

Special Use Permit #2020-00086
222 East Monroe Avenue

Application	General Data	
Public hearing and consideration of a request for a special use permit, with front and side yard modifications, to construct a single-family dwelling on developed, substandard lot.	Planning Commission Hearing:	January 5, 2021
	City Council Hearing:	January 23, 2021
Address: 222 East Monroe Avenue	Zone:	R-2-5/Residential Single and Two-Family
Applicant: Metro Fine Properties, LLC	Small Area Plan:	Potomac West

Staff Recommendation: APPROVAL subject to compliance with all applicable codes, ordinances and the recommended permit conditions found in Section III of this report.

Staff Reviewers: Sam Shelby, sam.shelby@alexandriava.gov
Ann Horowitz, ann.horowitz@alexandriava.gov

PLANNING COMMISSION ACTION, JANUARY 5, 2021:

On a motion by Commissioner Koenig, and seconded by Vice Chair McMahon, the Planning Commission voted to recommend approval of SUP #2020-00086, subject to all applicable codes, ordinances, and staff recommendations. The motion carried on a vote of 7 to 0.

Reason: The Planning Commission agreed with staff analysis.

Chair Macek stated that, although circumstances of the demolition may not be entirely clear, the pertinent commission review relates to the compatibility of the proposed dwelling with neighborhood character. He viewed the request as consistent with the neighborhood and stated his support. Commissioner Koenig concurred with Chair Macek's comments and expressed his support.

Commissioner Brown recognized that the previous one-story dwelling was generally compatible in height with the neighborhood and the proposed dwelling's height would be consistent with other homes on the block. On balance, he supported the request. Additionally, he noted that foundation stability issues are not unexpected in older homes, such as the previous dwelling which was constructed in 1925.

The chair asked staff to respond to Mr. Ryan's question on timing for the redevelopment of the new dwelling. Staff responded that the building permit for the original by-right construction was issued in April and the Stop Work Order, related to the demolition of the existing dwelling, was

posted in June. As construction could no longer proceed as by-right, staff informed it that SUP approval to proceed was required. The applicant subsequently submitted an SUP on October 13. With that submission date, the case was docketed for the corresponding hearing dates in January.

Speakers:

Rod Kuckro, representing the Del Ray Citizens' Association, confirmed that the association did not support the SUP request given that the applicant intentionally demolished the existing home when it did not have a permit to do so. He also mentioned that the staff report did not include the comments from the association.

George Powers, applicant, stated that his company intended to save the requisite portion of the house, however, as construction began, the foundation collapsed and the entire house required demolition. A portion of the proposed new dwelling would be constructed within the first-floor footprint of the demolished building.

James Pearce, 224 East Monroe Avenue, as the next-door neighbor, expressed support for the application as the proposal was consistent with the neighborhood and would be an improvement over what had been the existing home.

Chas Ryan, 227 East Mason Drive, stated support for the application, noting the improvement to the neighborhood. He asked for an explanation on construction delays.



I. DISCUSSION

The applicant, Metro Fine Properties LLC, requests Special Use Permit (SUP) approval, with front and side yard modifications, to construct a single-family dwelling on a developed, substandard lot at 222 East Monroe Avenue. The existing lot is substandard as it does not meet the R-2-5 zone's minimum lot width requirement.

SITE DESCRIPTION

The Zoning Ordinance classifies the subject property as a developed, substandard, lot of record. The address is 222 East Monroe Avenue. It has 40.0 feet of frontage along East Monroe Avenue and has a lot size of 2,691 square feet. The subject property is relatively flat. Single-family and townhouse dwellings immediately surround the subject property. A one-story bungalow style dwelling used to occupy the subject property. It had a footprint of approximately 995 square feet and contained approximately 2,775 square feet of gross floor area. Currently, only the dwelling's foundation remains.



Figure 1 - Subject Property (dwelling pictured was demolished)

BACKGROUND

City Real Estate Assessment records indicate the house was constructed in 1925. On April 14, 2020, the applicant submitted a building permit to construct a two-story addition to the existing dwelling. Planning and Zoning staff approved the permit on April 24, 2020. Department of Code Administration staff subsequently conducted inspections and discovered that the existing first-

floor level had been demolished, outside the scope of work approved by the building permit. Code staff issued a notice of violation on June 26, 2020. The notice directed the applicant to stop work and to submit revisions to the building permit to include the demolition. Upon review, Planning and Zoning staff determined that because the subject property is substandard, Zoning Ordinance section 12-900 applies and states that redevelopment of a substandard lot is subject to the following:

(A) *Addition*. An expansion of a residential dwelling on a substandard lot is permitted subject to the following standards.

- (1) Construction complies with the requirements of section 12-102(A);
- (2) At least 50 percent of the existing first floor exterior walls in their entirety (measured in linear feet) must remain as adjoining exterior walls. The determination of first floor exterior walls is that the walls must have its finished floor surface entirely above grade.

(B) *Replacement*. Demolition and replacement of a same-size residential dwelling on a substandard lot is permitted subject to the following standards, regardless of the provisions of section 12-102(B):

- (1) Construction shall not exceed the pre-existing gross floor area by more than ten percent, with gross floor area defined as the floor area of section 2-145(A) without any exclusions; and
- (2) Construction shall not exceed the height of the pre-existing dwelling.

(C) *Redevelopment*. A residential dwelling not meeting the standards of section 12-901(A) or (B) above is subject to the following provisions:

- (1) A special use permit is granted under the provisions of section 11-500; and
- (2) City council, upon consideration of the special use permit, finds that the proposed development will be compatible with the existing neighborhood character in terms of bulk, height and design.

Staff determined that, because of the demolition of the first floor, the subject property would not be eligible for the previously approved addition pursuant to 12-901(A). Staff communicated to the applicant that the demolished dwelling could be replaced pursuant to 12-901(B) or that SUP approval would be required pursuant to section 12-901(C). The applicant elected to apply for SUP approval.

PROPOSAL

The applicant requests SUP approval with west side and front yard modifications to construct a two-story dwelling. It would have 2,306 square feet of net floor area and would measure 25.5 feet in height from average pre-construction grade to the midpoint of the dwelling's gable roof.

The applicant's proposed design would exhibit a mix of styles. The design would include mostly Craftsman-inspired elements including three-over-one window muntin configurations, extended

eave overhangs, shed dormers and an asymmetrical façade. Figure two, below, shows the proposed elevations.

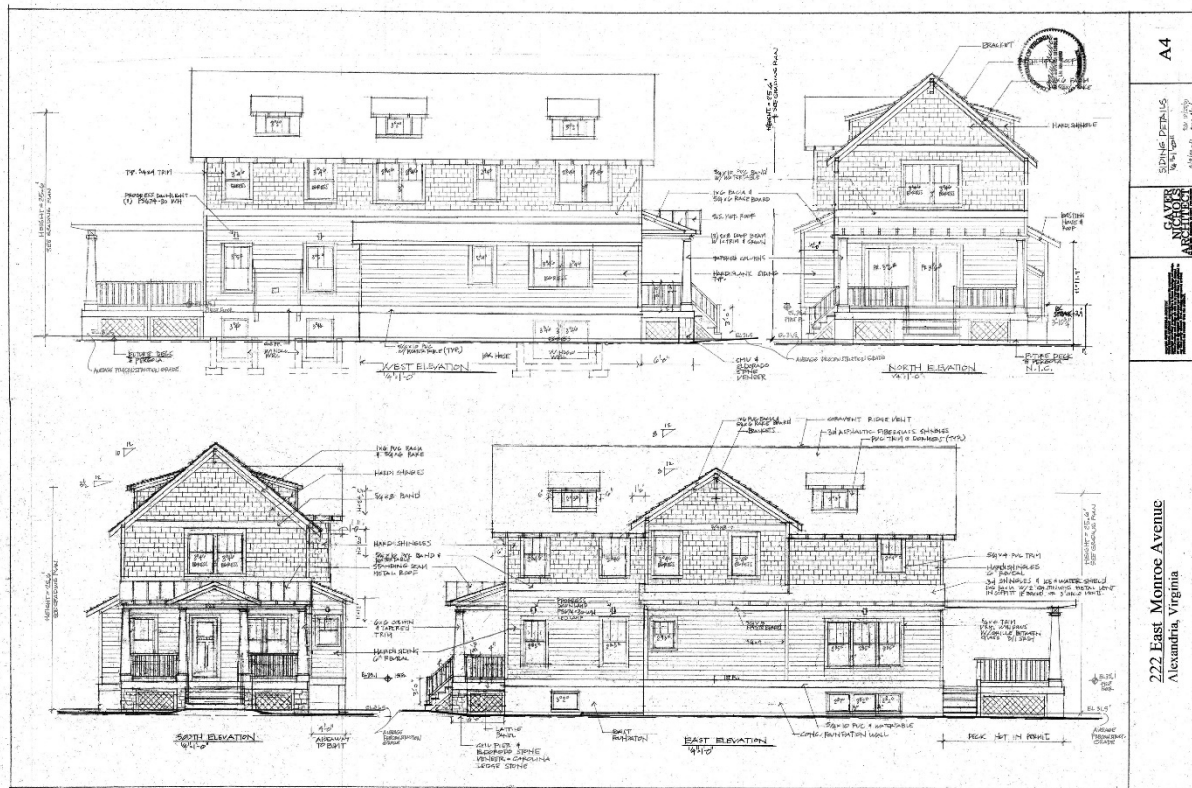
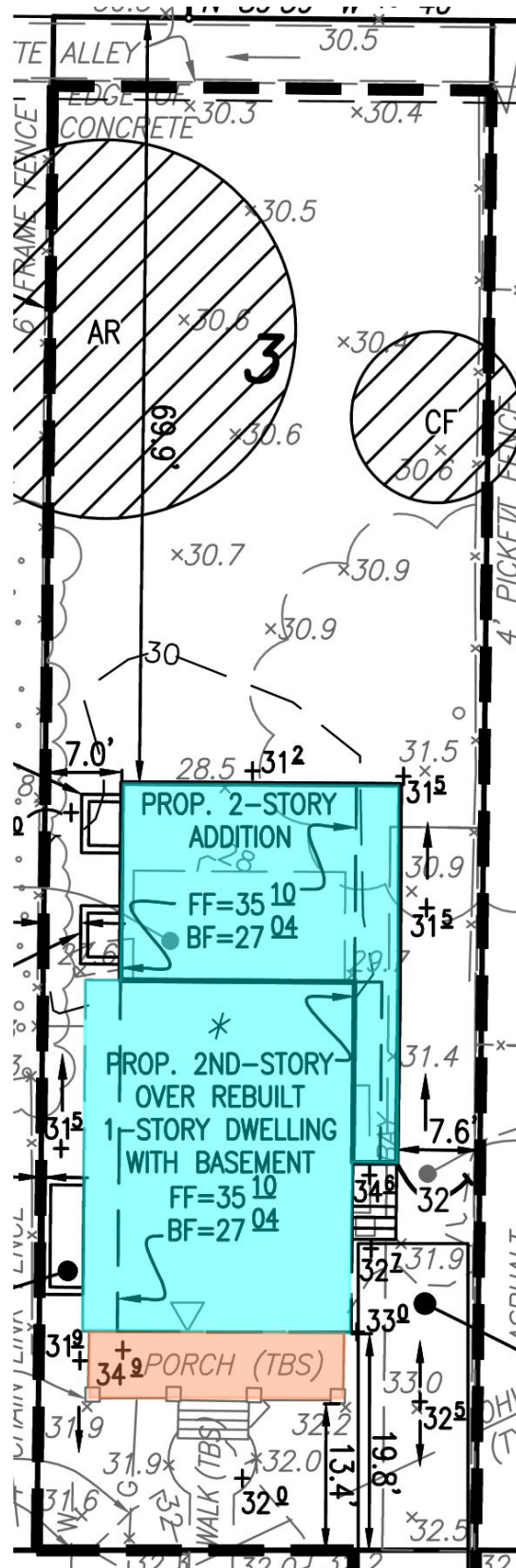


Figure 2 - Proposed Elevations

The dwelling would measure approximately 50 by 26 feet with a footprint of about 1,300 square feet. It would provide a front yard of 19.8 feet; east and west side yards of 7.6 and 3.9 feet, respectively, and a rear yard of 69.9 feet. Figure three, below, shows the proposed site plan.



PARKING

Zoning Ordinance section 8-200(A)(1) requires two off-street parking spaces for a single-family dwelling. The applicant would remove portions of the existing driveway, leaving space for two cars parked in a tandem arrangement.

ZONING

The subject property is zoned R-2-5/Residential Single and Two-Family. For single-family dwellings, the R-2-5 zone requires a minimum lot width of 50 feet. The subject property provides only 40 feet of lot width. Zoning Ordinance section 12-901 classifies the subject property as a substandard lot because it does not provide the R-2-5 zone's lot minimum lot width requirement.

Because the subject property is substandard and is developed with a dwelling, Zoning Ordinance sections 12-900 and 12-901 apply. These sections set requirements for the expansion, replacement or redevelopment of a developed substandard lot. Because the applicant proposes redevelopment, Zoning Ordinance section 12-901(C) applies and requires SUP approval. This section states that "City Council, upon consideration of the special use permit, finds that the proposed development will be compatible with the existing neighborhood character in terms of bulk, height and design." The Infill Task Force created this section in 2008. Task Force members were concerned about demolition and reconstruction on substandard lots. They felt that the Zoning Ordinance did not sufficiently protect established neighborhood character from incompatible new dwellings. Staff experience with substandard lot SUPs shows that the additional public input on these requests is valuable.

The existing lot and proposed dwelling would meet all R-2-5 zoning requirements besides lot width and west side and front yards.

The following table provides a summary of all zoning regulations as they pertain to the subject property and proposed dwelling:

Table 1 – Zoning Analysis

	Required/Permitted	Provided /Proposed
Lot Area	5,000 Sq. Ft.	5,591 Sq. Ft.
Lot Width	50 Ft.	40.0 Ft.
Lot Frontage	40 Ft.	40.0 Ft.
Front Yard	7.4 (minimum) 7.6 (maximum)	19.8 Ft. (wall)* 13.4 (porch)
Side Yard (East)	7 Ft. (1:3 height to setback ratio, 7 Ft. min.)	3.9 Ft.*
Side Yard (West)	7 Ft. (1:3 height to setback ratio, 7 Ft. min.)	7.6 Ft.
Rear Yard	25.9 Ft. (1:1 height to setback ratio, 7 Ft. min.)	69.9 Ft.
Net Floor Area	2,516 Sq. Ft. 0.45 Floor Area Ratio (FAR)	2,305 Sq. Ft. 0.41 FAR
Maximum Height	30 Ft.	25.6 Ft.
Maximum Threshold Height	2.5 Ft.	2.5 Ft.

*modifications requested

MASTER PLAN DESIGNATION

The proposed single-family residential use is consistent with the Potomac West Small Area Plan which designates this area for low-density residential development.

II. STAFF ANALYSIS

Staff supports the applicant's proposal to develop this substandard lot with a new two-story dwelling and for modifications to the side and front yard setbacks. As required by Zoning Ordinance section 12-901(C), the proposed dwelling would be compatible with the existing neighborhood in terms of height, bulk and design.

Height

Staff found the proposed height to be compatible with neighborhood character in terms of height. In this case, the contextual block face only includes the properties at 220 and 224 East Monroe Avenue. The height of the dwellings on these properties is shown in Table two, below.

Table 2 – Dwelling heights

220 East Monroe Avenue	14.3 Ft.
<i>Average</i>	<i>20.0 Ft.</i>
224 East Monroe Avenue	25.6 Ft.
<i>Proposed Dwelling</i>	<i>25.6 Ft.</i>

Despite the height difference between the proposed dwelling and the adjacent dwelling at 220 East Monroe Avenue, staff finds that the height of the proposed dwelling would be compatible with the existing neighborhood. The block surrounding the subject property contains a mix of single and two-story dwellings. In addition to matching the height of the adjacent dwelling at 224 East Monroe Avenue, the proposed height would also match the height of the two-story townhouse dwellings across the street, all of which are approximately 25 feet tall. At 25.6 feet, the proposed dwelling would also be 4.4 feet below the maximum height permitted by the R-2-5 zone of 30 feet.

Bulk

The applicant's proposal would be compatible with neighborhood character in terms of bulk. Again, although the proposed dwelling would be larger than its neighbor at 220 East Monroe, the surrounding neighborhood contains many larger dwellings. Figures four and five show these larger dwellings along East Monroe Avenue.



Figure 4 - 224 (left) and 208 (right) East Monroe Avenue



Figure 5 - 212 East Monroe Avenue

Although the bulk of the dwelling's two-story portion would provide setbacks in excess of those required, having the two-story mass of the dwelling further from the lot lines would help to reduce its visual impact. The proposed dwelling would also appear less bulky due to the applicant's design. Staff's analysis of the bulk-related design considerations follows in the next section. Last, with 2,305 square feet of net floor area, the proposed dwelling would be 211 square feet below the maximum floor area permitted by the R-2-5 zone.

Design

Staff found the proposed design to be compatible with established neighborhood character. Del Ray contains a wide range of dwelling designs with many expressing Craftsman-style features. The block surrounding the subject property contains a variety of one and two-story bungalow and vernacular houses. The proposed dwelling would include many character-defining features found in Craftsman-style dwellings. The proposed dwelling's design would feature varied massing which would help to mask the bulk of its two-story portion. Figure six below, shows the proposed front and east side elevations. The shading is meant to show the varied massing proposed.

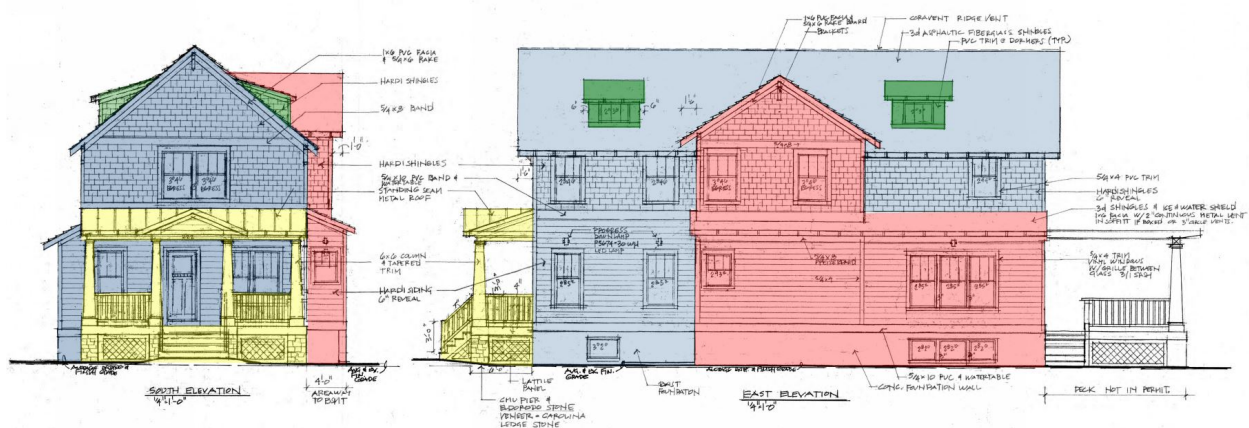


Figure 6 - Varied Massing of Proposed Dwelling

The front porch would reinforce the connection between the dwelling to the street; mimicking the design of many other dwellings along the block which also feature front porches.

Modifications

The applicant has requested modifications from the required front and west side yards. Pursuant to Zoning Ordinance section 11-416, these modifications are necessary or desirable for good site development, that the site design would make up for potential impacts and that they will not be detrimental to neighboring property. Staff found that these modifications would meet these standards. Further analysis follows.

The R-2-5 zone would require a front yard between just 7.4 and 7.6 feet for the subject property. This front yard requirement is based on the setbacks provided by the two adjacent dwellings at 220 and 224 East Monroe Avenue. The proposed dwelling would provide a front yard of 19.8 feet as measured from its front building wall. Its front porch would provide a front yard of 13.6 feet. The

proposed front porch would be nearly in line with the front building walls of the immediately neighboring dwellings, reducing the visual impact of the larger, proposed front yard.

Staff found that although the immediately neighboring dwellings provide very small front yards, many other dwellings and buildings along East Monroe Avenue provide larger front yards. The requested front yard modification would be compatible with this neighborhood development pattern. The requested front yard modification would also be desirable to keep the bulk of the dwelling further from the street and would not be impactful to neighborhood character. Further, because the proposed modification would allow for the new dwelling and its front porch to provide the same front yard that the demolished dwelling and porch did, it would not be detrimental to neighboring property.

The one-story portion of the proposed dwelling's west elevation would provide a side yard of 3.9 feet. The second-story portion of the proposed dwelling is setback seven feet from the property line. The R-2-5 zone requires a minimum side yard of seven feet. Again, this first-floor portion would provide the same west side yard that the demolished dwelling did. Because the replaced portion would be the same size and height within the required west side yard, staff supports this requested modification. Many of the dwellings along East Monroe Avenue provide at least one noncomplying side yard because of the narrowness of their lots. As such, the requested side yard modification would be compatible with the surrounding neighborhood and would not be detrimental. The subject property's narrowness also presents a challenge to desirable site design. If the applicant provided a complying west side yard, the proposed dwelling would be narrower and deeper. This would reduce the size of its rear yard which is a desirable feature of the proposal.

Additional Considerations

Staff notified the Del Ray Citizens' Association of the proposal but has not yet received written comments.

According to the grading plan submitted by the applicant, a river birch tree in the rear yard was damaged during excavation. This tree provided 9.6 percent canopy coverage. Staff has included Condition #2 which would require the applicant to provide 25 percent canopy coverage pursuant to the City's Landscape Guidelines. Transportation and Environmental Services staff has also included standard conditions #4 through #6,

CONCLUSION

Staff found that the proposed dwelling's height, bulk and design would be compatible with the established neighborhood character. Staff further found that the requested modifications meet required standards for approval. Subject to the conditions contained in Section III of this report, staff recommends approval of the SUP request.

III. RECOMMENDED CONDITIONS

Staff recommends **approval** subject to compliance with all applicable codes and ordinances, and the following conditions:

1. The dwelling's bulk, height and design shall be substantially consistent with the application materials submitted October 28, 2020 to the satisfaction of the Director of Planning and Zoning. (P&Z)
2. A minimum 25 percent canopy coverage shall be provided. (P&Z)
3. Applicant shall be responsible for repairs to the adjacent City right-of-way if damaged during construction activity. (T&ES)
4. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
5. No vehicles associated with this project shall be permitted to idle for more than 5 minutes when parked in the immediate vicinity of this project. This includes a prohibition on idling for longer than 5 minutes in the loading dock area. The applicant shall post a minimum of two no idling for greater than 5 minutes signs in the loading dock area in plain view. (T&ES)
6. If fireplaces are utilized in the development, the applicant is required to install gas fireplaces to reduce air pollution and odors. Animal screens must be installed on chimneys. (T&ES)

STAFF: Sam Shelby, Urban Planner, Department of Planning and Zoning
Ann Horowitz, Principal Planner, Department of Planning and Zoning
Tony LaColla, AICP, Division Chief, Department of Planning and Zoning

Staff Note: In accordance with section 11-506(c) of the Zoning Ordinance, construction or operation shall be commenced and diligently and substantially pursued within 36 months of the date of granting of a special use permit by City Council or the special use permit shall become void.

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Transportation & Environmental Services:

- F-1 SWM and Traffic Engineering have no comments.
- R-1 Applicant shall be responsible for repairs to the adjacent City right-of-way if damaged during construction activity. (T&ES)
- R-2 2No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- R-3 No vehicles associated with this project shall be permitted to idle for more than 5 minutes when parked in the immediate vicinity of this project. This includes a prohibition on idling for longer than 5 minutes in the loading dock area. The applicant shall post a minimum of two no idling for greater than 5 minutes signs in the loading dock area in plain view. (T&ES)
- R-4 If fireplaces are utilized in the development, the applicant is required to install gas fireplaces to reduce air pollution and odors. Animal screens must be installed on chimneys. (T&ES)
- C-1 A GRADING PLAN showing all improvements and alterations to the site shall be required prior to any land disturbing activities and must be approved prior to issuance of a building permit. (5-6-224) (T&ES)
- C-2 New curb cuts require separate approval from the City. (Sec. 5-2-14) (T&ES)
- C-3 An erosion and sediment control plan must be approved by T&ES prior to any land disturbing activity greater than 2500 square feet subject to the Exceptions described in Section 5-4-5. An erosion and sediment control bond shall be posted prior to release of the grading plan. (Sec.5-4-1.1) (T&ES)
- C-4 The applicant shall comply with the provisions of Article XIII Environmental Management Ordinance of the City of Alexandria. (T&ES)
- C-5 All improvements to the City right-of-way such as curbing, sidewalk, driveway aprons, etc. must be City standard design. (Sec.5-2-1) (T&ES)
- C-6 Flow from downspouts, foundation drains, and sump pumps shall be discharged to the storm sewer per the requirements of Memorandum to Industry 05-14 that is available on the City of Alexandria's web site. The downspouts and sump pump discharges shall be piped to the storm sewer outfall, where applicable per the requirements of Article XIII of

Alexandria Zoning Ordinance (AZO). Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224)

- C-7 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-8 Pay sanitary sewer connection fee prior to release of Grading Plan. (Sec. 5-6-25) (T&ES)
- C-9 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-361) (T&ES)
- C-10 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

Code Enforcement:

- C-1 A building permit and plan review are required prior to the start of construction.

Recreation, Parks and Cultural Activities:

- F-1 Plan will not negatively impact City owned trees.

Police Department:

No comments received.

Fire Department:

No comments or concerns.



APPLICATION

SPECIAL USE PERMIT

SPECIAL USE PERMIT # SUP2020-00086

PROPERTY LOCATION: 222 E Monroe Avenue 22301

TAX MAP REFERENCE: 043.02-05-16 **ZONE:** R-2-5

APPLICANT:

Name: Metro Fine Properties LLC

Address: 9115 digital dr. unit 12 manassas park va 20111

PROPOSED USE: we want to build the project we had permitted prior to foundation issues from the rain storms this summer

- ☒ THE UNDERSIGNED, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 4-11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- ☒ THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.
- ☒ THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.
- ☒ THE UNDERSIGNED, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

justin powers

Print Name of Applicant or Agent

9115 digital dr unit 12 manassas park va 20111

Mailing/Street Address

manassas park va 20111

City and State

Zip Code

DocuSigned by:

justin powers
7257213B040A4C4...

10/13/2020

Date

5712207790

Telephone #

Fax #

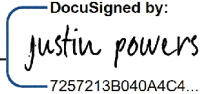
justin@rosemontrealestate.com

Email address

PROPERTY OWNER'S AUTHORIZATION

As the property owner of Owner is applicant 222 E Monroe Ave, I hereby
(Property Address)

grant the applicant authorization to apply for the _____ use as
(use)
described in this application.

Name: justin powers Phone: 5712207790
Please Print
Address: _____ Email: justin@rosemontrealestate.com
Signature:  Date: 10/13/2020
7257213B040A4C4...

- 1.** Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.

☐ **Required floor plan and plot/site plan attached.**

☐ **Requesting a waiver. See attached written request.**

- 2.** The applicant is the (check one):

☒ Owner
☐ Contract Purchaser
☐ Lessee or
☐ Other: _____ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent.

Metro Fine Properties is owned by Nick and Justin Powers!

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. justin powers	Both addresses...9115 digital dr. unit 12	50%
2. Nick Powers	manassas park va 20111	50%
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 222 E monroe ave (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. justin powers	both addresses...9115 digital dr unit 12	50%
2. Nick Powers	manassas park va 20111	50%
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose **any** business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. xxxxxx none justin powers	none	none
2. Nick Powers	none	none
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

10/13/2020

justin powers

Date

Printed Name

DocuSigned by:
justin powers
7257213B040A4C4...

Signature

If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

☐ **Yes.** Provide proof of current City business license

☐ **No.** The agent shall obtain a business license prior to filing application, if required by the City Code.

NARRATIVE DESCRIPTION

3. The applicant shall describe below the nature of the request **in detail** so that the Planning Commission and City Council can understand the nature of the operation and the use. The description should fully discuss the nature of the activity. (Attach additional sheets if necessary.)

~~We had a permit set of plans and were in construction phase...the house was shored up n we were ready for footing inspections when multiple rainstorms caused hydro static pressure from the water against the foundation which caused the foundation we were fixing to fail which caused existing building load travel path to fail which caused a life safety issue for us to take the house down...We had two structural and soil engineers to review the situation and submitted this to the city...we also understood it may trigger a grading plan but were told we would not need an SUP but upon grading plan approval we were told we now need SUP permit~~

[illegible]

USE CHARACTERISTICS

4. The proposed special use permit request is for (*check one*):

☐ a new use requiring a special use permit,

☐ an expansion or change to an existing use without a special use permit,

☐ an expansion or change to an existing use with a special use permit,

☐ other. Please describe: ~~we already had plans approve and want to~~
~~build what was already approved before we had~~
~~to demo more than we anticipated~~

5. Please describe the capacity of the proposed use:

A. How many patrons, clients, pupils and other such users do you expect?
 Specify time period (i.e., day, hour, or shift).

~~this is for a residential home~~

B. How many employees, staff and other personnel do you expect?
 Specify time period (i.e., day, hour, or shift).

~~this is a residential home~~

6. Please describe the proposed hours and days of operation of the proposed use:

Day:

~~this is a residential~~
~~home to live in~~

Hours:

7. Please describe any potential noise emanating from the proposed use.

A. Describe the noise levels anticipated from all mechanical equipment and patrons.

~~typical residential house per our plans~~

B. How will the noise be controlled?

~~construction during normal~~
~~construction hours~~

- 8.** Describe any potential odors emanating from the proposed use and plans to control them:

typical residential home up to code to be
finished

- 9.** Please provide information regarding trash and litter generated by the use.

- A. What type of trash and garbage will be generated by the use? (i.e. office paper, food wrappers)

when owner lives here normal
trash

- B. How much trash and garbage will be generated by the use? (i.e. # of bags or pounds per day or per week)

each trade will have trash and job
site will have a dumpster on site

- C. How often will trash be collected?

every 1-2 weeks

- D. How will you prevent littering on the property, streets and nearby properties?

dumpster, will clean job site constantly

- 10.** Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

☐ Yes. ☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

- 11.** Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

☐ Yes. ☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

- 12.** What methods are proposed to ensure the safety of nearby residents, employees and patrons?

we will build a proper house and will be
inspected by the city

ALCOHOL SALES

13.

- A. Will the proposed use include the sale of beer, wine, or mixed drinks?

☐ Yes ☒ No

If yes, describe existing (if applicable) and proposed alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales.

PARKING AND ACCESS REQUIREMENTS

14. A. How many parking spaces of each type are provided for the proposed use:

_____ x _____ Standard spaces
 _____ Compact spaces
 _____ Handicapped accessible spaces.
 _____ Other.

<p>Planning and Zoning Staff Only</p> <p>Required number of spaces for use per Zoning Ordinance Section 8-200A _____</p> <p>Does the application meet the requirement? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>
--

- B. Where is required parking located? (*check one*)

☒ on-site

☐ off-site

If the required parking will be located off-site, where will it be located?

PLEASE NOTE: Pursuant to Section 8-200 (C) of the Zoning Ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

- C. If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) or (5) of the Zoning Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

☐ **Parking reduction requested; see attached supplemental form**

15. Please provide information regarding loading and unloading facilities for the use:

- A. How many loading spaces are available for the use? xxxxxx ¹⁻²

<p>Planning and Zoning Staff Only</p> <p>Required number of loading spaces for use per Zoning Ordinance Section 8-200 _____</p> <p>Does the application meet the requirement? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>

B. Where are off-street loading facilities located? _____

C. During what hours of the day do you expect loading/unloading operations to occur?
during business hours

D. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?

maybe once a week during construction

16. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

no

SITE CHARACTERISTICS

17. Will the proposed uses be located in an existing building? ☒ Yes ☐ No

Do you propose to construct an addition to the building? ☒ Yes ☐ No

How large will the addition be? ⁵⁸⁹ _____ square feet.

18. What will the total area occupied by the proposed use be?

²⁷²⁵ _____ sq. ft. (existing) + ⁵⁸⁹ _____ sq. ft. (addition if any) = ³³¹⁴ _____ sq. ft. (total)

19. The proposed use is located in: (check one)

☐ a stand alone building

☒ a house located in a residential zone

☐ a warehouse

☐ a shopping center. Please provide name of the center: _____

☐ an office building. Please provide name of the building: _____

☐ other. Please describe: _____

End of Application



Department of Planning & Zoning Special Use Permit Application Checklist

Supplemental application for the following uses:

- ☐ Automobile Oriented
- ☐ Parking Reduction
- ☐ Restaurant
- ☐ Child Care
- ☐ Signs
- ☒ Substandard Lot
- ☐ Lot modifications requested with SUP use

Interior Floor Plan

- ☒ Include labels to indicate the use of the space (doors, windows, seats, tables, counters, equipment)

If Applicable

- ☒ Plan for outdoor uses

Contextual site image

- ☒ Show subject site, on-site parking area, surrounding buildings, cross streets



Department of Planning & Zoning
Supplemental Special Use Permit Application Checklist
New Development or Redevelopment of Substandard Lots

Floor Area Ratio Worksheet:

- ☒ Existing Building
- ☒ Proposed Building

Contextual Blockface Study:

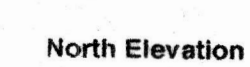
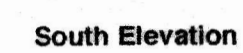
- ☒ Threshold heights for each property
- ☒ Front setbacks for each property
- ☒ Building heights for each property
- *Contact staff to confirm contextual blockface*
- ☒ Photos of comparison buildings on both sides of the block
- ☒ Site plan of immediate area showing comparison buildings and adjacent streets
- ☒ Plat submitted to scale showing existing building(s)
- ☒ Existing trees and trees proposed for removal – include caliper and tree species

Elevation drawings to scale with dimensions for:

- ☒ Height of existing building
- ☒ Proposed building design including dimensions for setbacks and heights

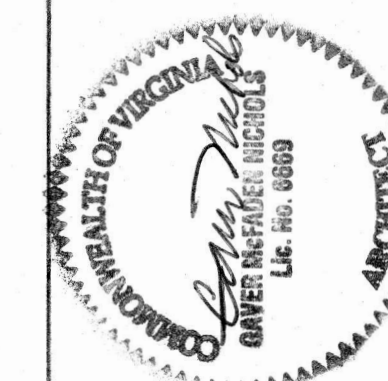
Scaled plans with dimensions for:

- ☒ Floor plans for each floor of proposed building, including basement and attic
- ☒ Roof truss section



222 East Monroe Avenue
Alexandria, Virginia

222 East Monroe Avenue
Alexandria, Virginia



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GAVR
NICHOLS
ARCHITECTS

COVER SHEET

4/20/20

A

**ROBERT N. RUST
SUBDIVISION
LOT 5**

**N/F
DANIELS**

**LOT 3
5,591 S.F.**

LOT 2

LOT 4

EAST MONROE AVENUE

15' SEWER RIGHT OF WAY

10' ALLEY

S89°39'00"E 40.00'

139.94'

3' WOOD FENCE

3' WOOD FENCE

139.60'

WOOD DECK

10.0'

19.3'

1.5 STORY FRAME HOUSE #222 (POSTED)

4.3'

10.0'

0.9'

CHAM LINK FENCE

N00°29'00"E

32.5'

32.5'

4.5'

24.5'

PORCH

CONC WALK

20.5'

6" PLASTIC FENCE

ASPHALT DRIVEWAY

ASPHALT DRIVEWAY

S89°51'30"W 40.00'

199.00' TO INTX. OF MT. VERNON AVENUE

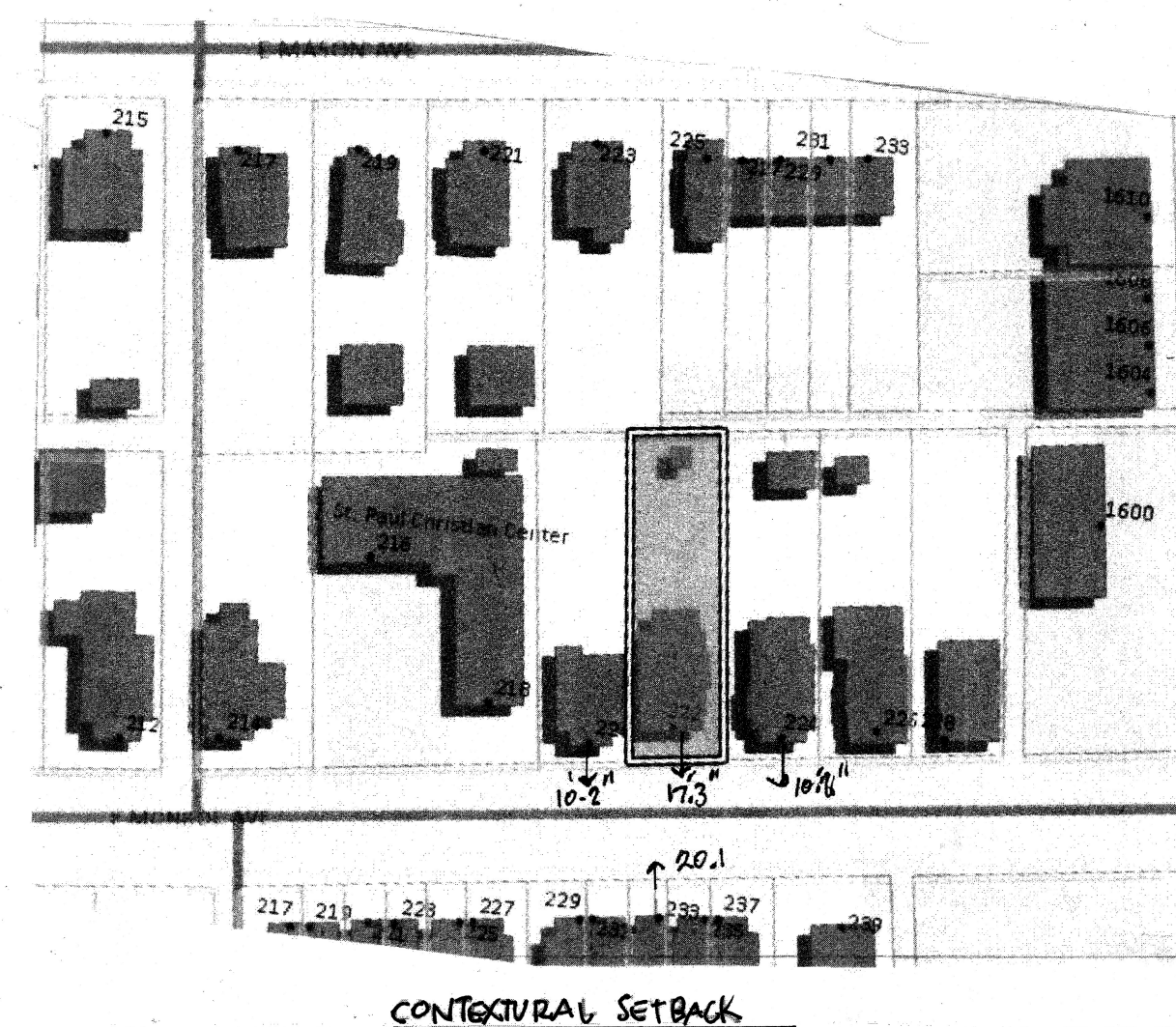
OVERHEAD WIRES

CONC WALK

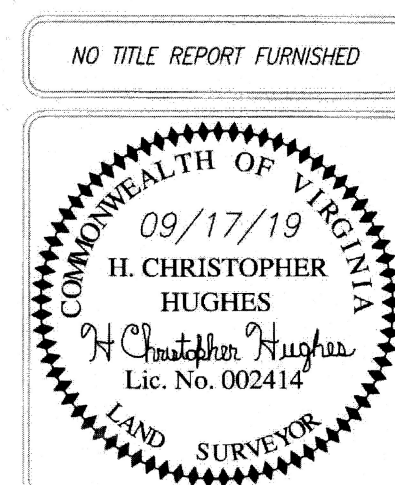
UTILITY POLE

OVERHEAD WIRES

50' R/W




1) THIS PROPERTY IS SHOWN ON CITY OF ALEXANDRIA TAX ASSESSMENT MAP NO. 043.02-05-16.
2) THE IMPROVEMENTS DELINEATED HEREON FALL ENTIRELY WITHIN ZONE "X" (AREAS OF MINIMAL FLOOD HAZARD) AS SHOWN ON ANNUAL FLOOD INSURANCE RATE MAP #65155-19-00332 DATED JUNE 16, 2011.
3) THE IMPROVEMENTS SHOWN HEREON HAVE BEEN EXAMINED AND MODIFIED BY A CURRENT SURVEY USING MODERN SURVEY METHODS AND UNLESS OTHERWISE SHOWN, THERE ARE NO CONFLICTS OR ENCROACHMENTS.
4) FENCES SHOWN, IF ANY, ARE FOR INFORMATION ONLY AND DO NOT REFLECT OWNERSHIP.
5) NO TITLE REPORT FURNISHED, EASEMENTS MAY EXIST WHICH ARE NOT SHOWN HEREON.
6) I.P.F. DENOTES IRON PIN FOUND.



PHYSICAL IMPROVEMENTS SURVEY
LOT 3
LEWIS E. WITHERS SUBDIVISION
DEED BOOK 218 PAGE 375
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 25' SEPTEMBER 17, 2019

THIS SHEET IS USED FOR BOTH SURVEY & ARBORIST PURPOSES

BL SURVEY ARBORIST
BL.SURVEYARBORIST@GMAIL.COM [PH] 703-624-4821
CLIFTON, VA 20124

ISA
Certified
Arborist
C.A.B. 0000000000

ZONING CLASSIFICATION:
F.A.R.

220 E. MAIN ROE - 10'-0" - 10'-1
222 E. MAIN ROE - 17'-3" - 17'-3.5
224 E. MAIN ROE - 10'-11" - 10'-11.5
231 E. MAIN ROE - 20'-4" - 20'-1
233 E. MAIN ROE - 20'-1" - 20'-1
235 E. MAIN ROE - 20'-1" - 20'-1

10.5 AVE.
20.1 AVE.
20.1 AVE.

98.5 ÷ 6 = 16.42' CONTEXT: SETBACK AT MOST FRONT FACING PLANE OF HOME OR PORCH

LOT SIZE:
OPEN SPACE REQUIRED:
OPEN SPACE PROPOSED:
FRONT YARD SETBACK:
REAR YARD SETBACK:
SIDE YARD SETBACK:

5591' 6
N/A
N/A
14.6' 0" PORCH BACK & PROP. 22.6' 0" EX & PROP. HOU
68.5' 0" PROPOSED ADD
EAST 11.0' 0" EX. & PROP. 70' 0" 1ST FL. ADDITION
11.0' 0" 2ND FL. ADDITION 8.5' 0" 2ND FL. ADDITION
WEST 4.5' 0" EX. HOME - 1ST FL. EX. & PROPOSED
70' 0" 0" ADDITIONS & PORCH

PARKING

2 OFF STREET PROVIDED

ZONING VARIANCE DATA:
B.A.R. DATA

N/A.
N/A

HEIGHT

30' ALLOWED
EAST SIDE UPPER MAIN ROOF 21' 11' 0" SEABACK
LOWER MAIN ROOF 14' 7' 0" SEABACK
UPPER DORMER 27' 9' 0" SEABACK
LOWER MAIN ROOF 21' 7' 0" SEABACK
LOWER EX. DORM. 12' 4' 6" SEABACK
26' HEIGHT 68.5' SEABACK
NORTH SIDE 25' 0" HEIGHT 20.6' SEABACK
SOUTH SIDE 25' 0" HEIGHT 20.6' SEABACK
30' ALLOWED

COVER SHEET	
INDEX, ZONING & CODE DATA	
FLOOR PLANS	A3
ELEVATIONS & NOTES	A4
SECTIONS -	A5
DOOR & TRIM DETAILS	A6
STRUCTURAL - NOTES & DETAILS	G0
STRUCTURAL - FLOOR PLANS & FRAMING	S1
STRUCTURAL - ROOF PLANS & FRAMING	S2
STRUCTURAL - WIND BRACING DIAGRAM	S3
MECHANICAL - NOTES & MANUEL J. CALC.	MP0
MECHANICAL - NOTES & MANUEL J. CALC.	MP0
MECHANICAL - FLOOR PLANS	MP
ELECTRICAL - NOTES & SYMBOLS	E0
ELECTRICAL - FLOOR PLANS	E1
EXISTING CONDITIONS - ELEVATIONS & PLAN	Ecl

ONE STORY WORK

TWO STORY WORK

DISTURBED AREA = TOTAL = 2261 ϕ

A: 400
B: 780
C: 555.5
D: 120
E: 440 USE 5' POOL PORCH

Disturbed Area Certification:

I hereby certify that the limits of disturbance associated with this project represent a total land disturbance of less than 2,500 square feet. I further certify that no construction work, material storage, dumpster placement, construction access or disturbance of any other kind will take place beyond the limits of disturbance as depicted. I acknowledge that should this project result in land disturbance equal to or greater than 2,500 square feet, the City will issue a stop work order and work on the project will not be allowed to resume until a Grading Plan has been submitted to and approved by the City of Alexandria, Department of Transportation and Environmental Services.

Drainage Certification:

I hereby certify that the existing and proposed drainage patterns associated with this project are as depicted herein, that construction of this project will not create nuisance to adjacent or downstream properties either public or private and that any existing drainage problems on adjacent or downstream properties either public or private will not be exacerbated by construction of this project. I acknowledge that should this project result in the creation of any nuisance, or exacerbation if any existing drainage problem, the City will issue a stop work order and work on this project will not be allowed to resume until a Grading Plan has been submitted to and approved by the City of Alexandria, Department of Transportation and Environmental Services.

GAVIN NICHOLS, ARCHITECT
GAVIN NICHOLS, AIA.

<u>BUILDING CODE</u>	ALEXANDRIA, VA.
<u>JURISDICTION (CITY, COUNTY):</u>	
<u>APPLICABLE CODE:</u>	VRG 2015 (VIRGINIA RES. CODE-2015)
<u>OCCUPANCY CLASSIFICATION:</u>	RESIDENTIAL SINGLE FAMILY
<u>CONSTRUCTION TYPE:</u>	5B



Department of Planning and Zoning
Floor Area Ratio and Open Space Calculations for
Single and Two-Family Residential Outside Historic Districts

A

A. Property Information

A1.	222 EAST MONROE AVE				R2-5
	Street Address				Zone
A2.	5591	×	.45	=	2515
	Total Lot Area		Floor Area Ratio Allowed by Zone		Maximum Allowable Floor Area

B. Existing Gross Floor Area Existing Gross Area		Allowable Exclusions**	
Basement	796.25	Basement**	796.25
First Floor	989.25	Stairways**	0
Second Floor	0	Mechanical**	0
Third Floor	0	Attic less than 7"	796
Attic	796	Porches**	144
Porches	144	Balcony/Deck**	0
Balcony/Deck	0	Garage**	0
Garage	0	Other***	0
Other***	0	Other***	0
B1. Total Gross	2726.5	B2. Total Exclusions	1736.25

B1. 2726.5 0
Existing Gross Floor Area** Sq. Ft.

B2. 1736.25
Allowable Floor Exclusions** Sq. Ft.

B3. 989.25
Existing Floor Area Minus Exclusions
(subtract B2 from B1) Sq. Ft.

Comments for Existing Gross Floor Area
 NOTE: WE ARE DEMO
 THE 10' x 14.3' ADDITION
 & THE ROOF - (14.34)
 B3 = 796.25 0 EXIST.

C. Proposed Gross Floor Area (NEW)				
Proposed Gross Area		Allowable Exclusions**		
2618	Basement	468	Basement**	468
10446	First Floor	532	Stairways**	216
56164	Second Floor	1151	Mechanical**	0
56055	Third Floor	0	Attic less than 7**	1151
561640	Attic	1151	Porches**	12
	Porches	12	Balcony/Deck**	0
	Balcony/Deck	0	Garage**	0
	Garage	0	Other**	
	Other***		Other***	
C1. Total Gross	3314	C2. Total Exclusions	1847	

D. Total Floor Area		E. Open Space (RA & RB Zones)	
D1.	Total Floor Area (add B3 and C3)	E1.	Existing Open Space
D2.	Total Floor Area Allowed by Zone (A2)	E2.	Required Open Space
		E3.	Proposed Open Space

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Virginia Energy Code

TRADE-OFF WORKSHEET

Compliance by Whole House Performance Approach

Builder Name: _____

Date: _____

Address: _____

Submitted By: DAVER NICHOLS ARCHITECT

Phone No: 703 362 9482

Building Address: 222 E. MONROE AVE ALEX. VA.

Legal Description: Lot _____

Section: _____

County: _____

General Building Description: NEW 1 STORY #2 STORY ADDITIONS

YOUR HOUSE

	Insulation R-Value	A	System R _{eq} Value	R _{eq} /U _a
ROOF/CEILING (Description)				
1. Flat Ceiling (attic)	<u>R30</u>	Δ <u>275</u>	R_{eq} <u>39.1</u>	$=$ <u>7</u>
2. Cathedral Ceiling	<u>R30</u>	Δ <u>876</u>	R_{eq} <u>29.1</u>	$=$ <u>32</u>
3. Skylights		Δ <u>0</u>	R_{eq} <u>0</u>	$=$ <u>0</u>
4. Floor Cantilever		Δ <u>0</u>	R_{eq} <u>0</u>	$=$ <u>0</u>
Subtotal:		Δ <u>1151</u>	(5) <u>29</u>	
GROSS WALL	Include basement wall area (avg) less than 50% below grade and all basement windows and doors			
6. Opaque Wall	<u>2x4</u>	Δ <u>2091</u>	R_{eq} <u>13.1</u>	$=$ <u>160</u>
7. Opaque Wall		Δ _____	R_{eq} _____	$=$ _____
8. Opaque Wall		Δ _____	R_{eq} _____	$=$ _____
9. Floor Bands	<u>R-30</u>	Δ <u>159</u>	R_{eq} <u>29.4</u>	$=$ <u>5</u>
10. Door		Δ _____	R_{eq} _____	$=$ _____
11. Door		Δ <u>94</u>	R_{eq} <u>2.78</u>	$=$ <u>34</u>
12. Door		Δ _____	R_{eq} _____	$=$ _____
13. Window		Δ <u>375</u>	R_{eq} <u>2.78</u>	$=$ <u>135</u>
14. Window		Δ _____	R_{eq} _____	$=$ _____
15. Basement Window		Δ _____	R_{eq} _____	$=$ _____
16. Other		Δ _____	R_{eq} _____	$=$ _____
Subtotal (Gross Wall)		Δ <u>2719</u>	(17) <u>335</u>	

CODE HOUSE

HDD	UA
<u>4125</u>	
ROOF/CEILING	
Max U _a	<u>0.035</u>
A (Total Area)	\times <u>1151</u>
Max UA Allowed	$=$ <u>40</u>
GROSS WALL	
(To obtain UA for door and window area on your house, list the "system" R- or U-value provided by the manufacturer for the entire window or door assembly. To get UA, multiply the total area of the rough openings (A) by the U-value, or divide the area by the system R-value.)	
Max U _a *	<u>1.55</u>
A (Total Area)	\times <u>2719</u>
Max UA Allowed	$=$ <u>421</u>

FOUNDATION/LOOR

18. Slab Insulation	<u>3" R20</u>	(Per) <u>560</u>	R <u>7.7</u>	(18) <u>72</u>
Perim (P)	<u>140</u> (feet)			
Depth (D)	<u>4</u> (feet)			
20. Floor over Unheated Space		Δ <u>0</u>	R_{eq} <u>0</u>	(21) <u>0</u>
22. Crawlspace Wall		Δ <u>0</u>	R_{eq} <u>0</u>	(23) <u>0</u>
24. Basement Wall	<u>R-13</u>	Δ <u>560</u>	R_{eq} <u>13</u>	(28) <u>43</u>
*Onset area of basement walls 50% or more below grade				

FOUNDATION/FLOOR

A	<u>560</u>	R	<u>7.7</u>	=UA	<u>72</u>
A	<u>0</u>	R _{eq}	<u>0</u>	=UA	<u>0</u>
A	<u>0</u>	U	<u>0</u>	=UA	<u>0</u>
A	<u>560</u>	U	<u>13</u>	=UA	<u>43</u>

TOTAL UA

UA FROM INSULATION TO BE INSTALLED:

Lines (5) + (17) + (18) + (21) + (23) + (28)

479
(Line 28)

TOTAL UA

MAX UA:

Lines B + D + F + He + L

606
(Line M)

Line 28 (Your House Total) must be less than or equal to line M (Code House Total).

222 East Monroe Avenue
Alexandria, Virginia



A3

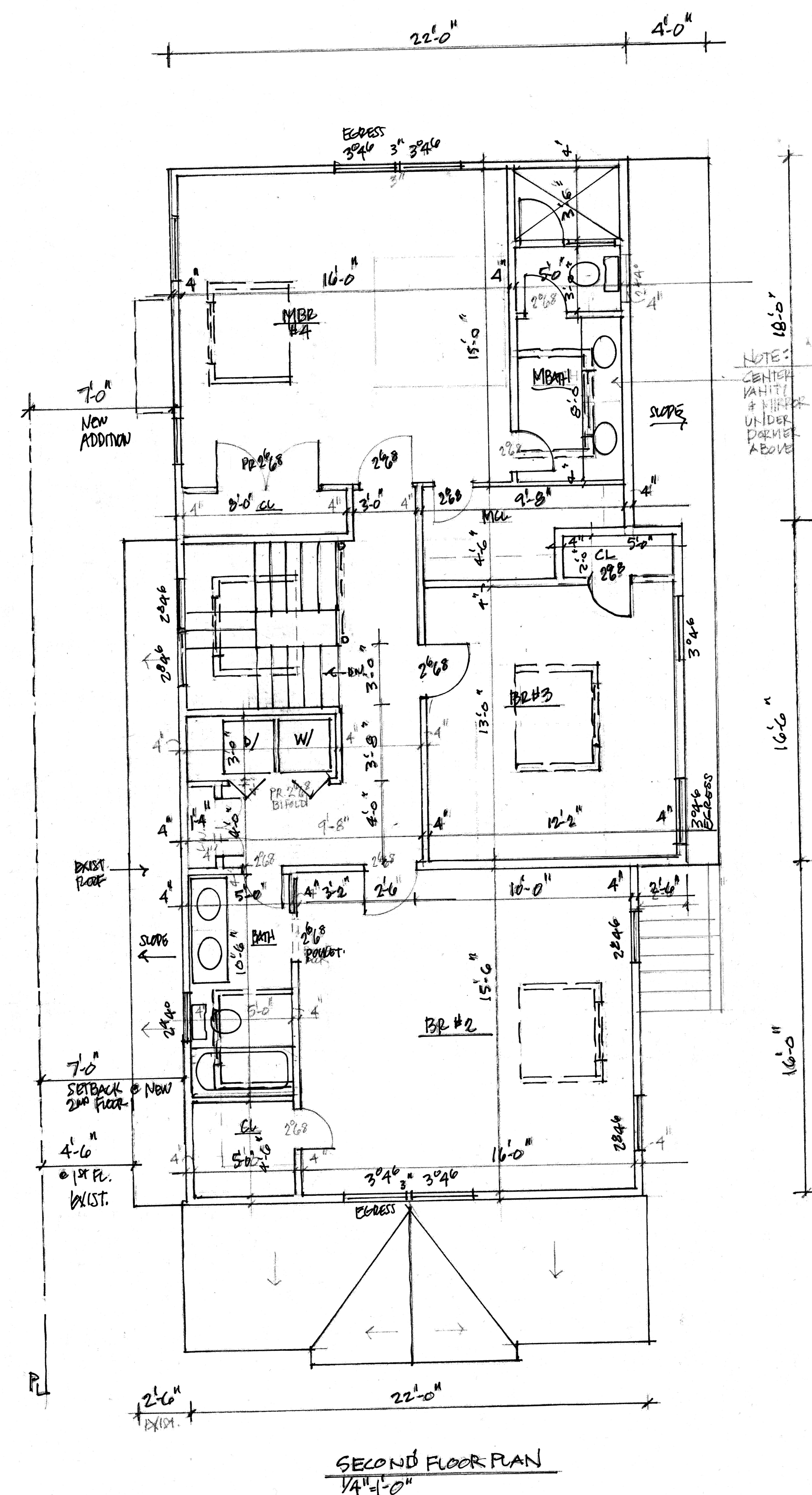
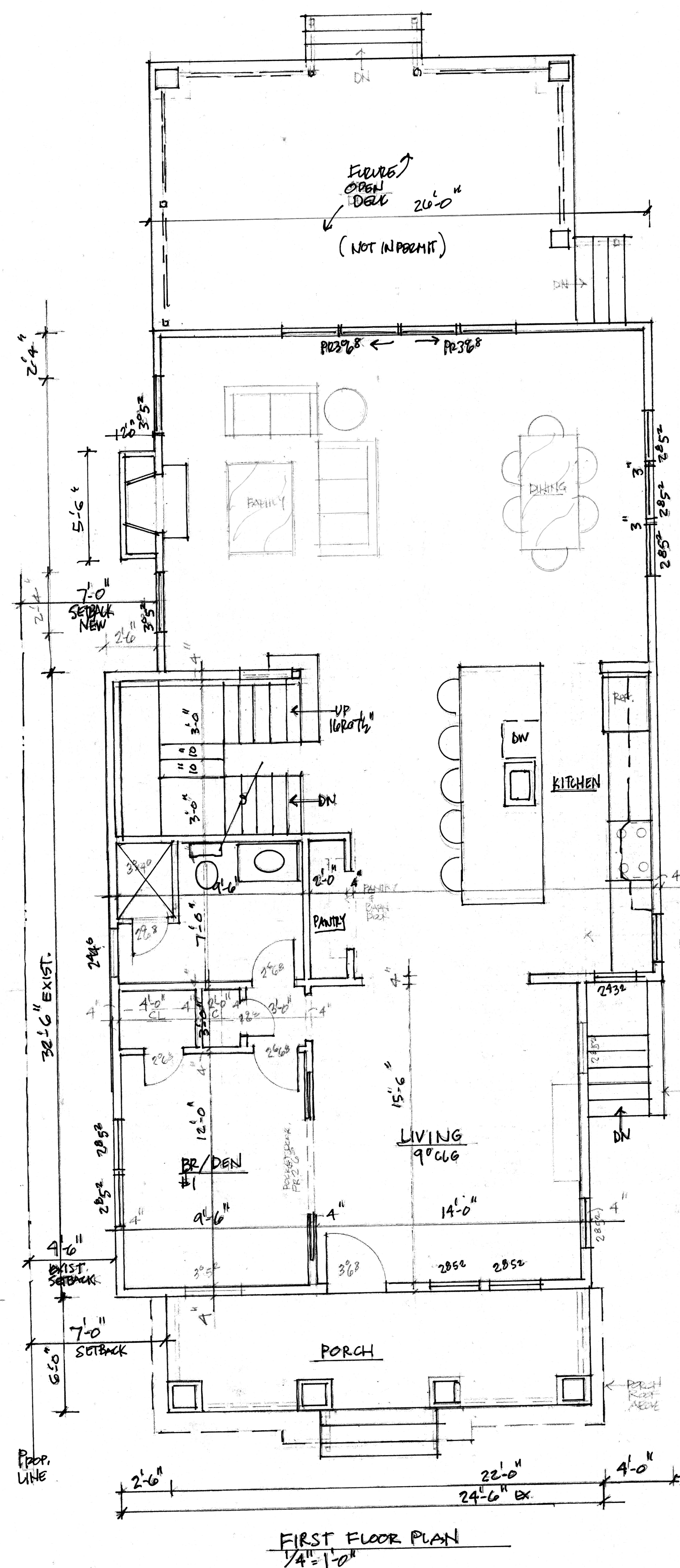
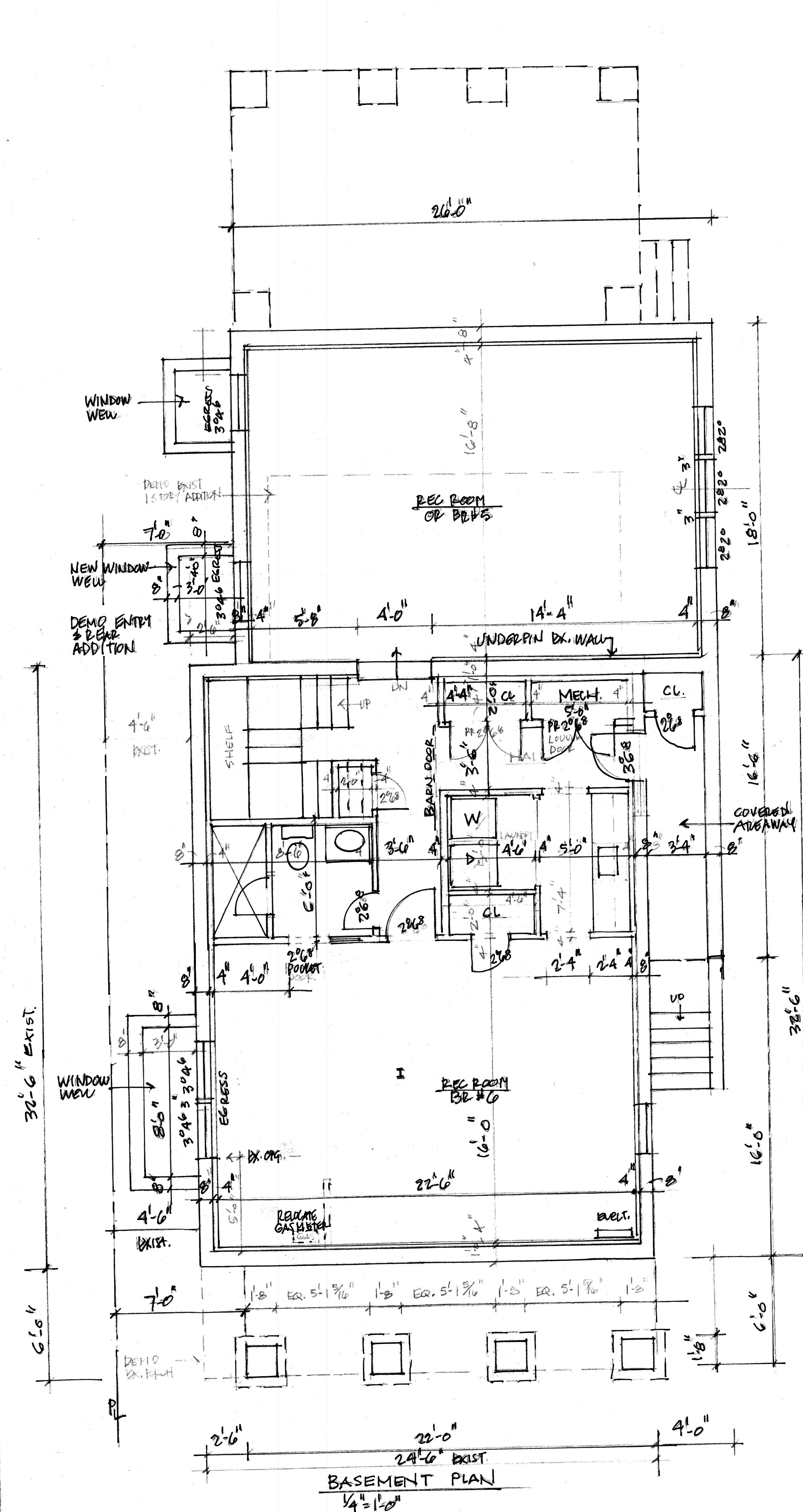
FLOOR PLANS
1/4" = 1'-0"

4/1/20-P 4/10/20 RSL

GAVER
NICHOLS
ARCHITECTS

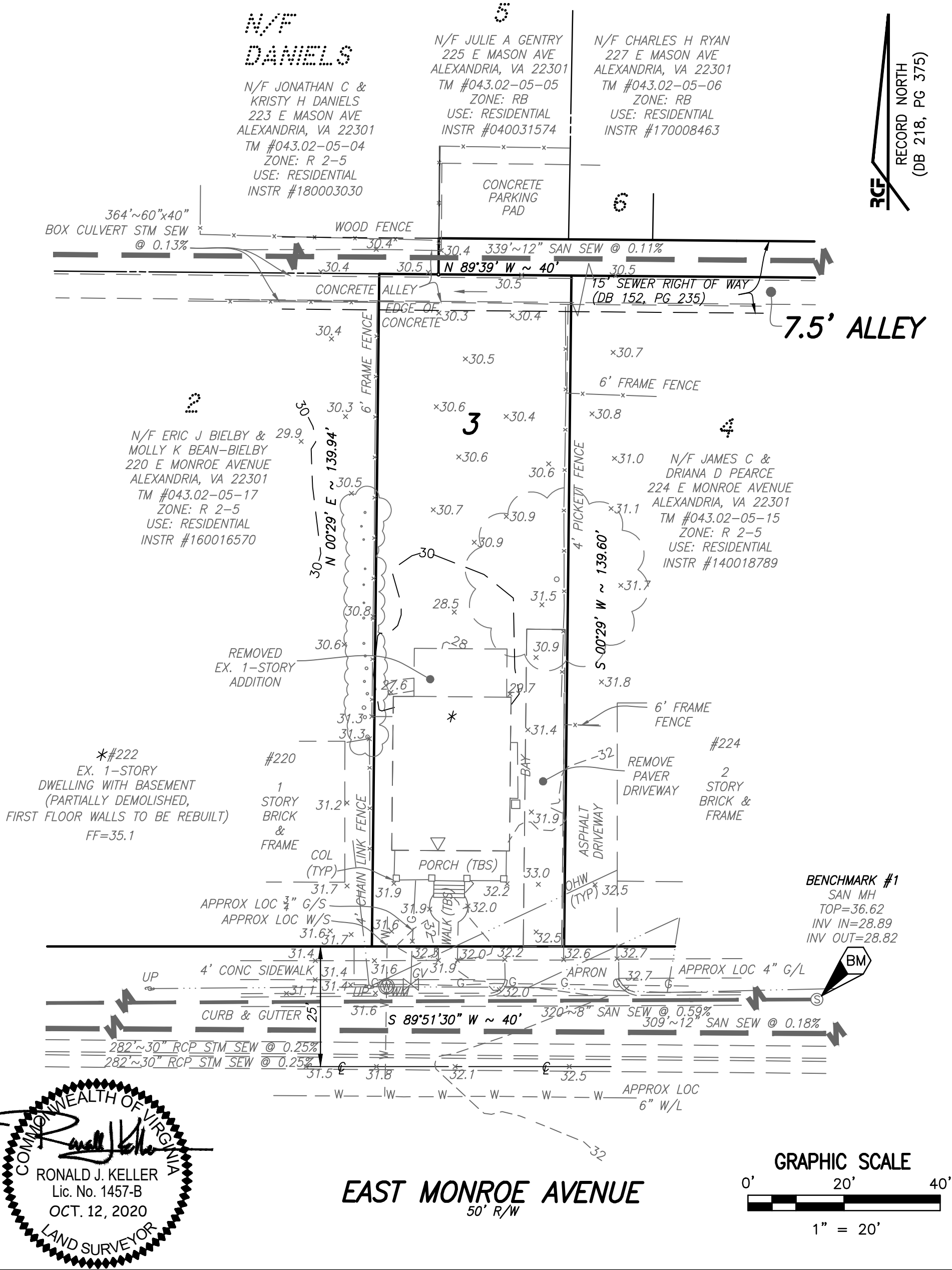
222 East Monroe Avenue
Alexandria, Virginia

222 East Monroe Avenue
Alexandria, Virginia



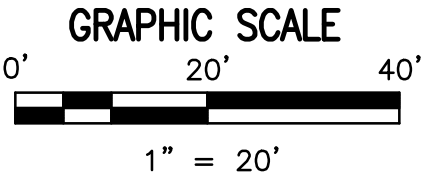
TAX ASSESSMENT MAP NUMBER: 043.02-05-16
PLAT SUBJECT TO RESTRICTIONS OF RECORD
INST. #180017327
TOTAL SITE AREA = 5,591 SF OR 0.1284 AC

ROBERT H. RUST SUBDIVISION



COMMONWEALTH OF VIRGINIA
RONALD J. KELLER
Lic. No. 1457-B
OCT. 12, 2020
LAND SURVEYOR

EAST MONROE AVENUE
50' R/W



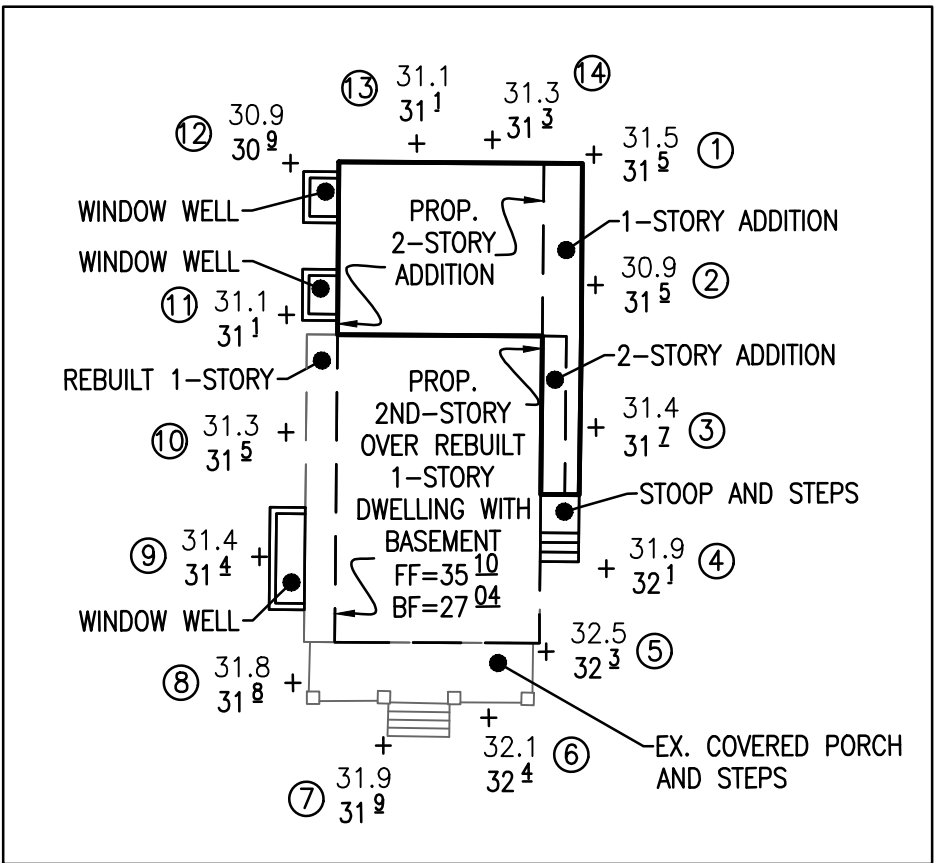
RCFIELD
& ASSOCIATES, INC.
ENGINEERING • LAND SURVEYING • PLANNING
700 S. Washington Street, Suite 220
Alexandria, Virginia 22314
www.rcfassoc.com
(703) 549-6422

EXISTING CONDITIONS PLAT
LOT 3
LEWIS E. WITHERS SUBDIVISION
(#222 EAST MONROE AVENUE)
CITY OF ALEXANDRIA, VIRGINIA

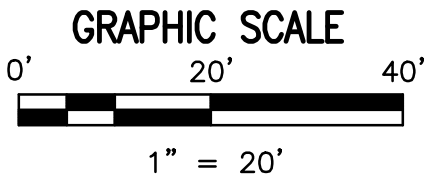
DESIGN: KMB
DRAWN: IG
SCALE: 1"=20'
DATE: OCT. 2020
FILE: **20-104**
SHEET **1** OF **1**

TAX ASSESSMENT MAP NUMBER: 043.02-05-16
PLAT SUBJECT TO RESTRICTIONS OF RECORD
INST. #180017327
ZONE: R 2-5
TOTAL SITE AREA = 5,591 SF OR 0.1284 AC

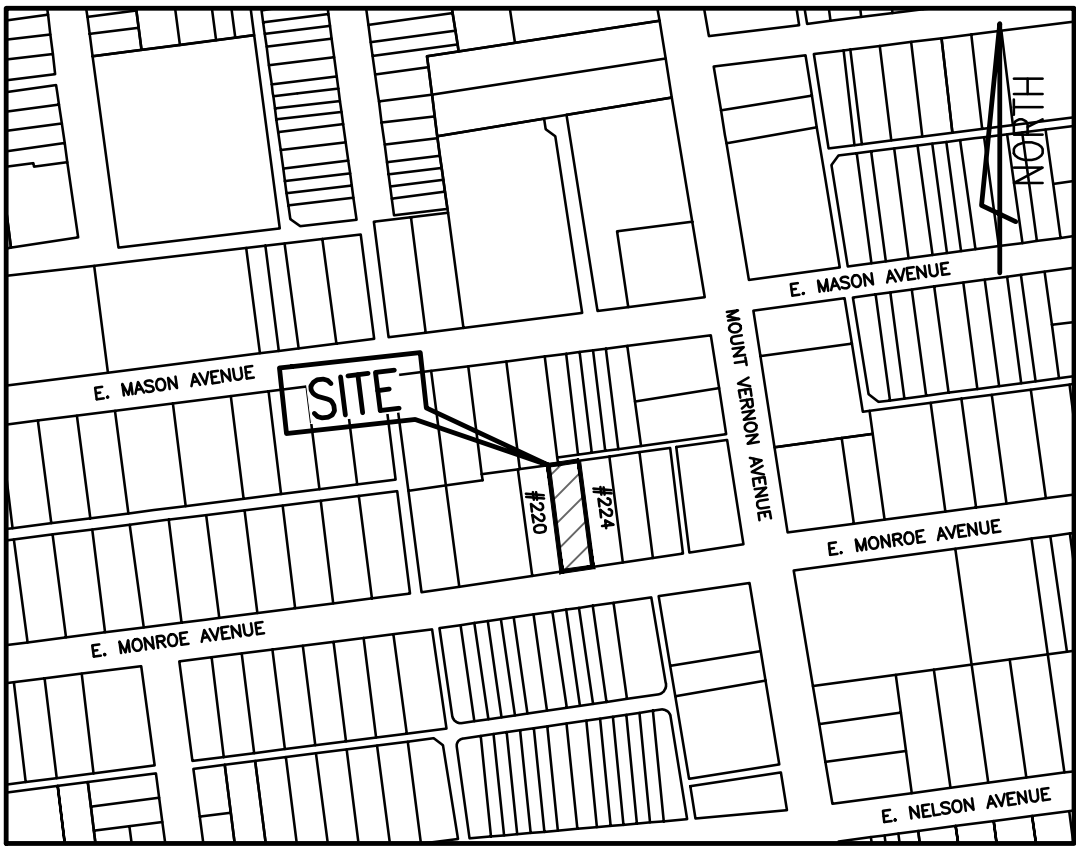
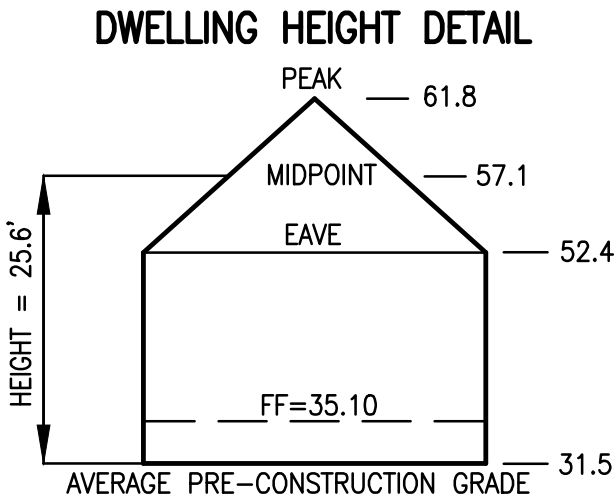
SPOTS	EXISTING - ELEVATION
1	31.5
2	30.9
3	31.4
4	31.9
5	32.5
6	32.1
7	31.9
8	31.8
9	31.4
10	31.3
11	31.1
12	30.9
13	31.1
14	31.3
SUM:	441.1
AVERAGE:	31.5



AVERAGE GRADE & DWELLING DETAIL
(SCALE: 1" = 20')



DWELLING HEIGHT CALCULATION				
AVERAGE EX. GRADE	ROOF EAVE ELEVATIONS	PEAK ROOF (HIGHEST RIDGE) ELEVATION	ROOF MIDPOINT (ROOF HEIGHT) ELEVATION	PROPOSED DWELLING HEIGHT
31.5	52.4	61.8	57.1	25.6



VICINITY & TOPO MAP
SCALE 1" = 250'

RCFIELD
& ASSOCIATES, INC.

ENGINEERING • LAND SURVEYING • PLANNING

700 S. Washington Street, Suite 220
Alexandria, Virginia 22314

www.rcfassoc.com
(703) 549-6422

HEIGHT PLAT
LOT 3

LEWIS E. WITHERS SUBDIVISION
(#222 EAST MONROE AVENUE)
CITY OF ALEXANDRIA, VIRGINIA

DESIGN: KMB
DRAWN: IG
SCALE: 1"=20'
DATE: OCT. 2020

FILE: **20-104**

SHEET **1** OF **1**

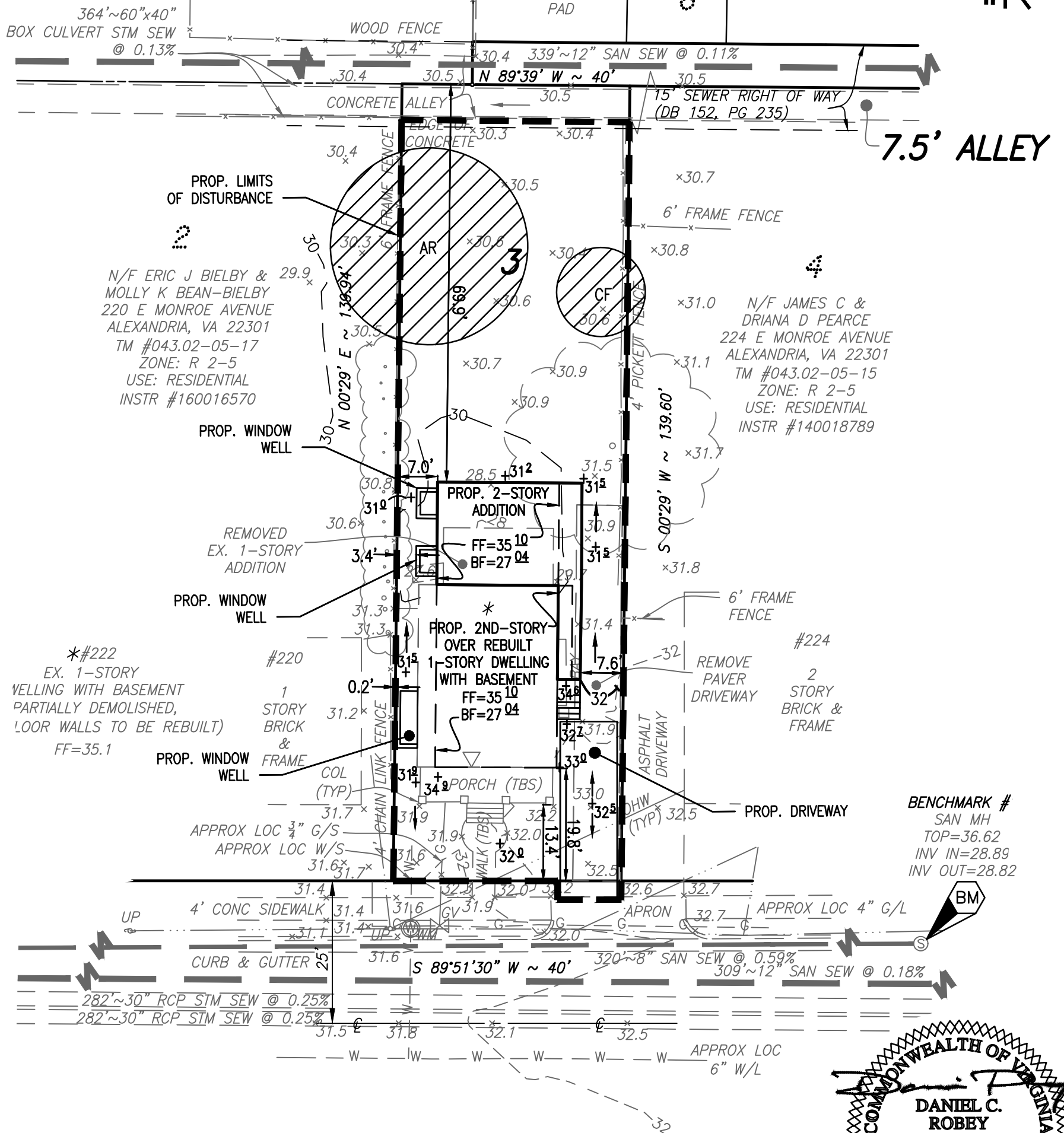
ROBERT H. RUST SUBDIVISION

DAVE'S

N/F JULIE A GENTRY
225 E MASON AVE
ALEXANDRIA, VA 22301
TM #043.02-05-05
ZONE: RB
USE: RESIDENTIAL
INSTR #040031574

N/F CHARLES H RYAN
227 E MASON AVE
ALEXANDRIA, VA 22301
TM #043.02-05-06
ZONE: RB
USE: RESIDENTIAL
INSTR #170008463

RECORD NORTH
(DB 218, PG 375)



BENCHMARK #
SAN MH
TOP=36.62
INV IN=28.89
INV OUT=28.82

**DANIEL C.
ROBEY**
Lic. No. 1325
OCT. 12, 2020

GRAPHIC SCALE

EAST MONROE AVENUE

50' R/W

STANDARD TREES	PLAN KEY	QUANTITY	GENUS	SPECIES		COMMON NAME	CALIPER/HEIGHT	CCA PER TREE (SF)		TOTAL CROWN COVER (SF)	REGIONAL (#)	EASTERN U.S. (#)	TOTAL
	CF	1	Cornus	Florida		Flowering Dogwood	1.5"-1.75"cal./6-10 ft ht	B&B; full branching	250	250	1	0	1
	AR	1	Acer	Rubrum		Red Maple	2"-3" cal./12-14 ft ht	B&B; symmetrical, single leader	1,250	1,250	1	0	1
	TOTALS	2							STANDARD TREE CCA:	1,500	2	0	2
											100.0%	0.0%	100.0%

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 & ASSOCIATES, INC.

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Alexandria, Virginia 22314 (703) 549-6422

LANDSCAPE PLAN
LOT 3
LEWIS E. WITHERS SUBDIVISION
(#222 EAST MONROE AVENUE)
CITY OF ALEXANDRIA, VIRGINIA

DESIGN: KMB
DRAWN: IG
SCALE: 1"=20'
DATE: OCT. 2020
FILE: 20-104
SHEET 1 OF 2

A) STANDARD LANDSCAPE PLAN NOTES FOR ALL PLANS REQUIRING APPROVAL:

- THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL PROJECTS THAT REQUIRE APPROVAL BY THE CITY AS OUTLINED IN CHAPTER 3 OF THE CITY'S 2019 LANDSCAPE GUIDELINES:
- 1)THE PROPERTY OWNER AND/OR APPLICANT, SPECIFIER, CONTRACTOR AND INSTALLER OF PLANT MATERIAL ARE RESPONSIBLE FOR UNDERSTANDING AND ADHERING TO THE STANDARDS SET FORTH IN THE MOST RECENT VERSION OF THE CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND APPLICABLE CONDITIONS OF APPROVAL. ALL QUESTIONS REGARDING APPLICATION OF, OR ADHERENCE TO, THE STANDARDS AND/OR CONDITIONS OF APPROVAL SHALL BE DIRECTED TO THE CITY PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBING ACTIVITY.
 - 2)THE CITY-APPROVED LANDSCAPE PLAN SUBMISSION, INCLUDING PLANT SCHEDULE, NOTES AND DETAILS SHALL BE THE DOCUMENT USED FOR INSTALLATION PURPOSES AND ALL PROCEDURES SET FORTH IN THE LANDSCAPE GUIDELINES MUST BE FOLLOWED.
 - 3)THE CONTRACTOR SHALL NOT INTERFERE WITH ANY TREE PROTECTION MEASURES OR IMPACT ANY EXISTING VEGETATION IDENTIFIED TO BE PRESERVED PER THE APPROVED TREE AND VEGETATION PROTECTION PLAN.
 - 4)ANY CHANGES, ALTERATIONS OR MODIFICATIONS TO THE SITE CONDITIONS THAT AFFECT VEGETATION PROTECTION ZONES WILL REQUIRE AN AMENDMENT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND/OR DETAILS.
 - 5)INSTALLATION OF PLANT MATERIAL MAY ONLY OCCUR DURING THE PLANTING SEASONS IDENTIFIED IN THE LANDSCAPE GUIDELINES.
 - 6)IN LIEU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA; GAITHERSBURG, MARYLAND.
 - 7)SUBSTITUTIONS TO THE APPROVED PLANT MATERIAL SHALL NOT OCCUR UNTIL WRITTEN APPROVAL IS PROVIDED BY THE CITY.
 - 8)MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED BY THE OWNER, APPLICANT, SUCCESSOR(S) AND/OR ASSIGN(S) IN PERPETUITY AND IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND AS CONDITIONED BY PROJECT APPROVAL, AS APPLICABLE.

B) STANDARD LANDSCAPE PLAN NOTES FOR DEVELOPMENT SITE PLANS:

- IN ADDITION TO THE NOTES PROVIDED ABOVE, THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL DSP/DSUP PROJECTS:
- 1)THE APPROVED METHOD(S) OF PROTECTION MUST BE IN PLACE FOR ALL VEGETATION TO BE PRESERVED ON-SITE AND ADJACENT TO THE PROJECT SITE PURSUANT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND DETAILS PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBANCE. THE APPLICANT SHALL NOTIFY THE PLANNING & ZONING (P&Z) PROJECT MANAGER ONCE THE TREE PROTECTION METHODS ARE IN PLACE. NO DEMOLITION, CONSTRUCTION, OR LAND DISTURBANCE MAY OCCUR UNTIL AN INSPECTION IS PERFORMED BY THE CITY AND WRITTEN CONFIRMATION IS PROVIDED BY THE CITY WHICH VERIFIES CORRECT INSTALLATION OF THE TREE PROTECTION MEASURES.
 - 2)THE APPLICANT MUST CONTACT THE P&Z PROJECT MANAGER PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATION TO SCHEDULE A PRE-INSTALLATION MEETING. THE MEETING SHOULD BE HELD BETWEEN THE APPLICANT'S GENERAL CONTRACTOR, LANDSCAPE CONTRACTOR, LANDSCAPE ARCHITECT, THE P&Z PROJECT MANAGER AND THE CITY ARBORIST (AS APPLICABLE) TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES DURING AND AFTER INSTALLATION.
 - 3)THE FOLLOWING INFORMATION SHALL BE PROVIDED TO THE P&Z PROJECT MANAGER AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE LANDSCAPE PRE-INSTALLATION MEETING: 1) A LETTER THAT CERTIFIES THAT THE PROJECT LANDSCAPE ARCHITECT PERFORMED PRE-SELECTION TAGGING FOR ALL TREES PROPOSED WITHIN THE PUBLIC RIGHT OF WAY AND ON PUBLIC LAND PRIOR TO INSTALLATION. THIS LETTER MUST BE SIGNED AND SEALED BY THE PROJECT LANDSCAPE ARCHITECT; AND 2) A COPY OF THE SOIL BULK DENSITY TEST REPORT VERIFYING THAT MAXIMUM COMPRESSION RATES ARE MET.
 - 9)AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION/WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES, THE CITY CODE OF ORDINANCES, AND ALL APPLICABLE PLAN PREPARATION CHECKLISTS. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.

A STANDARD LANDSCAPE PLAN NOTES
NOT TO SCALE

OF UPDATES: 00 LAST UPDATED:

CITY OF ALEXANDRIA, VIRGINIA
STANDARD LANDSCAPE DETAILS



NOTE:
THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES. ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.

Source:
CITY OF
ALEXANDRIA

Approved by:
COA

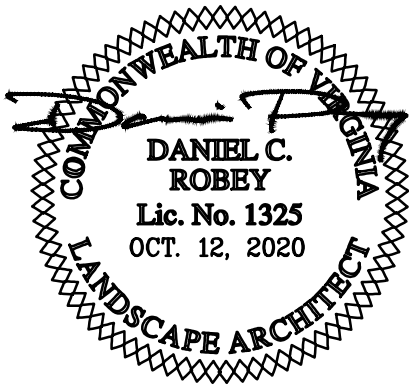
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STANDARD
LANDSCAPE
PLAN NOTES

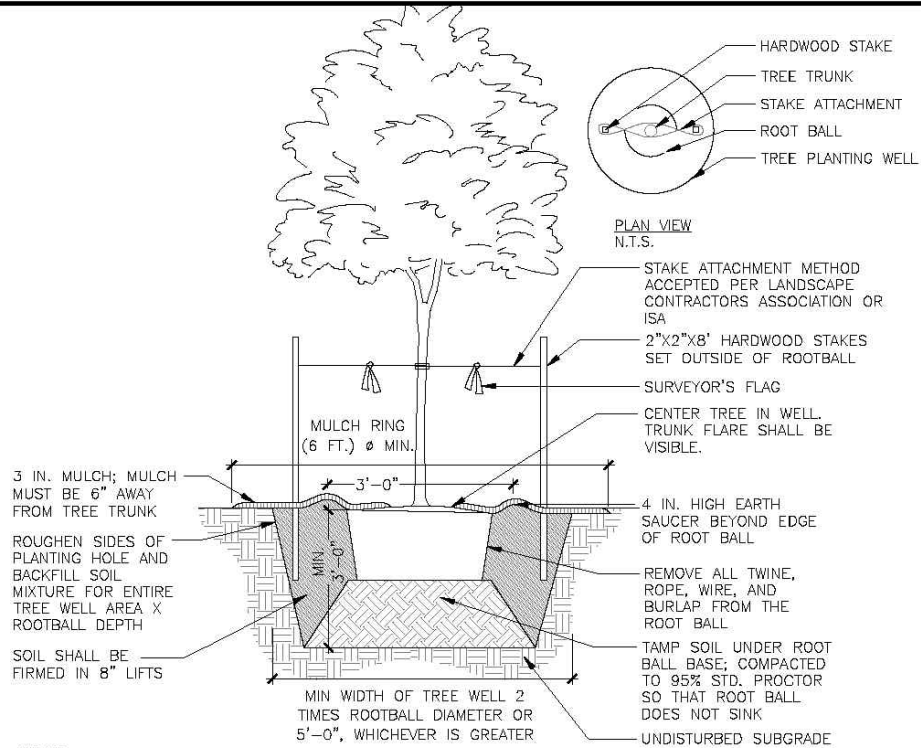
Date drawn:
01/01/19

LD 016

CROWN COVER TABULATIONS	
TOTAL SITE AREA (SF)	5,591
25% CROWN COVER REQUIRED (SF)	1,398
EXISTING CROWN COVER (SF)	535
REMOVED CROWN COVER (SF)	535
PRESERVED CROWN COVER (SF)	
Crown Cover from Preserved Trees	0
Crown Cover from Preserved Shrubs	0
PROPOSED CROWN COVER (SF)	
Crown Cover from Proposed Trees	1,500
Crown Cover from Proposed Shrubs	
TOTAL CROWN COVER PROVIDED (%)	26.8%
TOTAL CROWN COVER PROVIDED (SF)	1,500



BIODIVERSITY TABULATIONS							
TREES (URBAN AND STANDARD)							
TOTAL NUMBER OF TREES PROPOSED: 2							
GENUS	QTY.	PERCENT OF TOTAL PROPOSED	MAXIMUM PERCENT ALLOWED	SPECIES	QTY.	PERCENT OF TOTAL PROPOSED	MAXIMUM PERCENT ALLOWED
Cornus	1	50.0%	N/A	Florida	1	50.0%	N/A
Acer	1	50.0%	N/A	Rubrum	1	50.0%	N/A



NOTES

1. AT PLANTING PRUNE ONLY CROSSING LIMBS, BROKEN OR DEAD BRANCHES, AND ANY BRANCHES THAT POSE A HAZARD TO PEDESTRIANS PER ANSI STANDARDS A300. DO NOT PRUNE INTO OLD WOOD ON EVERGREENS.
2. CONTRACTOR SHALL MAXIMIZE EXCAVATED AREA FOR TREE WELL WITHOUT ADVERSELY IMPACTING ADJACENT SITE FEATURES
4. UNLESS OTHERWISE DIRECTED BY PROJECT SPECIFICATIONS OR CITY STAFF, SOIL MIXTURE SHALL BE CLEANED OF DEBRIS, AND MEET SOIL COMPOSITION REQUIREMENTS OF CITY OF ALEXANDRIA LANDSCAPE GUIDELINES.
5. TREES PLANTED WITHOUT THE TRUNK FLARE VISIBLE WILL BE REJECTED.
6. ALL PLANTS MUST BE WATERED AT INSTALLATION AND AGAIN WITHIN 48-HOURS OF INSTALLATION, ESTABLISHMENT WATERING SHALL BE PER THE SPECIFICATIONS ON ALL DETAILS.
7. STAKES WILL BE INSTALLED USING ARBORICULTURE PRACTICES, TREES SHALL STAND PLUM AFTER STAKING.
8. INSTALLATION WILL INCLUDE THE REMOVAL OF ALL STAKING MATERIAL ONE YEAR AFTER INSTALLATION. ANY HOLES LEFT BY REMOVING STAKING SHALL BE FILLED WITH APPROVED TOPSOIL / BACKFILL MIXTURE.
9. CONTRACTOR SHALL USE GALVANIZED EYESCREW & TURNBUCKLE INSTEAD OF ARBOR TIE ONLY FOR TREES OF SIGNIFICANT SIZE AS DIRECTED BY CITY STAFF.

A DECIDUOUS TREE PLANTING
NOT TO SCALE

OF UPDATES: 00 LAST UPDATED:

CITY OF ALEXANDRIA, VIRGINIA
STANDARD LANDSCAPE DETAILS



CITY OF ALEXANDRIA, VIRGINIA

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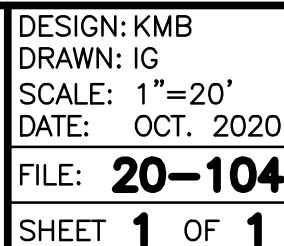
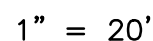
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Date drawn:
01/01/19

LD 001

DECIDUOUS
TREE PLANTING

ROBERT H. RUST SUBDIVISION

RECORD NORTH
(DB 218, PG 375)

TAX ASSESSMENT MAP NUMBER: 043.02-05-16
PLAT SUBJECT TO RESTRICTIONS OF RECORD
INST. #180017327
ZONE: R 2-5
TOTAL SITE AREA = 5,591 SF OR 0.1284 AC

SETBACK REQUIREMENTS FOR DWELLING ADDITION

BUILDING SIDE	AVERAGE GRADE	BUILDING HEIGHT	ZONING SETBACK	SETBACK REQUIRED	SETBACK PROVIDED
FRONT-(EAST MONROE AVE)	N/A	N/A	N/A	13.4'-13.6'*	13.4'**
SIDE-(WEST)	31.4	21.0'	1:3, MIN. 7'	7.0'	7.0'
SIDE-(EAST)	31.4	21.0'	1:3, MIN. 7'	7.0'	7.6'
REAR-(NORTH)	31.2	25.9'	1:1, MIN. 7'	25.9'	69.9'

*SEE BLOCK FACE STUDY ON THIS SHEET
**MEASURED FROM EXISTING DWELLING

BLOCK FACE STUDY:

Front Setback and Threshold Data			
#222 EAST MONROE AVENUE (RCF #20-104)			
<u>Setback Data</u>			
EAST MONROE AVENUE	Setback From Property Line		
220 EAST MONROE AVENUE	13.4'		
224 EAST MONROE AVENUE	13.6'		
		USE BETWEEN 13.4' AND 13.6'	
<u>Building Height Data</u>			
Address #	Building Height		
220 EAST MONROE AVENUE	14.3'		
224 EAST MONROE AVENUE	25.6'		

ZONING CRITERIA STUDY(EAST MONROE AVENUE):
BASED ON A FIELD STUDY OF THE EXISTING DWELLINGS ALONG EAST MONROE AVENUE, THE FOLLOWING DWELLING CRITERIA WAS DETERMINED:

SETBACK RANGE FROM PROPERTY LINE ON EAST MONROE AVE: 13.4'-13.6'

RCFIELD

& ASSOCIATES, INC.

ENGINEERING • LAND SURVEYING • PLANNING
700 S. Washington Street, Suite 220
Alexandria, Virginia 22314

www.rcfassoc.com
(703) 549-6422

ZONING DATA
LOT 3

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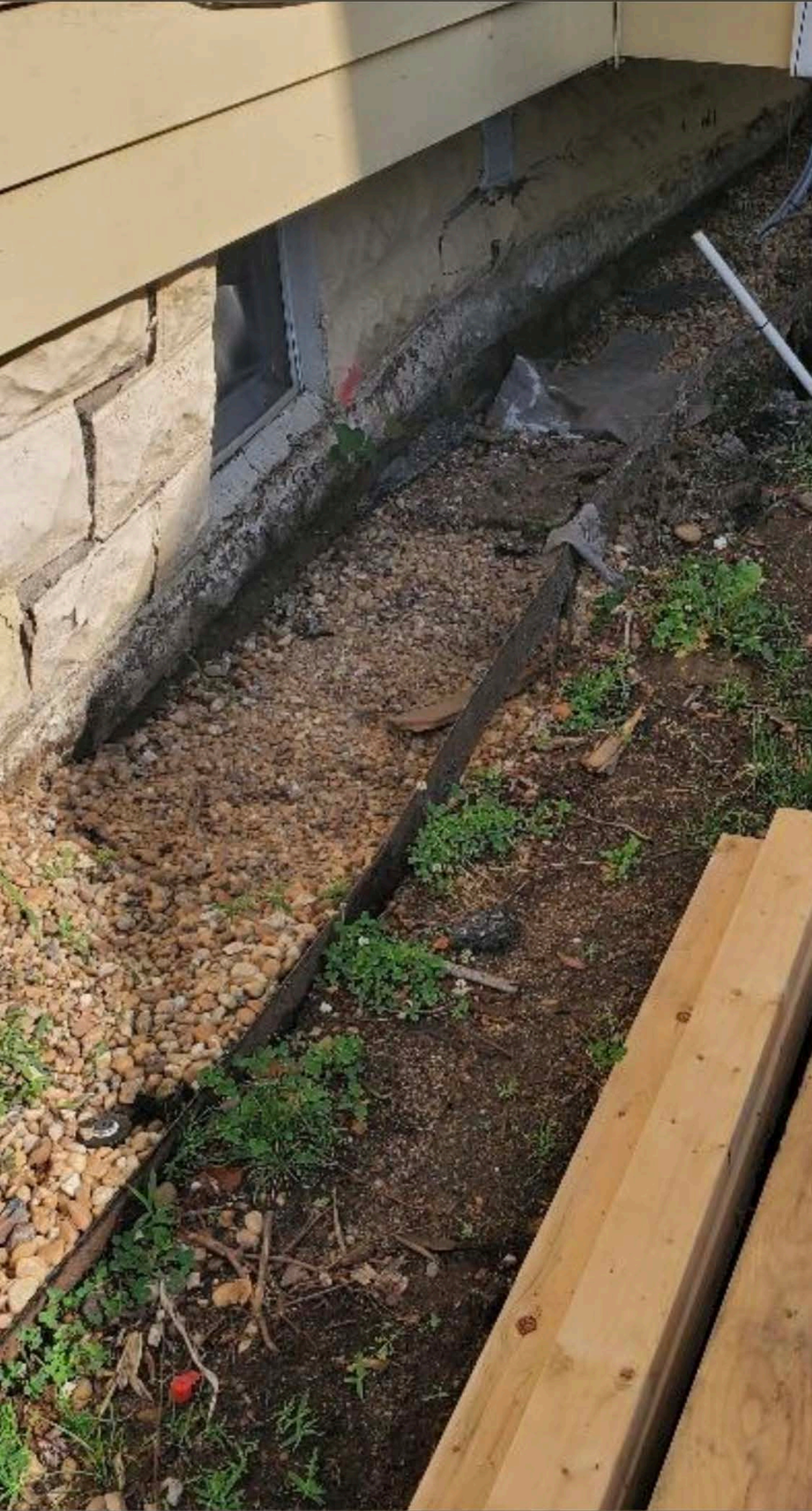




Done

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Done

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DEL RAY CITIZENS ASSOCIATION

WWW.delraycitizens.org

P.O. Box 2233, Alexandria, VA 22301

December 17, 2020

Karl W. Moritz, Director
Department of Planning and Zoning
City of Alexandria
City Hall, Room 2100
Alexandria, VA 22314

RE: SUP2020-00086
222 Monroe Ave

Dear Mr. Moritz,

The Del Ray Citizens Association (DRCA) Land Use Committee (LUC) does not support SUP2020-00086 at 222 Monroe Ave.

The LUC voted unanimously at its Dec. 9, 2020 meeting not to support the SUP for what was originally an addition but is now the redevelopment of the property. The information presented on the submitted documents is unclear and it appears the intent of the project was to tear down the majority of the structure to begin with.

There were several inconsistencies on the drawings including the extent of what was existing to remain and what was to be demolished; a deck and pergola indicated as "future" in what appears to be a way to exclude it from the disturbed area calculation; and missing soils and structural engineering reports addressing the condition of the foundation failure. We feel the reports would have been important for us to review the validity of the application.

This is another casualty of a vernacular property that we see being lost with more frequency throughout Del Ray and which the city offers little support to help us retain. In addition, we feel developers are not taken severely enough to task by the City when work proceeds without the proper permits, in this case the demolition of the house.

Sincerely,

Kristine Hesse
Lisa Lettieri
DRCA LUC Co-Chairs

Virginia Bush, DRCA President

Cc: Sam Shelby, Urban Planner, P & Z