

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations and addition

APPLICANT: Tracy L. Spotts

LOCATION: Old and Historic Alexandria District
518 Queen Street

ZONE: RM/Residential Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations and addition to be approved as submitted.

BOARD ACTION: Deferred for Restudy

By unanimous consent, the Board of Architectural Review accepted the request for deferral of BAR #2020-00473 & BAR #2020-00482.

REASON

The Board found the proposed addition's roof line inappropriate for the flounder house as well as the removal of the window on the east elevation.

SPEAKERS

Mr. Jim Palmer, the project architect, gave a brief presentation stating that the proposed roof solution was to make room for an attic which will be used as storage space since the subject property is very small. He was available to answer questions.

Ms. Gail C. Rothrock, resident at 209 Duke Street, representing Historic Alexandria Foundation, spoke against the project. She found the proposed roof line awkward and inappropriate for the historic flounder house. She also mentioned that the removal of the historic window on the east elevation should not be approved and asked the Board to require deferral of the application for re-study.

DISCUSSION

The Board agreed that the proposed addition's roofline needs to be re-studied and that the window on the east elevation should be retained. The Board unanimously agreed with the deferral of the project. There was no further discussion.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



0 15 30 60 Feet

Note: *Staff coupled the applications for a Permit to Demolish (BAR #2020-00473) and Certificate of Appropriateness (BAR #2020-00482) for clarity and brevity. The Permit to Demolish requires a roll call vote.*

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to add a second story addition at the rear ell, as well as alterations, at 518 Queen Street.

Permit to Demolish/Capsulate

The project calls for the demolition of approximately 147 square feet of historic wall fabric, plus the removal of the roof over the existing one-story ell (28 sf) and the removal of approximately 4 square feet of the main structure roof.

Certificate of Appropriateness *Addition*

The applicant is proposing to construct a second story addition at the rear of the property with a footprint of approximately 11'-0" feet by 10'-6" feet and approximately 116 square feet of living space to accommodate a master suite above the existing one-story ell.

According to the revised plans, the new addition will be indented approximately 5" on the east elevation and flush on the west elevation of the existing historic building, and the addition will be clad with 8" exposure wood siding to differentiate it from the existing 6" German lap siding. The proposed shed metal roof of this addition will slope towards the rear and will be anchored to its extended north elevation wall at the rear of the main building. The revised roofline of the addition will extend approximately 1' above the highest point of the existing half gabled roof (Figure 1); the addition's north elevation extended wall will be functionally not visible from Queen Street.

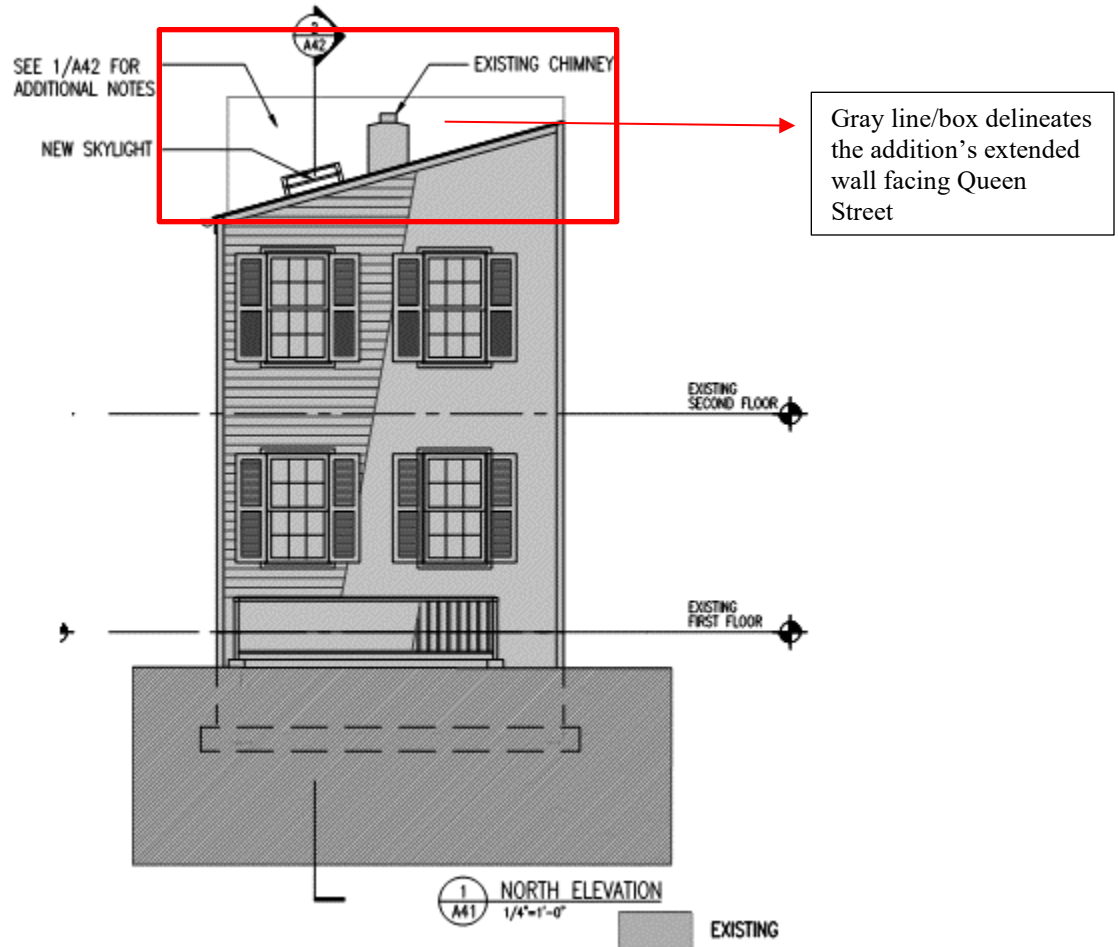


Figure 1 - Proposed North Elevation

The addition will overhang approximately 3'-11" of the existing one-story ell's south wall. The proposed second story east elevation wall will be approximately 5" indented from the main building's wall and will have a ribbon window, which is not going to be visible from any public way.

The addition's rear/south elevation may be minimally visible from Cameron Street when not screened by landscape (Figure 2). The rear/south elevation will feature a wrought iron Juliet balcony and a pair of multilight French doors with side lights.



Figure 2 - south elevation visibility

Alterations

The project calls for the installation of a skylight on the existing roof and the replacement and relocation of an existing vent stack.

Site context

The subject property sits in middle of the 500 block, on the south side of Queen Street. The building is setback approximately 27' feet from the front property line. There is a private alley running behind the property.

II. HISTORY

According to Ethelyn Cox, *Historic Alexandria Virginia Street by Street*, the buildings “514, 516, clapboard, two stories, and 518, clapboard, two stories, may have been on the land when sold by Hannah Wilson in July 1851.” The Sanborn Fire Insurance Map of 1885 (Figure 3) shows that the building at 518 Queen had a twin (520 Queen Street) when built, which was demolished sometime between 1907 and 1912.

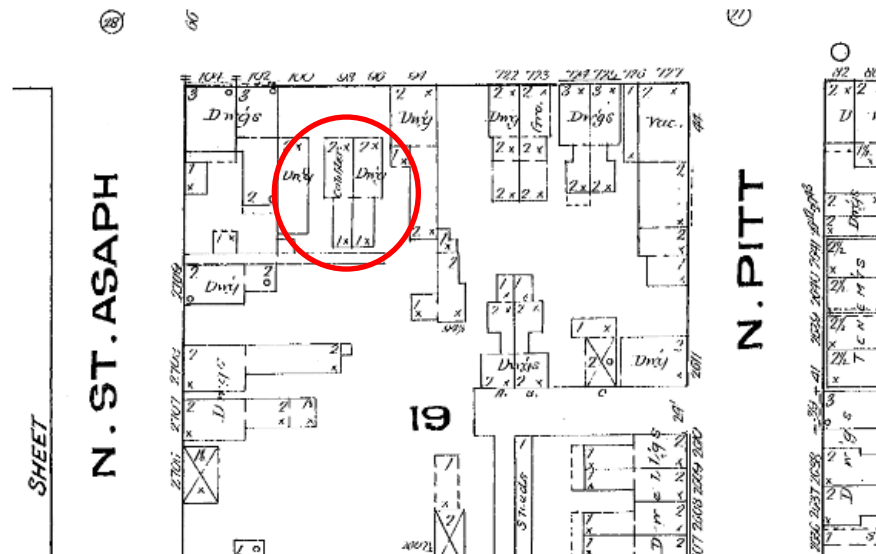


Figure 3 - Sanborn Fire Insurance Map, 1885

According to an interview given to Christopher Martin and cited in the article “Hope Deferred: The Origin and Development of Alexandria's Flounder House,” published in *Perspectives in Vernacular Architecture* in 1986, Roger DiGilio, a real estate agent who lived in a flounder house in Alexandria, stated that:

The reason people built flounder houses in Alexandria was that most of the people would come to Alexandria, they would buy a lot from the municipality, the municipal corporation, and you had to build on the lot within five years or it was forfeited back to the corporation, and this was done to curtail land speculation, therefore the people had to erect a building on the lot or they would lose it.

Now most of the people who settled in Alexandria were city dwellers. They were merchants, traders, who needed their capital for their business, and if they spent their capital erecting a house, they then have a shortage for their business. So the flounder house was a compromise to meet these conditions. They would erect, usually of frame construction, the back of their house on their lot, and they would erect it as cheaply as possible. This met the criteria of having a dwelling on the lot and gave them a place to live at very little expense without their capital tied up. Then, as they went along and prospered at their endeavors, they could buy enough so they could erect the front of the house, usually out of masonry. Then, a few years later, if they continued to prosper, they could tear down the wood flounder and erect a masonry flounder, making a complete house.¹

This property has a scenic and open space easement held by the Alexandria Historical Restoration and Preservation Commission (AHRPC). AHRPC has no objections to the proposal.

¹ Martin, Christopher. ““Hope Deferred”: The Origin and Development of Alexandria's Flounder House.” *Perspectives in Vernacular Architecture*, vol. 2, 1986, pp. 111–119. JSTOR, www.jstor.org/stable/3514322. Accessed 27 Oct. 2020.

Previous BAR Approvals

No previous BAR approvals

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met in this case and the Permit to Demolish/Capsulate should be granted. The Board routinely approves additions to historic properties as homeowners seek to create additional modern living spaces. In addition, the existing rear elevation does not exhibit a high level of design or architectural detail and uses materials that could be reproduced easily.

Certificate of Appropriateness
Addition

The applicant has taken into consideration staff's previous recommendations to differentiate the addition from the main historic building by indenting 5" the addition's east elevation wall that was previously proposed to be flush with the main building and by adding a vertical and horizontal trim to emphasize the addition on the west elevation, which will be flush with the original building (Figure 4).

The cladding material was originally proposed to match the historic siding in material and exposure, which now has been modified to have a larger, 8" exposure to differentiate it from the original 6" exposure. Therefore, staff finds the proposed addition to be generally compatible with the historic building in scale and mass and materials. The *Design Guidelines* for residential additions recommend a distinct yet compatible contrast with the original building through the use of differing materials, colors, and the abstraction of the principal design of the original elements.

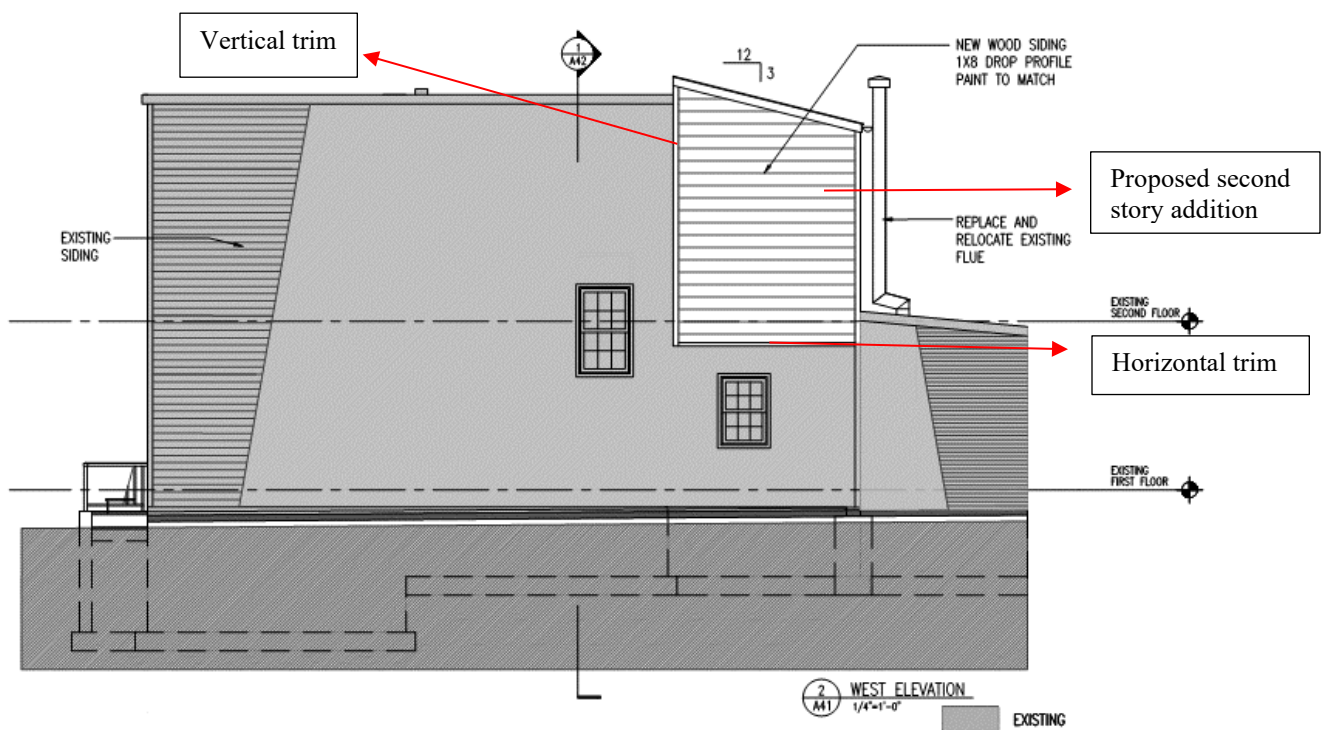


Figure 4 - West elevation

The Board had concerns about the addition's roofline which was previously proposed to be approximately 3' above the highest point of the original building's roof and 7' above the lowest point (Figure 5). The applicant has lowered the addition's rear/north elevation extended wall by 2' (Figure 6)

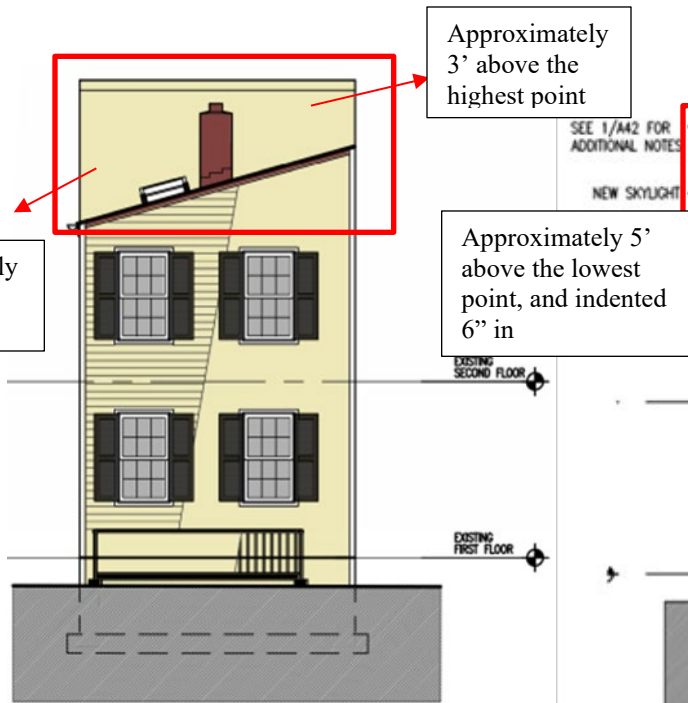


Figure 5 - previous proposal - north elevation

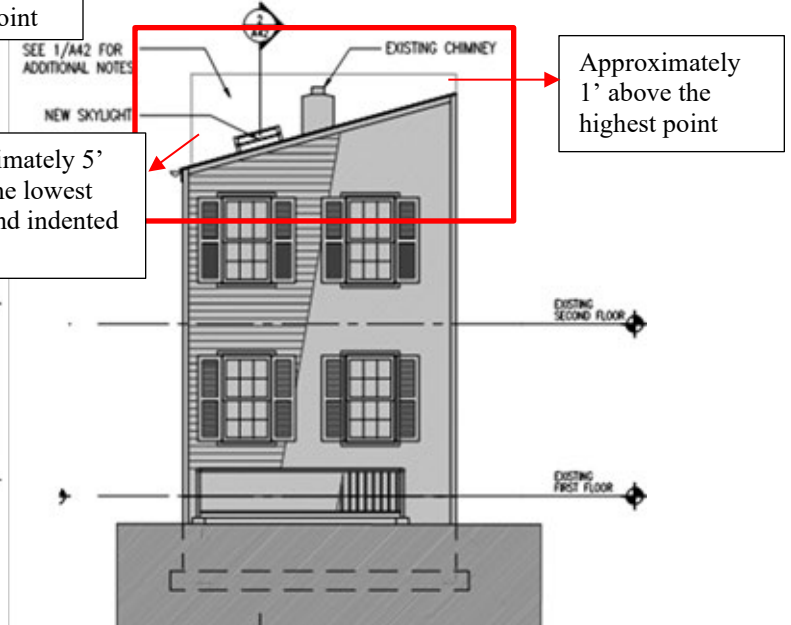


Figure 6- new proposal - north elevation

Staff finds the addition's roof material to be compatible with the historic building and has no objection to the revised lower height of the addition's roofline, north elevation extended wall, since it will be practically not visible from Queen Street (Figure 7). The subject property is set back approximately 27' from the street, and the adjacent building to the west, 522 Queen Street, is on the front property line obstructing the view. The same occurs with the adjacent building to the east, 516 Queen Street, which obstruct the view as well (Figure 8).



Figure 7 - Queen Street view (west side)



Figure 8 - Queen Street view (east side)

The addition's roofline, north elevation extended wall, maybe be minimally visible from Queen Street when not screened by the existing trees and from a direct frontal viewshed (Figure 9).



Figure 9- frontal view, north elevation

Even though the rear/south elevation may be minimally visible from a public way, and if visible at all it will be from more than 300 feet away, staff has no objection to the proposed wrought iron Juliet Balcony and French doors with side lights and finds these elements appropriate for the addition.

Moreover, staff has no objection to the proposed skylight and the replacement and relocation of the existing vent stack since they will be functionally not visible from a public way. Staff also acknowledges the applicant's effort to comply with the Board's recommendation to keep the existing east elevation's second story window on the main building.

Therefore, staff recommends approval of the project as submitted.

STAFF

Marina Novaes, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

F-1 The RM required rear yard setback is 16 feet. There is a five-foot alley behind the house, half of which can count towards the 16-foot setback. The addition must be 13 feet 5 inches from the rear property line.

F-2 The FAR form calculates the existing square footage of the house twice. A revised FAR sheet must be submitted at time of building permit.

C-1 Proposed second story addition complies with zoning.

Code Administration

C-1 A building permit and plan review are required prior to the start of construction.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 Archaeological oversight will not be necessary for this undertaking.

V. ATTACHMENTS

- 1 – Application for BAR #2020-00473 & 2020-00482: 518 Queen Street*
2 – Supplemental Materials

ADDRESS OF PROJECT: 518 QUEEN ST ALEXANDRIA VA 22314DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old BuildingTAX MAP AND PARCEL: 064.04-09-05ZONING: RMAPPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*Name: Tracey L. SpottsAddress: 518 Queen StreetCity: Alexandria State: VA Zip: 22314Phone: (202) 413-1099 E-mail: traceylee01@hotmail.comAuthorized Agent *(if applicable)*: ☐ Attorney ☒ Architect ☐ _____Name: James PalmerPhone: (703) 549-4033E-mail: jpalmer@sanchezpalmerarchitects.com

Legal Property Owner:

Name: Tracey L. SpottsAddress: 518 Queen StreetCity: Alexandria State: VA Zip: 22314Phone: (202) 413-1099 E-mail: traceylee01@hotmail.com

- ☒ Yes ☒ No Is there an historic preservation easement on this property?
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☒ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- | | | | |
|--|---|---|-----------------------------------|
| <input type="checkbox"/> NEW CONSTRUCTION | | | |
| <input checked="" type="checkbox"/> EXTERIOR ALTERATION: <i>Please check all that apply.</i> | | | |
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input checked="" type="checkbox"/> doors | <input checked="" type="checkbox"/> windows | <input checked="" type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input checked="" type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
| <input checked="" type="checkbox"/> ADDITION | | | |
| <input checked="" type="checkbox"/> DEMOLITION/ENCAPSULATION | | | |
| <input type="checkbox"/> SIGNAGE | | | |

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

An addition is proposed at the second floor in the rear of the house. The addition is approximately 145 square feet and adds a bedroom to the second floor. A new bathroom will also be added on the second floor within the existing footprint. Exterior demolition is limited to what is necessary to make the 2nd floor addition and will not be visible from the front (Queen St side) of the house.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- | | |
|--|---|
| <input type="checkbox"/> N/A
<input type="checkbox"/>
<input type="checkbox"/>
<input type="checkbox"/>
<input type="checkbox"/>
<input type="checkbox"/> | <input checked="" type="checkbox"/> Survey plat showing the extent of the proposed demolition/encapsulation.
<input checked="" type="checkbox"/> Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
<input checked="" type="checkbox"/> Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
<input checked="" type="checkbox"/> Description of the reason for demolition/encapsulation.
<input checked="" type="checkbox"/> Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible. |
|--|---|

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☒ FAR & Open Space calculation form.
- ☐ ☒ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☒ Existing elevations must be scaled and include dimensions.
- ☐ ☒ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☒ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☒ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet or bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: JAMES PALMER

Date: 9/18/20

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Tracey L. Spotts	518 QUEEN ST ALEXANDRIA VA 22314	100
2. James Palmer (agent)	911 KING ST, 2ND FLR ALEXANDRIA VA 22314	0
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 518 QUEEN ST ALEXANDRIA VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Tracey L. Spotts	518 QUEEN ST ALEXANDRIA VA 22314	100
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Tracey L. Spotts	None	None
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

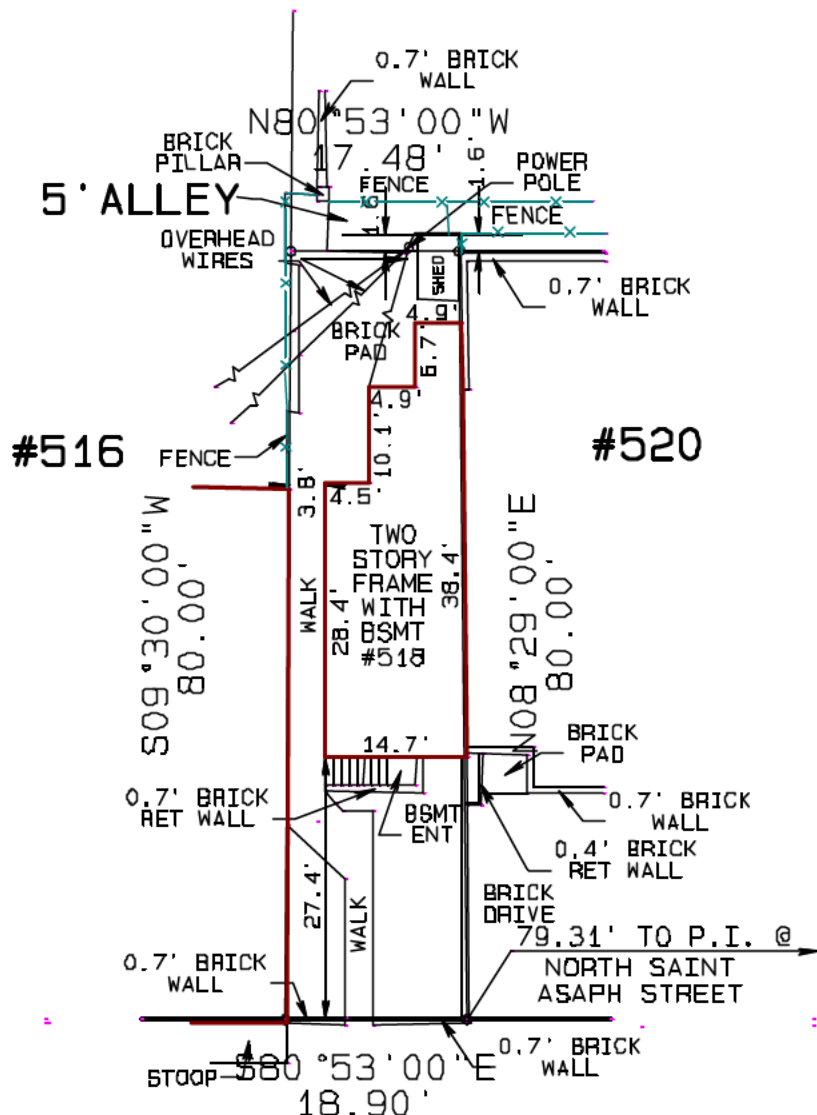
09/21/20

Date

JAMES PALMER

Printed Name

Signature



QUEEN STREET

66' R/W

HOUSE LOCATION SURVEY ON PROPERTY LOCATED AT

#518 QUEEN STREET

CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1"=20'

DATE: JUNE 14, 2006

NO TITLE REPORT FURNISHED.
PLAT SUBJECT TO RESTRICTIONS & EASEMENTS OF RECORD
OR OTHERWISE.
FENCE LOCATIONS, IF SHOWN, ARE APPROXIMATE ONLY AND
DO NOT CERTIFY AS TO OWNERSHIP.

CASE NAME: DEMONTIGNY/DEMSEAR TO SPOTTS

MBH SETTLEMENT GROUP, L.C. (TX0606006)

I HEREBY CERTIFY THAT THE POSITION OF ALL EXISTING
IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY
A TRANSIT TAPE SURVEY AND UNLESS OTHERWISE SHOWN,
THERE ARE NO ENCHROACHMENTS EITHER WAY ACROSS
THE PROPERTY LINE

LARRY N. SCARTZ
CERTIFIED LAND SURVEYOR
WOODBRIDGE, VIRGINIA

TELEPHONE: WOODBRIDGE (703) 494-4181
METRO (703) 690-4955
FAX (703) 690-3999

CERTIFIED LAND SURVEYOR

20061924

JB



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations

as of 12/20/18

B

A. Property Information

A1. 518 QUEEN STREET
Street Address

RM
Zone

A2. 1,455.00 x 1.50 = 2,182.50
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area

Basement 410.00
First Floor 546.00
Second Floor 410.00
Third Floor
Attic
Porches
Balcony/Deck
Lavatory***
Other**

Allowable Exclusions**

Basement** 410.00
Stairways** 24.00
Mechanical***
Attic less than 7'***
Porches**
Balcony/Deck**
Lavatory*** 30.00
Other**
Other**

B1. 1,366.00 Sq. Ft.
Existing Gross Floor Area*
B2. 464.00 Sq. Ft.
Allowable Floor Exclusions**
B3. 902.00 Sq. Ft.
Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

B1. **Total Gross** 1,366.00 B2. **Total Exclusions** 464.00

C. Proposed Gross Floor Area

Proposed Gross Area

Basement 410.00
First Floor 593.00
Second Floor 555.00
Third Floor
Attic 149.00
Porches
Balcony/Deck
Lavatory***
Other

Allowable Exclusions**

Basement** 410.00
Stairways** 24.00
Mechanical***
Attic less than 7'*** 149.00
Porches** 0.00
Balcony/Deck**
Lavatory*** 73.00
Other**
Other**

C1. 1,707.00 Sq. Ft.
Proposed Gross Floor Area*
C2. 656.00 Sq. Ft.
Allowable Floor Exclusions**
C3. 1,051.00 Sq. Ft.
Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

C1. **Total Gross** 1,707.00 C2. **Total Exclusions** 656.00

D. Total Floor Area

D1. 1,953.00 Sq. Ft.
Total Floor Area (add B3 and C3)
D2. 2,182.50 Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space

E1. 690.00 Sq. Ft.
Existing Open Space
E2. 509.00 Sq. Ft.
Required Open Space
E3. 690.00 Sq. Ft.
Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

**Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____

Date: _____

9/18/20

**SANCHEZ PALMER
ARCHITECTS, PC**
911 King Street
Alexandria, Virginia 22314
703 549 4033

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1 PHOTO OF EXISTING – FROM REAR YARD
A02 SCALE: N/A



2 PHOTO OF EXISTING – FRONT YARD
A02 SCALE: N/A



3 PHOTO OF EXISTING – VIEW ADJACENT WEST PROPERTY (NOT PUBLIC)
A02 SCALE: N/A



4 PHOTO OF EXISTING – EAST SIDE YARD
A02 SCALE: N/A

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PHOTOS OF
EXISTING
CONDITIONS

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A02



1 PHOTO OF EXISTING – SIDEWALK OF ADJACENT PROPERTY (520 QUEEN ST)
A02B SCALE: N/A



2 PHOTO OF EXISTING – ACROSS QUEEN STREET
A02B SCALE: N/A



3 PHOTO OF EXISTING – VIEW FROM PARKING LOT TO THE REAR (NOT PUBLIC)
A02B SCALE: N/A



4 PHOTO OF EXISTING – VIEW FROM ST ASAPH TO REAR
A02B SCALE: N/A

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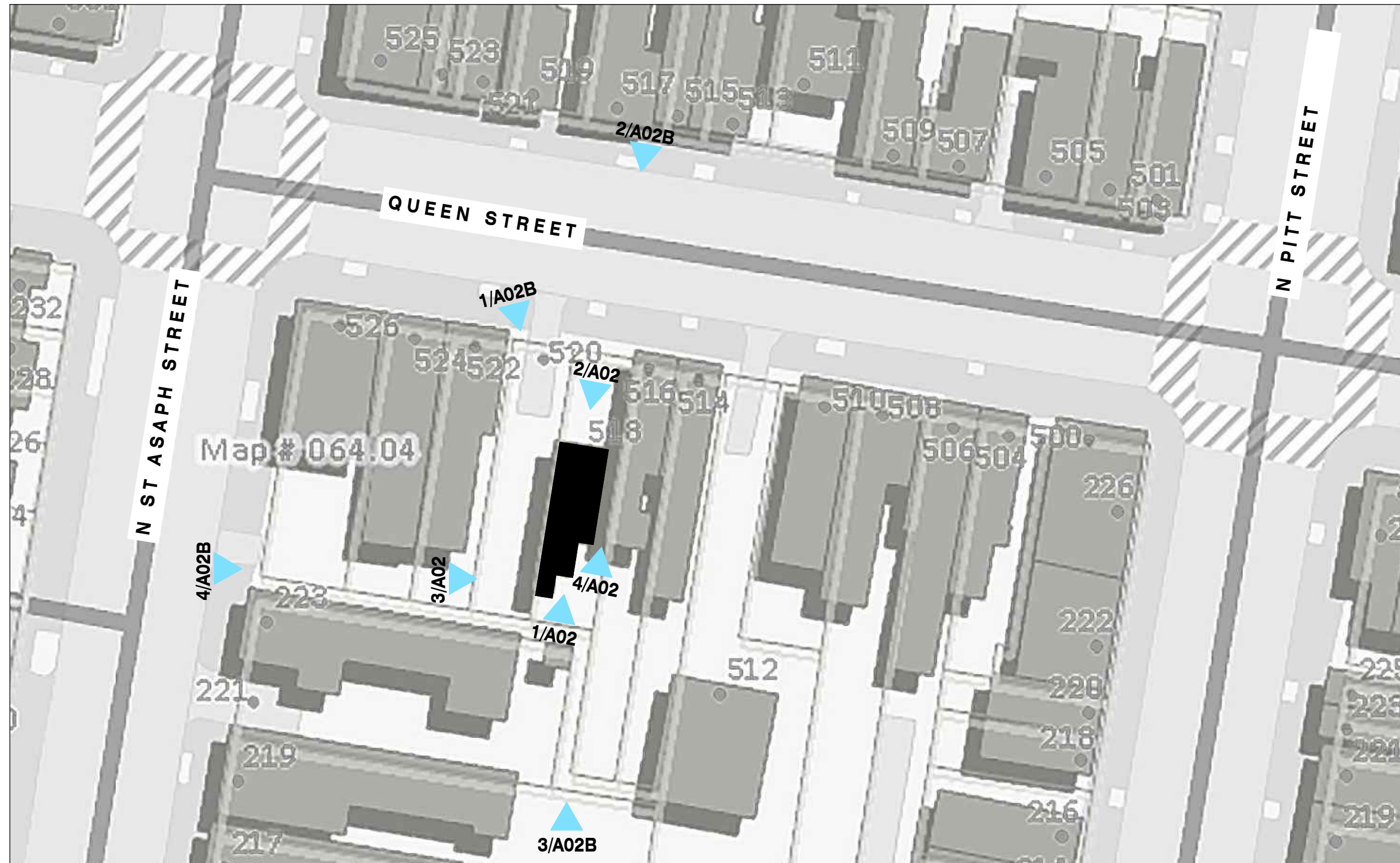
PHOTOS OF
EXISTING
CONDITIONS

Graphic Scale:

Drawn By: Checked by:

Project No.: Date:
19-225 November 19, 2020
SHEET NO.

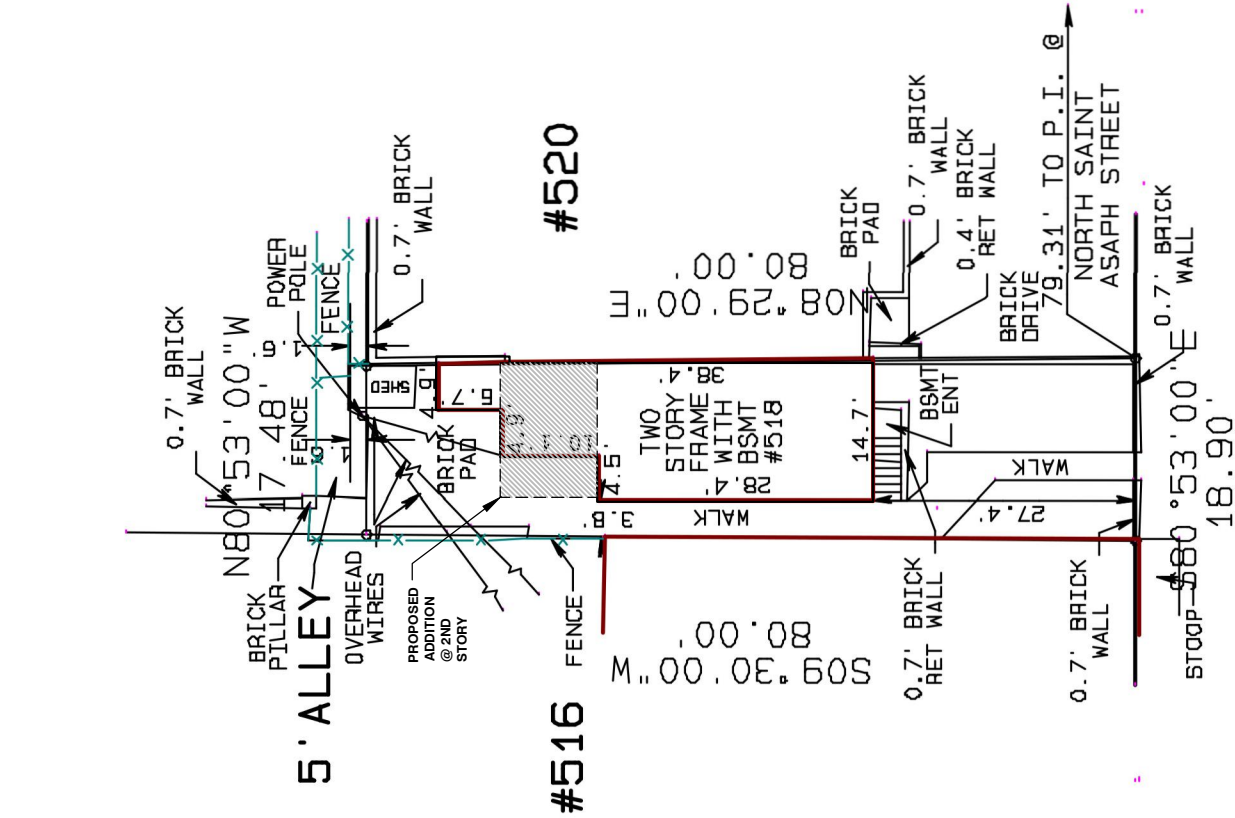
A02B



NOTE:
PHOTOGRAPHS TAGGED ARE
SHOWN ON SHEETS A02 & A02B



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HOUSE LOCATION SURVEY
ON PROPERTY LOCATED AT
#518 QUEEN STREET

CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1"=20' DATE: JUNE 14, 2006

NO TITLE REPORT FURNISHED. PLAT SUBJECT TO RESTRICTIONS & EASEMENTS OF RECORD FENCE LOCATIONS IF SHOWN ARE APPROXIMATE ONLY AND DO NOT CERTIFY AS TO OWNERSHIP.	CASE NAME: DEMONTIGNY/DENSHAR TO SPOTTS MBH SETTLEMENT GROUP, L.C. (TX0606006)
I HEREBY CERTIFY THAT THE POSITION OF ALL EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A TRANSIT TAPE SURVEY AND UNLESS OTHERWISE SHOWN, THERE ARE NO ENCROACHMENTS EITHER WAY ACROSS THE PROPERTY LINE	LARRY N. SCARTZ CERTIFIED LAND SURVEYOR WOODBRIDGE, VIRGINIA TELEPHONE: WOODBRIDGE (703) 494-4181 METRO (703) 690-4955 FAX (703) 690-3989 JB
CERTIFIED LAND SURVEYOR	20061924

1
A03 EXISTING PLAT
SCALE 1"=20'

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EXISTING PLAT

Graphic Scale:

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A03

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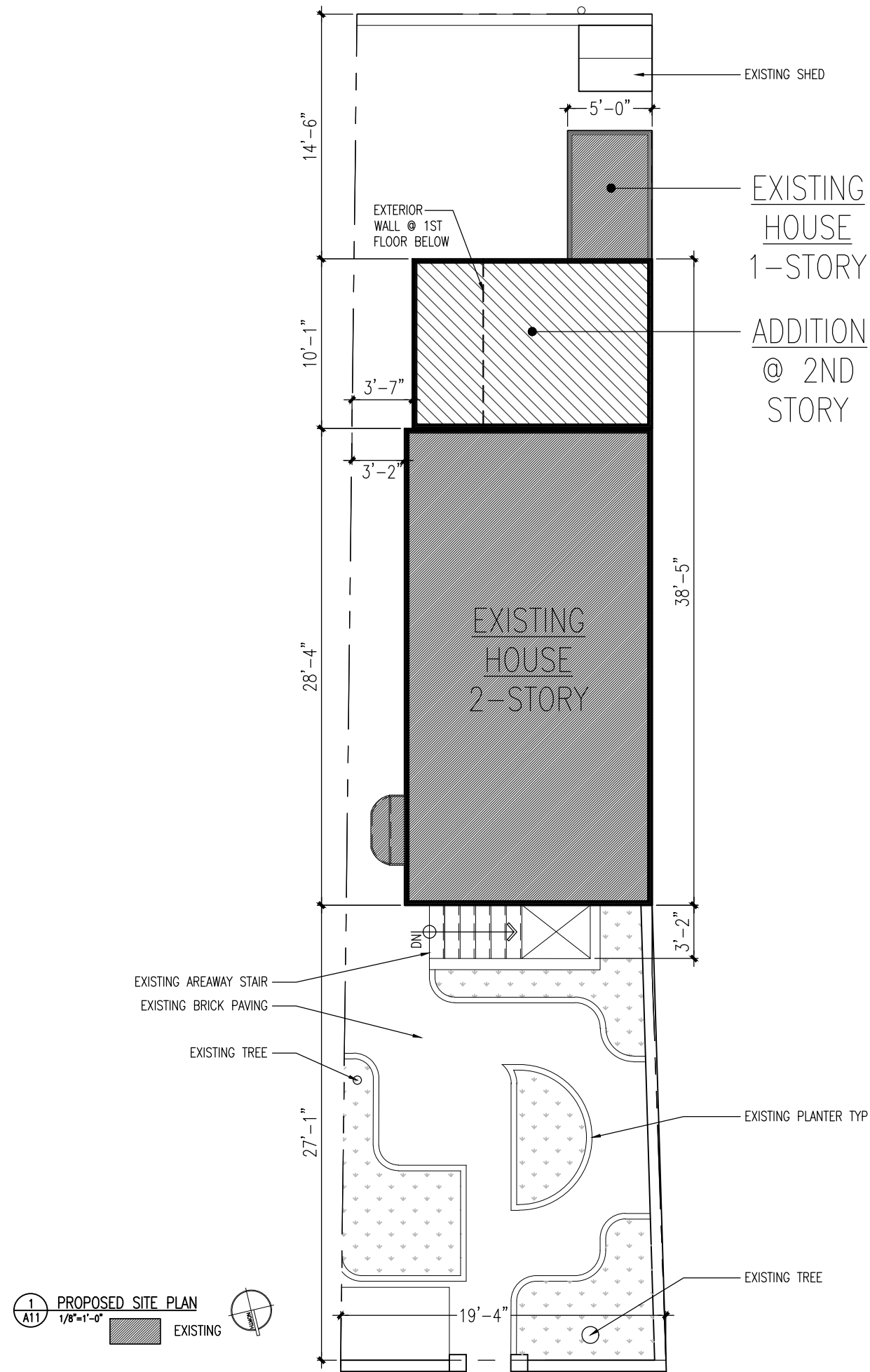
PROPOSED
SITE PLAN

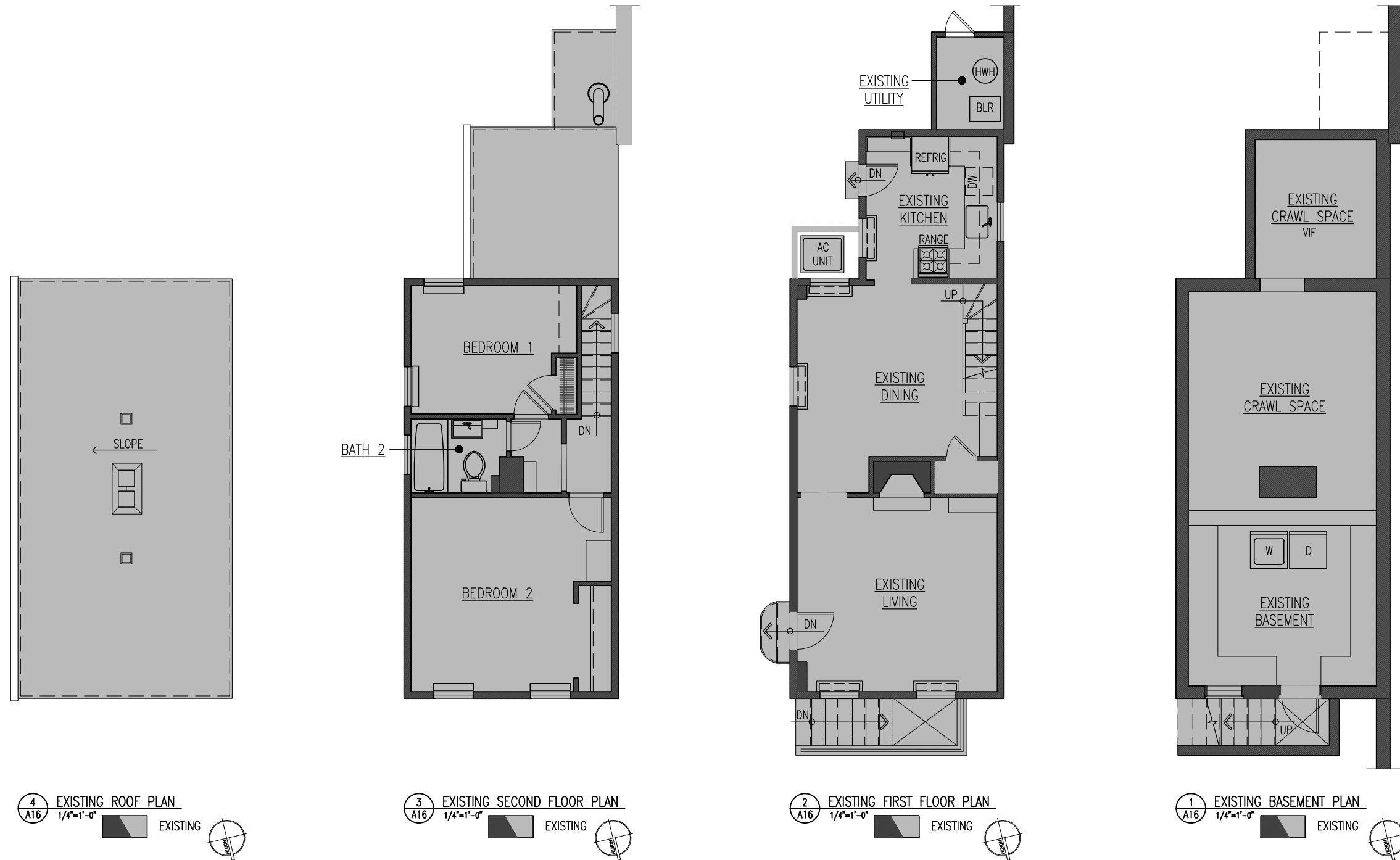
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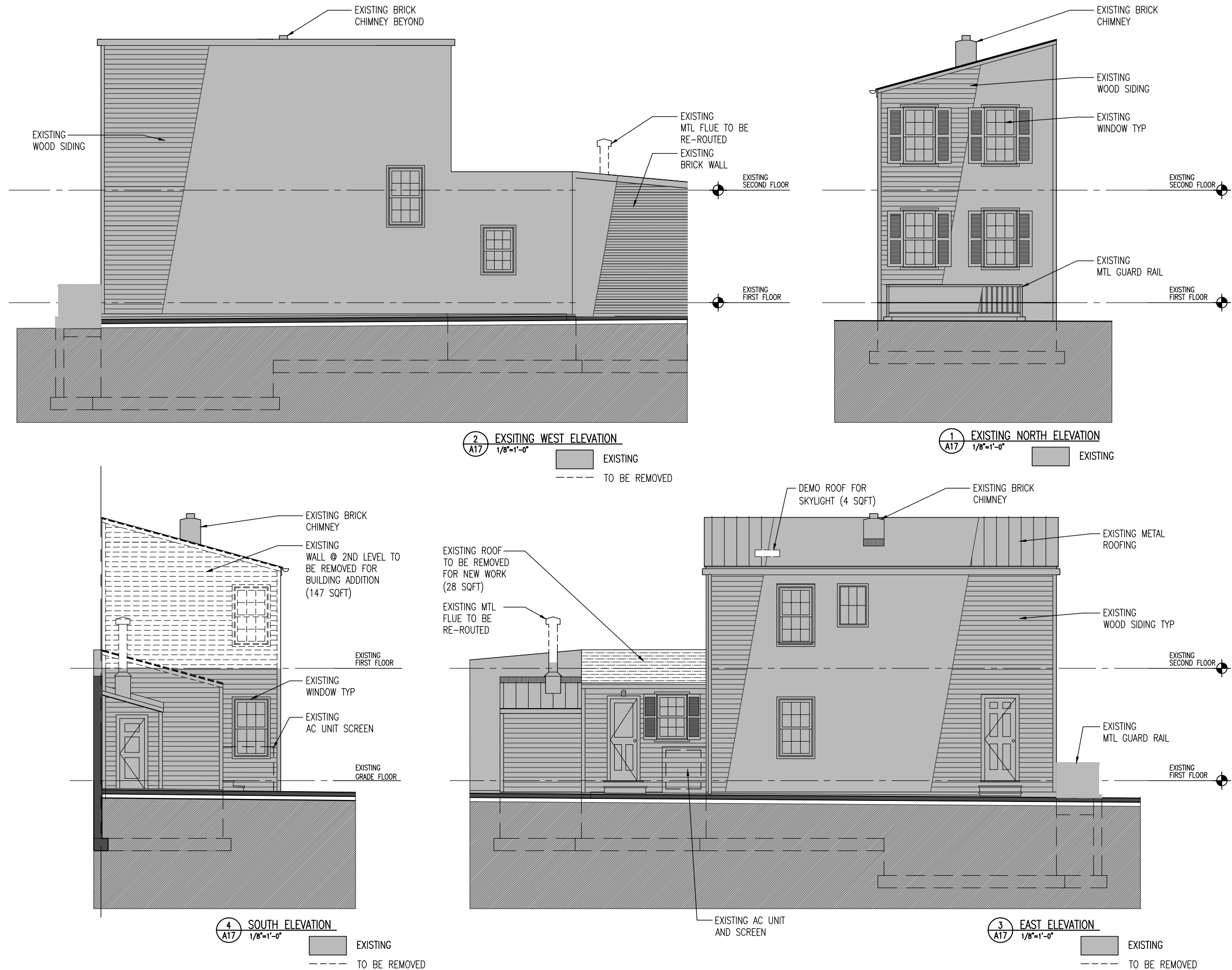
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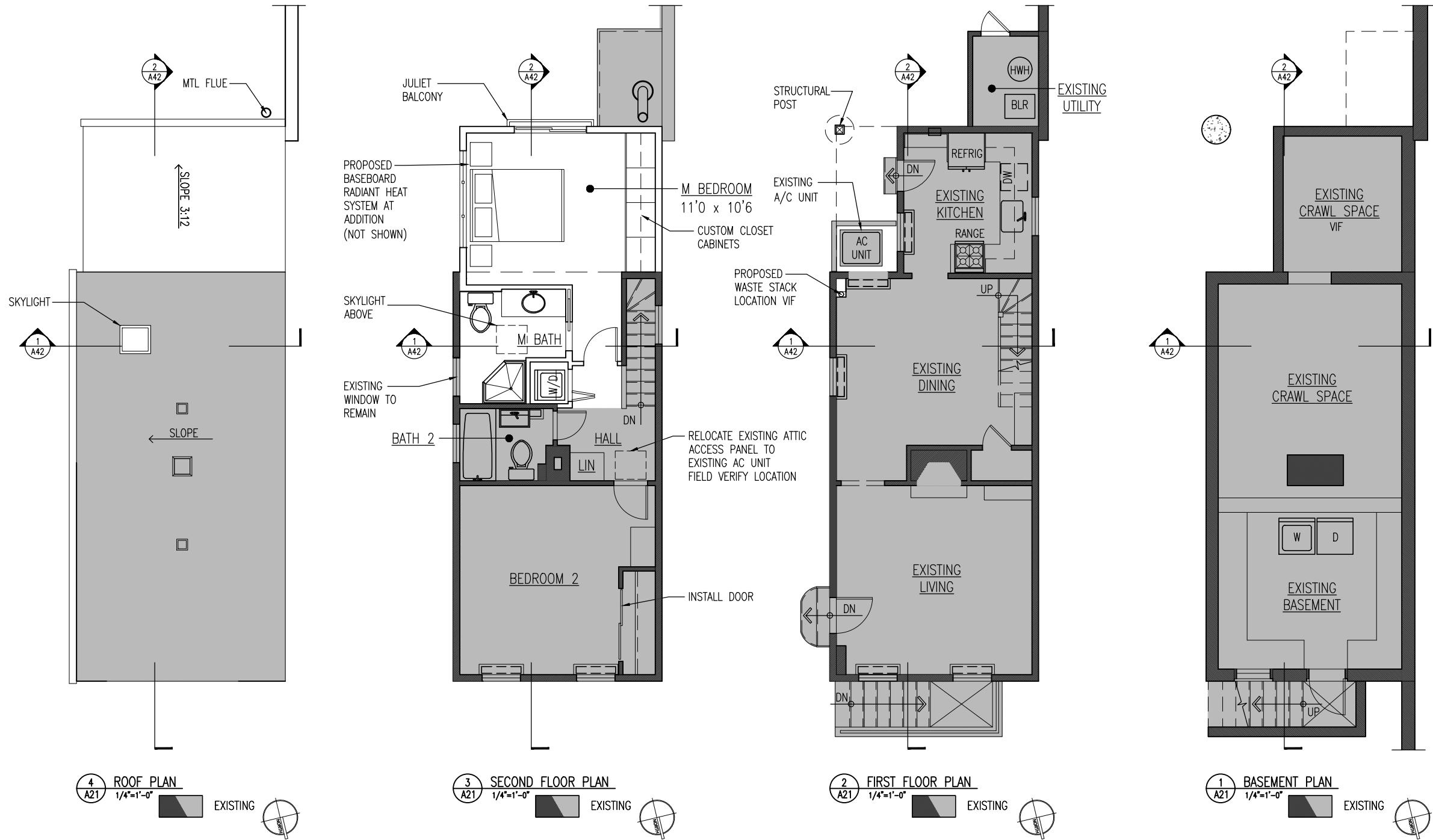
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A11









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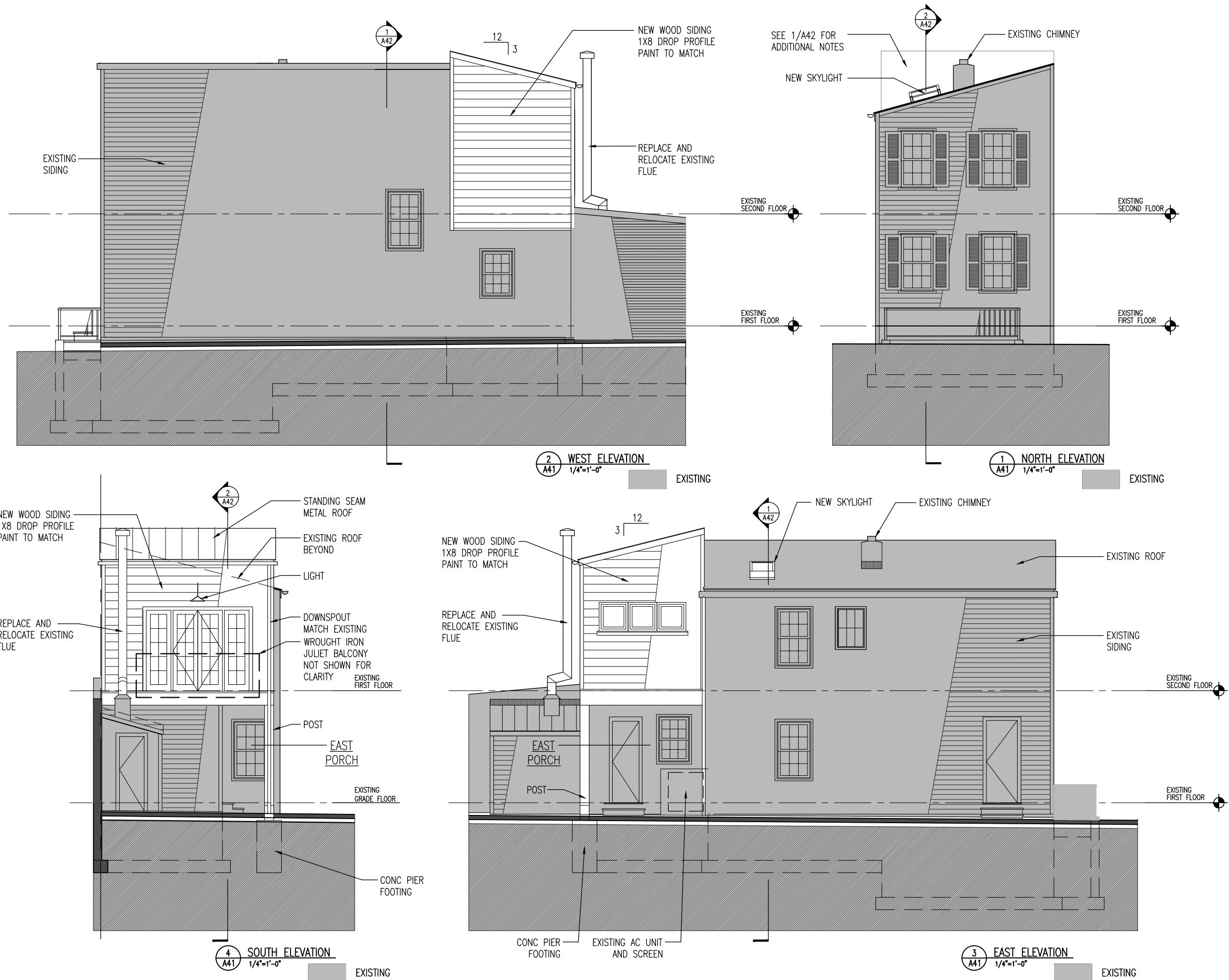
PROPOSED ELEVATIONS

Graphic Scale:

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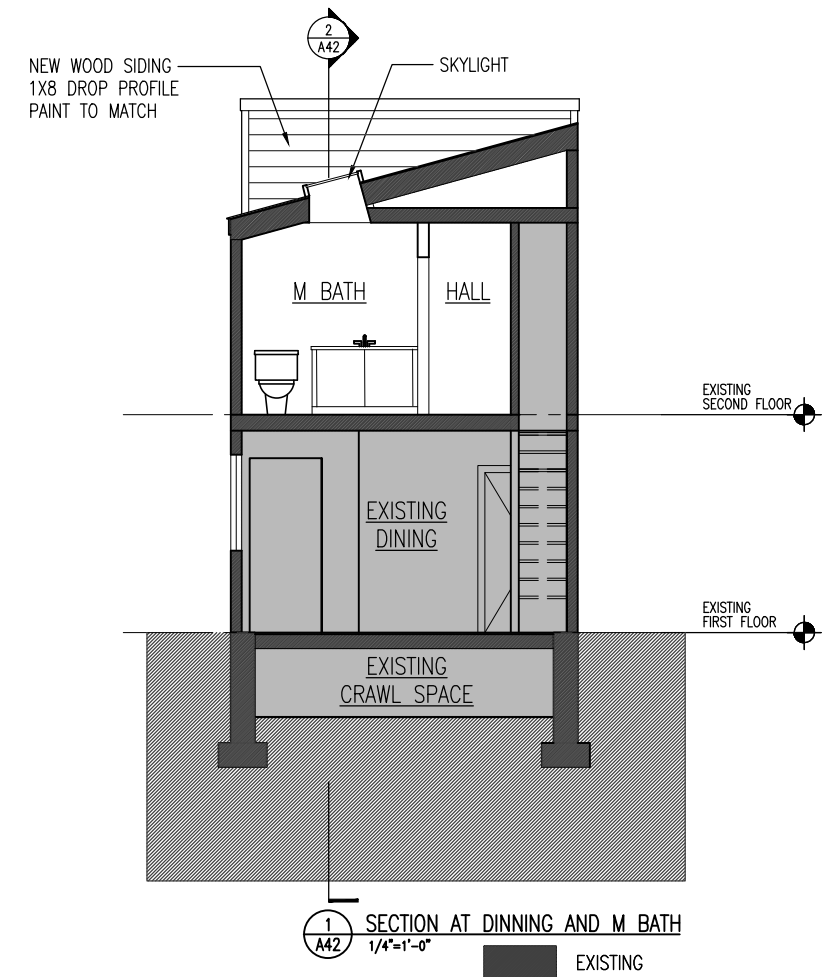
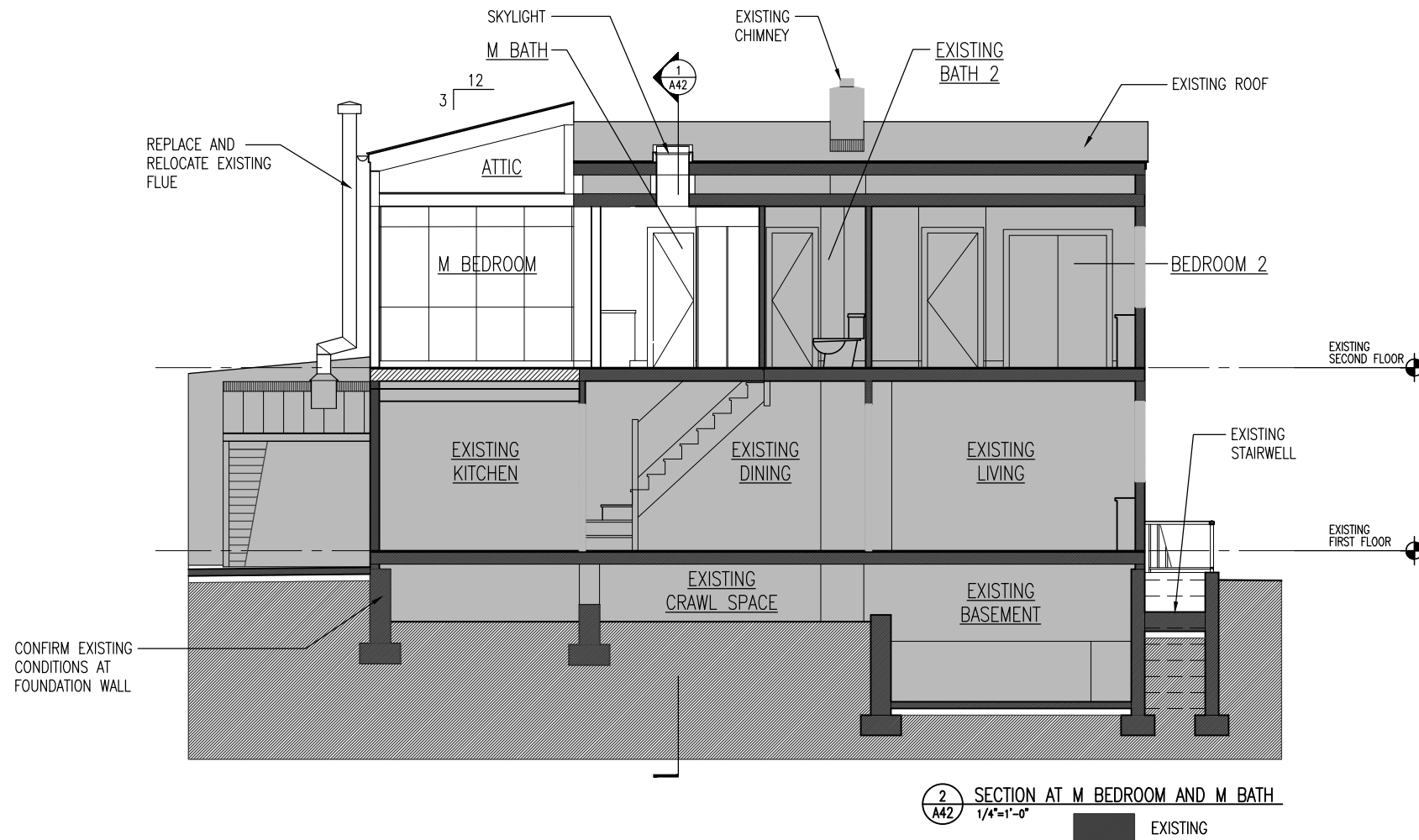
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A41



PROPOSED
SECTIONS

A42



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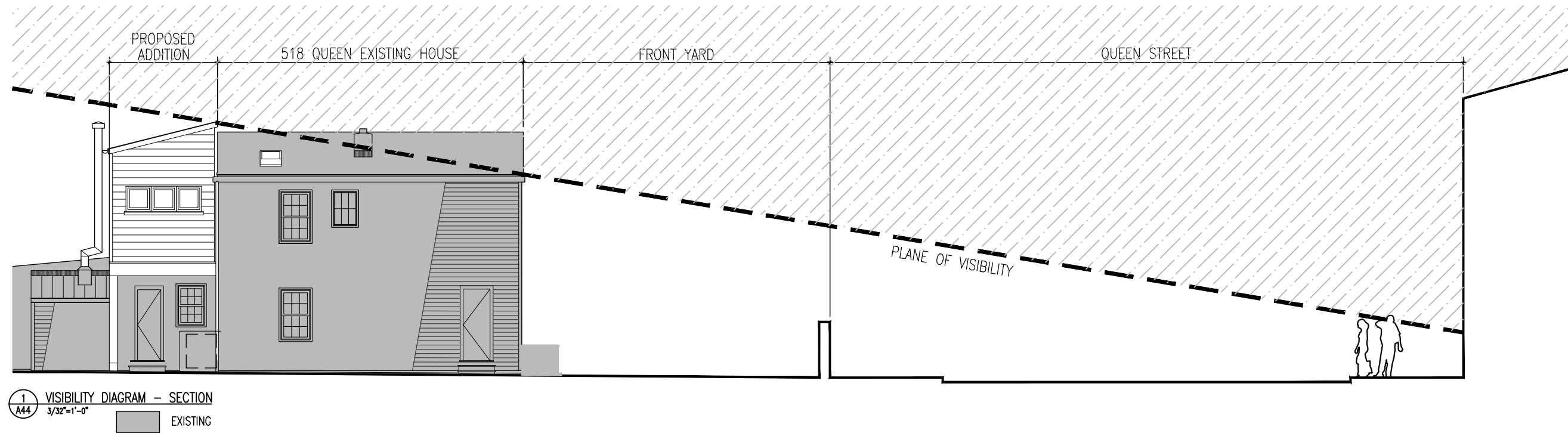
VISIBILITY
DIAGRAM

Graphic Scale:

Drawn By: Checked by:

Project No.: Date:
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A44



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Sheet Title:

MONTAGE OF
PROPOSED

Graphic Scale:

Drawn By: Checked by:

Project No.: Date:
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SHEET NO.

A90



1
A90 PERSPECTIVE MONTAGE
SCALE: N/A

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Sheet Title:

MONTAGE OF
PROPOSED

Graphic Scale:

Drawn By: Checked by:

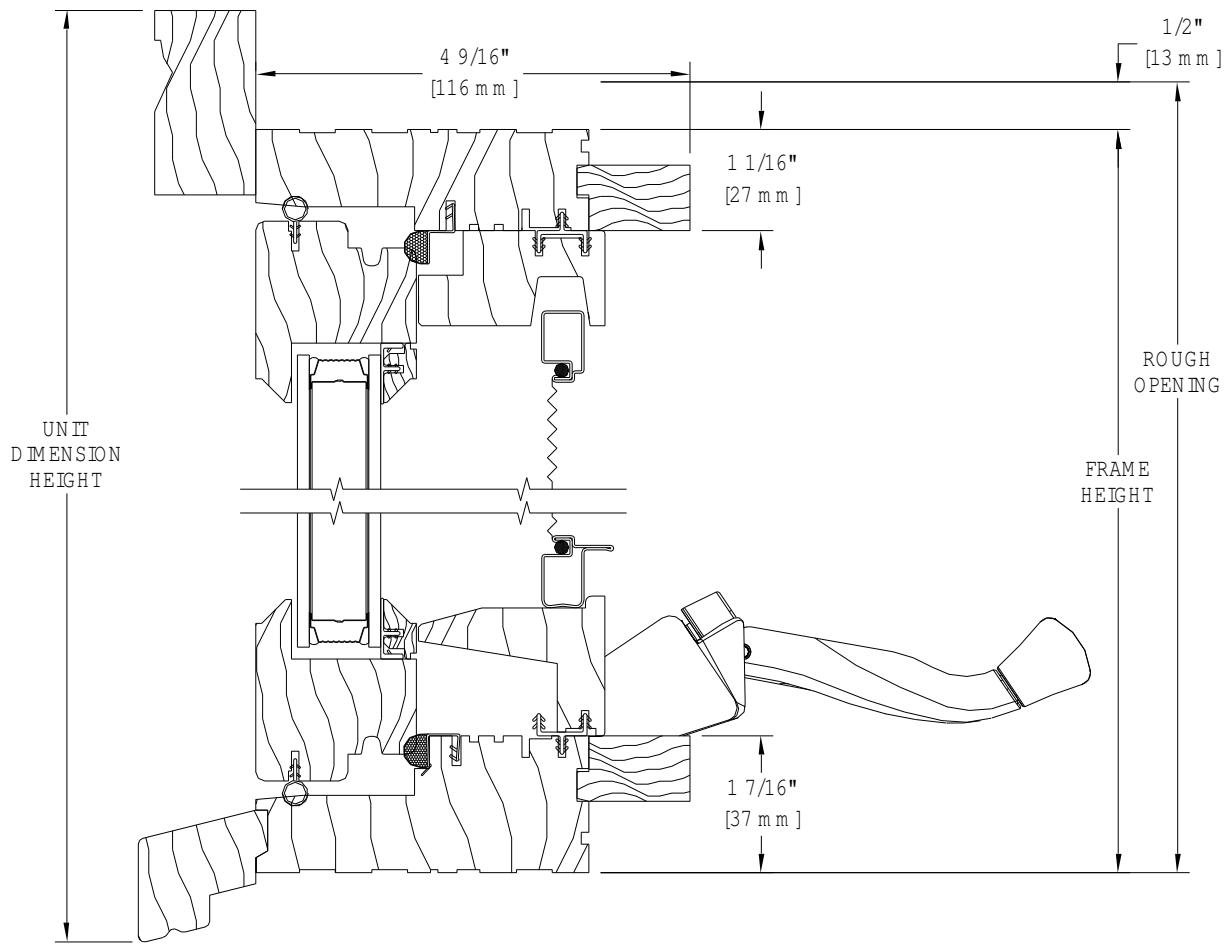
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SHEET NO.

A91

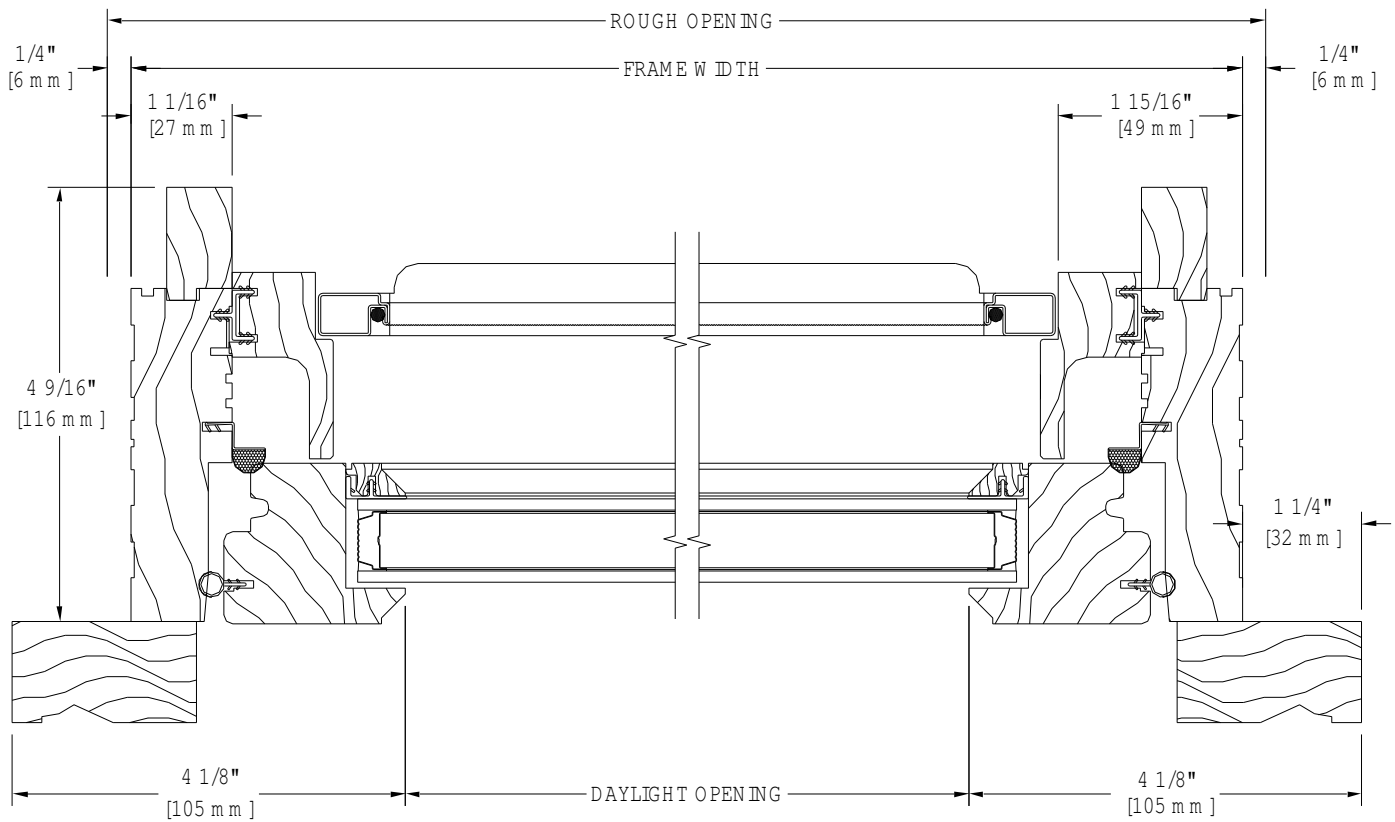


1
A91 PERSPECTIVE MONTAGE
SCALE: N/A

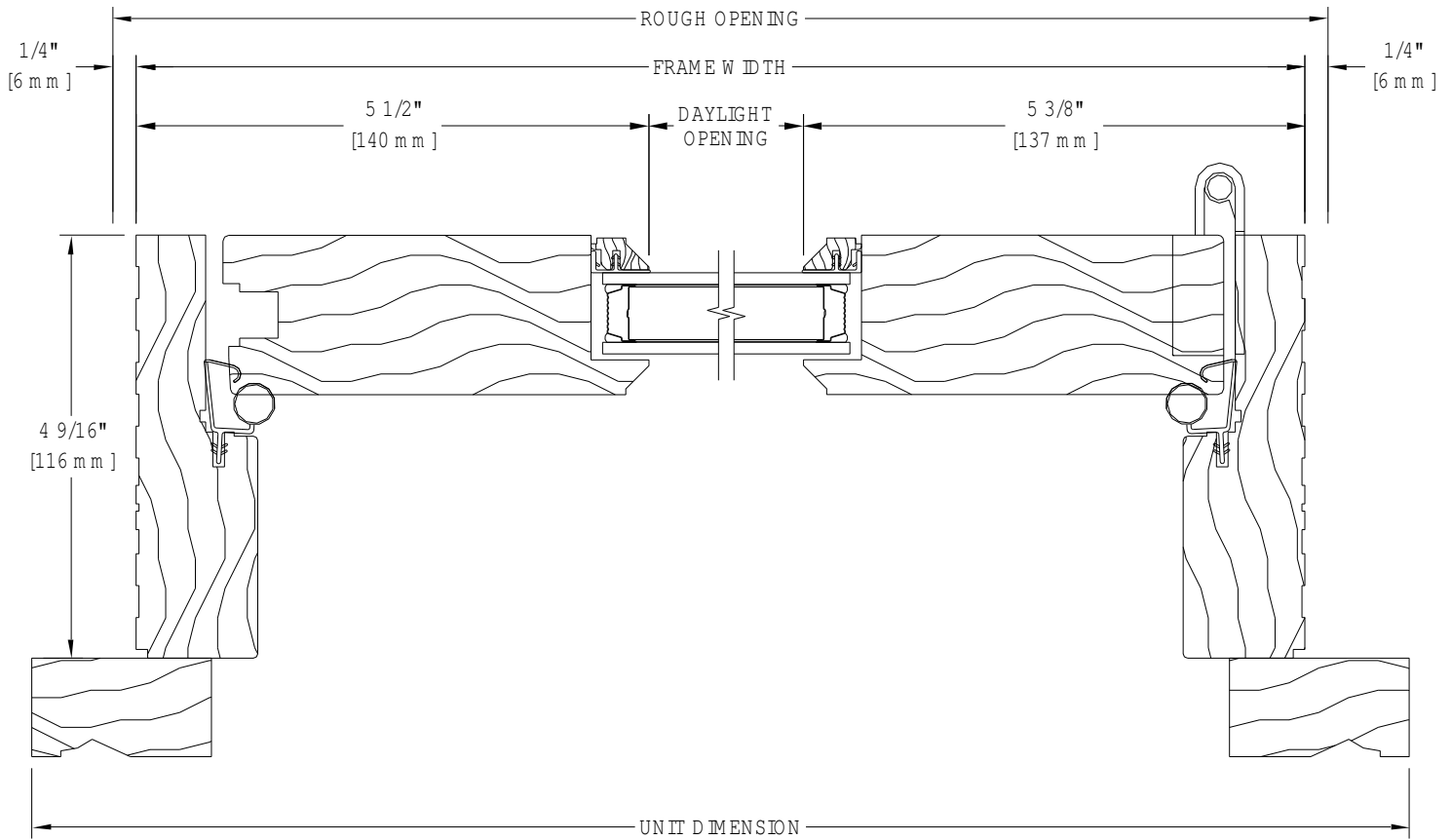
PROPOSED WINDOWS
@ EAST ELEVATION



**PROPOSED WINDOWS
@ EAST ELEVATION**



**PROPOSED PATIO DOOR
 @ SOUTH ELEVATION**



KOLBE

WINDOWS & DOORS

HERITAGE SERIES
ENTRANCE/SWINGING PATIO DOOR - INSWING - 1-3/4" PANEL - 4-17/32" TOP, 7-9/16" BOTTOM RAILS - ACTIVE
4-9/16" JAMB - NO SCREEN - ADJUSTABLE SILL
DOUBLE PANE GLASS
VERTICAL CROSS SECTION

**PROPOSED PATIO DOOR
@ SOUTH ELEVATION**

