

Docket Item #2  
BZA #2020-00020  
Board of Zoning Appeals  
December 14, 2020

**ADDRESS:** 419 E DEL RAY  
**ZONE:** R-2-5/RESIDENTIAL SINGLE AND TWO-FAMILY  
**APPLICANT:** BRIAN HALLAHAN & JAMIE MELISSA NOLAN, OWNERS

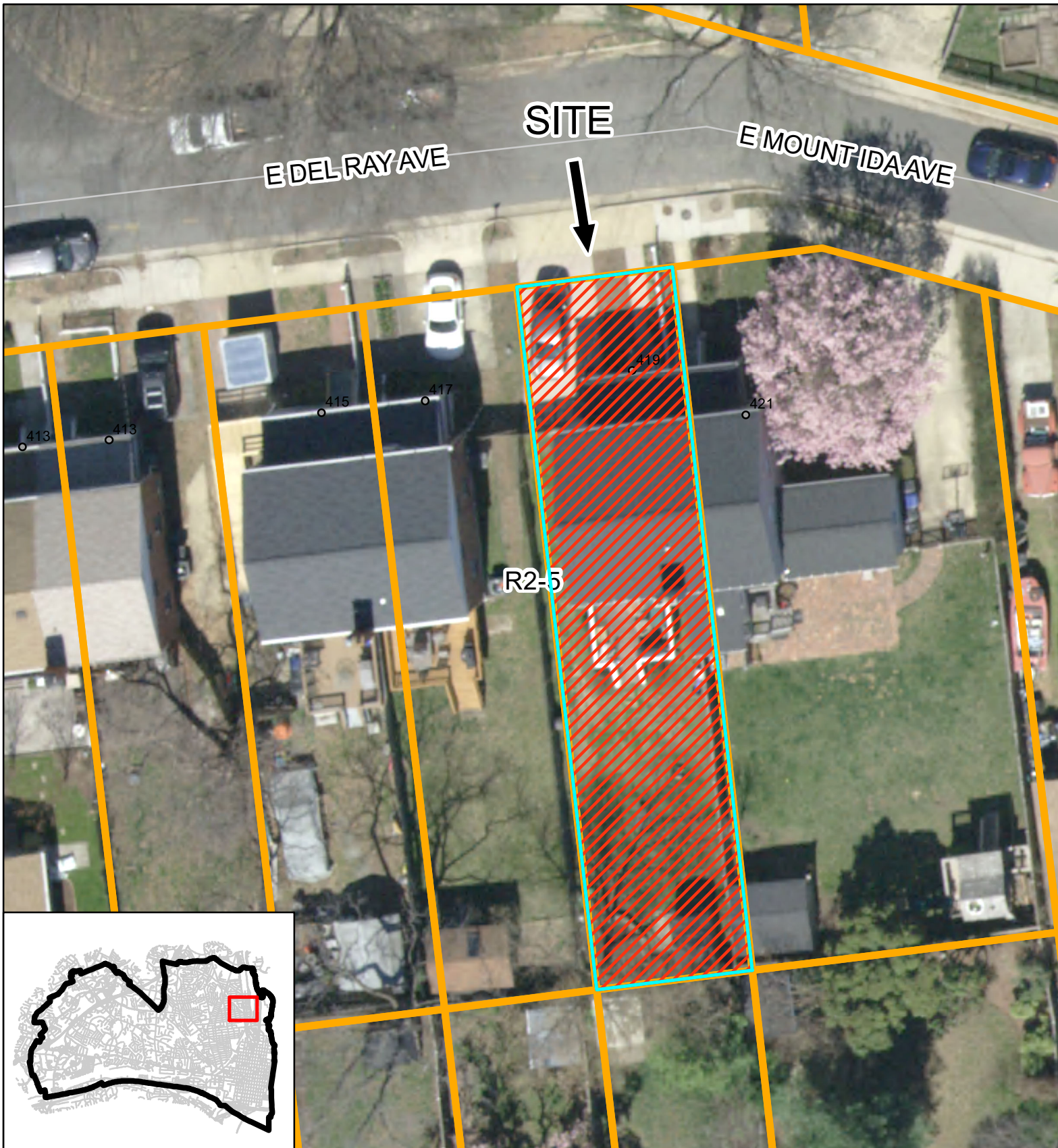
**ISSUE:** Special exception to construct a two-story addition in the required side yard.

| CODE<br>SECTION | SUBJECT          | CODE<br>REQMT | APPLICANT<br>PROPOSES | REQUESTED<br>EXCEPTION |
|-----------------|------------------|---------------|-----------------------|------------------------|
| 3-506(A)(2)     | Side Yard (West) | 10.00 feet*   | 8.60 feet             | 1.40 feet              |

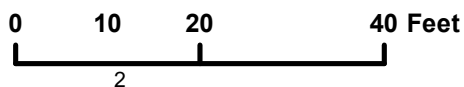
\*Based on height of 20.2 feet and R-2-5 zone standards for semi-detached dwellings.

The staff **recommends approval** of the request because it meets the criteria for a special exception.

If the Board decides to grant the requested special exception it is subject to compliance with all applicable code requirements, ordinances, and recommended conditions found in the department comments. The applicants must submit certification of building height and floor area ratio from a licensed architect or engineer prior to the final inspection. The special exception must also be recorded with the deed of the property in the City's Land Records Office prior to the release of the building permit.



**BZA #2020-00020**  
**419 East Del Ray Avenue**



**I. Issue**

The applicants request a special exception to construct a two-story rear addition at 419 E Del Ray Avenue. Extending the existing non-complying wall in the west side yard requires special exception approval.

**II. Background**

The subject property is a lot of record with 25.00 feet of lot frontage and width facing East Del Ray Avenue and 2,875 square feet of lot area. The lot is substandard as it does not meet the lot width or frontage requirements for semi-detached dwelling in the R-2-5 zone.

The lot contains a two-story semi-detached dwelling with an open front porch. Real Estate Assessment Records indicate that the dwelling was constructed in 1940.

The dwelling sits 25.10 feet from the front property line facing East Del Ray Avenue, on the east side property line, 8.60 feet from the west property line, and 62.60 feet from the rear property line. The open front porch sits 19.50 feet from the front property line. The current height of the existing dwelling is 23.70 feet to the midpoint of the highest gable measured from average pre-construction grade.

**III. Description**

The applicants propose to construct a two-story rear addition in line with the current west building wall. No change in grade is proposed. The existing west-facing building wall is located 8.60 feet from the west property line, 1.40 feet less than the required ten-foot minimum side yard for semi-detached dwellings in the R-2-5 zone. As such, the plane established by the west-facing building wall is noncomplying. This noncomplying wall currently measures 20.20 feet in height measured to the roof eave from pre-construction grade facing the west side property line.

The proposed two-story rear addition measuring 16.40 feet by 15.40 feet would accommodate a kitchen, one bedroom, and bathroom. The height of the proposed two-story addition measures 20.20 feet from roof eave facing the west side yard measured from average pre-construction grade and requires a setback of 10.00 feet based on the side yard requirement for semi-detached dwellings. The applicant requests a special exception of 1.40 feet to construct the addition in line with the existing west side wall.

Upon completion of the work, the proposed renovations will continue to comply with the floor area requirements. (Refer to floor area calculations.)

There have been no variances or special exceptions previously granted for the subject property.

**IV. Master Plan/Zoning**

The subject property is zoned R-2-5 and has been so zoned since adoption of the Third Revised Zoning Map in 1952 and is identified in the Potomac West Small Area Plan for residential land use.

**V. Requested Special Exception:**

3-506(A)(2) Side Yard (West)

The applicants request a special exception of 1.40 feet from the required 10.00-foot side yard based on a building height of 20.20 feet to construct a rear addition 8.60 feet from the west side property line.

**VI. Noncomplying Structure**

The subject property is a sub-standard lot which contains a noncomplying structure with respect to the following:

|                  | <u>Required</u> | <u>Provided</u> | <u>Noncompliance</u> |
|------------------|-----------------|-----------------|----------------------|
| Side Yard (West) | 10.00 feet *    | 8.60 feet       | 1.40 feet            |

\*Based on height of 20.2 feet and R-2-5 zone standards for semi-detached dwellings.

**VII. Special Exceptions Standards**

To grant a special exception, the Board of Zoning Appeals must find that the strict application of the zoning ordinance creates an unreasonable burden on the use and enjoyment of the property. Section 11-1304 of the zoning ordinance lists standards that an applicant must address and that the Board believes exists and thus warrants granting a special exception of the zoning regulations.

- 1) Whether approval of the special exception will be detrimental to the public welfare, to the neighborhood or to the adjacent properties.

**The addition would be located entirely in-line with the existing dwelling. While the proposed design increases the bulk and mass along this side of the property it is in keeping with other two-story homes in the area. The addition would not be detrimental to the neighborhood or any adjacent properties.**

- 2) Whether approval of the special exception will impair an adequate supply of light and air to the adjacent property, or cause or substantially increase traffic congestion or increase the danger of fire or the spread of fire or endanger the public safety.

**The two-story rear addition would extend an existing non-complying wall. The height of the addition consistent with the height of the existing dwelling and would not likely impair the supply of light and air to any adjacent property as it is located no closer than the existing west side building wall. There would be no expected impacts to traffic or public safety.**



- 3) Whether approval of the special exception will alter the essential character of the area or zone.

**Several two-story additions have been constructed in the surrounding area and most houses nearby were originally constructed as two-story semi-detached dwellings. The modest proposed addition would be very similar in design to the dwellings existing form and to other homes and additions in the neighborhood. Further, because of the proposed location, entirely behind the existing dwelling, the addition would have a limited impact on the character of the surrounding area.**

- 4) Whether the proposal will be compatible with the development in the surrounding neighborhood.

**The proposed construction would maintain consistency in terms of lot configuration and the scale of dwellings with several surrounding properties. The proposal would also maintain front and rear yard setbacks similar to the properties along the south side of East De Ray Avenue, which are characterized by narrow semi-detached two-story dwellings with open rear yards.**

- 5) Whether the proposed development represents the only reasonable means and location on the lot to accommodate the proposed structure given the natural constraints of the lot or the existing development of the lot.

**The subject properties substandard lot width and frontage limits potential locations for expansion. Placement of a similarly sized addition, albeit a longer and narrower configuration with a width of only 11.80 feet, in the rear could be achieved by right. However, doing so would further decrease the size of the rear yard which would be out of character with adjacent properties with similarly situated houses with open rear yards. The proposed development would be in-line with the existing house. As such, it represents the most reasonable location for a two-story addition given the placement of the house on the lot and the existing nonconforming wall.**

## **VIII. Staff Conclusion**

### **Neighborhood Impact**

The properties to the south of East Del Ray Avenue and in the surrounding neighborhood consist predominantly of two-story semi-detached dwellings interspersed with a few two-story single-family dwellings. The addition would be compatible with the mass and height of other dwellings in the area.

Light and Air

The two-story rear addition would increase the bulk and mass along the east and west property lines. The addition increases the height at the rear of the dwelling, but the overall building height remains the same. It is unlikely the supply of light and air to adjacent properties would be significantly impaired.

Lot Constraints

The subject property is substandard. The narrowness of the lot make it challenging to comply with the 10.00 foot side yard setback requirement for the zone. Therefore, the request for side yard setback relief is considered reasonable. Further, the placement of the existing dwelling within the required west side yard in this case is a limiting factor because the house does not conform to the minimum side yard requirement on the west side of the property. The applicants are proposing an expansion to the dwelling in line with a noncomplying wall in keeping with the configuration of the existing house.

Staff Conclusion

As outlined above, staff believes the request meets the criteria for a special exception and **recommends approval**.

Staff

Alexa Powell, Urban Planner, [alexa.powell@alexandriava.gov](mailto:alexa.powell@alexandriava.gov)

Mary Christesen, Zoning Manager, [mary.christesen@alexandriava.gov](mailto:mary.christesen@alexandriava.gov)

Tony LaColla, AICP, Division Chief, [tony.lacolla@alexandriava.gov](mailto:tony.lacolla@alexandriava.gov)

### **DEPARTMENTAL COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F - finding

\* The applicant is advised that if the Special Exception is approved the following additional comments apply.

#### Transportation and Environmental Services:

### **CONDITIONS**

- R1. The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

### **FINDINGS:**

- F1. The applicant should provide a determination of disturbed area per City Guidelines to T&ES prior to submitting for permits. If the land disturbance meets or exceeds 2500 square feet, a released grading plan will be required prior to submitting for permits. (T&ES)

### **CODE REQUIREMENTS**

- C-1. The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2. The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3. Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec. 5-6-224) (T&ES)

C-4. All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)

C-5. Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

C-6. All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Code Administration:

C-1. New windows are not permitted in addition when located less than three feet from the property line.

C-2. A building permit and plan review are required prior to the start of construction.

Recreation (Arborist):

No comments or concerns.

Historic Alexandria (Archaeology):

R-1. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:

- a. The applicant/developer shall call Alexandria Archaeology immediately (703.746.4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

R-2. The BAR staff comments on special use permits, special exceptions, variances, and other proposed projects within the Town of Potomac National Register Historic District (as well as the other National Register Districts in the City of Alexandria). We consider the project's impact on the affected historic resource(s) and evaluate the compatibility of the project within the district.

This property is located in close proximity to the late nineteenth-century J.M. Hill house, as well as the Alexandria Gentlemen's Driving Club, otherwise known as the St. Asaph Race Track that was in operation in the later nineteenth century. Although highly unlikely, the



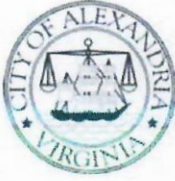
proposed undertaking could impact significant archaeological resources that pertain to the late nineteenth century in Del Ray.

This brick, side-gable, duplex is a noncontributing resource within the Town of Potomac National Register Historic District.

The submitted drawings show a two-story addition to the rear/south elevation of the dwelling. This addition will be largely hidden from public rights-of-way and will therefore not negatively affect the Town of Potomac National Register District.

Historic Preservation staff has no objection to the proposed addition.

BZA Case # \_\_\_\_\_



**APPLICATION  
BOARD OF ZONING APPEALS**

**SPECIAL EXCEPTION FOR ADDITIONS**

**Section of zoning ordinance from which request for special exception is made:**  
3-506(A)(2)

**PART A**

1. Applicant: ☐ Owner ☐ Contract Purchaser ☒ Agent

**Name** Greg Marks

**Address** 205 S Union St, Alexandria, VA 22314

**Daytime Phone** 703-928-2513

**Email Address** gmarks@markswoods.com

2. **Property Location** 419 East Del Ray Avenue

3. **Assessment Map #** 035.01 **Block** 06 **Lot** 09 **Zone** R 2-5

4. **Legal Property Owner Name** Brian Hallahan & Jamie Melissa Nolan

**Address** 419 East Del Ray Ave, Alexandria, VA 22301-1235

# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

|    | Name | Address | Percent of Ownership |
|----|------|---------|----------------------|
| 1. | N/A  |         |                      |
| 2. |      |         |                      |
| 3. |      |         |                      |

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 419 East Del Ray Ave (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

|    | Name                | Address | Percent of Ownership |
|----|---------------------|---------|----------------------|
| 1. | BRIAN HALLAHAN      | SAME    | 50%                  |
| 2. | JAMIE MELISSA NOLAN | SAME    | 50%                  |
| 3. |                     |         |                      |

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose any business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

|    | Name of person or entity | Relationship as defined by Section 11-350 of the Zoning Ordinance | Member of the Approving Body (i.e. City Council, Planning Commission, etc.) |
|----|--------------------------|---|---|
| 1. | N/A                      |   |   |
| 2. |                          |   |   |
| 3. |                          |   |   |

**NOTE:** Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

9/2/20  
Date

GREGORY MARKS  
Printed Name

  
Signature



**5. Describe request briefly:**

The owners would like to construct a two level rear addition on a crawlspace foundation. The owners are requesting a special exception of 8.60 feet from the required 10.00 feet minimum side setback at the south side. The will allow the addition to be the full width of the existing rear of the home.

**6. If the property owner or applicant is being represented by an authorized agent, such as an attorney, realtor or other person for which there is a form of compensation, does this agent or the business in which they are employed have a business license to operate in the City of Alexandria, Virginia?**

☒ Yes — Provide proof of current City business license.

☐ No — Said agent shall be required to obtain a business prior to filing application.

**THE UNDERSIGNED HEREBY ATTESTS** that all of the information herein provided including the site plan, building elevations, prospective drawings of the projects, etc., are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

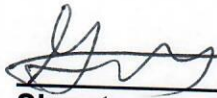
**APPLICANT OR AUTHORIZED AGENT:**

Greg Marks

Print Name

703-928-2513

Telephone

  
Signature

8/26/20

Date

Pursuant to Section 13-3-2 of the City Code, the use of a document containing false information may constitute a Class 1 misdemeanor and may result in a punishment of a year in jail or \$2,500 or both. It may also constitute grounds to revoke the permit applied for with such information.



**NOTE TO APPLICANT:** Only one special exception per dwelling shall be approved under the provisions of Section 11-1302(B)(4).

**PART B** (SECTION 11-1304)

**APPLICANT MUST EXPLAIN THE FOLLOWING:**

(Please use additional pages where necessary.)

- 1. Explain how the special exception for the proposed addition, if granted, meets the applicant's needs.**

The new addition is adding an additional master bedroom at the second floor. A full width addition will not only be a benefit aesthetically, but also increase functionality to maximize the bedroom space.

- 2. Explain if the special exception, if granted, will harm adjoining properties or impact the neighborhood in any way.**

There is no foreseen harm or impact to adjoining property owners

- 3. Explain how the proposed addition will affect the light and air to any**

There is no foreseen impact to light and air of the adjacent property.

**4. Explain how the proposed addition is compatible with other properties in the neighborhood and the character of the neighborhood as a whole.**

The construction will utilize standard architecture and building materials consistent with the majority of other homes in the neighborhood. The exterior will be hardiplank siding, windows, and shingle roofing all matching typical homes in the neighborhood.

**5. How is the proposed construction similar to other buildings in the immediate area?**

There are a number of single level as well as some two level additions in the immediate area that resemble this project.

**6. Explain how this plan represents the only reasonable location on the lot to**

The addition includes a kitchen expansion and added master bedroom. The only reasonable location is at the rear, connected to the existing home. The existing kitchen is at the rear. On the second level, the new master bedroom at the rear minimizes impacts to existing space.

**7. Has the applicant shown the plans to the most affected property owners? Have any neighbors objected to the proposed special exception, or have any neighbors written letters of support? If so, please attach the letter.**

The plans have not been reviewed with any neighbors as of yet.





# Department of Planning and Zoning

## Floor Area Ratio and Open Space Calculations for

### Single and Two-Family Residential Outside Historic Districts

**A**

#### A. Property Information

A1. 419 East Del Ray Avenue Street Address R-2-5 Zone  
 A2. 2,875.00 x 0.45 = 1,293.75  
 Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

#### B. Existing Gross Floor Area

| Existing Gross Area |          | Allowable Exclusions** |        |  |
|---------------------|----------|------------------------|--------|--|
| Basement            | 444.00   | Basement**             | 444.00 | B1. 1,332.00 Sq. Ft.                   |
| First Floor         | 444.00   | Stairways**            | 90.00  | Existing Gross Floor Area*             |
| Second Floor        | 444.00   | Mechanical**           |        | B2. 543.00 Sq. Ft.                     |
| Third Floor         |          | Attic less than 7'**   |        | Allowable Floor Exclusions**           |
| Attic               |          | Porches**              |        | B3. 789.00 Sq. Ft.                     |
| Porches             |          | Balcony/Deck**         |        | Existing Floor Area Minus Exclusions   |
| Balcony/Deck        |          | Garage**               |        | (subtract B2 from B1)                  |
| Garage              |          | Other***               | 9.00   | Comments for Existing Gross Floor Area |
| Other***            |          | Other***               |        | Other is chimney.                      |
| B1. Total Gross     | 1,332.00 | B2. Total Exclusions   | 543.00 |  |

#### C. Proposed Gross Floor Area

| Proposed Gross Area |        | Allowable Exclusions** |      |                                      |
|---------------------|--------|------------------------|------|--------------------------------------|
| Basement            |        | Basement**             |      | C1. 502.00 Sq. Ft.                   |
| First Floor         | 251.00 | Stairways**            |      | Proposed Gross Floor Area*           |
| Second Floor        | 251.00 | Mechanical**           |      | C2. 0.00 Sq. Ft.                     |
| Third Floor         |        | Attic less than 7'**   |      | Allowable Floor Exclusions**         |
| Attic               |        | Porches**              |      | C3. 502.00 Sq. Ft.                   |
| Porches             |        | Balcony/Deck**         |      | Proposed Floor Area Minus Exclusions |
| Balcony/Deck        |        | Garage**               |      | (subtract C2 from C1)                |
| Garage              |        | Other***               |      |                                      |
| Other***            |        | Other***               |      |                                      |
| C1. Total Gross     | 502.00 | C2. Total Exclusions   | 0.00 |                                      |

#### D. Total Floor Area

D1. 1,291.00 Sq. Ft.  
 Total Floor Area (add B3 and C3)  
 D2. 1,293.75 Sq. Ft.  
 Total Floor Area Allowed by Zone (A2)

#### E. Open Space (RA & RB Zones)

E1. Existing Open Space Sq. Ft.  
 E2. Required Open Space Sq. Ft.  
 E3. Proposed Open Space Sq. Ft.

#### Notes

\*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

\*\* Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

\*\*\* Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: \_\_\_\_\_

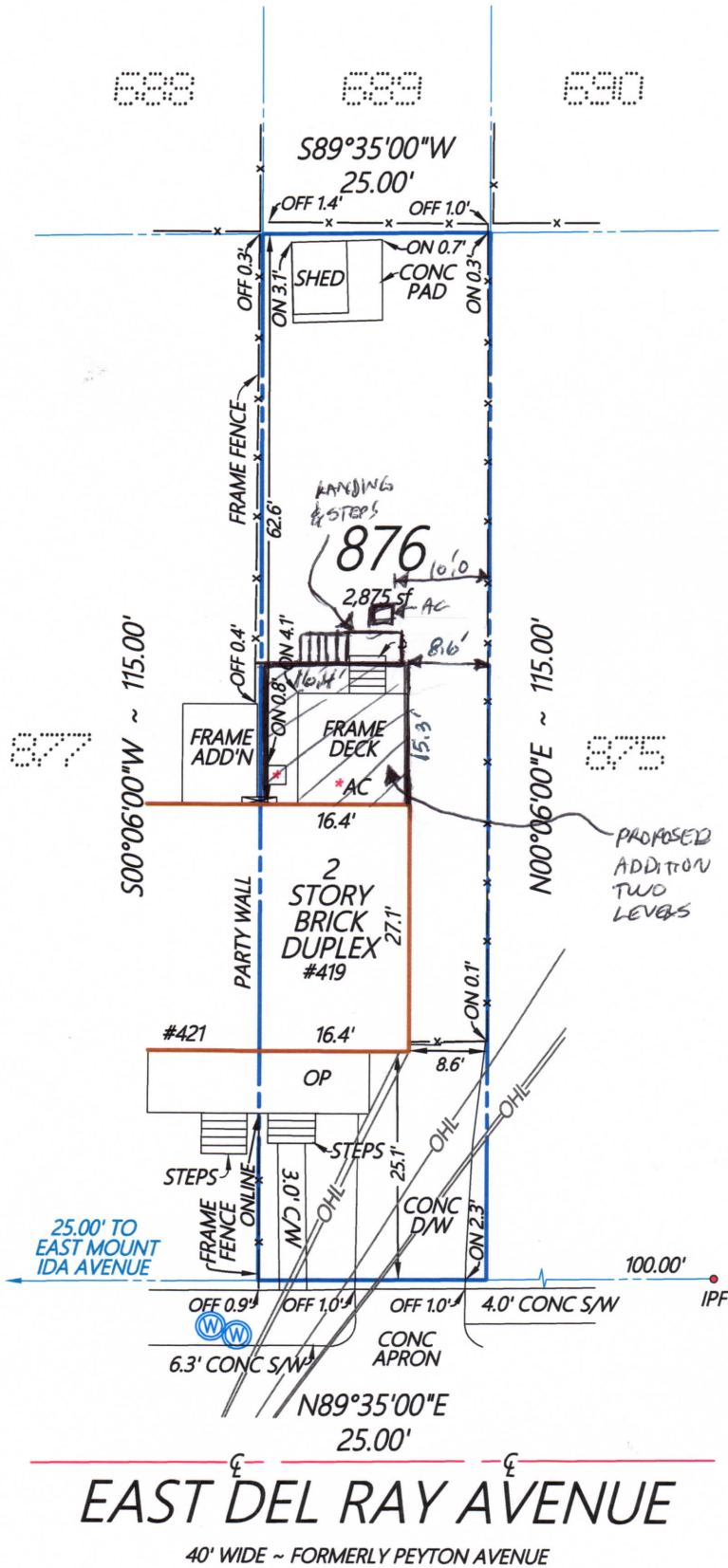
Date: 9/2/20

DRAFT DESCRIPTION OF REQUEST INTENDED TO USE IN PROPERTY OWNERS' NOTICES.

The applicant proposes to construct a two level rear addition on a crawlspace foundation. The rear addition will be across the entire width of the rear wall. The addition will be in line with the existing side wall. The new addition will be 15.33' out of the rear x 16.4' wide. The owners are requesting a special exception of 8.60 feet from the required 10.00 feet minimum side setback at the south side. This will allow the addition to be the full width of the existing rear of the home.



- NOTES:
- 1. Title report not furnished.
  - 2. Fences are stockade unless noted.
  - 3. No corner markers set.
  - 4. Map-Block-Lot #: 035.01-06-09.



| KEY   |                 |
|-------|-----------------|
| AC    | AIR CONDITIONER |
| ADD'N | ADDITION        |
| CL    | CENTERLINE      |
|       | CHIMNEY         |
| CONC  | CONCRETE        |
| C/W   | CONCRETE WALK   |
| D/W   | DRIVEWAY        |
| IPF   | IRON PIPE FOUND |
| OHL   | OVERHEAD LINE   |
| OP    | OPEN PORCH      |
| sf    | SQUARE FEET     |
| S/W   | SIDEWALK        |
|       | WATER METER     |

This plat is subject to restrictions and easements of record. The locations of all the existing improvements have been established by a transit and tape or EDM survey and unless otherwise noted there are no encroachments. This plat does not purport to show underground utilities.



HOUSE LOCATION SURVEY  
ON  
LOT 876  
**DEL RAY**  
(DEED BOOK O-4, PAGE 440 - ARLINGTON COUNTY)  
CITY OF ALEXANDRIA, VIRGINIA

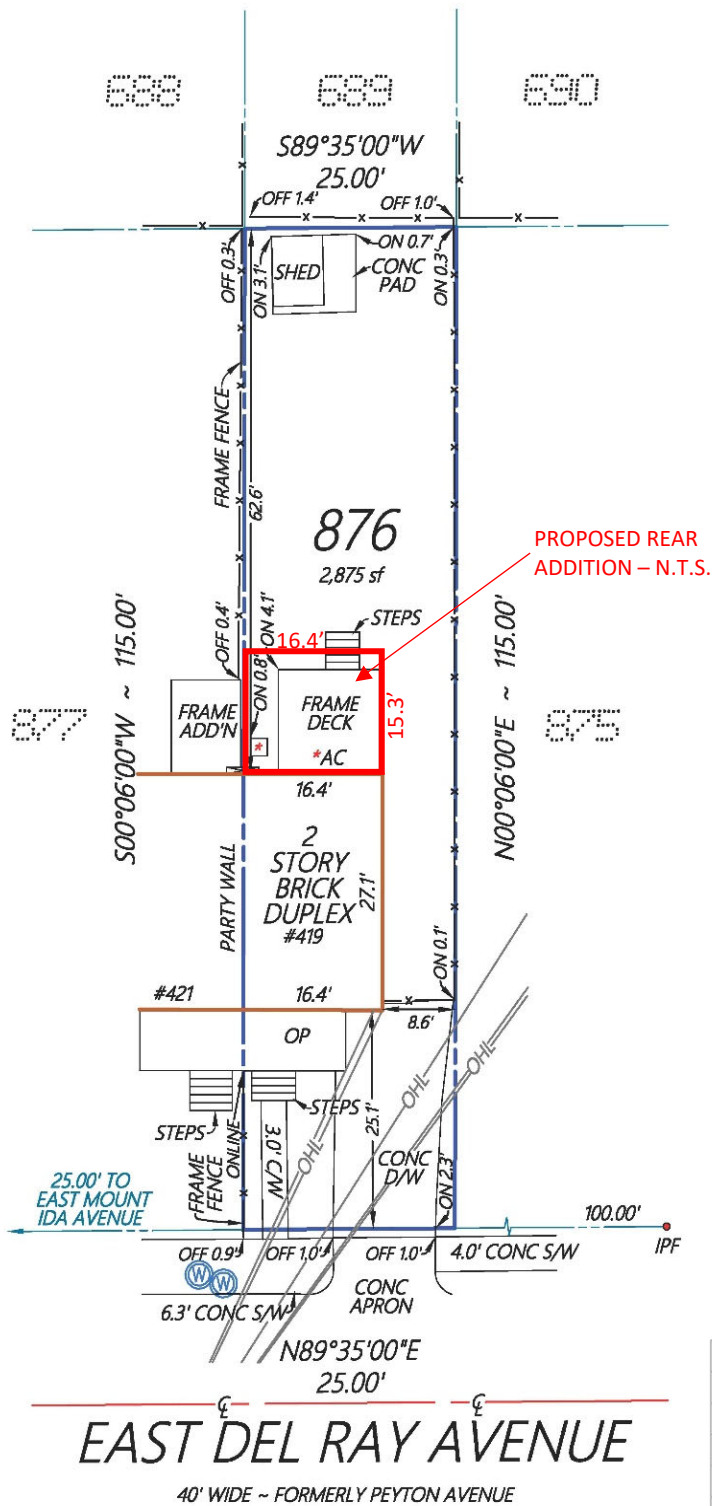
SCALE: 1"=20'  
JOB #: 20-0323

JULY 22, 2020

**APEX SURVEYS, LLP**

5240 Port Royal Road Suite 213 Springfield, Virginia 22151 703-866-1236

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HOUSE LOCATION SURVEY  
ON  
LOT 876  
**DEL RAY**  
(DEED BOOK O-4, PAGE 440 - ARLINGTON COUNTY)  
CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1"=20'  
JOB #: 20-0323

JULY 22, 2020

 **APEX SURVEYS, LLP**

5240 Port Royal Road Suite 213 Springfield, Virginia 22151 703-866-1236



## 419 EAST DEL RAY AVE – EXISTING PHOTOS



**FRONT VIEW**

## 419 EAST DEL RAY AVE – EXISTING PHOTOS



**VIEW DOWN SIDE**



## **419 EAST DEL RAY AVE – EXISTING PHOTOS**



**SIDE VIEW FROM FRONT**

## 419 EAST DEL RAY AVE – EXISTING PHOTOS



**SIDE VIEW FROM REAR**



## 419 EAST DEL RAY AVE – EXISTING PHOTOS



**REAR VIEW**



ABBREVIATIONS

|         |  |
|---------|--|
| #       | Pound or Number                            |
| &       | And  |
| @       | At   |
| ACT.    | Acoustic Ceiling Tile                      |
| AD.     | Area Drain                                 |
| ADH.    | Adhesive                                   |
| AFF.    | Above Finished Floor                       |
| ALT.    | Alternate                                  |
| ALUM.   | Aluminum                                   |
| ANOD.   | Anodized                                   |
| BSMT.   | Basement                                   |
| BYND.   | Beyond                                     |
| BOT.    | Bottom                                     |
| CIP.    | Cast In Place                              |
| CHNL.   | Channel                                    |
| CJ.     | Control Joint                              |
| CL.     | Center Line                                |
| CLG.    | Ceiling                                    |
| CLR.    | Clear                                      |
| CMU.    | Concrete Masonry Unit                      |
| COL.    | Column                                     |
| COMPR.  | Compressible                               |
| CONC.   | Concrete                                   |
| CONT.   | Continuous                                 |
| CPT.    | Carpet                                     |
| CT.     | Ceramic Tile                               |
| D.      | Nails/ize                                  |
| DBL.    | Double                                     |
| DEMO.   | Demolish or Demolition                     |
| DIA.    | Diameter                                   |
| DIM.    | Dimension                                  |
| DIMS.   | Dimensions                                 |
| DN.     | Down                                       |
| DR.     | Door                                       |
| DWG.    | Drawing                                    |
| EA.     | Each                                       |
| EJ.     | Expansion Joint                            |
| ELEC.   | Electrical                                 |
| ELEV.   | Elevator or Elevation                      |
| EPDM.   | Ethylene Propylene Diene M-Class           |
| EQ.     | Equal                                      |
| EXIST.  | Existing                                   |
| EXPJT.  | Expansion Joint                            |
| EXT.    | Exterior                                   |
| FD.     | Floor Drain or Fire Department             |
| FE.     | Fire Extinguisher Cabinet                  |
| FFFE.   | Finished Floor Elevation                   |
| FIXT.   | Fixture                                    |
| FLR.    | Floor                                      |
| FOX.    | Face Of (finish)                           |
| FND.    | Foundation                                 |
| GA.     | Gauge                                      |
| GALV.   | Galvanized                                 |
| GWB.    | Gypsum Wall Board                          |
| HC.     | Hollow Core                                |
| HI.     | High                                       |
| HM.     | Hollow Metal                               |
| HVAC.   | Heating, Ventilating, And Air Conditioning |
| INCL.   | Include(ing)                               |
| INSUL.  | Insulated or Insulation                    |
| INT.    | Interior                                   |
| LO.     | Low  |
| LL.     | Livelo                                     |
| MAS.    | Masonry                                    |
| MAX.    | Maximum                                    |
| MFR.    | Manufacturer                               |
| MO.     | Masonry Opening                            |
| MECH.   | Mechanical                                 |
| MEMBR.  | Membrane                                   |
| MIN.    | Minimum                                    |
| MTL.    | Metal                                      |
| NIC.    | Not In Contract                            |
| NO.     | Number                                     |
| NOM.    | Nominal                                    |
| OC.     | On Center                                  |
| OH.     | Overhang or Opposite Hand                  |
| OPP.    | Opposite or Opposite Hand                  |
| OZ.     | Ounce                                      |
| PCC.    | Pre-Cast Concrete                          |
| PCF.    | Pounds Per Cubic Foot                      |
| PF.     | Prefabricated                              |
| PLUMB.  | Plumbing                                   |
| PLF.    | Pounds Per Linear Foot                     |
| PLYD.   | Plywood                                    |
| PNT.    | Paint(ed)                                  |
| PSF.    | Pounds Per Square Foot                     |
| PSI.    | Pounds Per Square Inch                     |
| PT.     | Pressure Treated                           |
| PVC.    | Polyvinyl Chloride (pipe/trim)             |
| QTY.    | Quantity                                   |
| RA.     | Return Air                                 |
| RBR.    | Rubber                                     |
| RCP.    | Reflected Ceiling Plan                     |
| RD.     | Roof Drain                                 |
| REMD.   | Required                                   |
| RM.     | Room                                       |
| RO.     | Rough Opening                              |
| SIM.    | Similar                                    |
| SOD.    | Sliding Glass Door                         |
| SPEC.   | Specified or Specification                 |
| SPK.    | Sprinkler or Speaker                       |
| SS.     | Stainless Steel                            |
| STC.    | Sound Transmission Coefficient             |
| STL.    | Steel                                      |
| STRUCT. | Structure or Structural                    |
| T&G.    | Tongue And Groove                          |
| UL.     | Underwriters Laboratory                    |
| WL.     | Toilet                                     |
| WD.     | Wood                                       |
| TME.    | To Match Existing                          |
| TOX.    | Top Of (material)                          |
| TYP.    | Typical                                    |
| UNO.    | Unless Noted Otherwise                     |
| US.     | Underside                                  |
| VER.    | Verify                                     |
| VIF.    | Verify In Field                            |
| WI.     | With                                       |
| WD.     | Wood                                       |

GENERAL NOTES

All designs, drawings, construction, materials and workmanship shall comply with the applicable governing building code. Virginia: Virginia Uniform Statewide Building Code (VUSBC 2015). Section, Table and Figure references herein refer to the governing code. All work included in the construction of this project shall comply with all applicable provisions of the code. Do not scale Construction Documents. Field verify all existing conditions and drawing dimensions prior to construction. Notify project manager of any discrepancy between site conditions and construction documents. All general notes herein are presumed to be typical unless noted otherwise.

Site Proper site drainage shall be maintained in order to protect the site from excess surface moisture during construction. Protect existing landscaping. 1500#/sq.ft. presumptive safe soil bearing capacity. Slope grade away from foundation and spread approved grass seed after construction for all disturbed soil. For projects requiring a Site Plan, refer to Site Plan by others.

Foundation, Concrete and Masonry All concrete, materials, processes and work shall be in accordance with ACI 318-02 ("Building Code Requirements for Structural Concrete"). Detail, fabricate and install reinforcement in accordance with ACI 318-02 unless noted otherwise. All exterior exposed concrete and concrete slabs on ground shall be minimum 3500 PSI., air-entrained. All concrete for exterior retaining walls shall be minimum 4000 PSI.. Footings for walls and columns, and all other concrete shall be minimum 3000 PSI.. All reinforcing steel shall installed per 404.1.2.3.7 and be deformed bars of new billet steel conforming to ASTM A615-Grade 60, with a minimum yield stress of 60 KSI.. Welded wire fabric shall conform to ASTM A185 and lapped a minimum of one full wire space plus 2" when spliced. Rebar and welded wire fabric splices shall conform to ACI. 318-02. Concrete slab surfaces shall conform to ASTM E1155 F-number system for flatness and levelness. Slab surfaces shall be Class 2 with F=35 and Fl=25. For all Basement and slab-on-grade construction, installation of a vapor retarder per AST. E1745 with a maximum permeance per ASTM E98 upon a minimum of 4" compacted #4 gravel below 2" rigid insulation. Elevate rebar and metal mesh with high chairs and bar spacers of suitable design. Brick to be running bond. Match existing residence masonry and mortar joint best as possible. All CMU. conform to ASTM C90 Type 1 Grade N; grout: ASTM C476 and Mortar ASTM C270. All solid CMU. conform to AST. C145. Fill all concrete masonry unit (CMU.) voids with concrete with vertical rebar reinforcement. At brick veneer masonry install weeps at 48" on center bottom course and install mortar mesh at the base of masonry cavity walls. Center footing under walls and columns unless noted otherwise. Footing step locations indicated on foundation plans are approximate; actual locations may vary from that shown based upon existing conditions at the site. Where noted, smooth PVC. foundation drain tile serving the structure shall be provided and connect to underground drain pipes and be taken to an appropriate point of discharge. All concrete sidewalks and exterior slabs shall receive a broom finish and alternate direction of finish 90 degrees at each score line to create uniform alternating pattern.

Metals and Fastening W-shapes to conform to ASTM A992. Miscellaneous steel plate and shape to conform to ASTM A36. Steel beams and lintels shall be preprimed or weather-resistant coated prior to installation. Provide 3 1/2" x 3 1/2" x 5/16" steel angle lintels for each 4" of masonry thickness and over door and windows 4'-0" and less in width. For doors and windows greater than 4'-0" in width, install 3 1/2" x 3 1/2" x 1/2" steel lintels or as noted per plans. All fastening per Table 602.3 and as noted per plans. For decks and screen porches install epoxy-coated screws, stainless steel or other approved corrosion-resistant fasteners such as hot-dipped galvanized with min. G-185 coated and per ASTM A123 and A153 and where exposed to daylight. Verify all exposed metal finish including and not limited to: hinges, strikeplates, knobs, levers, fixtures and hardware prior to installation.

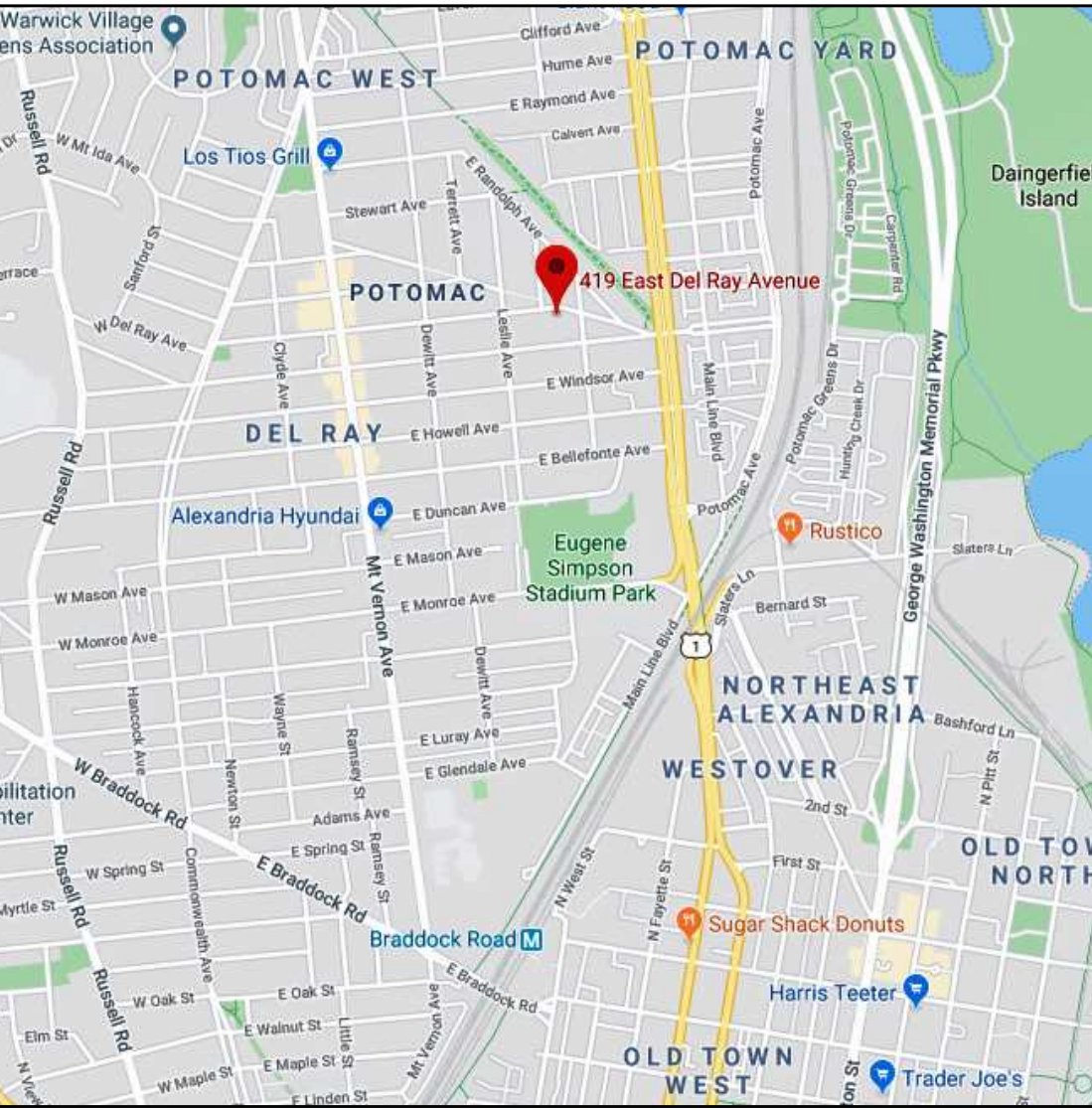
Framing All fastening per Table 602.3 and as noted per plans. All lumber to be #2 southern yellow pine or #2 spruce-pine-fir. All engineered beam and engineered columns to be Weyerhaeuser products unless otherwise noted. Stainless steel or epoxy-coated fasteners for PVC, sheet and lumber. All sill plates in contact with masonry and concrete shall be pressure-treated. Sill anchors for turned-down slab and masonry foundation wall construction shall be Simpson ASTM F-1554 Grade 36 #SSTB16 for masonry and Simpson #SB24 for monolithic applications and 6" from corners and 48" oc. for all sill anchors. For all 2x framed walls install two (2) 2x top plates equal to studs specified and stagger corners. Door and window headers shall be (2) 2" x 10" w/ 1/2" plywood spacer. For braced-wall panel methods PF-G (Figure 602.10.6.3) and CS-PF (Figure 602.10.6.4) and all doors within 24" of an exterior wall corner: min. 1000# hold-downs to be Simpson #HTT4 located min. 6" from edge of wall panel and straps to be Simpson #LSTA18 each side from header to jack stud and where specified.

Sheathing and Flashing Subfloor sheathing to be 27/32" sheathing adhered to floor joists with flexible interior construction adhesive. Wall sheathing to be 7/16" OSB. Wall flashing to be self-adhesive 6-mil. rubberized asphalt sheet laminated to a cross laminated polyethylene. Install flashing above all windows and door heads, below sills, at floor slab, at intersections of roofing and walls. Coated aluminum coil flashing and valley w-flashing to be min. 26g. bronze finish. For soffit materials, refer plan notes. Vapor barrier to be Tyvek brand or equal. Install Hardipanel and Hardi trim per manufacturer's instructions.

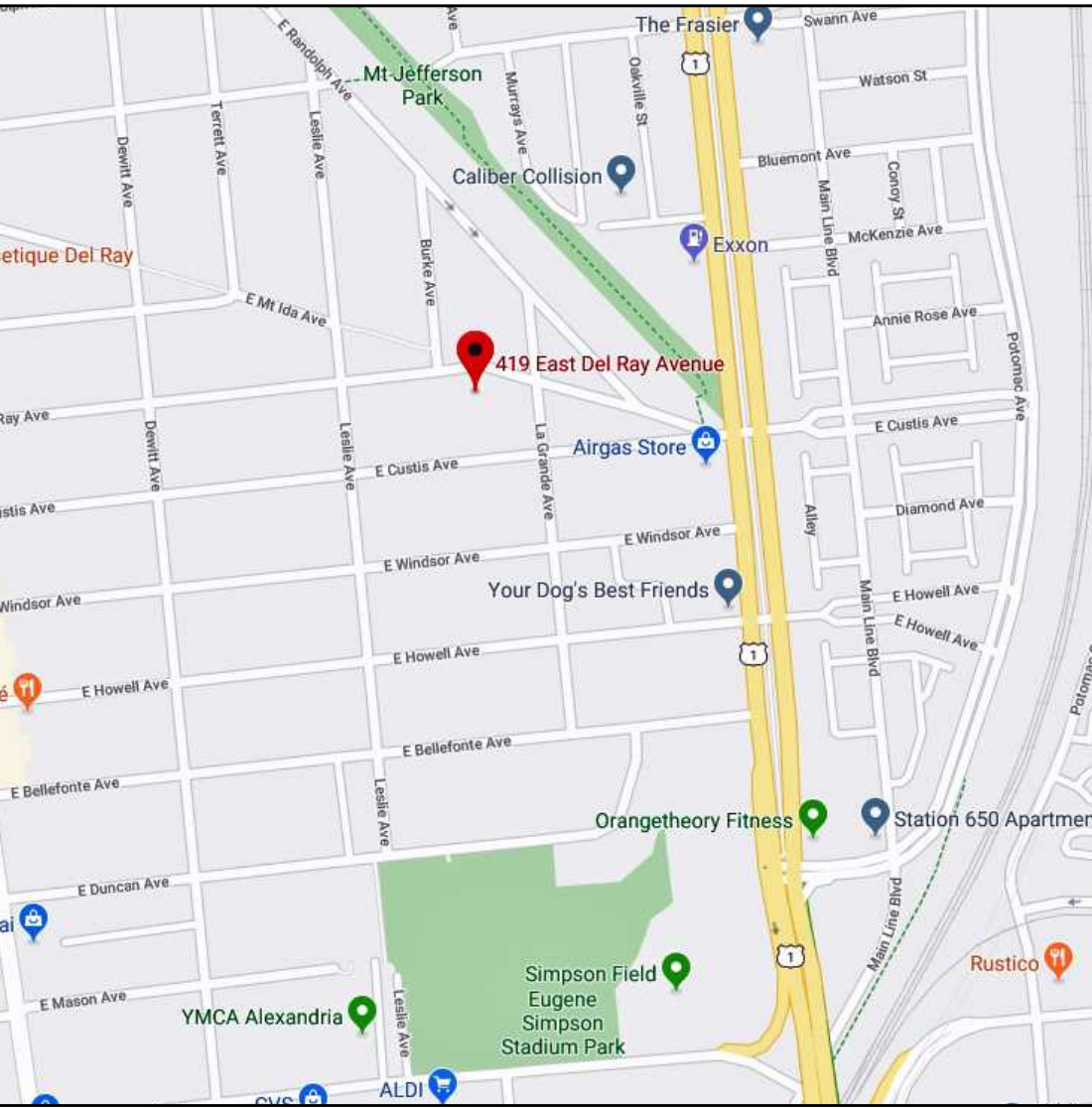
Attics and Roofing All asphalt shingles to be Class A shingles in accordance with UL790 or ASTM E108 installed on one (1) layer building felt. For slopes less than and including a slope of 2:12 install two (2) layers building felt. For single-ply membrane roofing such as EPDM install two (2) layers building felt. Install aluminum bronze drip edge at all roofs with asphalt shingles.

Windows and Doors Windows: U-factor: .26 to .30 maximum. For new bedrooms installation of an egress window satisfying Section 310.1.1 for a minimum of 5.7 sq.ft. net area. At bathrooms and windows with a sill height of less than 18" aff. glass to be tempered. Verify all window and door finishes and hardware prior to installation. All doors install with minimum three (3) hinges. Interior doors shall have a minimum 20-minute fire rating where connected to garages. At Basements egress wells conform to Section 310.2.

VICINITY MAP



SITE MAP



NOLAN ADDITION & RENOVATION  
419 EAST DEL RAY AVENUE  
ALEXANDRIA, VA. 22301

SCOPE

1. DEMOLISH KITCHEN AND REAR DECK AND STAIRS.
2. CONSTRUCT TWO-STORY ADDITION AT REAR WITH NEW MASTER BEDROOM AND BATH AT 2ND. FLR..
3. RENOVATE KITCHEN. CONSTRUCT 1ST. FLR. POWDER ROOM AND NEW 2ND. FLR. HALL BATH.

OWNER

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CONTENTS

- C1 COVER PAGE
- A101 ASBUILT AND PROPOSED PLANS
- A201 EXISTING ELEVATIONS
- A202 PROPOSED PLANS
- A501 ASBUILT AND PROPOSED PERSPECTIVES
- A502 ASBUILT AND PROPOSED PERSPECTIVES

BUILDING DATA, CODE & LOAD DESIGN CRITERIA

|  |                              |             |
|--|------------------------------|-------------|
| Applicable Code:<br><i>Virginia Uniform Statewide Building Code 2015</i> | <b>LOAD DESIGN CRITERIA:</b> |             |
| Bldg. Construction Type : 5B   | LIVE LOAD                    | : 40 PSF.   |
| Stories : 2 + Basement   | LIVE LOAD (SLEEPING ROOMS)   | : 30 PSF.   |
| Existing Area : 1,230 SQ.FT.   | DEADLOAD                     | : 10 PSF.   |
| Change in Exist. Area : None   | SNOW LOAD                    | : 25 PSF.   |
| Approximate Area of Renovation:  | NOMINAL WIND SPEED           | : 90 MPH.   |
| 1st. Flr. : 250 SQ.FT.   | SOIL BEARING CAP.            | : 1500 PSF. |
| 2nd. Flr. : 250 SQ.FT.   | LATERAL EARTH PRESSURE       | : 60 PCF.   |
| Total Reno. Area : 500 SQ.FT.  | FROST DEPTH                  | : 24"       |
| Total New Area : 1,730 SQ.FT.  | LIVE LOAD DEFLECTION LIMIT   | : L/360     |
|  | TOTAL LOAD DEFLECTION LIMIT  | : L/240     |

SYMBOLS

|   |           |                      |               |        |
|---|-----------|----------------------|---------------|--------|
| VIEW NUMBER AND PAGE DESCRIPTOR                         | #<br>PAGE | VIEW SCALE: AS NOTED | WALL TYPE     | #      |
| SECTION DESCRIPTOR                                      | #<br>PAGE |                      | ROOF PITCH    | #<br># |
| ELEVATION DESCRIPTOR                                    | #<br>PAGE |                      | WINDOW SYMBOL | X      |
| HEIGHT DATUM  |           |                      | DOOR SYMBOL   | #      |
| FOR ELECTRICAL SYMBOLS, REFER ELECTRICAL KEY AND NOTES. |           |                      |               |        |

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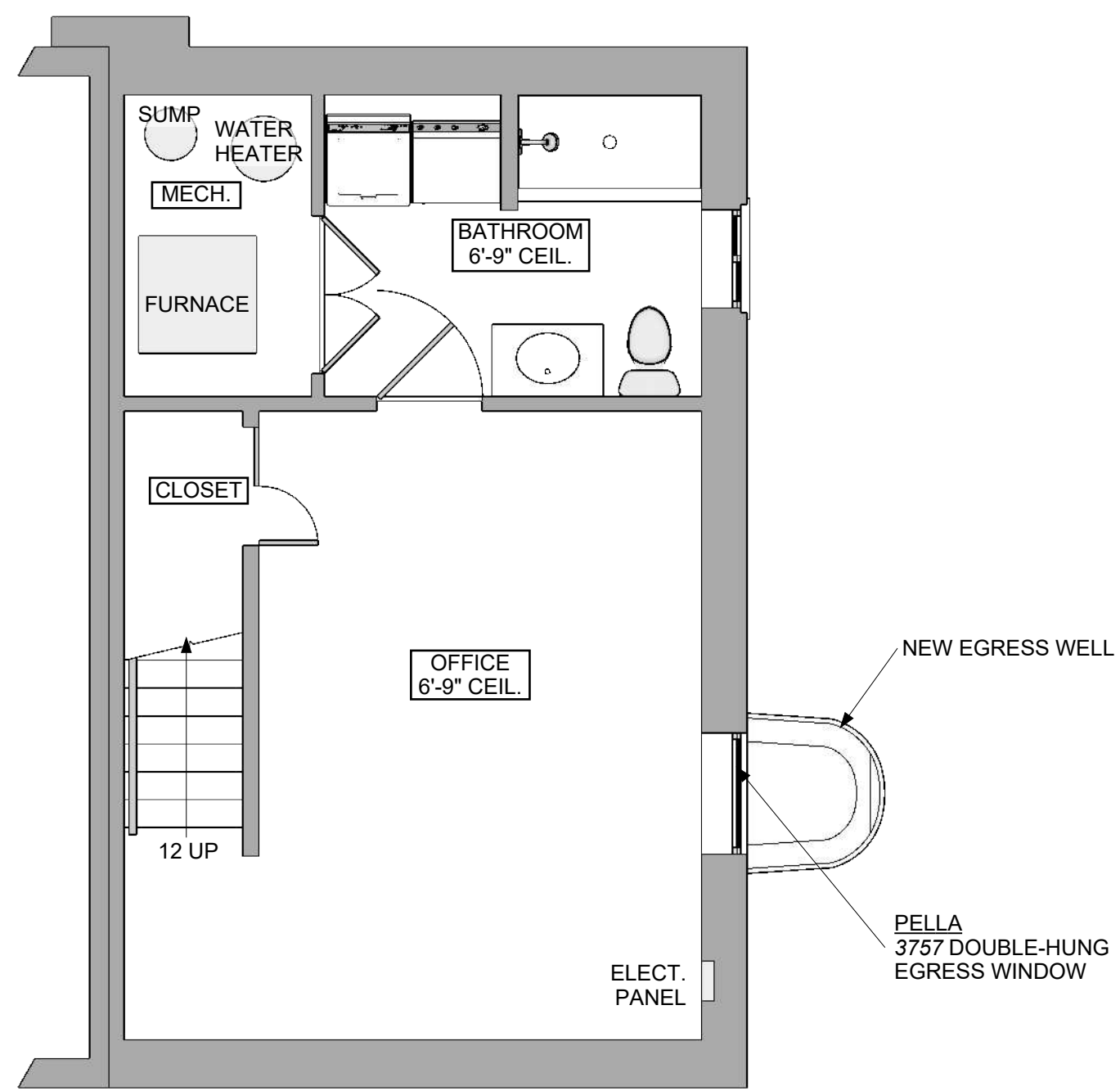
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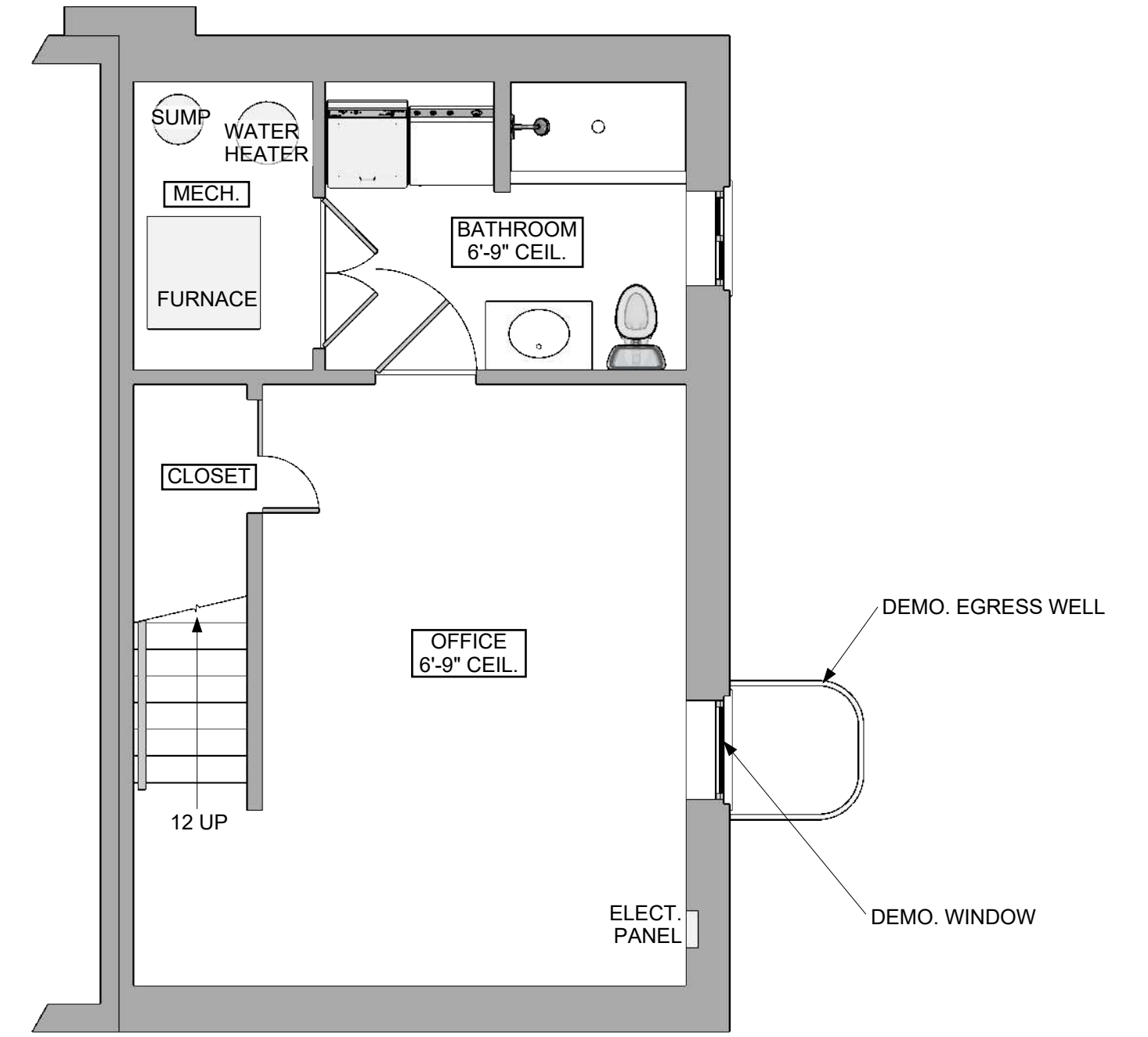
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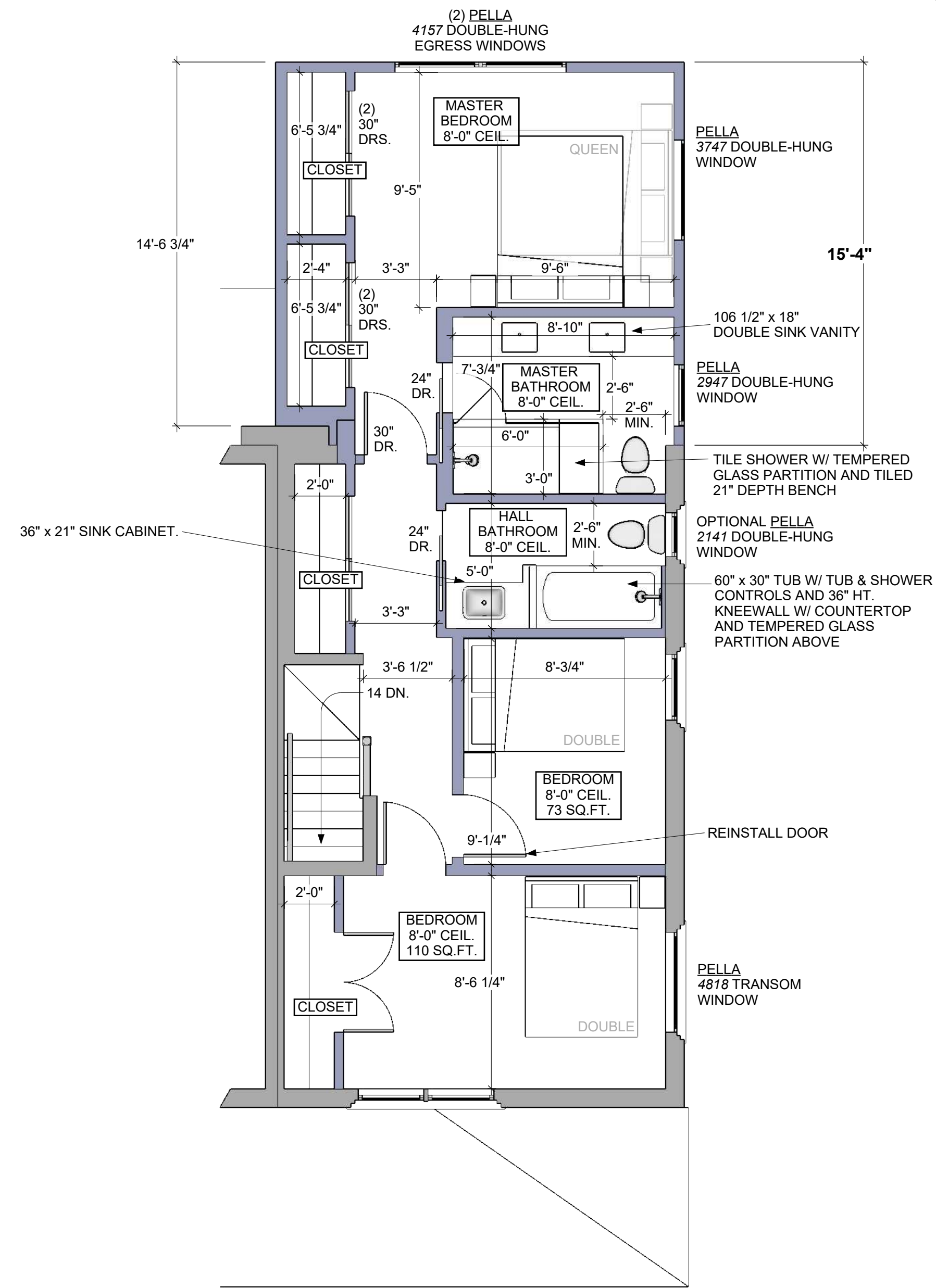




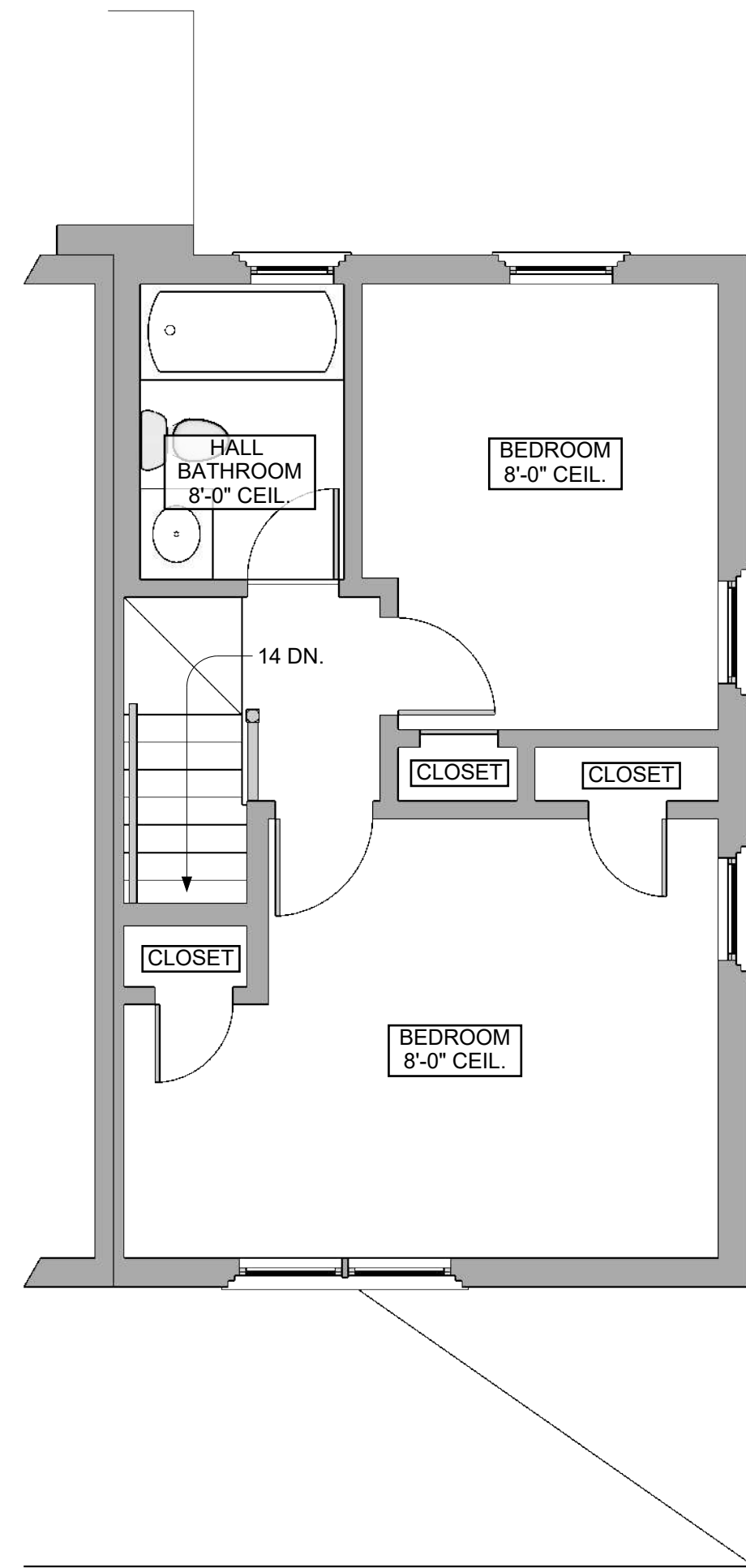
**6 A101 PROPOSED BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



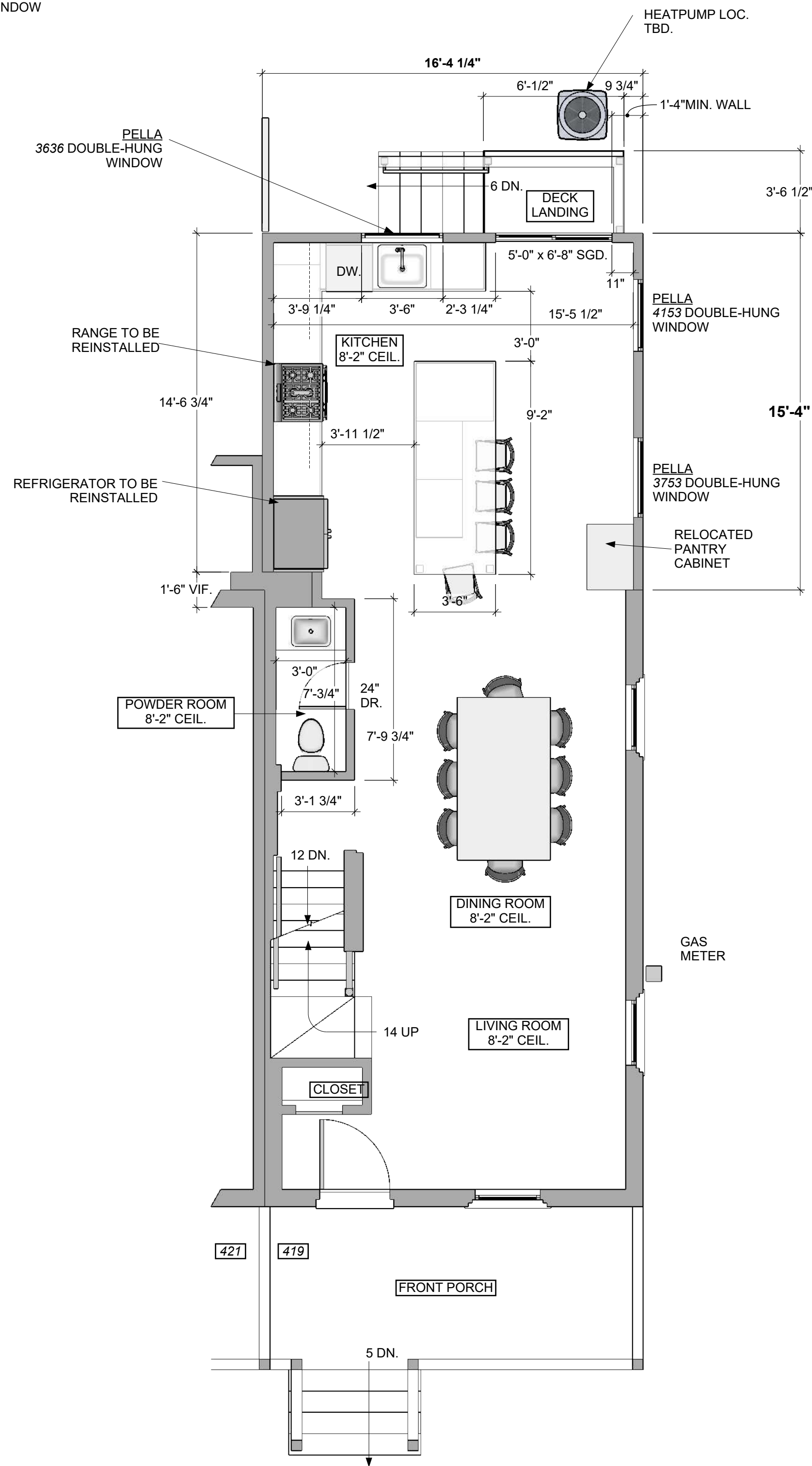
**5 A101 ASBUILT BASEMENT FLOOR PLAN**  
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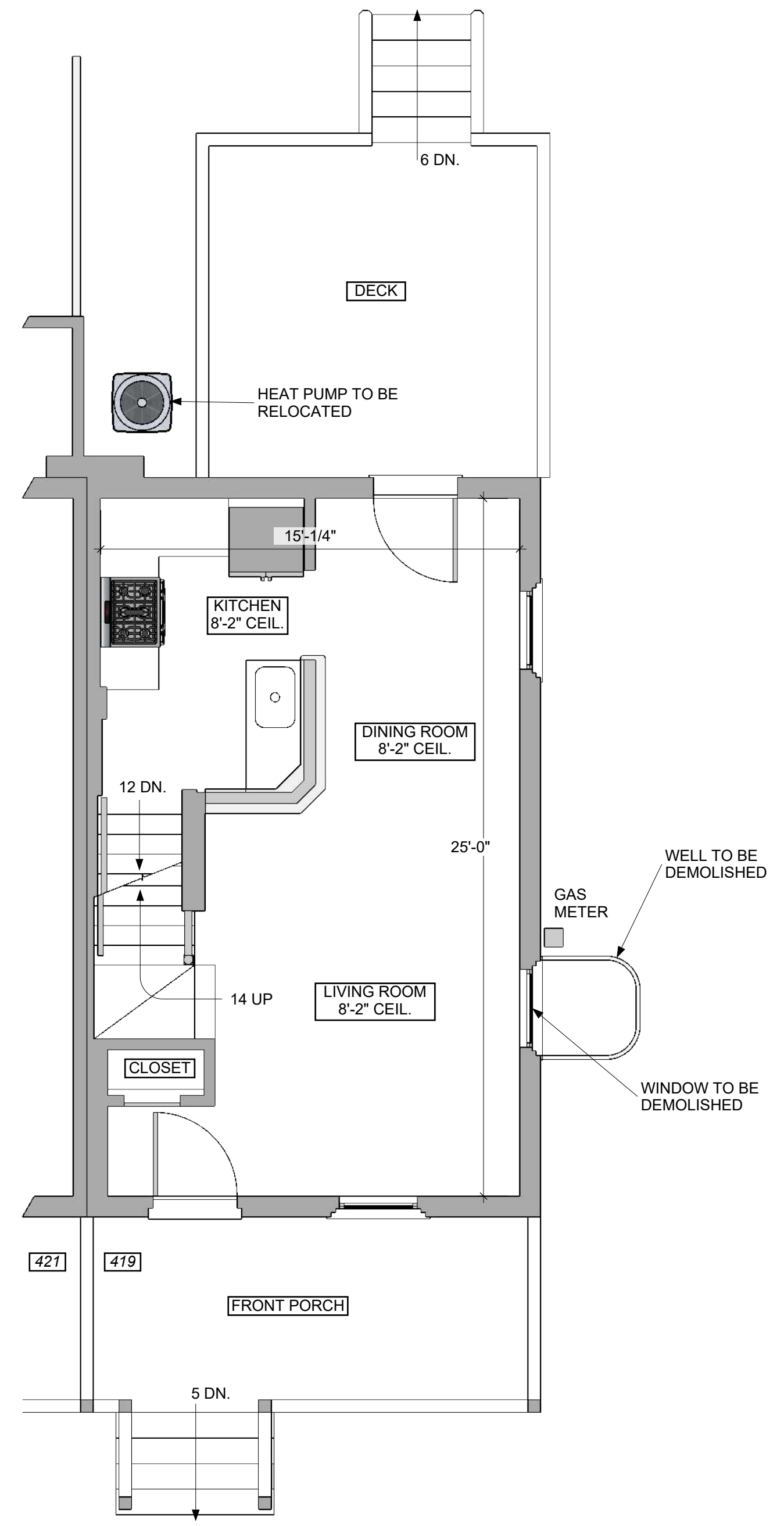
**4 A101 PROPOSED SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**3 A101 ASBUILT SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**2 A101 PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**1 A101 ASBUILT FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



NOTES THIS PAGE:  
1. ALL DIMENSIONS ARE APPROXIMATE.  
2. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.  
3. FURNISHINGS BY OWNER. FIXTURES PER CONTRACT.

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**SHEET TITLE**  
ASBUILT PLAN AND  
PROPOSED PLANS

**SHEET NUMBER**

**A101**





**4 ASBUILT LEFT ELEVATION**  
**A201 SCALE: 1/4" = 1'-0"**



**3 ASBUILT REAR ELEVATION**  
**A201 SCALE: 1/4" = 1'-0"**



**2 ASBUILT RIGHT ELEVATION**  
**A201 SCALE: 1/4" = 1'-0"**



**1 ASBUILT FRONT ELEVATION**  
**A201 SCALE: 1/4" = 1'-0"**

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 ASBUILT ELEVATIONS

**SHEET NUMBER**

**A201**





**4 PROPOSED LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 PROPOSED REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 PROPOSED RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 PROPOSED FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

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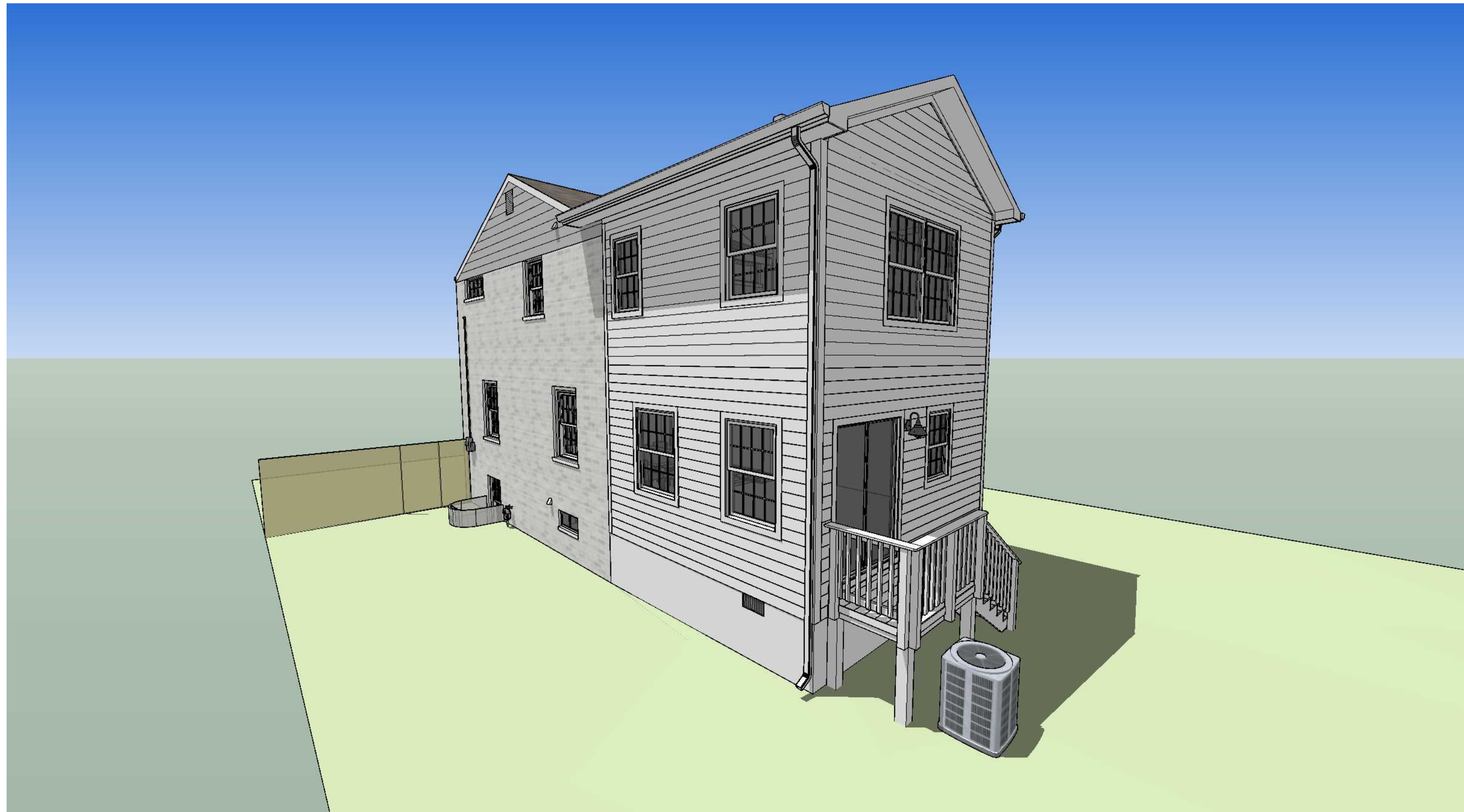
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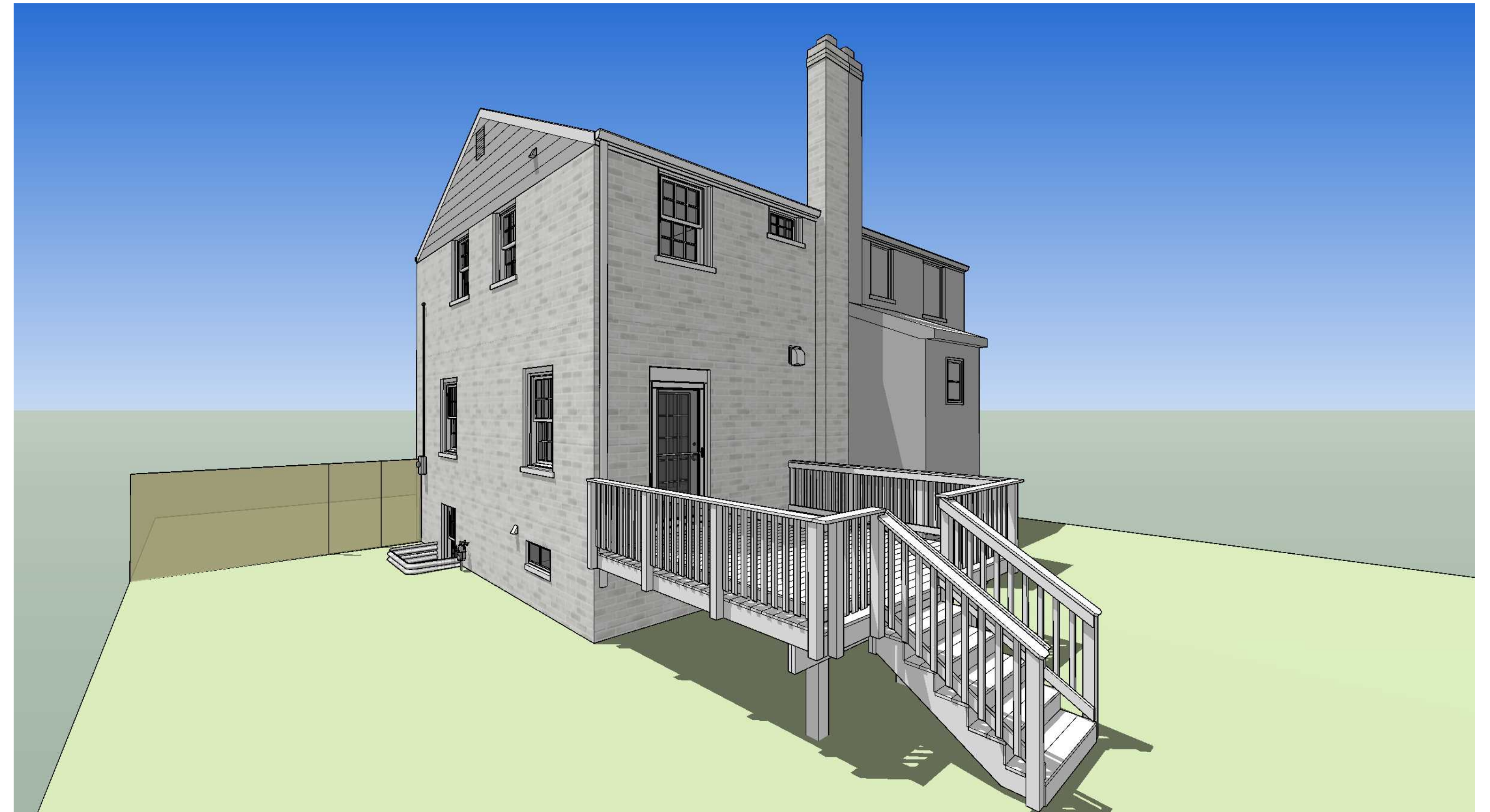
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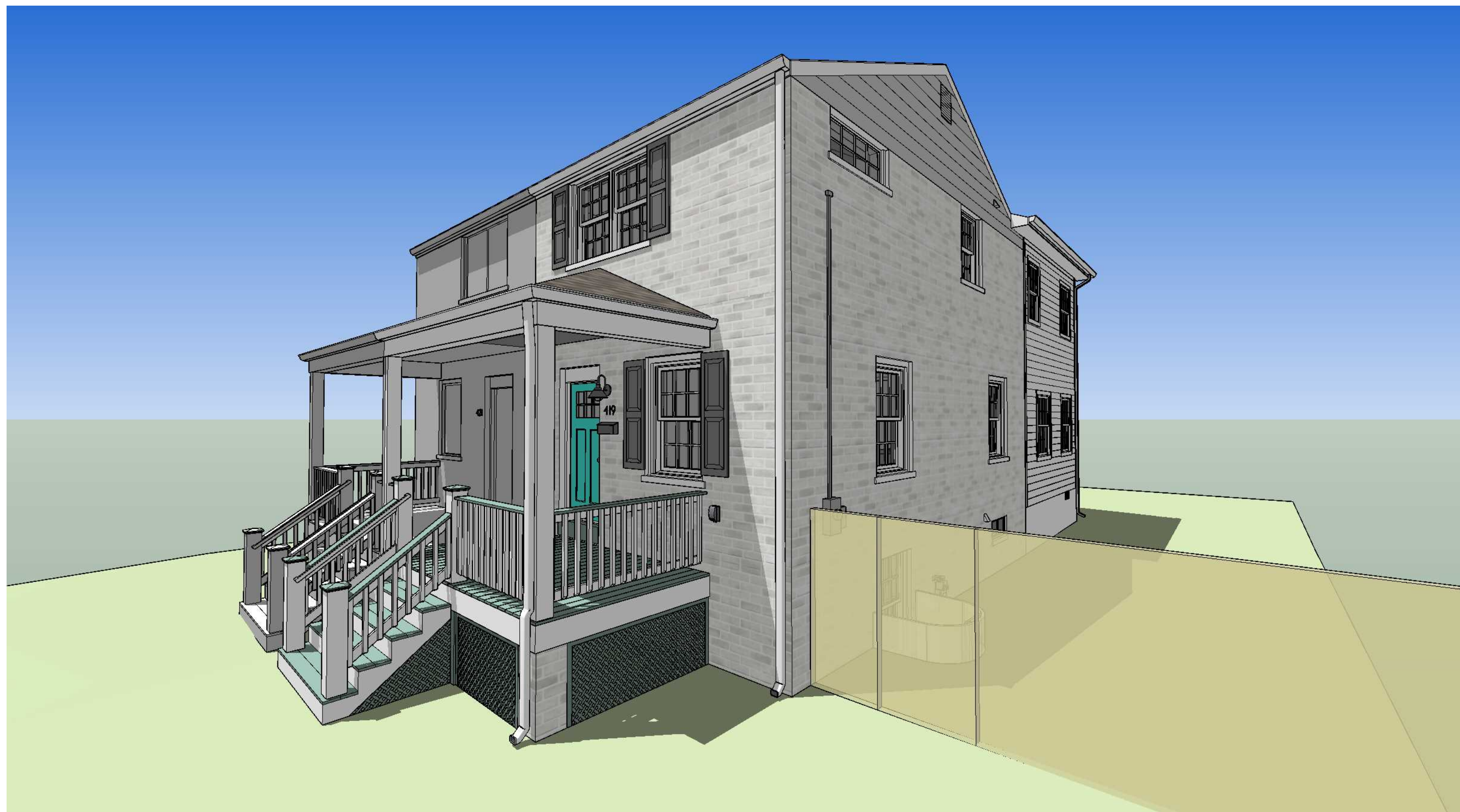




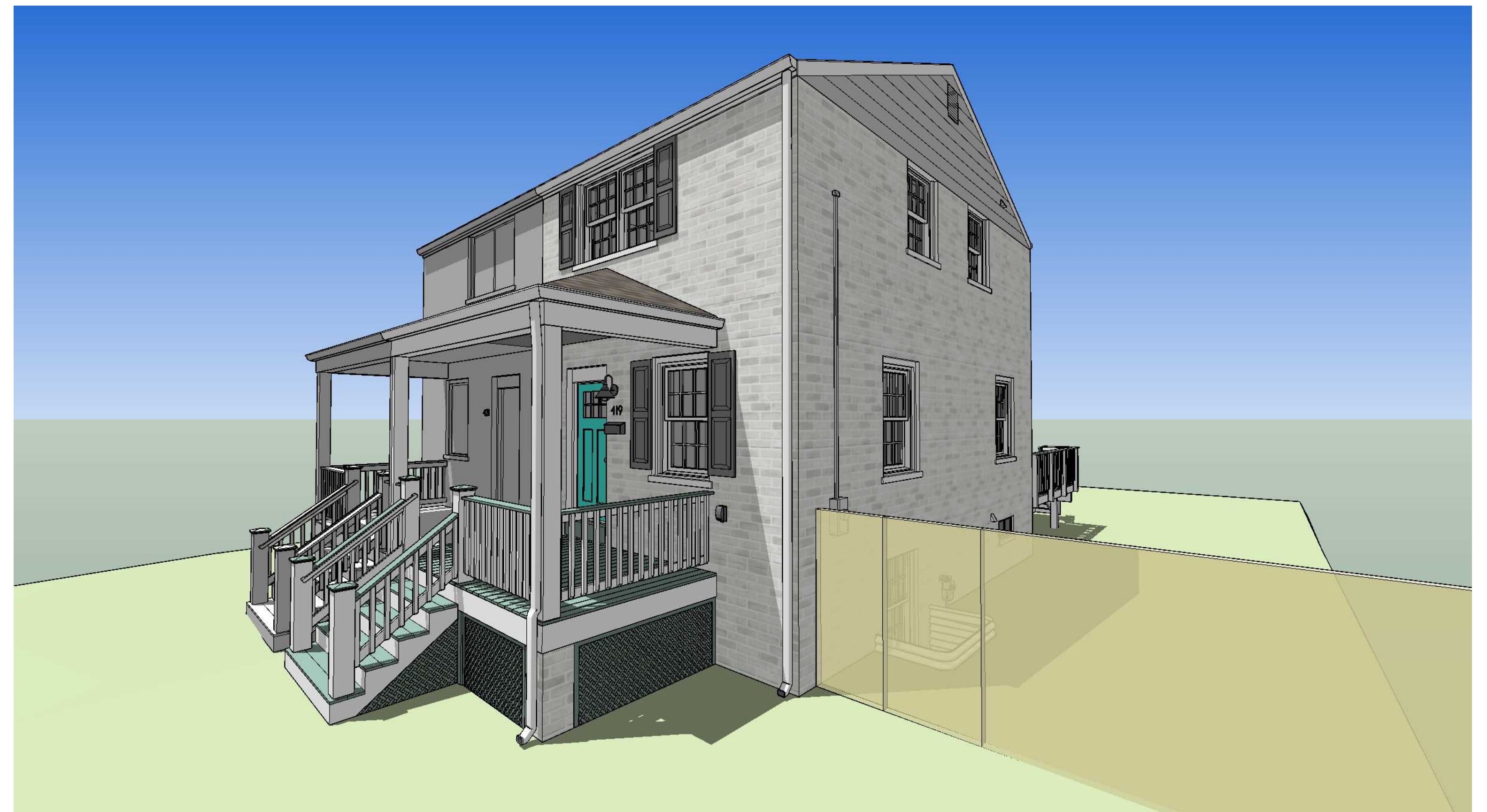
**4**  
**A501** **PROPOSED REAR RIGHT PERSPECTIVE**



**3**  
**A501** **ASBUILT REAR RIGHT PERSPECTIVE**



**2**  
**A501** **PROPOSED FRONT RIGHT PERSPECTIVE**



**1**  
**A501** **ASBUILT FRONT RIGHT PERSPECTIVE**

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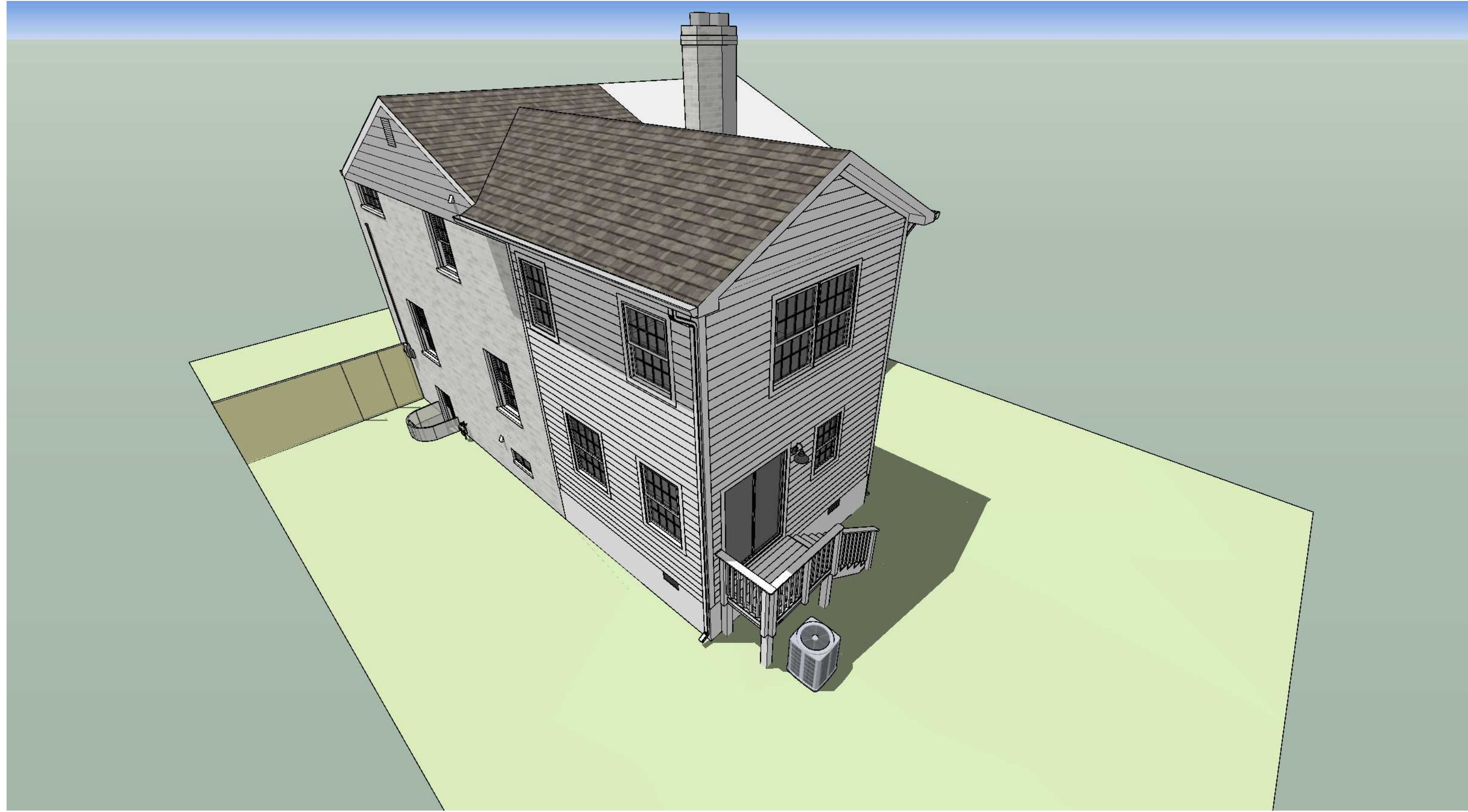
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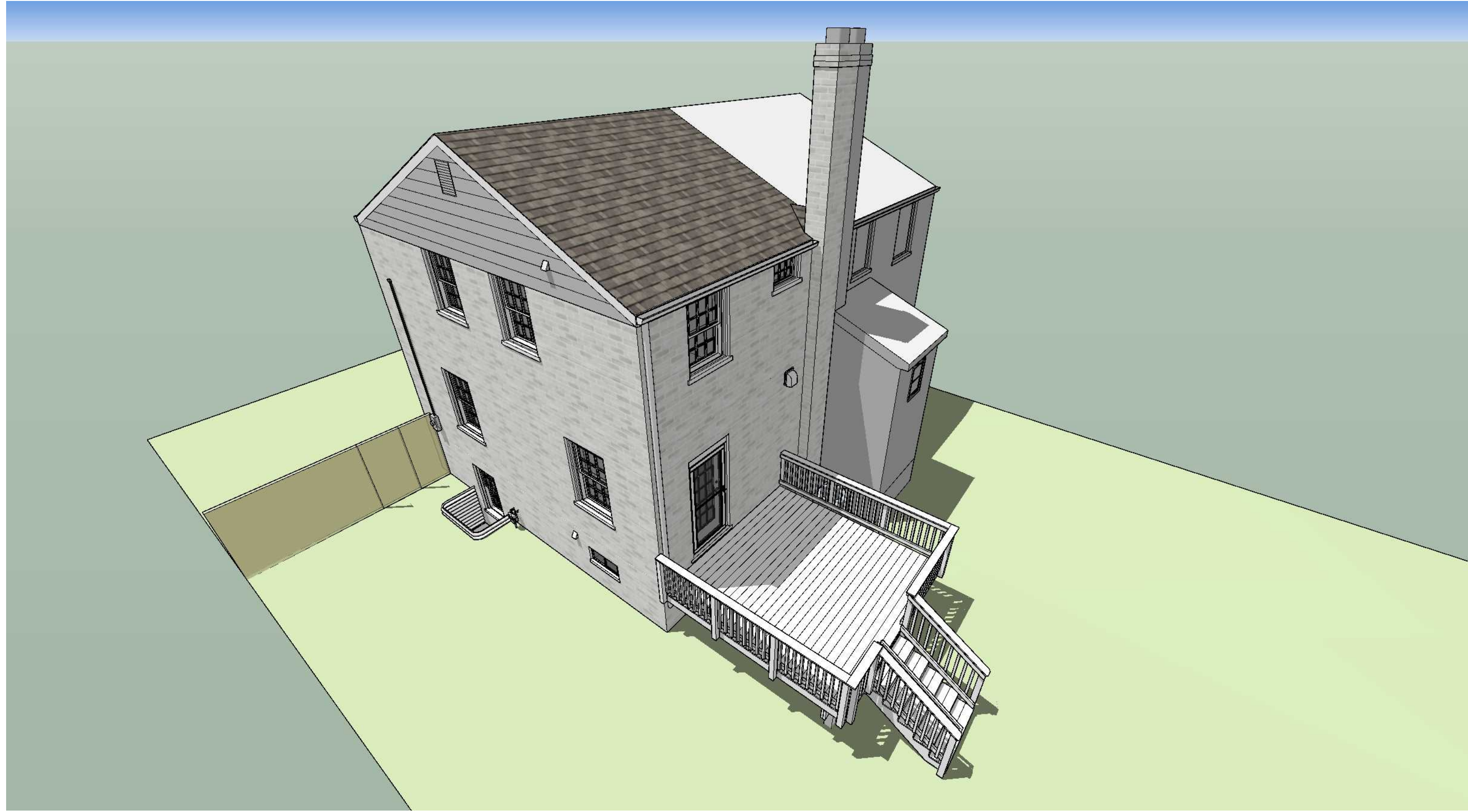
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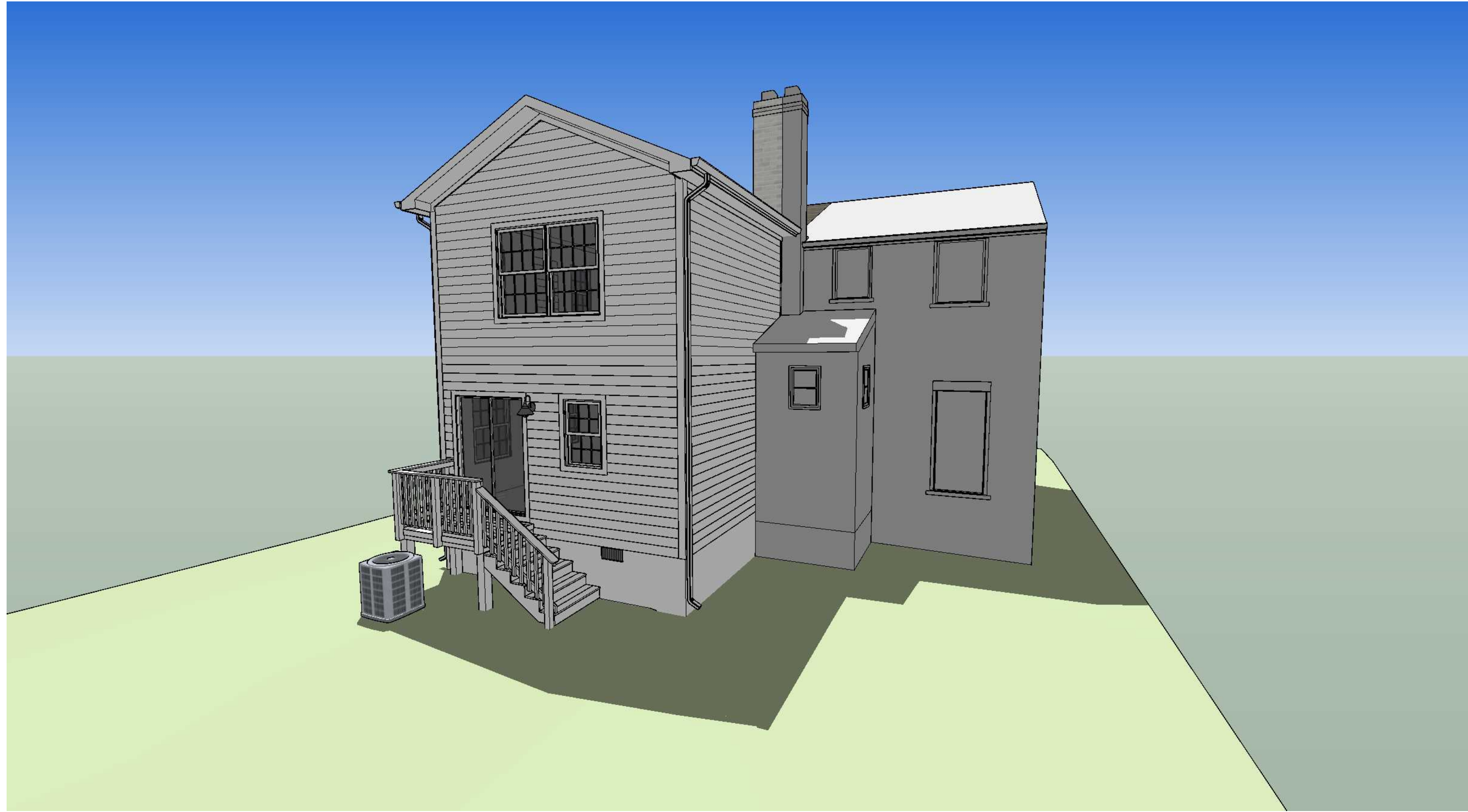




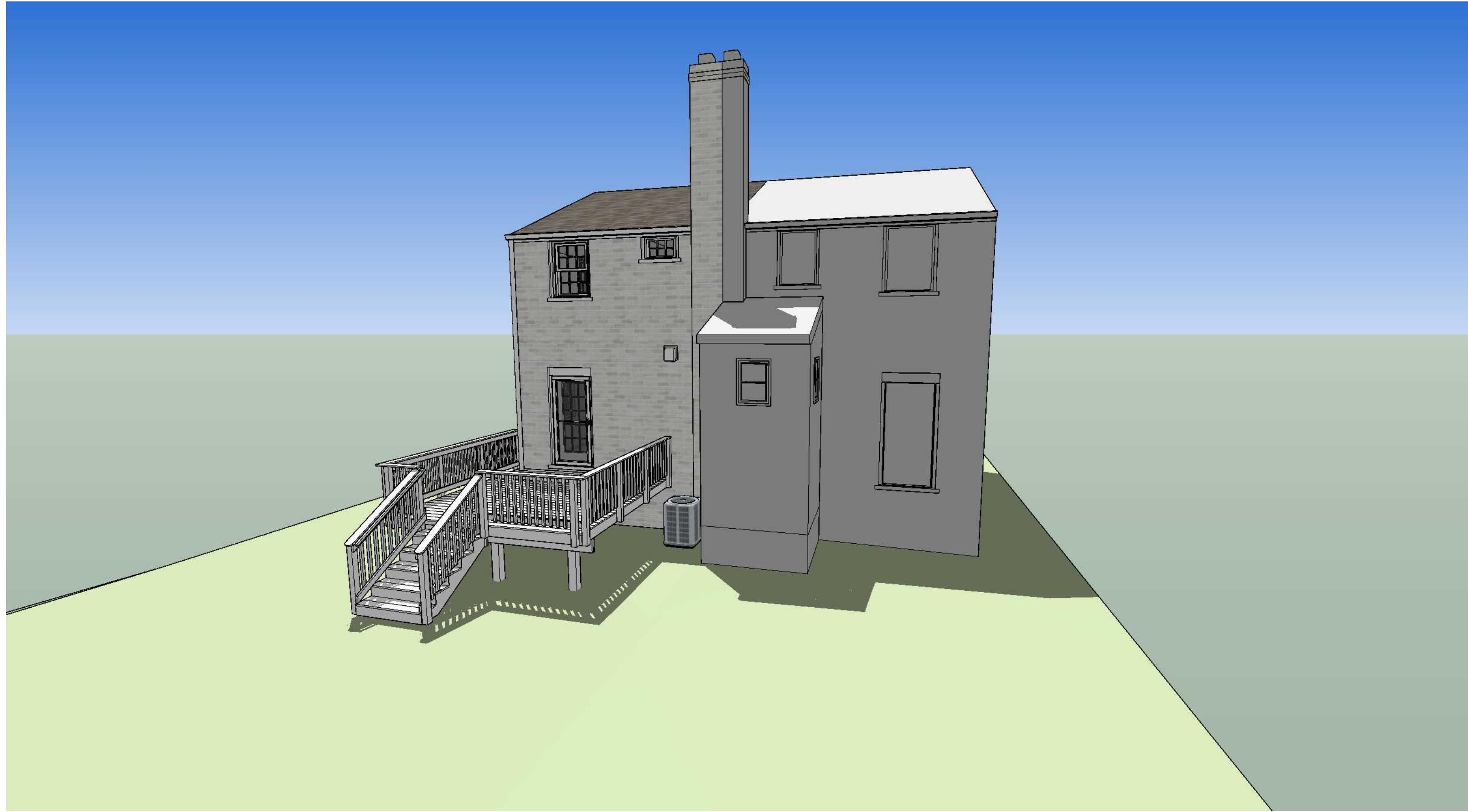
4  
A502 PROPOSED REAR AERIAL PERSPECTIVE



3  
A502 ASBUILT REAR AERIAL PERSPECTIVE



2  
A502 PROPOSED REAR LEFT PERSPECTIVE



1  
A502 ASBUILT REAR LEFT PERSPECTIVE

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