MAINTENANCE PROGRAM AND SUBMIT IT TO THE OWNER.
- ALL CONCRETE CONSTRUCTION SHALL BE INSPECTED IN ACCORDANCE WITH CHAPTER 17 OF THE INTERNATIONAL BUILDING CODE.

ALUMINUM

- ALL ALUMINUM CONSTRUCTION SHALL CONFORM TO THE 2015 EDITION OF THE ALUMINUM ASSOCIATION ALUMINUM DESIGN MANUAL (ADM 2015).
- ALUMINUM POLE SHALL BE EXTENDED FROM 6008A-T5 ALUMINUM WITH THE FOLLOWING MINIMUM PROPERTIES:

TENSILE ULTIMATE STRENGTH, F_u :	UNWELED	WELDED
	34 KSI	24 KSI
TENSILE YIELD STRENGTH, F_y :	31 KSI	23 KSI
COMPRESSIVE YIELD STRENGTH, F_{cy} :	31 KSI	23 KSI
MODULUS OF ELASTICITY, E:	10,000 KSI	
- ALL ACCESS PORTS, MANHOLES, CABLE PORTS, ETC., SHALL BE REINFORCED USING ALUMINUM CASTINGS WITH STRUCTURAL PROPERTIES WHICH MEET OR EXCEED THE POLE SHAFT STRENGTH INDICATED ABOVE.
- WELDED JOINTS ARE ONLY PERMITTED AT REINFORCED ACCESS PORTS AND POLE BASE LOCATIONS. LONGITUDINAL SHAFT WELDS ARE NOT PERMITTED. ALUMINUM ALLOY 4043 ELECTRODE SHALL BE USED IN THE WELDING PROCESS IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY (AWS SPECIFICATION D1.2).
- POLE SHAFT SHALL BE FULL-DEPTH HEAT TREATED AFTER WELDING TO PRODUCE A T5 TEMPER TO RECOVER THE MINIMUM STRENGTH AS SPECIFIED BY THE ALUMINUM POLE MANUFACTURER. HEAT-TREATING PROCESS IS TO BE IN CONFORMANCE WITH ASTM B947.
- UNLESS NOTED OTHERWISE, ALL ALUMINUM STRUCTURAL CONNECTIONS SHALL BE MADE WITH $\frac{5}{8}$ " DIAMETER GALVANIZED ASTM F238 GRADE A308 BOLTS WITH $\frac{3}{4}$ " DIAMETER HOLES ON 6" BASE FIELD DRILL, AS REQUIRED. SEE STRUCTURAL AND MISCELLANEOUS STEEL NOTES FOR ADDITIONAL INFORMATION.

POST-INSTALLATION INSPECTION

- A POST-INSTALLATION INSPECTION REPORT IS REQUIRED AND SHALL BE INCLUDED IN THE CONTRACTOR'S BID. A POST-INSTALLATION INSPECTION IS A VISUAL INSPECTION OF TOWER INSTALLATION AND A REVIEW OF CONSTRUCTION INSPECTIONS AND OTHER REPORTS TO ENSURE THE INSTALLATION HAS CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, NAMELY, THE INSTALLATION DRAWINGS.
- THE POST-INSTALLATION INSPECTION REPORT SHALL BE COMPLETED BY A PROFESSIONAL ENGINEER LICENSED IN THE JURISDICTION IN WHICH THE PROJECT IS LOCATED.
- THE REVIEW OF THE POST-INSTALLATION INSPECTION REPORT IS TO CONFIRM INSTALLATION AND CONSTRUCTION AND WORKMANSHIP ONLY AND IS NOT A REVIEW OF THE INSTALLATION DESIGN ITSELF.
- TO ENSURE THAT THE REQUIREMENTS OF THE POST-INSTALLATION INSPECTION REPORT ARE MET, IT IS VITAL THAT THE CONTRACTOR AND POST-INSTALLATION INSPECTOR BEGIN COORDINATING AND COORDINATING AS SOON AS A PO IS RECEIVED.



NO.	DESCRIPTION	DATE
1	PERMIT DWGS	06/11/2020
2		
3		
4		
5		
6		
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8		
9		
10		
11		

DESIGNED BY: RJD
DRAWN BY: DNT/JCN
PROJECT NO: 10471.000
DATE: 06/11/2020
SCALE: AS NOTED

TITLE:
Structural
Details
& Notes

SHEET:
S-2



Know what's below.
Call before you dig.

PROTECT YOURSELF, ONE DITCH
AT A TIME
THIS DRAWING DOES NOT INCLUDE NECESSARY
COMPONENTS FOR CONSTRUCTION SAFETY. ALL
CONSTRUCTION MUST BE DONE IN COMPLIANCE
WITH THE OBTAINING, SAFETY AND HEALTH
ACT OF 1990 AND ALL LOCAL REGULATIONS
HERE TO APPROPRIATE.



verizon
OLD TOWN N 7 - B - SMALL CELL
RIGHT OF WAY ADJACENT TO 1 PRINCE STREET, ALEXANDRIA,
CITY OF ALEXANDRIA, VIRGINIA 22314

REVISIONS:		
NO.	DESCRIPTION	DATE

PERMIT DWS-6/18/20

LAST REV.:
PROJECT NO: 20076L
DATE: JUNE 18, 2020
SCALE: AS NOTED

TITLE:
ROUTING SITE
PLAN

SHEET: III-1

[illegible]2. SECTION 16050 - BASIC ELECTRICAL MATERIALS & METHODS

- CONDUIT & BOXES:**
1. ALL CONDUIT BELOW GRADE SHALL BE SCHEDULE 40 PVC, ALL CONDUIT ABOVE GRADE SHALL BE NON METALLIC ELECTRIC GRADE OR PVC AS NOTED.
 2. JUNCTION AND PULL BOXES SHALL BE FURNISHED AND INSTALLED AS SHOWN OR AS REQUIRED TO FACILITATE PULLING OF WIRES OR CABLES. SUCH BOXES SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS, GASKETED COVER PLATES SHALL BE FURNISHED FOR OUTDOOR LOCATIONS.
 3. ALL BOXES, WHETHER OUTLET, JUNCTION, PULL OR EQUIPMENT SHALL BE FURNISHED WITH APPROPRIATE COVERS.
 4. NO SPECIALIZED BOXES SHALL BE USED.
 5. ALL ENT CONDUIT FITTINGS SHALL BE COMPRESSION TYPE.
 6. ALL FIELD CUTS OF GALVANIZED ITEMS SHALL BE BRUSHED WITH MARINE GRADE GALVANIZING.
 7. ALL METALLIC OBJECTS EXPOSED TO WEATHER SHALL BE GALVANIZED.
- WIRING & CABLE:**
1. WIRE UNLESS OTHERWISE INDICATED SHALL BE 600 VOLT TYPE THIN WALL CONSTRUCTION FOR INTERIOR AND EXTERIOR USE. CONDUCTORS SHALL BE SOFT DRAWN COPPER OF NOT LESS THAN 98% CONDUCTIVITY. NO BROMX OR CAB (BX) SHALL BE USED.
 2. NO WIRE SMALLER THAN NO. TWELVE (12) SHALL BE USED UNLESS OTHERWISE INDICATED. CONDUCTORS SHALL BE CONTINUOUS FROM OUTLET TO OUTLET FROM PANEL TO PANEL. ALL WIRING SHALL BE RATED 90°C AND NO SPICE SHALL BE MADE EXCEPT WITHIN OUTLET OR JUNCTION BOXES. ALL WIRING SHALL BE IDENTIFIED BY COLOR OR BY LETTERS. ALL WIRING SHALL BE IDENTIFIED BY COLOR (A) AND LARGER SHALL BE STRAINED. THE CONTRACTOR SHALL MAKE KIND CONNECTIONS OF ALL ELECTRICAL EQUIPMENT REQUIRE ELECTRICAL IDENTIFICATION. WIRES AND CABLES SHALL BE AS MANUFACTURED BY FIREHILL, RYOTAI, AND TRANSILOR OR EQUIVALENT.
 3. ALL WIRING SHALL BE COLOR CODED, MATCH EXISTING SYSTEM COLOR CODING AND IDENTIFICATION.
- DISCONNECTS:**
1. FURNISH AND INSTALL SAFETY SWITCHES WHERE INDICATED AND AS REQUIRED FOR MOTOR, OUTLETS OR OTHER EQUIPMENT. SWITCHES SHALL BE OF SIZE AND TYPE PER RULES AND REGULATIONS AS REQUIRED FOR LOAD CONDITIONS AND THE NATIONAL ELECTRICAL CODE.
- D. GROUNDING:**
1. PROVIDE GROUND FOR ALL RACEWAYS, DEVICES, AND UTILIZATION EQUIPMENT IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND THE NATIONAL ELECTRICAL CODE, AS HERINAFTER SPECIFIED. ALL GROUNDING AND BONDING CONNECTIONS SHALL BE SOLDERSLESS.
 2. PROVIDE INSULATED GROUNDING CONDUCTORS FOR FEEDER AND BRANCH CIRCUIT WIRING AS SHOWN ON THE PLANS. PROVIDE GROUNDING BLOCKS, TERMINALS, ETC., FOR CONNECTION OF GROUND WIRE IN ALL DISTRIBUTION

A. ELECTRICAL SERVICE:

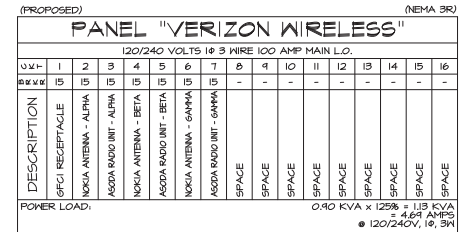
- 1. ELECTRICAL POWER TO THE NEW EQUIPMENT SHALL BE EXTENDED FROM THE PROPOSED UTILITY METER AND SERVICE ENTRANCE RATED LOAD CENTER TO THE UNIT MOUNTED WITHIN CONCEALED EQUIPMENT BASES WITH PHENOLIC NAMEPLATE READING "VERIZON NIRELESS" LABEL PANEL WITH NAVIGATE NAMEPLATE READING "VERIZON WIRELESS SERVICE DISCONNECT".

B. COMMUNICATIONS SERVICE:

- 1. TELEPHONE SERVICE SHALL BE EXTENDED BY THE TELEPHONE COMPANY. PROVIDE SERVICE CONDUITS, SLEEVES AND OTHER EQUIPMENT SHOWN ON THE SCHEDULE FOR THE TELEPHONE SERVICE. ALL CHARGES BY THE UTILITY COMPANY SHALL BE PAID BY THE OWNER.
- 2. ALL BOWS IN CONDUIT RUNS SHALL BE INDE SHEEP FIELD BENDS. INSTALL ALL BOXES AS REQUIRED AND WERE DIRECTED BY THE TELEPHONE COMPANY'S REQUIREMENTS.

MANUFACTURER	PART #	COMPONENT TYPE	QUANTITY	DIMENSIONS (INCHES)	WEIGHT
NOKIA	AIRSCALE AEB # ASDA RRH	ANTENNA/ REMOTE RADIO HEAD	3	24.0"x12.0"x5.0"	60.3 LBS.
INFINITE ELECTRONICS	PENDING	PANELBOARD	1	24.0"x14.0"x5.0"	50.0 LBS.
DOMINION STANDARD	65-T3T000	ELECTRIC METER	1	17.0"x11.0"x5.0"	5.25 LBS.
		CONDUIT CABLEING	3#	VARIABLE	20.0 LBS.
EQUIPMENT AND MATERIALS LIST				TOTAL WEIGHT:	280.5 LBS.
				TOTAL VOLUME:	4.21 CU.FT.

NOTE: ALL MOUNTING HEIGHTS ARE TO CENTER LINE OF THE OUTLET BOX UNLESS OTHERWISE INDICATED.



- [illegible]

A diagram of a rectangular sign. The top horizontal dimension is labeled '3'' and the left vertical dimension is labeled '15''. Inside the rectangle, the text 'VERIZON WIRELESS SERVICE DISCONNECT' is written in all caps.

Diagram illustrating the components and dimensions of a manhole assembly:

- YELLOW HEAVY GAUGE POLYETHYLENE PLASTIC MARKING TAPE FOR THE FULL LENGTH OF DUCTBANK**: A yellow tape applied along the length of the ductbank.
- FINISHED GRADE**: The ground level above the manhole.
- 1'-0"**: Dimension from the finished grade to the top of the manhole frame.
- 3'-0" MIN**: Minimum depth of the manhole.
- 2" SCHEDULE 40 PVC FIBER CONDUIT**: The conduit used for the cables.
- ONE (1) ONE-STRAND FIBER CABLES**: The cables being installed.
- CAT 5E CABLE (TYPE OF 5)**: The type of cable being installed.
- PULLSTRINGS**: Used for pulling the cables through the conduit.

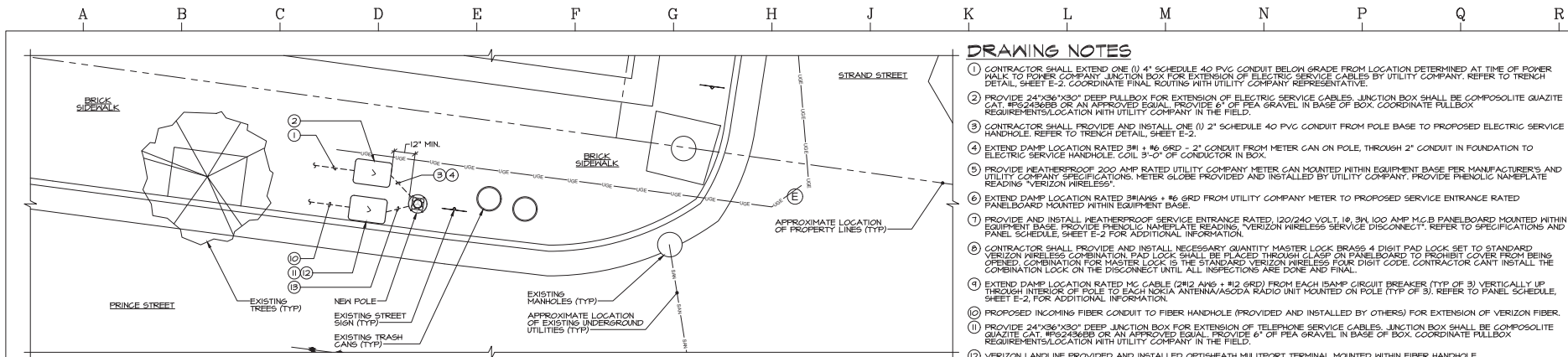
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**DETAIL - ELECTRIC SERVICE
CONDUIT SECTION**

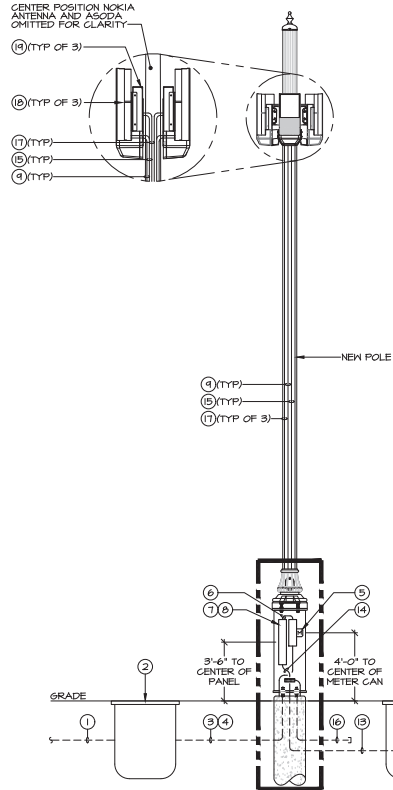


verizon
OLD TOWN T - B - SMALL CELL
SIGHT OF MAY ADJACENT TO I PRINCE STREET, ALEXANDRIA,
CITY OF ALEXANDRIA, VIRGINIA 22314

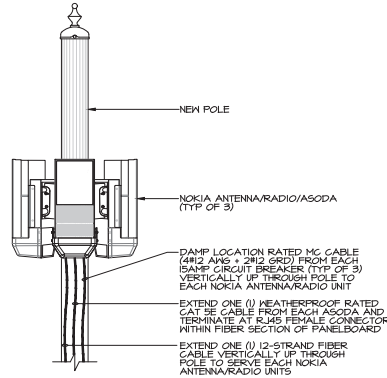
REVISIONS:	
NO.	DESCRIPTION
DATE	
PERMIT DWG5, 6/18/20	
LAST REV.:	
PROJECT NO: 20076L	
DATE: JUNE 18, 2020	
SCALE: AS NOTED	
TITLE:	
SPECIFICATIONS, SYMBOLS LIST, PANEL SCHEDULE, AND DETAILS	
SHEET:	
E-2	



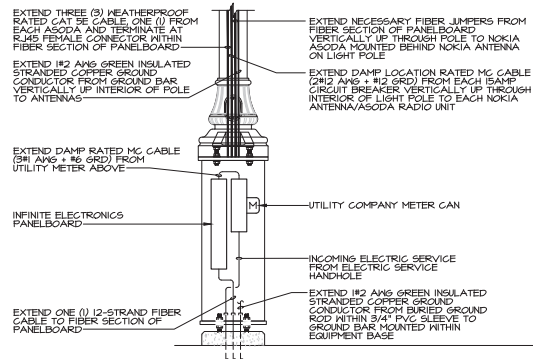
POLE UTILITY PLAN
SCALE: 1/4" = 1'-0"



POWER RISER DIAGRAM
NO SCALE



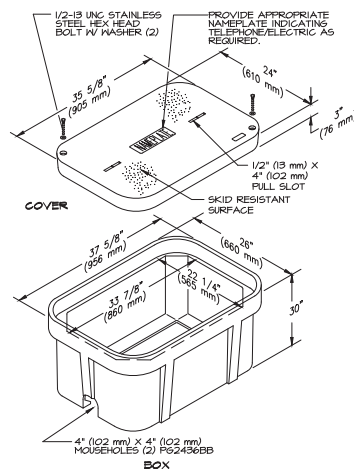
DETAIL - POLE CABLING
NO SCALE



DETAIL - LIGHT POLE CABLING
NO SCALE

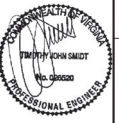
DRAWING NOTES

- CONTRACTOR SHALL EXTEND ONE (1) 4" SCHEDULE 40 PVC CONDUIT BELOW GRADE FROM LOCATION DETERMINED AT TIME OF POWER WALK TO POWER COMPANY. JUNCTION BOX FOR EXTENSION OF ELECTRIC SERVICE CABLES BY UTILITY COMPANY. REFER TO TRENCH DETAIL, SHEET E-2. COORDINATE FINAL ROUTING WITH UTILITY COMPANY REPRESENTATIVE.
- PROVIDE 24"x36"x30" DEEP PULLBOX FOR EXTENSION OF ELECTRIC SERVICE CABLES. JUNCTION BOX SHALL BE COMPOSITE QUARTZITE CAT. #R52436BB OR AN APPROVED EQUAL. PROVIDE 6" OF FEA GRAVEL IN BASE OF BOX. COORDINATE PULLBOX REQUIREMENTS/LOCATION WITH UTILITY COMPANY IN THE FIELD.
- CONTRACTOR SHALL PROVIDE AND INSTALL ONE (1) 2" SCHEDULE 40 PVC CONDUIT FROM POLE BASE TO PROPOSED ELECTRIC SERVICE HANDHOLE. REFER TO TRENCH DETAIL, SHEET E-2.
- EXTEND DAMP LOCATION RATED 3/4" x 1/2" MC CABLE (3/4" ANS + 1/2" GRD) FROM METER CAN ON POLE, THROUGH 2" CONDUIT IN FOUNDATION TO ELECTRIC SERVICE HANDHOLE. COIL 3'-0" OF CONDUIT IN BOX.
- PROVIDE WEATHERPROOF 200 AMP RATED UTILITY COMPANY METER CAN MOUNTED WITHIN EQUIPMENT BASE PER MANUFACTURER'S AND UTILITY COMPANY SPECIFICATIONS. METER GLOBE PROVIDED AND INSTALLED BY UTILITY COMPANY. PROVIDE PHENOLIC NAMEPLATE READING "VERIZON WIRELESS".
- EXTEND DAMP LOCATION RATED 3/4" x 1/2" MC CABLE (3/4" ANS + 1/2" GRD) FROM UTILITY COMPANY METER TO PROPOSED SERVICE ENTRANCE RATED PANELBOARD MOUNTED WITHIN EQUIPMENT BASE.
- PROVIDE AND INSTALL WEATHERPROOF SERVICE ENTRANCE RATED, 120/240 VOLT, 10, 3W, 100 AMP M.C.B. PANELBOARD MOUNTED WITHIN EQUIPMENT BASE. PROVIDE PHENOLIC NAMEPLATE READING, "VERIZON WIRELESS SERVICE DISCONNECT". REFER TO SPECIFICATIONS AND PANEL SCHEDULE SHEET E-2 FOR ADDITIONAL INFORMATION.
- CONTRACTOR SHALL PROVIDE AND INSTALL NECESSARY QUANTITY MASTER LOCK BRASS 4 DIGIT PAD LOCK SET TO STANDARD VERIZON WIRELESS COMBINATION PAD LOCK. SET BE PLACED THROUGH CLASP ON PANELBOARD TO PROHIBIT COVER FROM BEING OPENED. COMBINATION FOR MASTER LOCK IS THE STANDARD VERIZON WIRELESS FOUR DIGIT CODE. CONTRACTOR CANT INSTALL THE COMBINATION LOCK ON THE DISCONNECT UNTIL ALL INSPECTIONS ARE DONE AND FINAL.
- EXTEND DAMP LOCATION RATED MC CABLE (2#12 ANS + #12 GRD) FROM EACH DAMP CIRCUIT BREAKER (TYP OF 3) VERTICALLY UP THROUGH INTERIOR OF POLE TO EACH NOKIA ANTENNA/ASODA RADIO UNIT MOUNTED ON POLE (TYP OF 3). REFER TO PANEL SCHEDULE, SHEET E-2, FOR ADDITIONAL INFORMATION.
- PROPOSED INCOMING FIBER CONDUIT TO FIBER HANDHOLE (PROVIDED AND INSTALLED BY OTHERS) FOR EXTENSION OF VERIZON FIBER.
- PROVIDE 24"x36"x30" DEEP JUNCTION BOX FOR EXTENSION OF TELEPHONE SERVICE CABLES. JUNCTION BOX SHALL BE COMPOSITE QUARTZITE CAT. #R52436BB OR AN APPROVED EQUAL. PROVIDE 6" OF FEA GRAVEL IN BASE OF BOX. COORDINATE PULLBOX REQUIREMENTS/LOCATION WITH UTILITY COMPANY IN THE FIELD.
- VERIZON LANDLINE PROVIDED AND INSTALLED OPTISHEATH MULTIPORT TERMINAL MOUNTED WITHIN FIBER HANDHOLE.
- CONTRACTOR SHALL EXTEND ONE (1) 2" SCHEDULE 40 PVC CONDUIT FROM FIBER HANDHOLE TO POLE BASE FOR EXTENSION OF INCOMING VERIZON FIBER.
- EXTEND NECESSARY 12-STRAND FIBER JUMPER FROM POLE BASE VERTICALLY UP THROUGH INTERIOR OF POLE TO FIBER SECTION IN PANELBOARD MOUNTED WITHIN EQUIPMENT BASE.
- EXTEND NECESSARY FIBER PAIRS FROM FIBER SECTION IN PANELBOARD VERTICALLY UP THROUGH INTERIOR OF POLE TO EACH NOKIA ANTENNA/ASODA RADIO UNIT MOUNTED ON POLE.
- PROVIDE 3/4" SCHEDULE 40 PVC SLEEVE FOR EXTENSION OF GROUND CONDUCTOR. REFER TO GROUNDING DETAILS, SHEET E-4 FOR ADDITIONAL INFORMATION.
- EXTEND ONE (1) WEATHERPROOF RATED CAT 5E CABLE FROM EACH ASODA AND TERMINATE AT RJ45 FEMALE CONNECTOR WITHIN FIBER SECTION OF PANELBOARD. EACH CAT 5E CABLE MUST BE LABELED (TYP OF 3). REFER TO FIBER DIAGRAM, SHEET E-5.
- VERIZON WIRELESS PROVIDED, CONTRACTOR INSTALLED NOKIA ANTENNA/RADIO UNIT MOUNTED ON POLE.
- VERIZON WIRELESS PROVIDED, CONTRACTOR INSTALLED NOKIA ASODA MOUNTED BEHIND NOKIA ANTENNA/RADIO UNIT ON POLE.
- NEVER LOCATE NOKIA ELECTRICAL CONDUCTORS BEING EXTENDED VERTICALLY UP INSIDE OF POLE TO SERVE NOKIA RADIOS SHALL BE DAMP LOCATION RATED CONDUCTORS (TYP OF 3).
- CONTRACTOR SHALL REFER TO LATEST EDITION OF VDN FIBER DESIGN STANDARDS FOR FIBER QUANTITIES, ETC.
- VERIZON CONTRACTOR SHALL COORDINATE FINAL AVAILABLE SERVICE CHARACTERISTICS (VOLTAGE, PHASE, ETC.) WITH UTILITY COMPANY PRIOR TO START OF WORK. PREFERRED VOLTAGE IS: 120/240V, 1Ø, ACCEPTABLE VOLTAGE IS: 120/208V, 1Ø.
- LINE SIDE CONDUIT MUST BE GREY 2" PVC AND EXTEND FROM ELECTRICAL PULL BOX TO METER CAN. CONDUIT MUST NOT CONTAIN "LB" FITTINGS ON LINE SIDE AND CAN NOT ENTER REAR OR SIDE OF METER CAN. CONDUIT MUST ENTER BOTTOM OF METER CAN.



DETAIL - JUNCTION BOX
NO SCALE

0 1 2 3 4 5 6 7 8 9 10 11
SCALE: 1/4" = 1'-0"

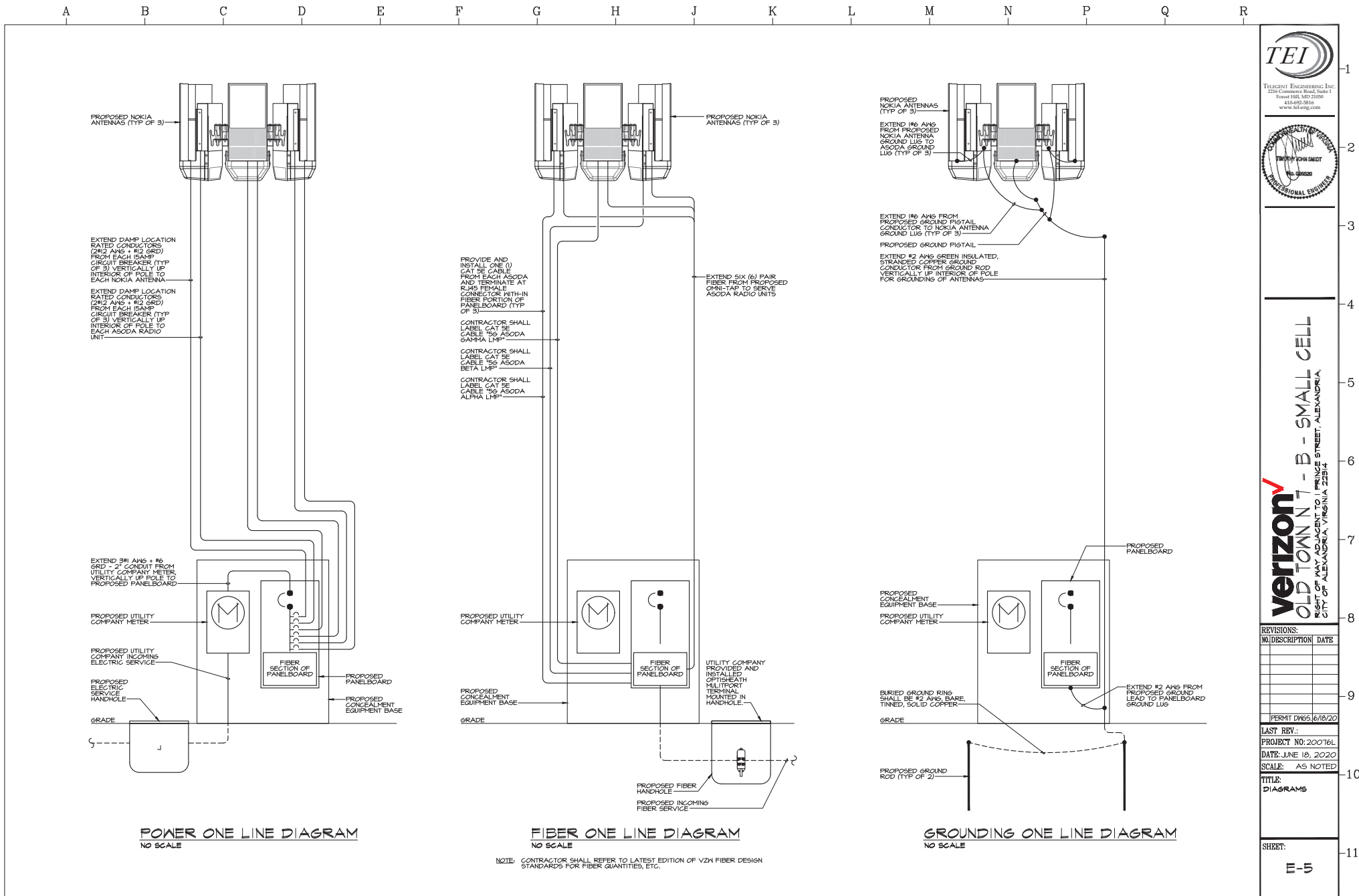


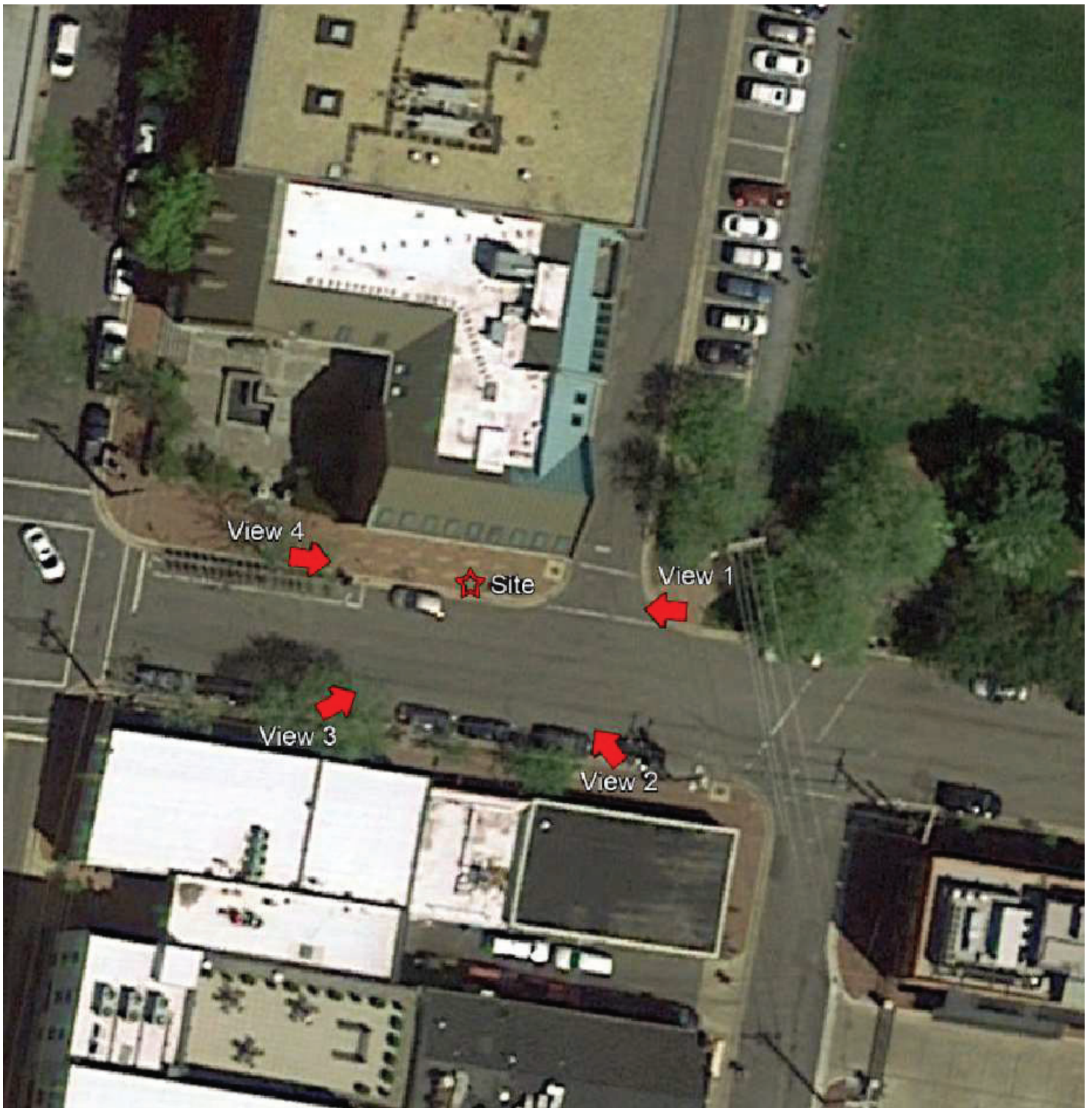
verizon
OLD TOWN N7 - B - SMALL CELL
RIGHT OF WAY ADJACENT TO 1 PRINCE STREET, ALEXANDRIA
CITY OF ALEXANDRIA, VIRGINIA 22304

REVISIONS:	NO.	DESCRIPTION	DATE
PERMIT DWG	16/18/20		
LAST REV.:	PROJECT NO:	200716L	
DATE:	JUNE 18, 2020		
SCALE:	AS NOTED		
TITLE:	POWER PLAN, POWER RISER, DETAILS, AND NOTES		

SHEET:
E-3

TEI#200716L





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Old Town N7 Overall Site Layout

17 April 2020





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Old Town N7 Existing View 1

17 April 2020





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Old Town N7 Proposed View 1

17 April 2020





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Old Town N7 Existing View 2

17 April 2020





PROPOSED VERIZON
WIRELESS ANTENNAS
COLORED BLACK

NEW POLE
PAINTED BLACK



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Old Town N7 Proposed View 2

17 April 2020





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Old Town N7 Existing View 3

17 April 2020





PROPOSED VERIZON
WIRELESS ANTENNAS
COLORED BLACK

NEW LIGHT POLE
PAINTED BLACK



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Old Town N7 Proposed View 3

17 April 2020





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Old Town N7 Existing View 4

17 April 2020





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Old Town N7 Proposed View 4

17 April 2020



From: Woody Morris

Sent: Wednesday, August 26, 2020 2:23 PM

To: 'lia.niebauer@alexandriava.gov' <lia.niebauer@alexandriava.gov>

Cc: Jerry Penso <JPenso@amga.org>

Subject: BAR meeting 9/2/20

Ms. Niebauer,

Attached you will find a notice we just received for a request to install a stand alone structure to support small cell antennas and associated equipment.

I am the CFO of the American Medical Group Association whose building we own is at the location of the proposed installation at 1 Prince Street.

I called Mr Schakola who provided me with the schematics of where this would be and what it would look like. Unfortunately, I don't think we can be silent regarding this issue. As you can tell from the schematic (if you don't have it I can forward) - we already have a lot going on next to our building on that same street. We have the Capital BikeShare rack taking up half the street. We then have a Scooter parking area where the scooters are constantly laying in the roadway. And then the trashcan location is also there. The pole would be directly in our line of sight out of our windows distracting from one of the few remaining views we have of the Potomac down towards the Woodrow Wilson bridge. New power poles have been installed already for the new construction further deteriorating our view along this part of Prince Street. . Not to mention the constant flooding at that corner.

We respectfully request a new location for this equipment be explored and that this request be denied.

Please confirm receipt

Thank you for your consideration



Woody Morris, CPA
Chief Financial Officer
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Alexandria, VA 22314
amga.org

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