

**ISSUE:** Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations, Waiver of Rooftop Mechanical Screening

**APPLICANTS:** Jennifer and Sam Watson

**LOCATION:** Old and Historic Alexandria District  
509 Duke Street

**ZONE:** RM/Residential Townhouse Zone

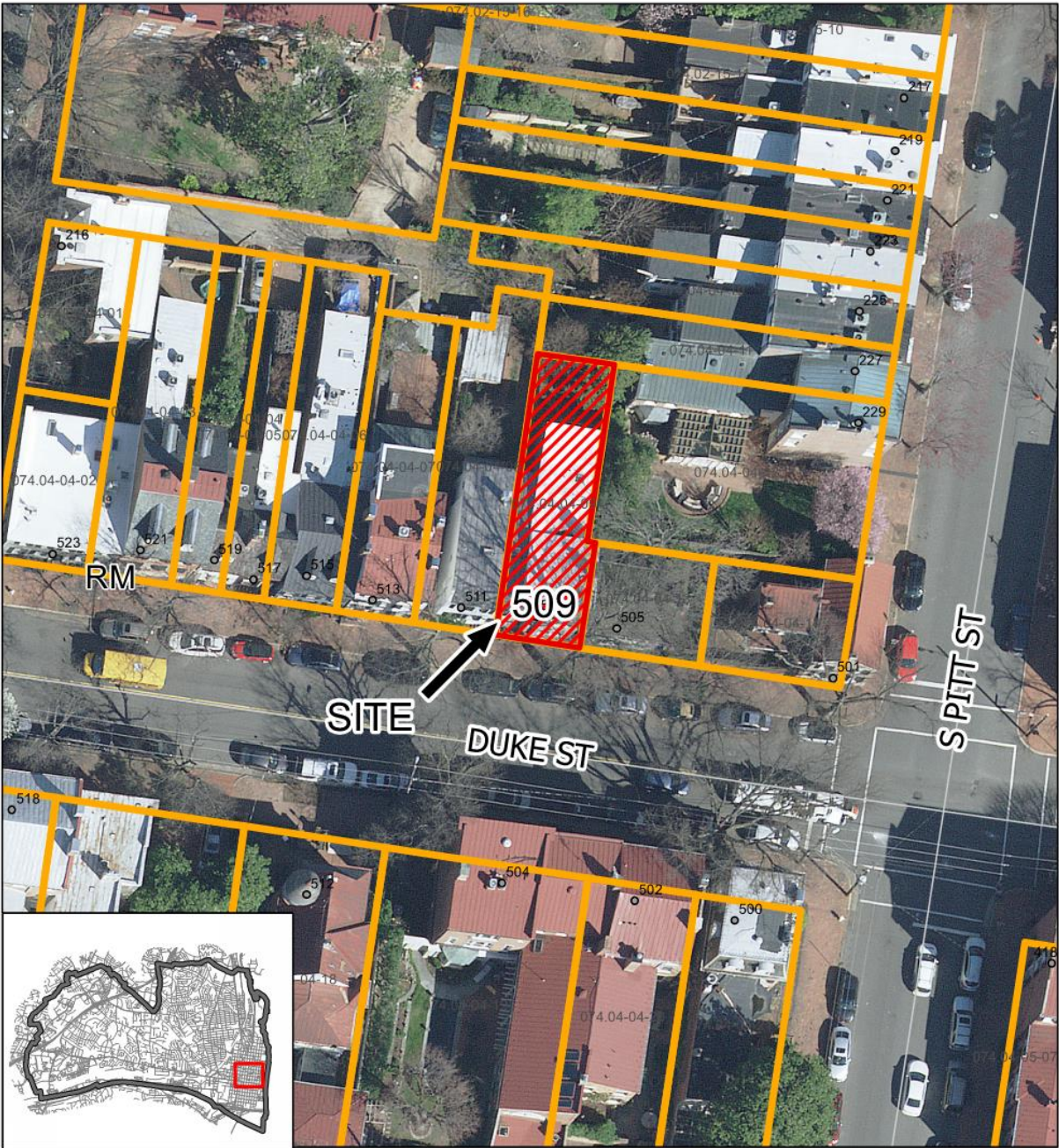
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**STAFF RECOMMENDATION**

Staff recommends approval as submitted.

**GENERAL NOTES TO THE APPLICANT**

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



**BAR #2020-00573 & BAR #2020-00580**  
**509 Duke Street**

N



0 15 30 60 Feet

**Note:** Staff coupled the applications for a Permit to Demolish (BAR #2020-00573) and Certificate of Appropriateness (BAR #2020-00580) for clarity and brevity. The Permit to Demolish requires a roll call vote.

## **I. APPLICANT'S PROPOSAL**

The applicant requests a Permit to Demolish/Capsulate (partial) to create a one-story bay addition at the rear/north elevation, as well as a Certificate of Appropriateness to move an HVAC unit onto a roof and a Waiver of Rooftop Mechanical Screening to screen said unit at 509 Duke Street.

### Permit to Demolish/Capsulate

Approximately 42 square feet of exterior brick wall on the first level of the rear/north elevation of the house will be demolished in order to create a one-story bay addition. A 23 square foot door and 26 square foot window will also be removed for the construction of the bay. Another approximately 7 square feet of masonry will be removed on the second level to enlarge a window.

### Certificate of Appropriateness

#### *Addition*

As the proposed addition is not visible from any public right of way, it will not be considered in this application.

#### *Alterations*

An HVAC unit will be moved from the ground to the westernmost side of the ell roof, approximately 40' from the front/south elevation and 15' from the rear/north elevation.

### Waiver of Rooftop Mechanical Screening

The applicant requests to waive the screening requirement.

### Site context

The proposed addition will not be visible from any public right of way. The rear/north ell roof is slightly visible from South Pitt Street.

## **II. HISTORY**

Based on Sanborn Fire Insurance maps, this house was constructed between **1891 and 1896** and has undergone few changes. A one-story frame addition was added at some point between 1912 and 1921. This is described as a porch in 1944 permit #5829. It was removed at some point between the publication of the 1959 Sanborn map and the City of Alexandria tax assessment of 1970, as the floor plan on the tax assessment does not include a rear frame porch.

*Previous BAR Approvals*

Staff found no prior BAR cases or approvals.

### III. ANALYSIS

#### Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

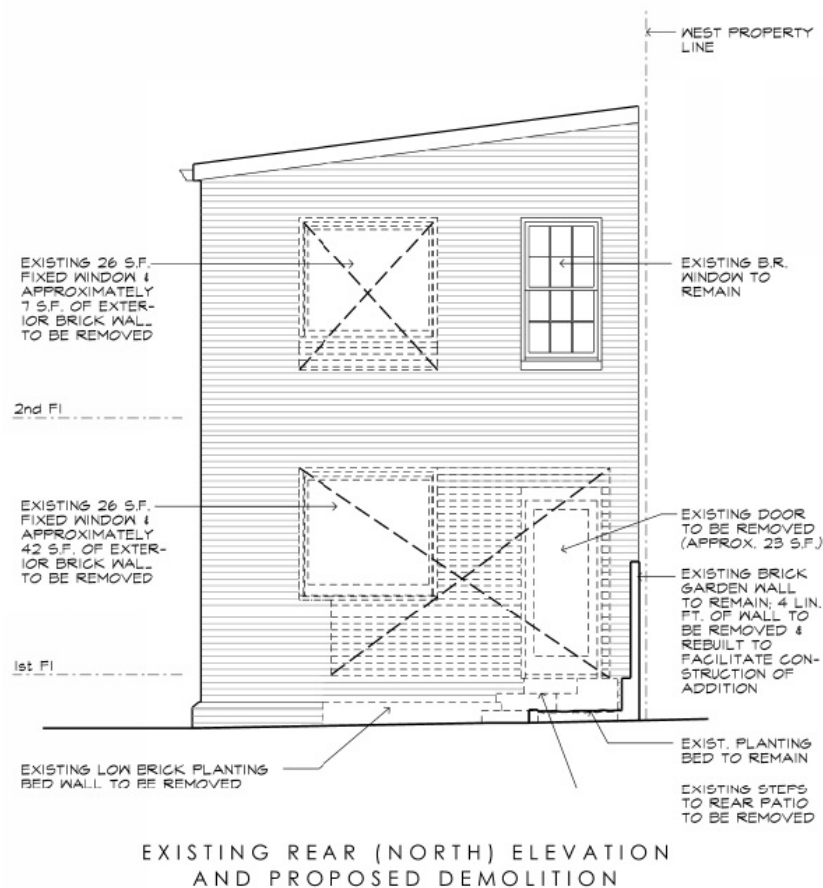
Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met for this minor amount of alteration and the Permit to Demolish/Capsulate should be granted. The amount of brick to be removed is a small percentage of the total on this elevation.



### Certificate of Appropriateness

According to the *Design Guidelines*, “It is the policy of the Boards that the absolute minimum demolition of an existing structure should take place.” In this proposal, the modest size of the addition allows for better use of interior space while minimizing the amount of demolition. Instead of removing the entire rear wall of the existing house, the applicant instead will remove a small portion in order to add a seating area to the kitchen (Figure 1). Due to the existence and removal of the afore-mentioned one-story rear porch, the wall on the westernmost half of the first floor has already been compromised.



**Figure 1: Proposed demolition**

The *Design Guidelines* further indicate that “HVAC equipment should be located in a visually inconspicuous area of a building,” and “HVAC equipment should not disrupt the architectural character of a structure.” By placing the HVAC unit approximately 40’ from the primary elevation, the HVAC will be completely hidden from Duke Street. It will be minimally visible, if at all, from South Pitt Street (Figure 2).



Figure 2: Roof of 509 Duke as seen from 229 South Pitt Street

Staff recommends approval of the project.

**STAFF**

Susan Hellman, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

**IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

**Zoning**

- F-1 The required open space is 675 square feet (1,929 square feet x .35 (required open space in the RM zone)) and the existing open space is 596 square feet, making the property deficient by 79 square feet. The applicant is proposing to remove the AC unit and relocate it to the roof, which will increase the open space by 37 square feet. The proposed addition will decrease open space by 37, leaving 596 square feet of open space.
- F-2 Because the proposed addition will not decrease open space below the existing 596 square feet, the proposal meets zoning compliance for open space. The applicant must revise the open space calculation when applying for a building permit to reflect the correct open space calculations and only include space more than eight feet by eight feet.
- F-3 Per section 6-403(B)(2), the Board of Architectural Review may waive or modify the screening requirement for the relocated air conditioning unit on the roof.

C-1 Proposed alterations comply with zoning.

**Code Administration**

C-1 A building permit and plan review are required prior to the start of construction.

C-2 Openings are not permitted in new addition/alteration when located less than 3 feet from property line.

**Transportation and Environmental Services**

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

**Alexandria Archaeology**

- F-1 No archaeological oversight will be necessary for this undertaking.

**V. ATTACHMENTS**

- 1 – Application for BAR #2020-00573 & 2020-00580: 509 Duke Street*
- 2 – Supplemental Materials*



ADDRESS OF PROJECT: 509 Duke Street

TAX MAP AND PARCEL: 074.04-04-09

ZONING: RM

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☒ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: Jennifer and Sam Watson

Address: 509 Duke Street

City: Alexandria State: VA Zip: 22314

Phone: 703-894-8537 E-mail: dukenomad@yahoo.com

Authorized Agent *(if applicable)*: ☐ Attorney ☒ Architect ☐ \_\_\_\_\_

Name: Karen Becker

Phone: 703-548-2253

E-mail: beckerarchitects@comcast.net

Legal Property Owner:

Name: Jennifer and Sam Watson

Address: 509 Duke Street

City: Alexandria State: VA Zip: 22314

Phone: 703-894-8537 E-mail: dukenomad@yahoo.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?  
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?  
☐ Yes ☒ No Is there a homeowner's association for this property?  
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: *Please check all that apply.*
- |                                      |   |   |                                   |
|--------------------------------------|---|---|-----------------------------------|
| <input type="checkbox"/> awning      | <input type="checkbox"/> fence, gate or garden wall | <input checked="" type="checkbox"/> HVAC equipment  | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors       | <input type="checkbox"/> windows                    | <input type="checkbox"/> siding                     | <input type="checkbox"/> shed     |
| <input type="checkbox"/> lighting    | <input type="checkbox"/> pergola/trellis            | <input type="checkbox"/> painting unpainted masonry |                                   |
| <input type="checkbox"/> other _____ |   |   |                                   |
- ☐ ADDITION
- ☒ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

*Demolition/encapsulation of one 26 S.F. window, one 23 S.F. door, and approx. 42 S.F. of exterior brick wall at 1st Fl. rear (north) facade; in order to expand existing small Kitchen for eat-in area by adding 1-story bay addition. Demolition of 26 S.F. fixed window & approx. 7 S.F. of exterior brick wall at 2nd Fl. rear (north) facade for replacement window. Rear facade is not visible from a Public Way.*

**SUBMITTAL REQUIREMENTS:** *A/C unit placed on roof at rear of house.*

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☒ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible. *No Alternatives Available*

**Additions & New Construction:** *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 12 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ N/A

☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐

☐ FAR & Open Space calculation form.
- ☐ ☐

☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐

☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐

☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐

☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐

☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐

☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ N/A

☐ Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_
- ☐ ☐

☐ Square feet of existing signs to remain: \_\_\_\_\_
- ☐ ☐

☐ Photograph of building showing existing conditions.
- ☐ ☐

☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐

☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐

☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐

☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** *Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ N/A

☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐

☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐

☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐

☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒

☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 12 sets of revised materials.

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The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**Signature: Karen S. BeckerPrinted Name: Karen S BeckerDate: 11-11-20



# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Jennifer and Sam Watson	509 Duke St. Alexandria, VA 22314	100%
2.		
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 509 Duke St. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Jennifer and Sam Watson	509 Duke St. Alexandria, VA 22314	100%
2.		
3.		

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2.		
3.		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

11-11-20 Karen S. Becker Karen S. Becker  
Date Printed Name Signature





# Department of Planning and Zoning Floor Area Ratio and Open Space Calculations

**B**

## A. Property Information

A1. 509 Duke Street  
Street Address

RM  
Zone

A2. 1,973.00 x 1.50 = 2,959.50  
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

## B. Existing Gross Floor Area

### Existing Gross Area

Basement	480.00
First Floor	1,041.00
Second Floor	1,041.00
Third Floor	0.00
Attic	0.00
Porches	0.00
Balcony/Deck	0.00
Lavatory***	0.00
Other**	0.00

### Allowable Exclusions\*\*

Basement**	480.00
Stairways**	43.00
Mechanical**	0.00
Attic less than 7'***	0.00
Porches**	0.00
Balcony/Deck**	0.00
Lavatory***	0.00
Other**	0.00
Other**	0.00

B1. 2,562.00 Sq. Ft.  
Existing Gross Floor Area\*

B2. 523.00 Sq. Ft.  
Allowable Floor Exclusions\*\*

B3. 2,039.00 Sq. Ft.  
Existing Floor Area Minus Exclusions  
(subtract B2 from B1)

Comments for Existing Gross Floor Area

B1. **Total Gross** 2,562.00 B2. **Total Exclusions** 523.00

## C. Proposed Gross Floor Area

### Proposed Gross Area

Basement	0.00
First Floor	36.33
Second Floor	0.00
Third Floor	0.00
Attic	0.00
Porches	0.00
Balcony/Deck	0.00
Lavatory***	0.00
Other	0.00

### Allowable Exclusions\*\*

Basement**	0.00
Stairways**	0.00
Mechanical**	0.00
Attic less than 7'***	0.00
Porches**	0.00
Balcony/Deck**	0.00
Lavatory***	0.00
Other**	0.00
Other**	0.00

C1. 36.33 Sq. Ft.  
Proposed Gross Floor Area\*

C2. 0.00 Sq. Ft.  
Allowable Floor Exclusions\*\*

C3. 36.33 Sq. Ft.  
Proposed Floor Area Minus Exclusions  
(subtract C2 from C1)

C1. **Total Gross** 36.33 C2. **Total Exclusions** 0.00

## D. Total Floor Area

D1. 2,075.33 Sq. Ft.  
Total Floor Area (add B3 and C3)

D2. 2,959.50 Sq. Ft.  
Total Floor Area Allowed  
by Zone (A2)

## E. Open Space

E1. 730.00 Sq. Ft.  
Existing Open Space

E2. 690.55 Sq. Ft.  
Required Open Space

E3. 691.00 Sq. Ft.  
Proposed Open Space

## Notes

\*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

\*\*\*Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

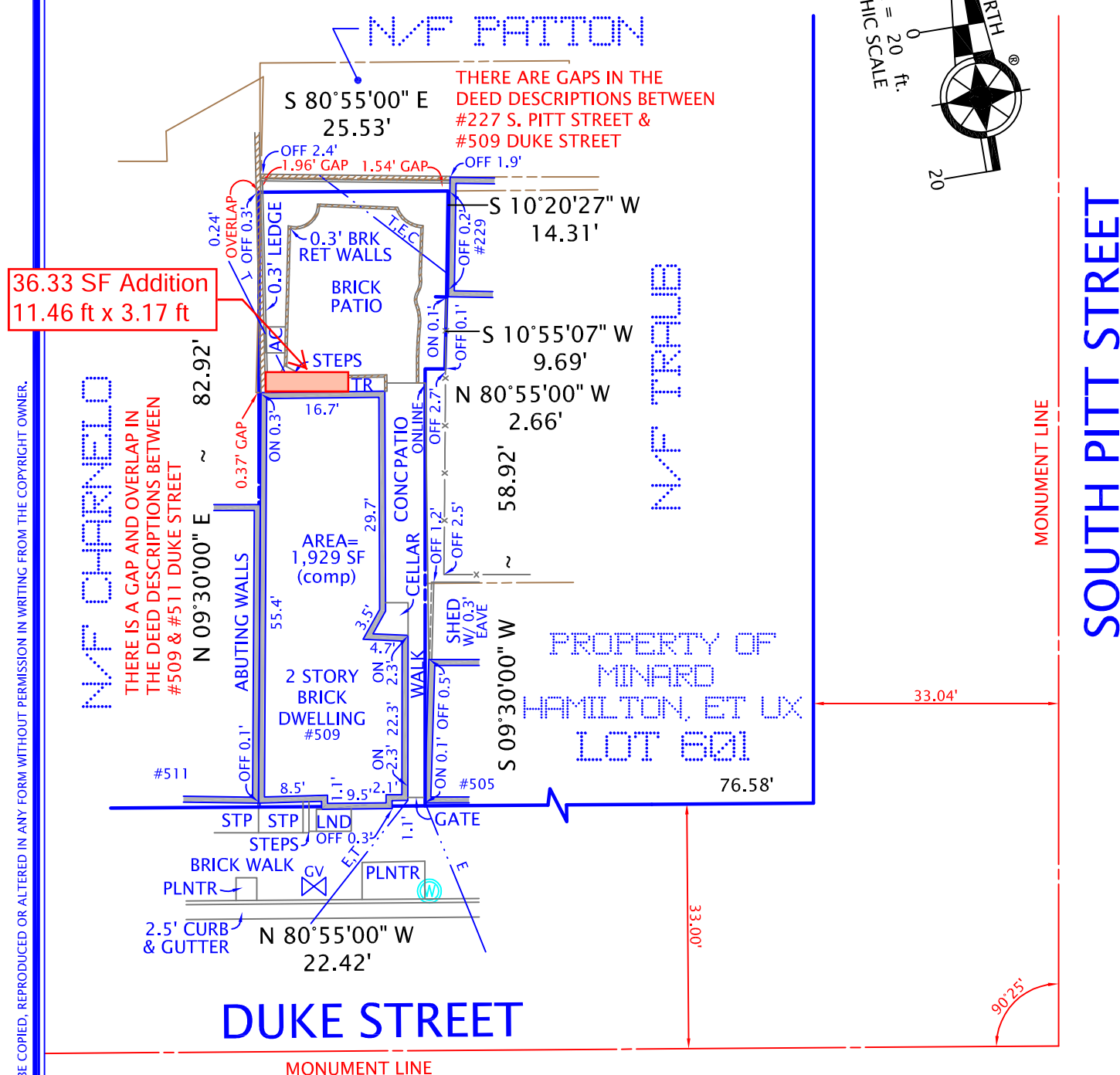
The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:

*Karen S. Becker*

Date:

12-1-20



I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

The seal is circular with a blue border of small stars. The text "COMMONWEALTH OF VIRGINIA" is written along the top arc, and "LAND SURVEYOR" is written along the bottom arc. In the center, the date "07/13/2015" is printed above the name "GEORGE M. O'QUINN". Below the name, "LICENSE NO." is printed above the number "2069". At the bottom of the seal, the name "George M. O'Quinn" is written in a large, stylized, cursive script.



**DOMINION** Surveyors  
Inc.®  
8808-H PEAR TREE VILLAGE COURT  
ALEXANDRIA, VIRGINIA 22309  
703-619-6555  
FAX: 703-799-6412

#150626021



Remove  
a/c unit

Partial rear  
wall to be  
removed

incorporated into  
509 Duke St.  
property)

N/E CHURCHFIELD

THERE IS A GAP AND OVERLAP IN  
THE DEED DESCRIPTIONS BETWEEN  
#509 & #511 DUKE STREET

N 09°30'00" E

82.92'

0.37' GAP

ON 0.3'

ABUTTING WALLS

OFF 0.1'

55.4'

AREA=

1,929 SF

(comp)

+ 44 =

1,973

S.F.

2 STORY

BRICK

DWELLING

#509

WALK

ON 0.1'

OFF 0.5'

22.3'

ON 0.1'

OFF 0.3'

2.3'

ON 0.1'

OFF 0.3'

2.3'

ON 0.1'

OFF 0.3'

2.3'

ON 0.1'

OFF 0.3'

2.3'

ON 0.1'

STP

STP

LND

STEPS

OFF 0.3'

BRICK WALK

PLNTR

GV

PLNTR

W

1.1'

GATE

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

2.5' CURB

& GUTTER

N 80°55'00" W

22.42'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

8.5'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

1.1'

ON 0.1'

OFF 0.3'

DUKE STREET

MONUMENT LINE

PLAT

SHOWING HOUSE LOCATION ON

THE PROPERTY LOCATED AT

#509 DUKE STREET

(INST. NO. 030028574)

CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1" = 20'

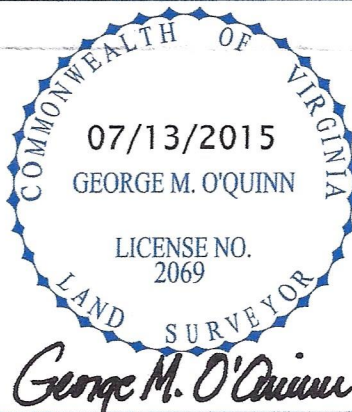
JULY 13, 2015

I HEREBY CERTIFY THAT THE POSITIONS OF  
ALL THE EXISTING IMPROVEMENTS HAVE BEEN  
CAREFULLY ESTABLISHED BY A CURRENT FIELD  
SURVEY AND UNLESS SHOWN THERE ARE NO  
VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO  
RESTRICTIONS OF RECORD.

A TITLE REPORT WAS NOT FURNISHED.

NO CORNER MARKERS SET.



Ordered by:  
228 S. Washington Street  
Suite 100  
Alexandria, VA 22314  
703-739-0100

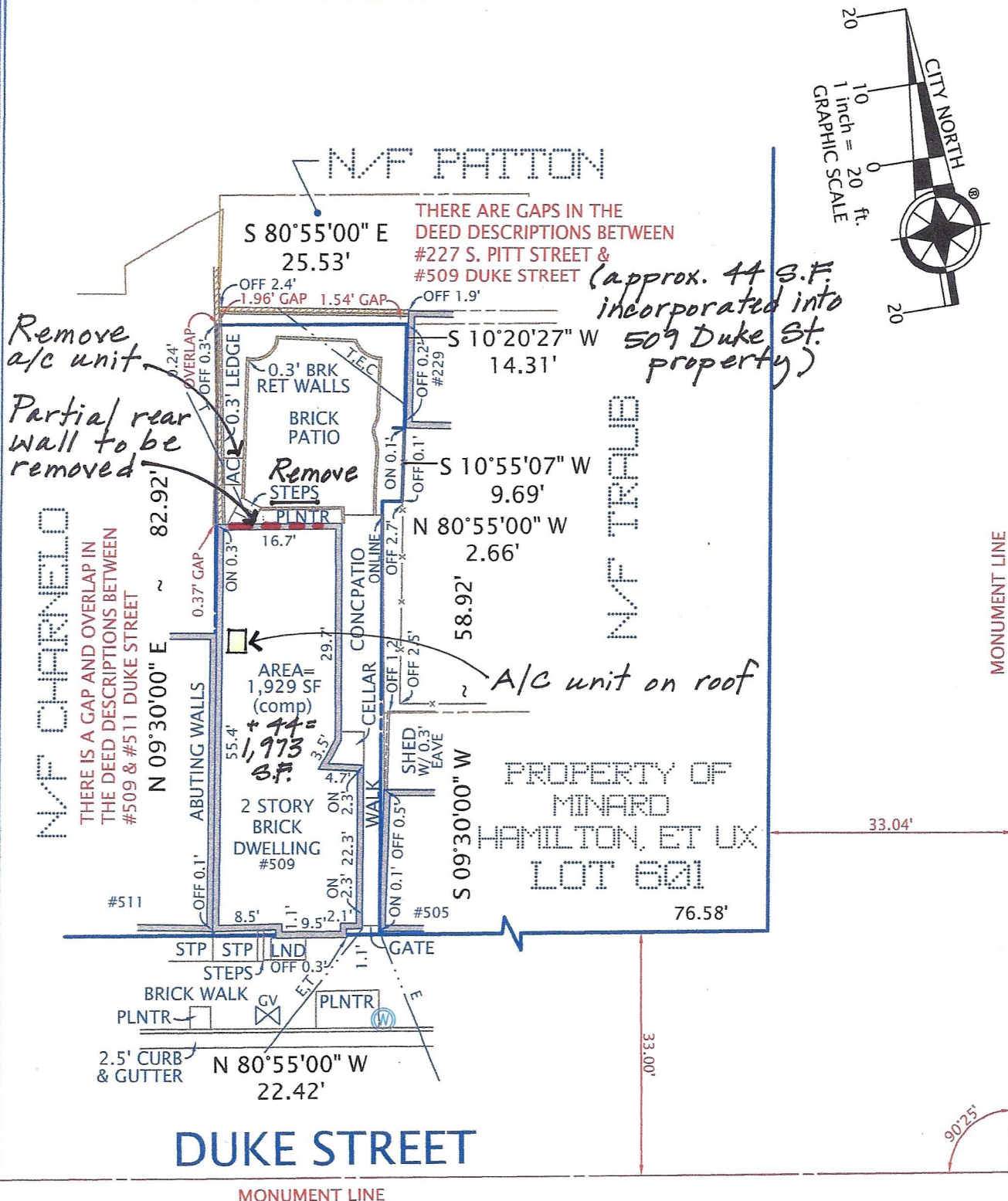


8808-H PEAR TREE VILLAGE COURT  
ALEXANDRIA, VIRGINIA 22309  
703-619-6555  
FAX: 703-799-6412



NOTES: 1. FENCES ARE FRAME.

2. WALLS ARE 0.6 BRICK UNLESS NOTED.



PLAT  
SHOWING HOUSE LOCATION ON  
THE PROPERTY LOCATED AT  
**#509 DUKE STREET**  
(INST. NO. 030028574)  
CITY OF ALEXANDRIA, VIRGINIA  
SCALE: 1" = 20' JULY 13, 2015

Ordered by:

**SEPTEMBER 29, 2020**

**DESCRIPTION  
OF A GAP IN THE DESCRIPTIONS OF RECORD  
BETWEEN  
#227 SOUTH PITT STREET & #509 DUKE STREET  
CITY OF ALEXANDRIA, VIRGINIA**

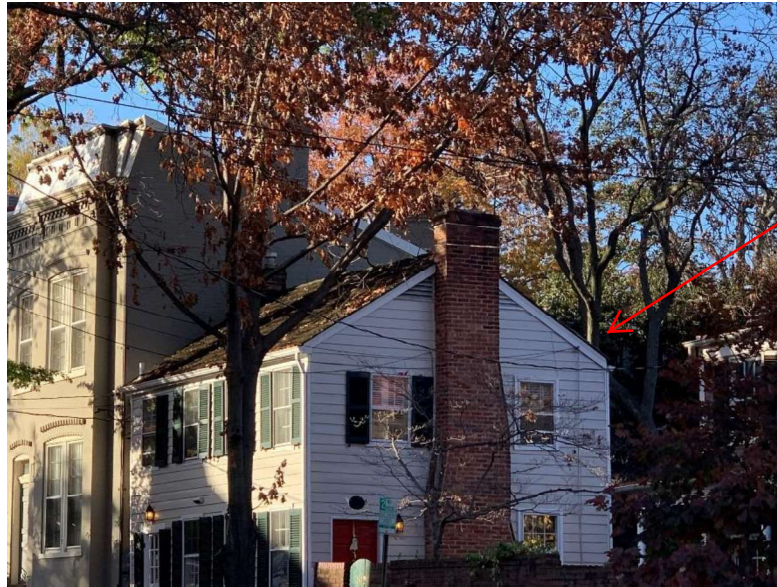
Beginning at a point in the northerly line of #509 Duke Street (Ins. No. 030028574) said point bearing N 09° 30' 00" E 82.92 feet and S 80° 55' 00" E 0.24 feet from the northerly line of Duke Street and the corner common to #509 & #511; thence running with the line of #511

N 10° 47' 14" E 1.96 feet to a point in the line of #227 South Pitt Street; thence running with #227 South Pitt S 79° 58' 43" E 25.27 feet to a point; thence running S 10° 20' 27" W 1.54 feet to a corner common to #229 South Pitt Street and #509 Duke Street; thence running with #509 N 80° 55' 00" W 25.27 feet to the point beginning containing 44 square feet, more or less.



# 509 Duke Street

## PHOTOGRAPHS OF EXISTING REAR ROOF VISIBILITY



Rear roof of 509  
Duke Street

509 Duke

505 Duke

501 Duke

View taken from SE corner of S. Pitt Street and Duke Street



Rear roof of 509  
Duke Street

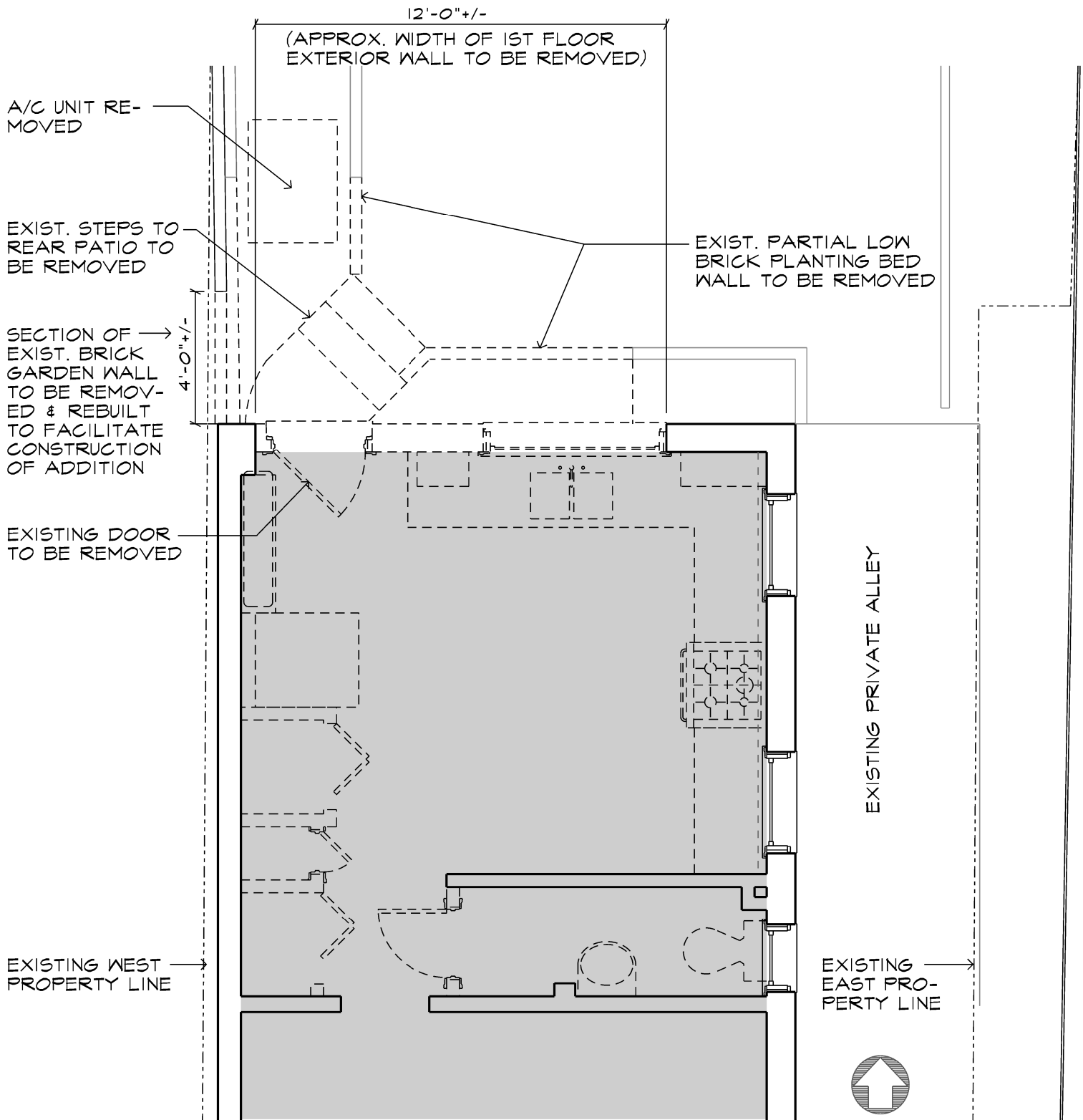
View taken from sidewalk at 229 S. Pitt Street



View of 229 S. Pitt Street rear roof taken from Duke Street

HVAC rooftop units  
on rear roof of 229  
S. Pitt Street





## EXISTING FLOOR PLAN AND PROPOSED DEMOLITION

NOTE: PARTIAL EXTERIOR WALL, WINDOW AND DOOR AT FIRST FLOOR SHALL BE REMOVED IN ORDER TO EXTEND KITCHEN WITH 1-STORY BAY ADDITION FOR AN EAT-IN SEATING AREA. THERE ARE NO ALTERNATIVES TO THE DEMOLITION PROPOSED IN ORDER TO CAPTURE THIS SPACE. FIRST FLOOR BAY ADDITION WILL NOT BE VISIBLE FROM A PUBLIC WAY.

**BECKER**  
ARCHITECTS PLLC

806 Green Street  
Alexandria, VA 22314  
703-548-2253  
beckerarchitects@comcast.net

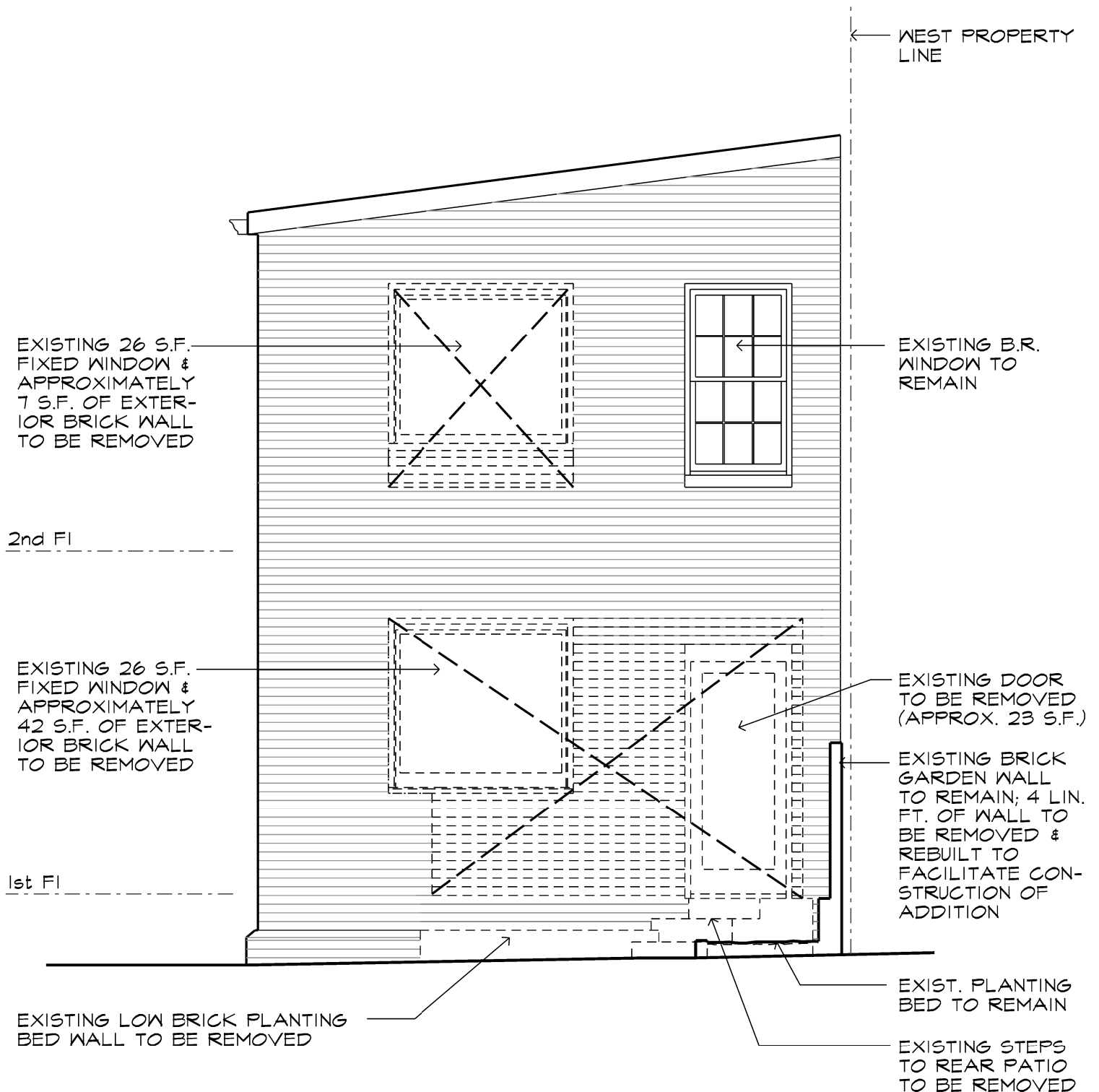
WATSON RESIDENCE

509 Duke Street  
Alexandria, VA 22314

DATE:  
11-16-20

SCALE:  
1/4" = 1'-0"

EX 1



EXISTING REAR (NORTH) ELEVATION  
AND PROPOSED DEMOLITION

**BECKER**  
ARCHITECTS PLLC

806 Green Street  
Alexandria, VA 22314  
703-548-2253  
beckerarchitects@comcast.net

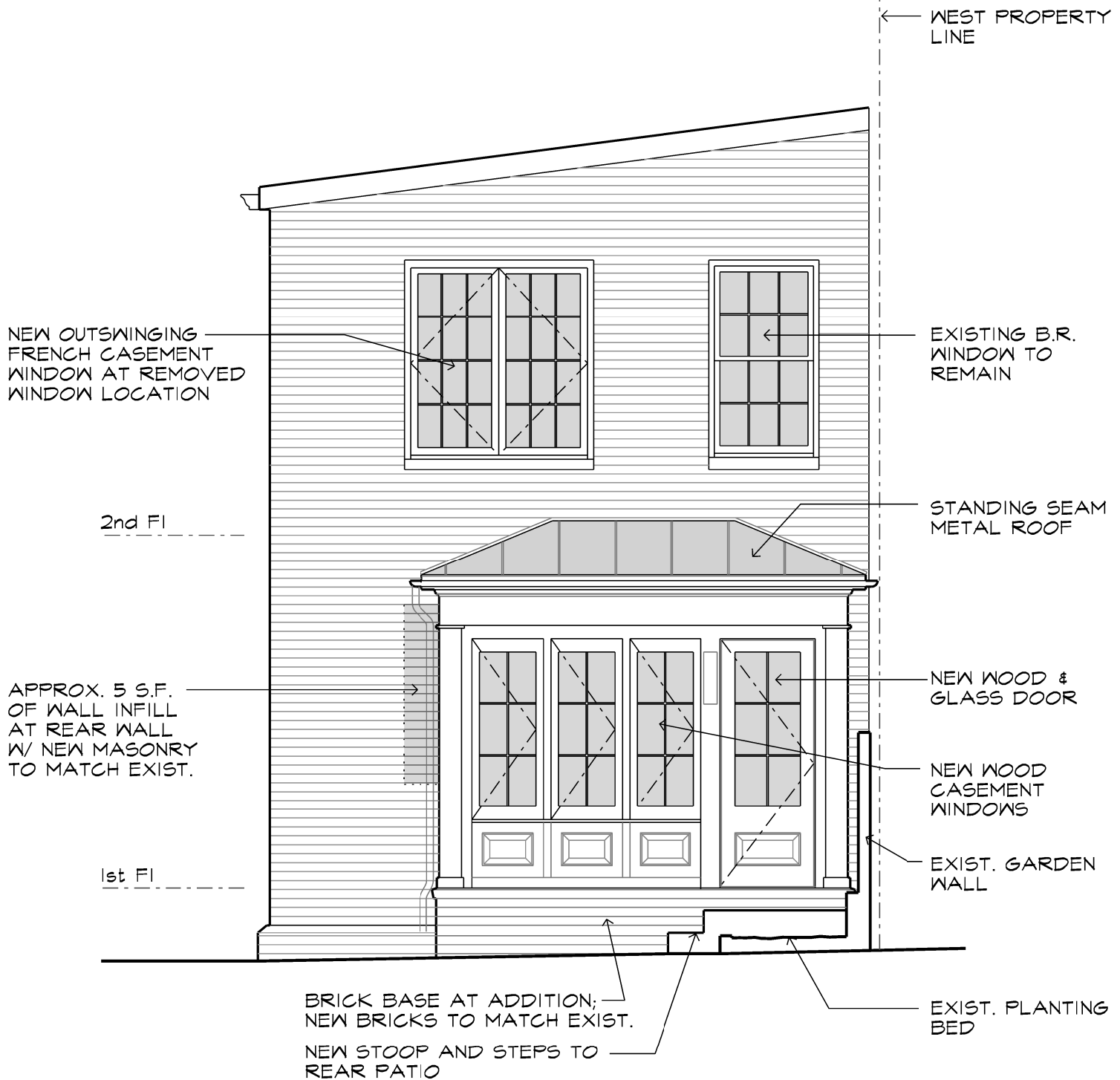
WATSON RESIDENCE

509 Duke Street  
Alexandria, VA 22314

DATE:  
11-16-20

SCALE:  
1/4" = 1'-0"

EX 2



## PROPOSED REAR ELEVATION

**BECKER**  
ARCHITECTS PLLC

806 Green Street  
Alexandria, VA 22314  
703-548-2253  
beckerarchitects@comcast.net

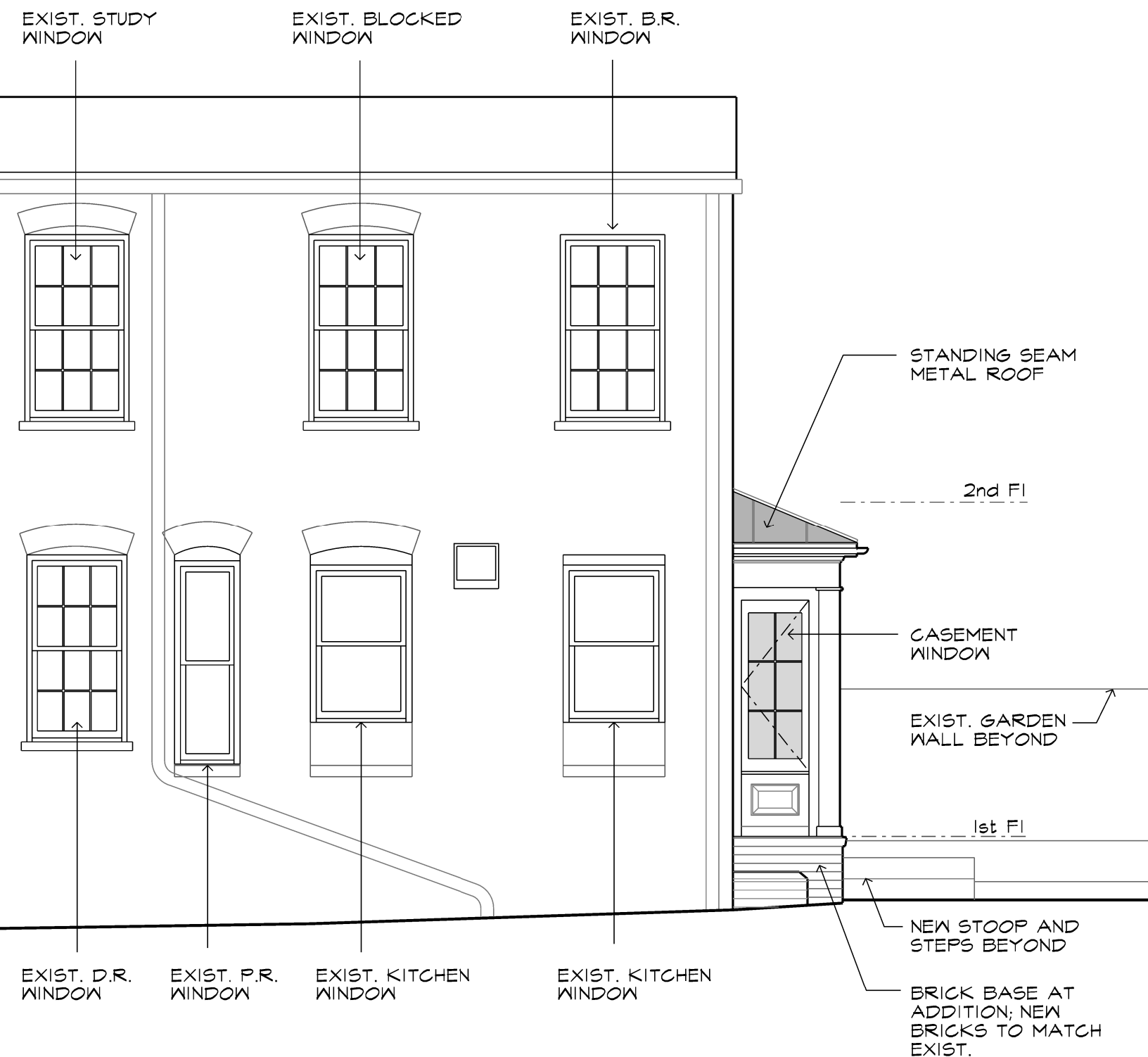
## WATSON RESIDENCE

509 Duke Street  
Alexandria, VA 22314

DATE:  
11-16-20

SCALE:  
1/4" = 1'-0"

EL 1



## PROPOSED EAST SIDE ELEVATION

**BECKER**  
ARCHITECTS PLLC

806 Green Street  
Alexandria, VA 22314  
703-548-2253  
beckerarchitects@comcast.net

WATSON RESIDENCE

509 Duke Street  
Alexandria, VA 22314

DATE:  
11-16-20

SCALE:  
1/4" = 1'-0"

EL 2

**509 Duke Street**  
**EXISTING EXTERIOR PHOTOGRAPHS**



**Existing Rear (North) Facade at 2nd Floor**



**Existing Rear (North) Facade at 1<sup>st</sup> Floor**



**Existing Rear (Northwest) Corner of Patio**