

**ISSUE:** Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for an addition and alterations

**APPLICANT:** The BurnBrae Companies

**LOCATION:** Old and Historic Alexandria District  
424 North Washington Street

**ZONE:** CD/Commercial Downtown Zone

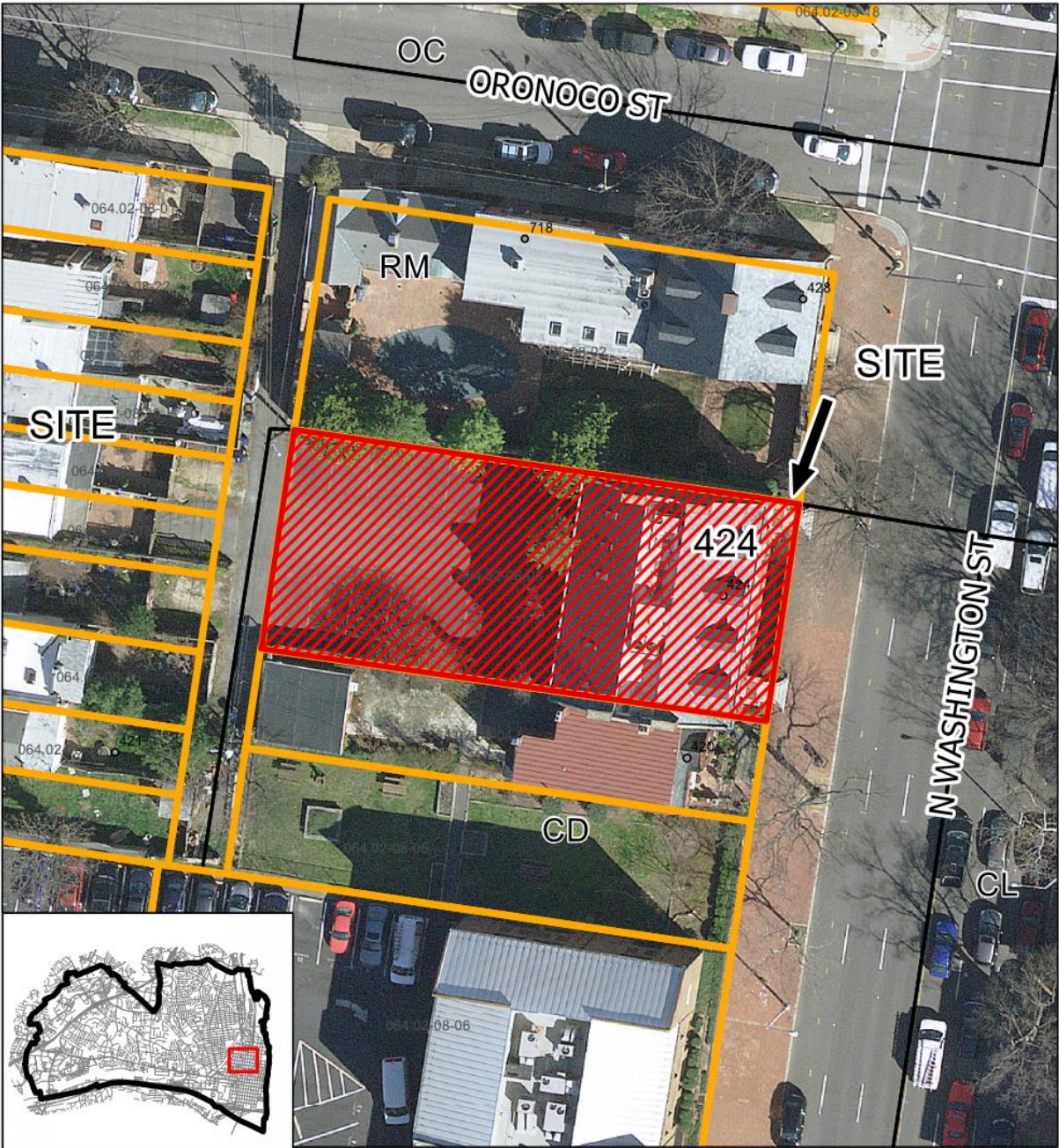
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**STAFF RECOMMENDATION**

Staff recommends approval of the Permit to Demolish/Capsulate (partial), and Certificate of Appropriateness, as submitted.

**GENERAL NOTES TO THE APPLICANT**

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



**BAR #2020-00506 & BAR #2020-00509**  
**424 North Washington Street**



0 15 30 60 Feet

**Note:** *Staff coupled the applications for a Permit to Demolish (BAR2020-00509) and Certificate of Appropriateness (BAR2020-00506) for clarity and brevity. The Permit to Demolish requires a roll call vote.*

## **I. APPLICANT'S PROPOSAL**

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to enclose a portion of the west (rear) wall and roof and construct an ADA compliant entrance with an elevator shaft, as well as alterations, at 424 North Washington Street.

The proposed demolition includes the existing exterior stairs and wall at landing, portions of the curb adjacent to the stair landing, two windows, and a portion of the roof to be removed to accommodate the proposed elevator shaft. The proposed alterations include the construction of a new elevator tower, exterior stairs to the lower level, a storefront window system at the entrance of the elevator tower. The proposed materials include fiber cement siding to match the existing brick, flat vegetated roof system, and storefront system entrance with metal canopy. The existing roof will be repaired in-kind.

### Site context

The alley to the west, behind the subject property, is private. Only a small portion of the proposed addition will be visible from the right-of-way.

## **II. HISTORY**

The six-bay, three-story, office building at 424 North Washington Street was constructed in **1978**. Designed in a Colonial-revival architectural style, the building's architectural features include a brick and faux sandstone façade, wrought iron railings, wood windows, and a Buckingham slate roof.

### *Previous BAR Approvals*

7/29/2009 – Approved as submitted for a permit to demolish (BAR2009-00148)

7/29/2009 – Approved as submitted for alterations (BAR2009-00149)

8/2/2017 – administrative approval for alterations (BAR2017-00268)

## **III. ANALYSIS**

### Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The demolition is limited to the west elevation and the material is not of unusual or uncommon design and could be reproduced easily today.

#### Certificate of Appropriateness

The *Design Guidelines* states that the goal of the Board is to balance accessibility with historic preservation and that accessibility structures should not hide, obscure or cause the removal of the historic architectural details. The proposed elevator tower is distinguishable from the existing building, is architectural appropriate for this later-building and does not negatively impact the existing building.

Staff recommends approval of the project, as submitted.

#### **STAFF**

Amirah Lane, Historic Preservation Planner, Planning & Zoning  
 Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

#### **IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

##### **Zoning**

F-1 Proposed alterations and addition complies with zoning.

C-1 Proposed alterations and addition will decrease the off-street parking by two spaces, however, the property will still meet their required off-street parking spaces.

##### **Code Administration**

C-1 A building permit and plan review are required prior to the start of construction.

##### **Transportation and Environmental Services**

1. Comply with all requirements of SIT76-0015 (T&ES)
2. The Final Site Plan must be approved and released and a copy of that plan must be attached to the demolition permit application. No demolition permit will be issued in advance of the building permit unless the Final Site Plan includes a demolition plan which clearly represents the demolished condition. (T&ES)

##### **Alexandria Archaeology**

1. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities.
  2. The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities.
- F-1 According to historic maps, this lot remained vacant until the late nineteenth century. By the 1890s a dwelling stood on the property fronting on N. Washington St. Eventually by the latter 20<sup>th</sup> century the structure was torn down and replaced by the current building.
- C-1 All required archaeological preservation measures shall be completed in compliance with Section 11-411 of the Zoning Ordinance.

#### **V. ATTACHMENTS**

1 – Application for BAR 2020-00509 & 2020-00506: 424 North Washington Street

2 – Supplemental Materials

ADDRESS OF PROJECT: 424 N Washington Street

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 064.02-08-03 ZONING: CD

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☐ Property Owner ☒ Business (Please provide business name & contact person)

Name: The BurnBrae Companies

Address: 7910 Woodmont Avenue Suite 1165

City: Bethesda State: DC Zip: 20814

Phone: 3013476925 E-mail: Alan@burnbraeco.com

Authorized Agent (if applicable): ☐ Attorney ☒ Architect ☐ \_\_\_\_\_

Name: Christopher Peoples Phone: (202) 659-5600

E-mail: cpeoples@kcct.com

**Legal Property Owner:**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☐ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.



**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☐ NEW CONSTRUCTION  
☐ EXTERIOR ALTERATION: *Please check all that apply.*  

☐ awning  
☐ doors  
☐ lighting  
☐ other \_\_\_\_\_

☐ fence, gate or garden wall  
☐ windows  
☐ pergola/trellis

☐ HVAC equipment  
☐ siding  
☐ painting unpainted masonry

☐ shutters  
☐ shed
- ☒ ADDITION  
☒ DEMOLITION/ENCAPSULATION  
☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

Exterior demolition and new addition to be located on the rear North elevation of the building. Exterior addition improvements ~~will be performed as required for new ADA compliant building entrance with elevator shaft, new exterior stairs to lower basement (Level 1) and updates at windows, roof and roof drains to protect against water and air infiltration.~~ Demolition to include demolition at rear exterior stair and wall at landing, portion of curb adjacent to stair landing, two rear windows and roof to be removed to accommodate new elevator shaft. (see photographs and supplemental drawings attached)

Interior renovation in common areas of building for code improvements required by current conditions, including select accessibility, fire service, sprinkler and egress. Renovation will include new core restrooms on each floor, code compliant stairwell, new elevator and entry lobby, new HVAC distribution utilizing existing rooftop units, new fire alarm/suppression system. Interior partitions to receive cosmetic updates patch, repair and paint.

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**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.

☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.

☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.

☐ ☐ Description of the reason for demolition/encapsulation.

☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ <sup>N/A</sup> Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ <sup>N/A</sup> Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- ☐ ☒ Square feet of existing signs to remain: \_\_\_\_\_.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet or bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** *Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ <sup>N/A</sup> Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.



**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☐ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☐ I, the applicant, or an authorized representative will be present at the public hearing.
- ☐ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: \_\_\_\_\_

Christopher L. Peoples, AIA  
Digitally signed by Christopher L. Peoples, AIA  
DN: cn=Chris, email=chris@bar.aia.org, ou=Principal, cn=Christopher L. Peoples, AIA  
Date: 2020.10.02 16:22:24 -0400

Printed Name: Christopher Peoples \_\_\_\_\_

Date: 10/02/2020 \_\_\_\_\_

# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. The BurnBrae Companies	7910 Woodmont Avenue Suite 1165, Bethesda, MD 20814	62.5
2. Jemm Ventures, LLC	7910 Woodmont Avenue Suite 1165, Bethesda, MD 20814	17.0
3. Laurence D. Bank	767 3rd Ave NY, NY 10017	20.5

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 424 N Washington St. Alexandria, VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. See Above.		
2.		
3.		

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2.		
3.		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

10/05/2020

Christopher Peoples, AIA

Date

Printed Name

Signature



# Department of Planning and Zoning

## Floor Area Ratio and Open Space Calculations

as of 12/20/18

**B**

### A. Property Information

A1. 424 N Washington, Alexandria, VA 22314  
Street Address

CL  
Zone

A2. 10,557.00 x 1.50 = 15,835.50  
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

### B. Existing Gross Floor Area

#### Existing Gross Area

Basement 2,547.00  
First Floor 2,780.00  
Second Floor 2,546.00  
Third Floor 2,034.00  
Attic  
Porches  
Balcony/Deck  
Lavatory\*\*\*  
Other\*\*

#### Allowable Exclusions\*\*

Basement\*\*  
Stairways\*\*  
Mechanical\*\*  
Attic less than 7'\*\*\*  
Porches\*\*  
Balcony/Deck\*\*  
Lavatory\*\*\*  
Other\*\*  
Other\*\*

B1. 9,907.00 Sq. Ft.  
Existing Gross Floor Area\*  
B2. 0.00 Sq. Ft.  
Allowable Floor Exclusions\*\*  
B3. 9,907.00 Sq. Ft.  
Existing Floor Area Minus Exclusions  
(subtract B2 from B1)

#### Comments for Existing Gross Floor Area

B1. **Total Gross** 9,907.00 B2. **Total Exclusions** 0.00

### C. Proposed Gross Floor Area

#### Proposed Gross Area

Basement 142.37  
First Floor 272.17  
Second Floor 88.24  
Third Floor 150.00  
Attic  
Porches  
Balcony/Deck  
Lavatory\*\*\*  
Other

#### Allowable Exclusions\*\*

Basement\*\*  
Stairways\*\*  
Mechanical\*\*  
Attic less than 7'\*\*\*  
Porches\*\*  
Balcony/Deck\*\*  
Lavatory\*\*\*  
Other\*\*  
Other\*\*

C1. 653.00 Sq. Ft.  
Proposed Gross Floor Area\*  
C2. 0.00 Sq. Ft.  
Allowable Floor Exclusions\*\*  
C3. 653.00 Sq. Ft.  
Proposed Floor Area Minus Exclusions  
(subtract C2 from C1)

C1. **Total Gross** 652.78 C2. **Total Exclusions** 0.00

### D. Total Floor Area

D1. 10,560.00 Sq. Ft.  
Total Floor Area (add B3 and C3)  
D2. 0.00 Sq. Ft.  
Total Floor Area Allowed  
by Zone (A2)

### E. Open Space

E1. Sq. Ft.  
Existing Open Space  
E2. Sq. Ft.  
Required Open Space  
E3. Sq. Ft.  
Proposed Open Space

### Notes

\*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

\*\*\*Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

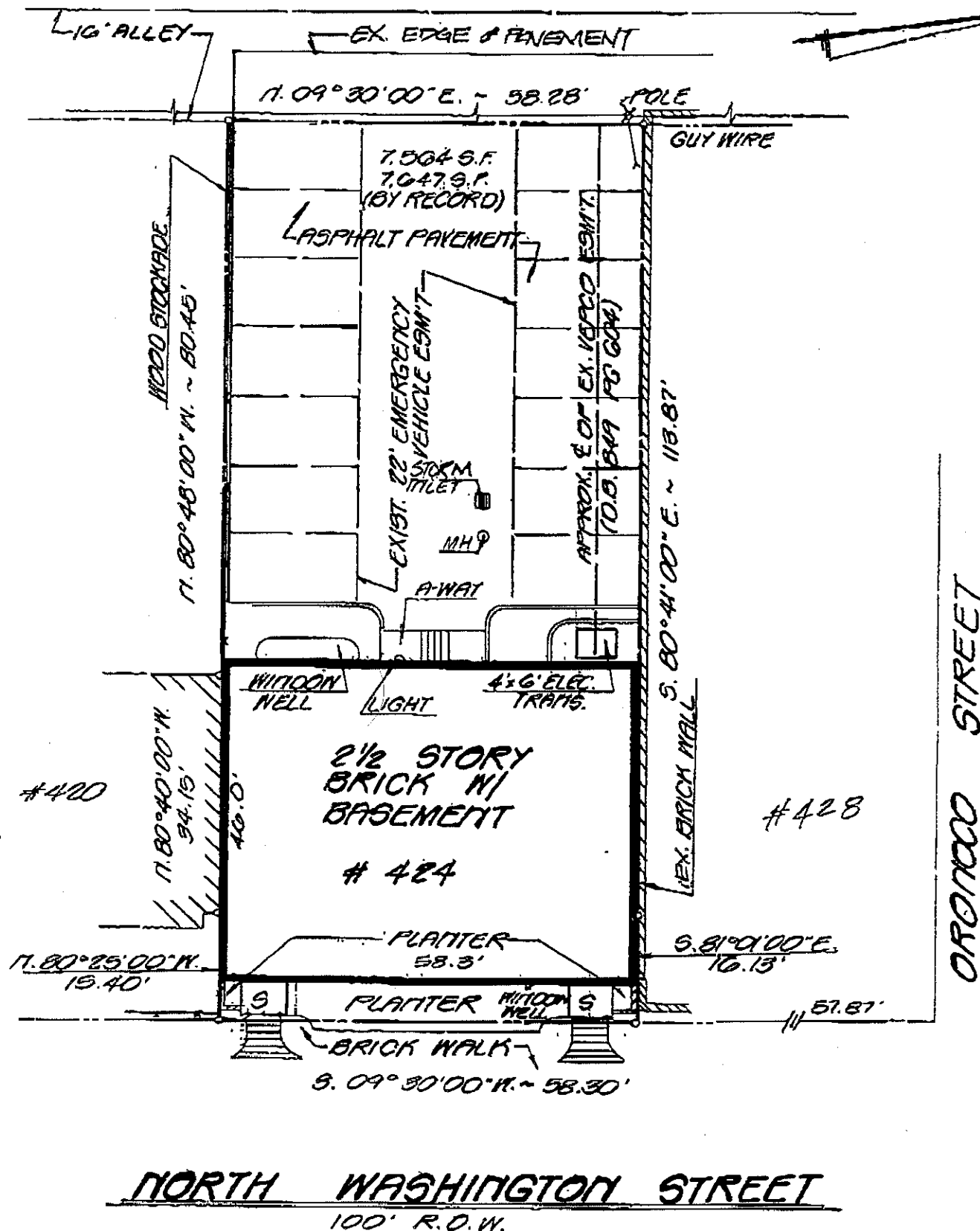
The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: \_\_\_\_\_

Date: 10/02/2020

EXHIBIT B

BEGINNING at a point in the westerly line of North Washington Street, said point lying S. 09 degrees 30' W. 116.17 feet from the southerly line of Oronoco Street thence leaving North Washington Street and running N. 80 degrees 25' W. 15.40 feet to the northeasterly corner of the dwelling known as 420 North Washington Street; thence running with the northerly wall of said dwelling No. 80 degrees 40' W. 34.15 feet to the northwesterly corner of said dwelling; thence N. 80 degrees 48' W. 80.45 feet to a point on a board fence in the easterly line of a sixteen foot alley; thence running with the said line of the sixteen foot alley N. 09 degrees 30' E. 58.28 feet to a point on the southerly side of a "brick wall", enclosing the rear and side yards of the property of Franklin F. Korell and Caroline S. Korell; thence leaving the alley and running with the said southerly side of the "brick wall" (all of said "brick wall" being on the property of Korell), and binding therewith S. 80 degrees 41' E. 44.09 feet to the northwesterly corner of the "two story brick" house of Anne S. B. Porter; thence along the northerly side of the northerly wall of said "two story brick" house (all of said house wall being on the property of Anne S. B. Porter) and binding therewith, S. 80 degrees 41' E. 69.78 feet to the northeasterly corner of said house; thence running along the southerly side of the "brick wall" (all of said "brick wall" being on the property of Korell), and binding therewith, and with the southerly side of said "brick wall" extended eastwardly, S. 81 degrees 01' E. 16.13 feet to the above mentioned westerly line of North Washington Street; thence running with the said line of North Washington Street S. 09 degrees 30' W. 58.30 feet to the point of beginning, according to survey of Holland Engineering dated May 8, 1957.



HOUSE LOCATION SURVEY

ALEXANDRIA, VIRGINIA

TAX MAP REF #  
**64.02-08-03**SUBDIVISION  
**# 424 NORTH WASHINGTON STREET**

SCALE: 1" = 20'

DATE: FEB. 25, 1999

CLIENT: LINDA ADAMS

This property lies within a  
minimal flood hazard zone as  
determined by F.E.M.A.  
ZONE: X PANEL: 05D  
MAP: 515519

13

**Surveyor's Certificate**

I hereby certify that the position of all the existing  
improvements shown on the above described property  
has been carefully determined by a transit-tape survey





## **Board of Architectural Review Application**

424 N Washington St, Alexandria, VA

10.05.2020





**424 N Washington St**

Alexandria , VA

**Site**

10/05/2020

2020446.00





420

424

428

424 N Washington St

Alexandria , VA

Adjacent Structures

10/05/2020

2020446.00



GENERAL NOTES

1. THE PROPERTY SHOWN HEREON IS IDENTIFIED ON THE CITY OF ALEXANDRIA, VIRGINIA GEOGRAPHIC INFORMATION SYSTEM AS PID: 064.02-08-03 AND IS ZONED CD.
2. THE PROPERTY SHOWN HEREON IS NOW IN THE NAME OF NK WASHINGTON STREET, LLC, RECORDED IN INSTRUMENT #090005235, AMONG THE LAND RECORDS OF THE CITY OF ALEXANDRIA, VIRGINIA.
3. A.) HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM (VCS) 1983 - NORTH AS ESTABLISHED FROM A CURRENT GPS SURVEY.
- B.) THE VERTICAL DATUM SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) GEIOD-18 AS ESTABLISHED FROM A CURRENT GPS SURVEY.
4. NO TITLE REPORT FURNISHED. ALL UNDERLYING TITLE LINES, EASEMENTS, SERVITUDES AND OTHER MATTERS OF TITLE ARE NOT SHOWN HEREON. BOUNDARY LINES SHOWN ARE APPROXIMATE.
5. THE PHYSICAL IMPROVEMENTS AND TOPOGRAPHY SHOWN HEREON ARE BASED UPON A FIELD SURVEY CONDUCTED BY THIS FIRM BETWEEN THE DATES OF AUGUST 28 AND SEPTEMBER 2, 2020.
6. NO GEOTECHNICAL, SUBSURFACE, FIELD REVIEWS, RESEARCH, AGENCY OR GOVERNMENTAL RECORD REVIEWS, OR OTHER INVESTIGATIONS HAVE BEEN MADE FOR THE PURPOSE OF LOCATING, OR DETERMINING THE EXISTENCE OF HAZARDOUS MATERIALS, OR OTHER ENVIRONMENTAL CONCERNS ON SITE IN THE PERFORMANCE OF CHRISTOPHER CONSULTANTS, LTD SERVICES FOR THE PROJECT AS SHOWN HEREON.
7. NO CERTIFICATION HAS BEEN MADE AS TO THE LOCATIONS OF UNDERGROUND UTILITIES SUCH AS, BUT NOT LIMITED TO ELECTRIC, GAS, TELEPHONE, CATV, WATER, SANITARY AND STORM SEWERS.
8. DURING THE PROCESS OF OUR PHYSICAL SURVEY NO INDICATIONS OF A CEMETERY WERE FOUND. NO FURTHER INSPECTION OF THIS PROPERTY HAS BEEN MADE FOR POSSIBLE CEMETERIES.

FLOOD ZONE NOTE

THE AREA SHOWN HEREON IS LOCATED ON THE FLOOD INSURANCE RATE MAP (FIRM), NO. 5155190041 E, WITH A REVISION DATE OF JUNE 16, 2011.

BY GRAPHICAL DEPICTION ONLY, THE PROPERTY SHOWN HEREON IS SHOWN IN:

- FLOOD ZONE "X" (OTHER AREAS), AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN.

A FIELD SURVEY WAS NOT PERFORMED TO DETERMINE THE FLOOD ZONES LISTED HEREON. AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

SURVEYOR'S CERTIFICATION

THIS TOPOGRAPHIC SURVEY ON THE LAND OF NK WASHINGTON STREET, LLC WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF LONNY D. STURGEON L.S., FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION BETWEEN THE DATES OF AUGUST 28 AND SEPTEMBER 2, 2020 AND THAT THIS PLAT MEETS MINIMUM ACCURACY STANDARDS OF THE COMMONWEALTH OF VIRGINIA UNLESS OTHERWISE NOTED.

GIVEN UNDER THIS 2nd DAY OF SEPTEMBER, 2020



Lonny D. Sturgeon

LONNY D. STURGEON, L.S.  
COMMONWEALTH OF VIRGINIA  
LICENSED LAND SURVEYOR NO. : 1594



3901 Innovation Drive, Manassas, VA 20110  
703.334.5657 utilityprofessionalsinc.com

UTILITY MARKING NOTES:

- 1) THE LOCATION OF UTILITIES LISTED IN THE TABLE BELOW AND SHOWN ON THIS PLAT ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES, SURFACE GROUND MARKINGS, AND EXISTING PLANS AND MAPS.
- 2) BEFORE DIGGING IN THIS AREA, CALL "MISS UTILITY" 1-800-552-7001 FOR FIELD LOCATIONS (REQUEST FOR GROUND MARKINGS) OF UNDERGROUND UTILITY LINES.
- 3) UTILITY PROFESSIONALS, INC. INVESTIGATED FOR THE HORIZONTAL LOCATION OF UNDERGROUND UTILITIES ON 09/14/2020.
- 4) THIS INVESTIGATION DOES NOT INCLUDE THE USE OF GROUND PENETRATING RADAR OR INTRUSIVE METHODS OF INVESTIGATION SUCH AS TEST PITS OR BORINGS.
- 5) THIS INVESTIGATION DOES NOT INCLUDE DESIGNATING SPRINKLER OR IRRIGATION SYSTEMS, BURIED TANKS, SEWER SYSTEMS, NON-CONDUCTIVE UTILITIES, OR WELLS.
- 6) DETECTING AND DESIGNATING UTILITIES THAT ARE BURIED DIRECTLY BELOW OTHER UTILITIES ARE NOT PROVIDED.
- 7) NO RECORDS OR PLANS WERE PROVIDED TO UPI AT THE TIME OF THE INVESTIGATION. ANY PLANS OBTAINED AFTER THIS POINT WILL BE FORWARDED ON TO THE CLIENT.

GENERAL NOTES

- 1) UTILITY LOCATIONS SHOWN HEREON ARE PER A FIELD SURVEY PERFORMED BY THIS FIRM ON 09/14/2020.
- 2) UNTRACEABLE VERIZON COMMUNICATION LINE WAS NOT DETECTABLE BY UPI AND EXISTS WITHIN THE LIMITS. UPI SUGGESTS CONTACTING VERIZON PRIOR TO CONSTRUCTION TO DESIGNATE THE LOCATIONS.
- 3) NO EVIDENCE OF AN UNDERGROUND GAS LINE WAS SEEN PAST THE 'END OF INFORMATION' MARK. FIELD CREW DID NOT OBSERVE ANY ABOVE GROUND FEATURES INDICATING THAT THE GAS LINE CONTINUES DOWN THE ALLEY. UPI RECOMMENDS CONTACTING WASHINGTON GAS PRIOR TO CONSTRUCTION TO CONFIRM.

LEGEND

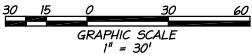
- Utilities - Electric  
E UTILITY POLE  
E ELECTRIC TRANSFORMER
- Utilities - Communication  
EOI END OF INFORMATION
- Utilities - Gas  
EOI END OF INFORMATION
- Linetypes  
LIMITS OF UPI UTILITY SURVEY
- SUE Level B - Field Located (Underground)  
DOM DOMINION ELECTRIC MARKING  
VZN VERIZON COMMUNICATION MARKING  
WGL WASHINGTON GAS MARKING

LEGEND

- Utilities - Storm  
SM STORM MANHOLE  
SDI STORM DRAIN INLET  
RD ROOF DRAIN
- Utilities - Electric  
UP UTILITY POLE  
GW GUY WIRE
- Misc. Structures  
SE SPOT ELEVATION  
DT DECIDUOUS TREE  
CT CONIFEROUS TREE  
FEE FINISHED FLOOR ELEV. AT DOOR
- Abbreviations  
EX EXISTING  
CONC. CONCRETE  
TW TOP OF WALL  
WF WOODEN FENCE  
WM WINDOW WELL  
TRANS. TRANSFORMER  
TYP. TYPICAL  
FF FINISHED FLOOR
- Surfaces  
AA ASPHALT AREA  
CA CONCRETE AREA  
DA DIRT AREA  
BA BRICK AREA
- Linetypes  
IC INDEX CONTOUR (10')  
INT. INT. CONTOUR (2')  
FENCE  
OHU OVERHEAD UTILITY WIRE  
PL PROPERTY LINE  
AL ADJOINER LINE

STORM STRUCTURE DATA

- EX 306 RIM EL. = 45.57  
ELEVATION AT BOTTOM OF STRUCTURE = 37.77  
STRUCTURE SEALED SHUT AND FILLED WITH DEBRIS AND SILT, INACCESSIBLE AT TIME OF SURVEY. NO VISIBLE PIPES.
- EX 307 RIM EL. = 45.53  
DUMPSTER ON TOP OF SEALED STRUCTURE, INACCESSIBLE AT TIME OF SURVEY.
- EX 446 RIM EL. = 46.39  
INLET GRATE, ELEVATION AT BOTTOM OF STRUCTURE = 41.39
- EX 530 RIM EL. = 43.07  
INLET GRATE, ELEVATION AT BOTTOM OF STRUCTURE = 40.17



Rev#	DATE	REVISION

424 N Washington St

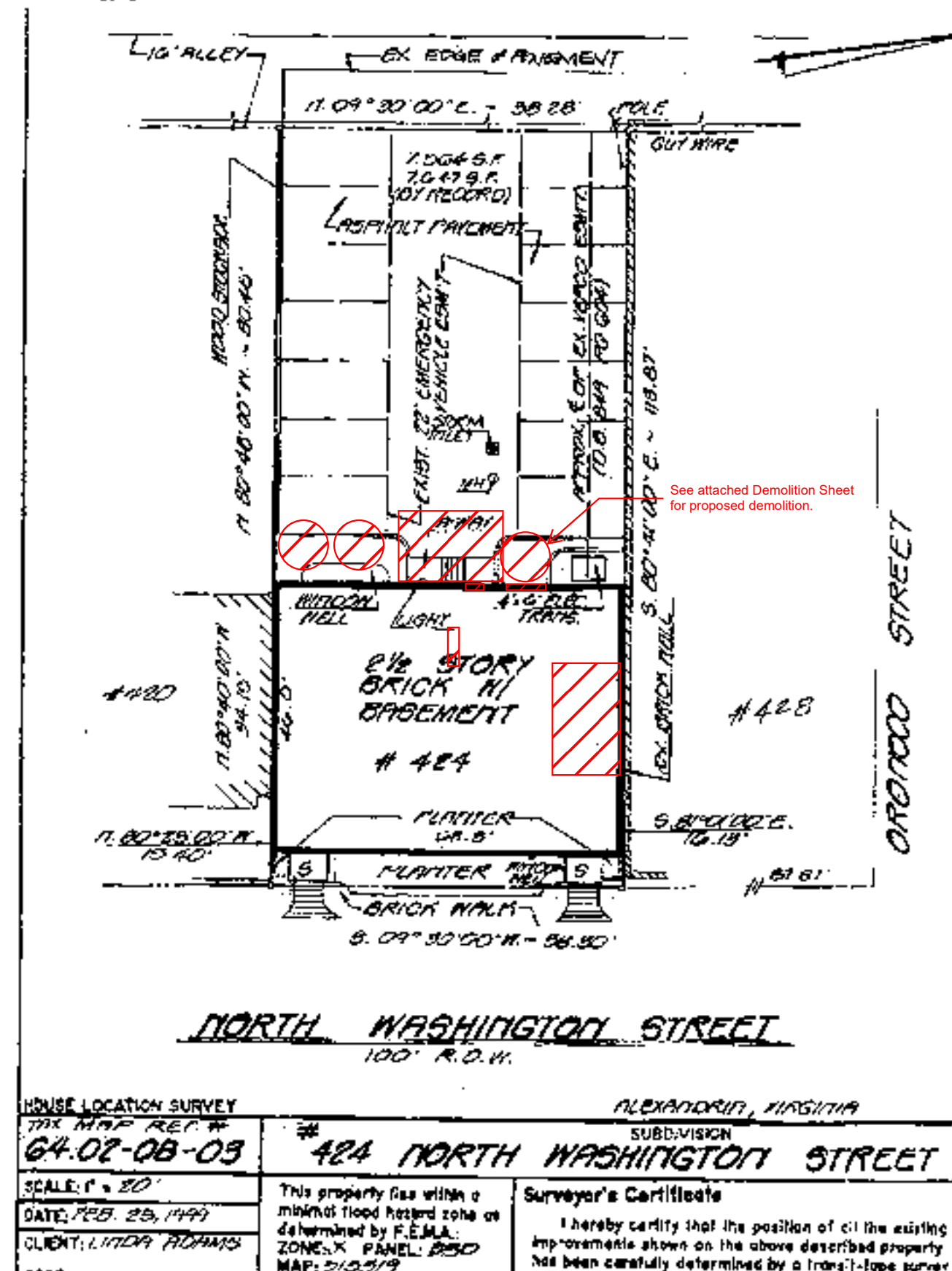
Alexandria , VA

Scaled Survey

10/05/2020

2020446.00





## Demolition to Include

- Removal of trees at rear of building
- Demolish rear stair and wall at landing
- Demolish portion of curb adjacent to stair landing
- Two rear windows to be removed
- Portion of roof to be removed
- Interior ornamental stair to be removed

## Reason for Demolition

- The building entrance and circulation does not comply with ADA standards.
- Both rear and front entrances require steps to enter the building.
- The Architect has recommended to add an addition with elevator to the back of the building to reach all floors and preserve the character of the front facade.
- Demolition will prepare the site for a new rear entrance to meet ADA requirements.

**424 N Washington St**

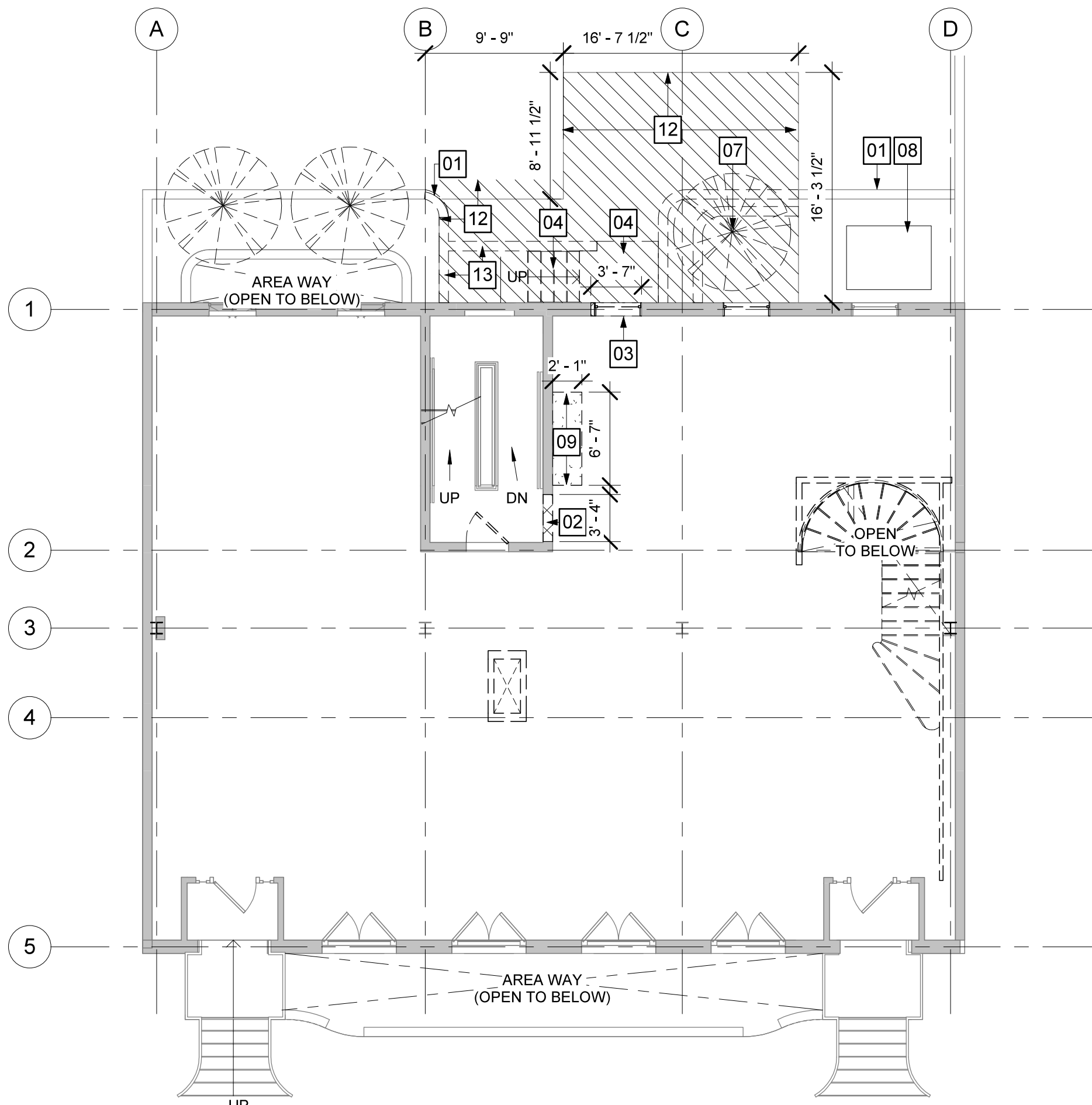
**Alexandria , VA**

## Plat

10/05/2020

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#### DEMOLITION PLAN - KEY NOTES

- 01** REMOVE EXISTING CONCRETE CURB
- 02** NEW MASONRY OPENING
- 03** REMOVE EXISTING WINDOW AND DEMO INDICATED PORTION OF EXTERIOR MASONRY WALL BY REMOVING CMU AND BRICK TO CREATE MASONRY OPENING
- 04** REMOVE EXISTING EXTERIOR BRICK STAIR, BRICK STAIR LANDINGS, METAL GUARDRAIL AND HANDRAIL.
- 05** REMOVE EXISTING ELECTRICAL PANEL. SEE ELECTRICAL
- 06** REMOVE EXISTING TELEPHONE EQUIPMENT. SEE MEP
- 07** REMOVE EXISTING TREE AND DIRT PLANTER
- 08** EXISTING ELECTRICAL TRANSFORMER TO REMAIN.
- 09** DEMOLISH EXISTING FLOOR SLAB
- 11** DEMOLISH EXISTING BEARING WALL FRAMING. PROVIDE TEMPORARY SUPPORT FOR EXISTING PARAPET WALL ABOVE
- 12** DEMOLISH EXISTING ROOF
- 13** DEMOLISH EXISTING PAVEMENT & EARTH TO EXTENT REQUIRED FOR CONSTRUCTION OF NEW ADDITION (SEE HATCHED AREA)
- 14** DEMOLISH EXISTING MASONRY WALL

#### DEMOLITION PLAN - GENERAL NOTES

1. EXISTING SLATE GABLED ROOF TO BE DEMOLISHED TO THE EXTENT REQUIRED FOR THE NEW SHED ROOF AT ELEVATOR

**424 N Washington St**

Alexandria , VA

## Demolition Drawings

1/8" = 1'-0"

19

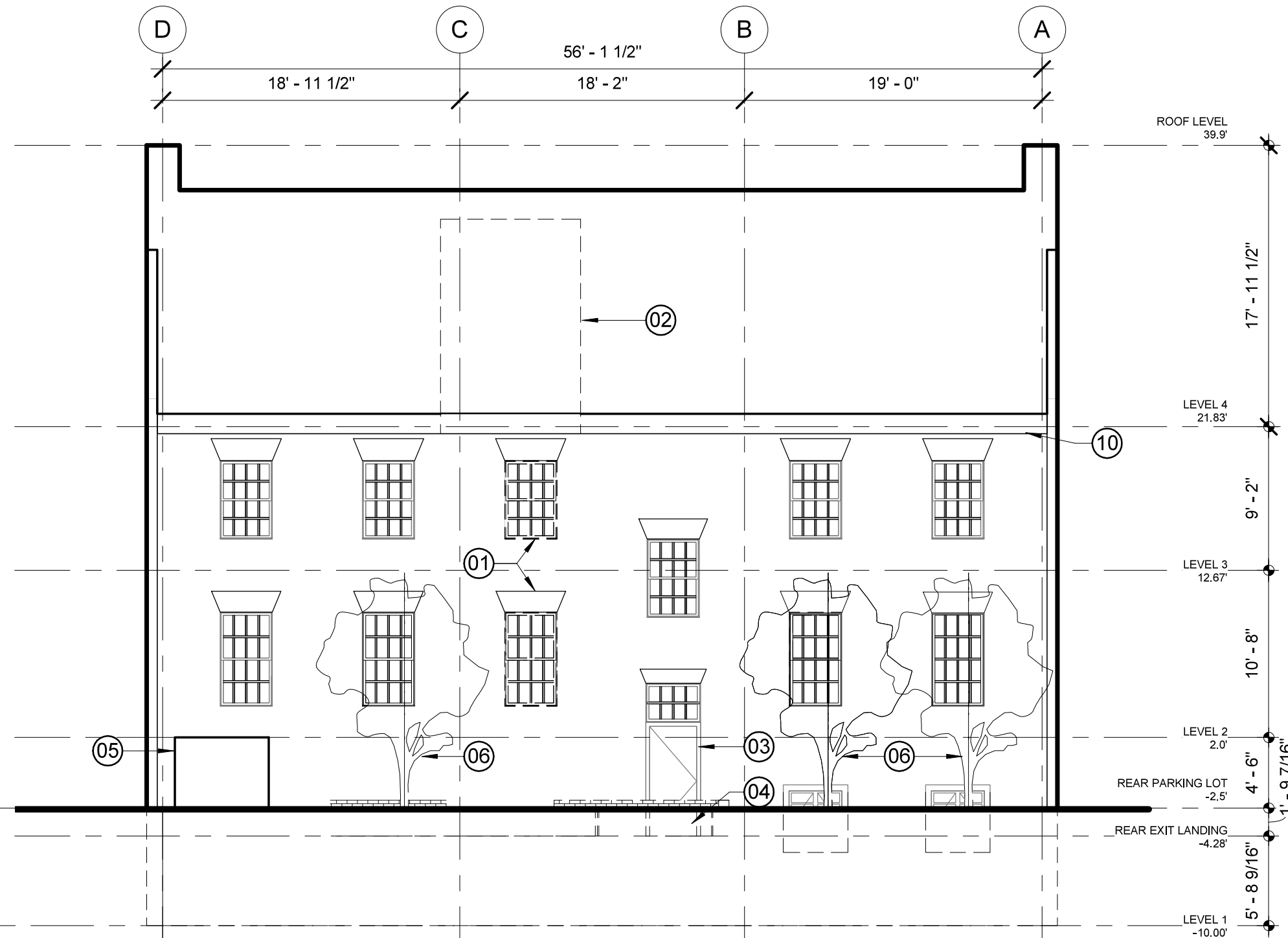
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ELEVATION KEYNOTES

- ① WINDOWS TO BE REMOVED
- ② PROPOSED ROOF DEMOLITION
- ③ EXISITING DOOR AT REAR EXIT LANDING BELOW
- ④ DEMOLISH STEPS
- ⑤ EXISTING TRANSFORMER
- ⑥ TREES TO BE REMOVED



424 N Washington St

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Existing North Elevation

1/8" = 1'-0"

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Rear of Building - Extent of Work



Existing curb to be removed



Adjacent Building





Roof on Rear (N) Elevation



Rear Stair & Landing





## Exterior Design

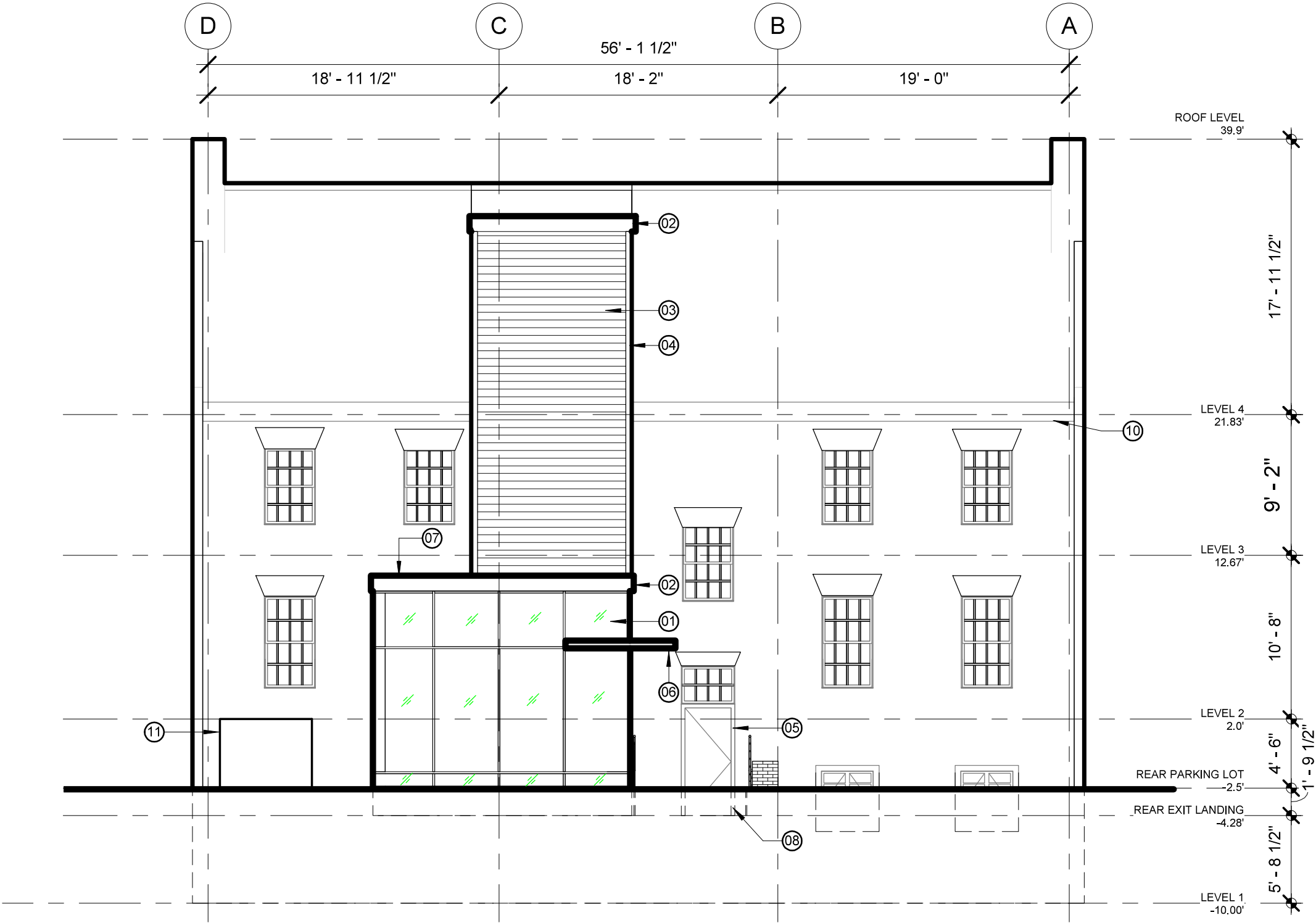
- 3 Simple Masses
- Soften the building materials of tower to wood, green roof, smaller canopy, door on side, reduce height of vestibule, door canopy in line with vestibule door head, canopy wraps corner.
- Tower to contain elevator shaft.

ELEVATION KEYNOTES

- 01 STOREFRONT SYSTEM
- 02 METAL COPING
- 03 WOOD SIDING
- 04 WOOD TRIM
- 05 EXISITING DOOR AT REAR EXIT LANDING BELOW
- 06 CANOPY - METAL PANEL
- 07 GREEN ROOF
- 08 NEW STAIR TO LEVEL 1
- 09 RAKE FLASHING
- 10 CORNICE AT ROOF LINE
- 11 EXISTING TRANSFORMER

GENERAL NOTES

- WOOD SIDING ON NEW ADDITION TO BE HARDIE BOARD. COLOR TO MATCH EXISTING BRICK EXTERIOR.
- NEW ROOF TO MATCH EXISTING



424 N Washington St

Alexandria , VA

New North Elevation

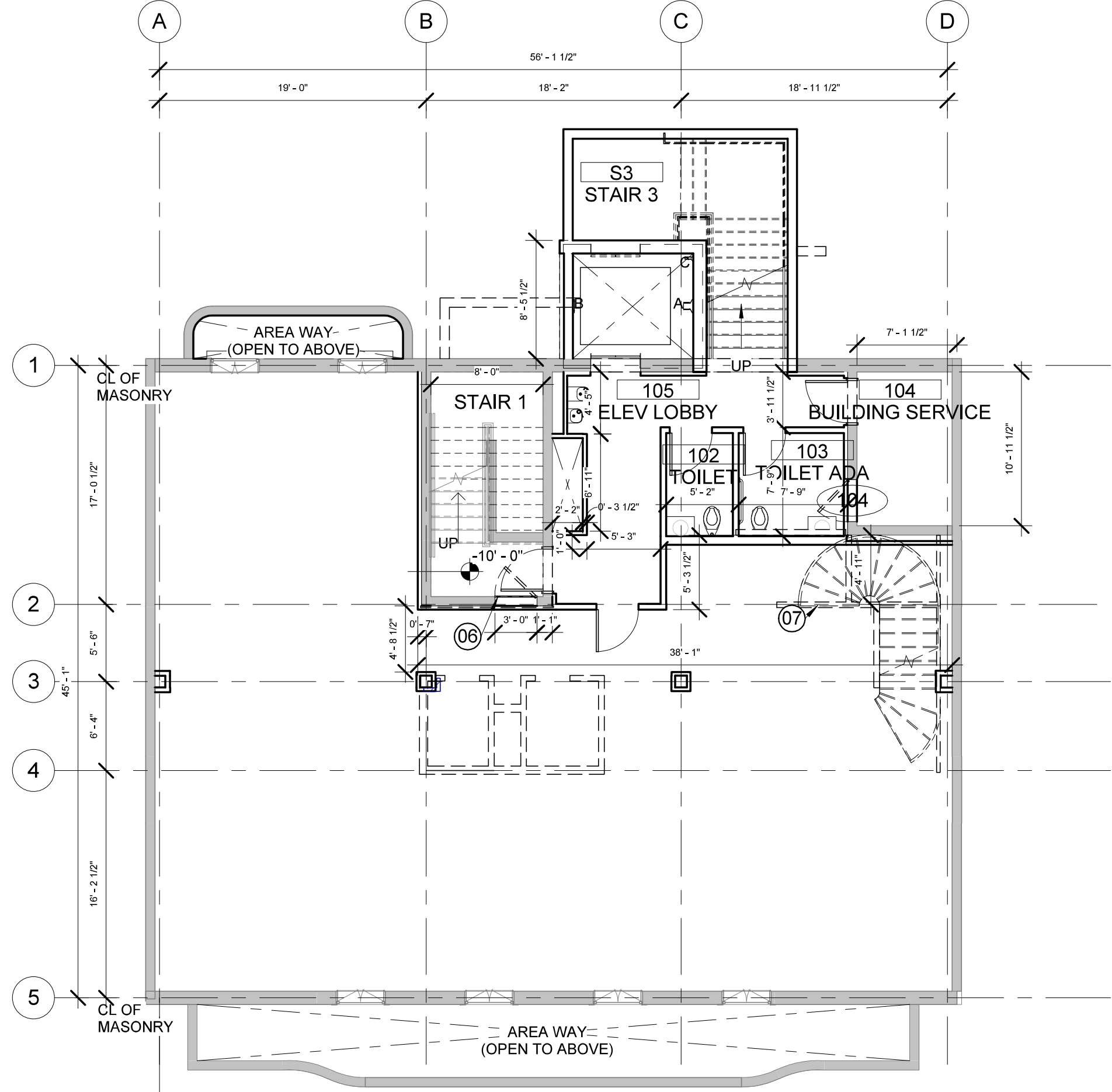
1/8" = 1'-0"

24

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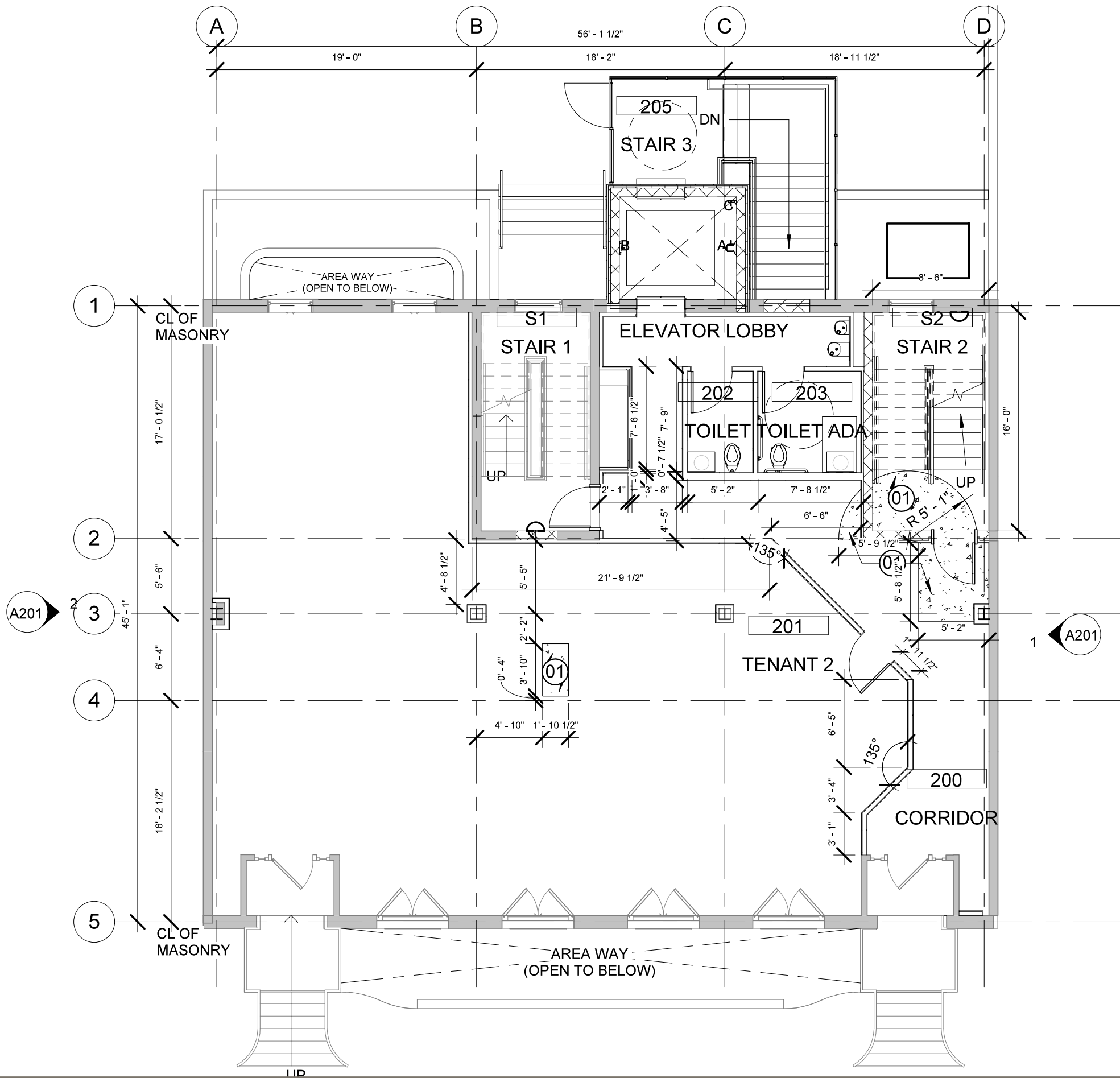


NEW WORK KEYNOTES

- 01 INFILL EXISTING CONCRETE SLAB
- 02 ROOF BELOW
- 03 EXISTING DOOR AT REAR EXIT LANDING BELOW
- 04 DOOR AT REAR PARKING LOT LEVEL BELOW
- 05 NEW STAIR AT REAR PARKING LOT BELOW
- 06 INFILL WALL
- 07 REPAIR EXISTING SLAB

NEW WORK LEGEND

- NEW PARTITION, OR MODIFIED EXISTING PARTITION
- NEW SWING DOOR AND FRAME
- NEW SLIDING DOOR AND FRAME
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR AND FRAME TO REMAIN
- NIC



# NEW WORK KEYNOTES

- 01 INFILL EXISTING CONCRETE SLAB
- 02 ROOF BELOW
- 03 EXISTING DOOR AT REAR EXIT LANDING BELOW
- 04 DOOR AT REAR PARKING LOT LEVEL BELOW
- 05 NEW STAIR AT REAR PARKING LOT BELOW
- 06 INFILL WALL
- 07 REPAIR EXISTING SLAB

# NEW WORK LEGEND

- NEW PARTITION, OR MODIFIED EXISTING PARTITION
- NEW SWING DOOR AND FRAME
- NEW SLIDING DOOR AND FRAME
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR AND FRAME TO REMAIN
- NIC

424 N Washington St

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Level 2 New Work

1/8" = 1'-0"

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