

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations.

APPLICANT: 211 A South Union, LLC

LOCATION: Old and Historic Alexandria District
211 A South Union Street

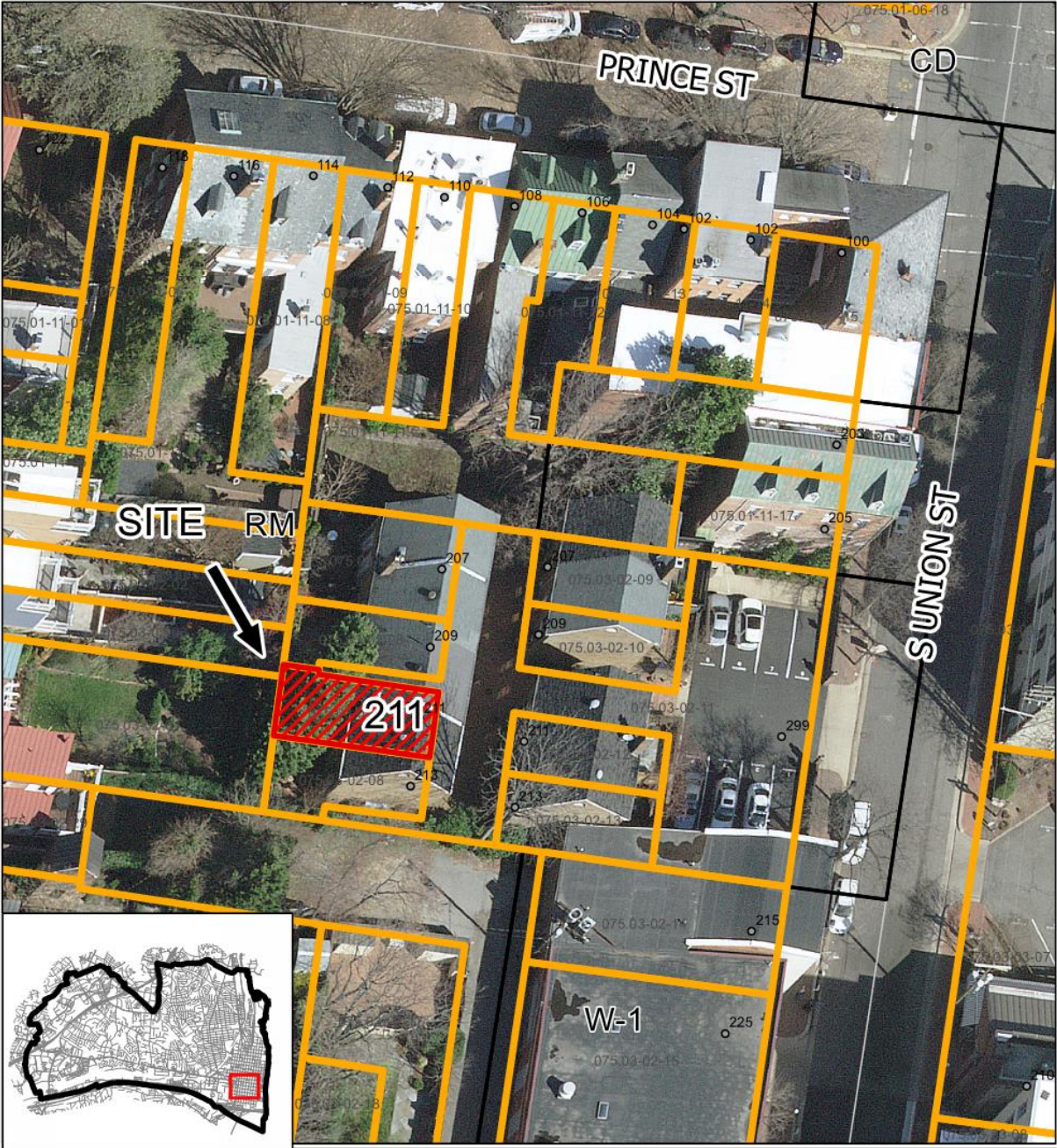
ZONE: RM/Residential Townhouse Zone

STAFF RECOMMENDATION

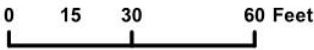
Staff recommends approval of the Permit to Demolish/Capsulate (partial), and Certificate of Appropriateness, as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR #2020-00438 & BAR #2020-00439
211 A South Union Street



Note: *Staff coupled the applications for a Permit to Demolish (BAR2020-00439) and Certificate of Appropriateness (BAR2020-00438) for clarity and brevity. The Permit to Demolish requires a roll call vote.*

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to construct a dormer on the west (rear) elevation, at 211 A South Union Street. The proposed shed dormer will require 165 square feet of roof surface to be removed. The materials on the proposed shed dormer will include a wood-clad casement windows, asphalt shingle roof, and fiber cement siding to match the existing elevation.

II. HISTORY

The two-bay, two-story brick Colonial Revival townhouse was constructed in **1974** as a part of the Captain's Landing development.

Previous BAR Approvals

No previous approvals.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A

(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

In the opinion of staff, while this late-20th century townhouse is a successful background building and compatible with nearby historic resources, it is without individual historic significance or uncommon architectural merit. None of the criteria for demolition or capsulation are met and the Permit to Demolish should be granted.

Certificate of Appropriateness

According to the *Design Guidelines*, “dormers provide light and ventilation to the top floor of a building and can increase the usable floor area. At the same time, dormers are particularly visible elements of a roof and can have adverse impacts on a building if not properly designed and sited.” The Board’s general rule is that dormers should not be too large for the structure and minimum historic fabric should be lost from the installation of a dormer. The style of the proposed dormer is an appropriate architectural style and size for the existing structure. The casement windows in the proposed dormer will be operable and have a configuration that matches the existing windows on the structure.

Staff recommends approval of the project, as submitted.

STAFF

Amirah Lane, Historic Preservation Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

F-1 A plat must be submitted and average existing grade must be labeled when applying for a building permit.

F-2 Proposed new dormer will not decrease the existing 16 foot-required rear setback.

C-1 Proposed new dormer complies with zoning.

Code Administration

A building permit, plan review and inspections are required.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)

- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

No archaeological oversight will be necessary for this undertaking.

V. ATTACHMENTS

1 – Application for BAR 2020-00439 & BAR 2020-00438: 211 A South Union Street

2 – Supplemental Materials

ADDRESS OF PROJECT: 211a South Union Street

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 075.03-02-07 ZONING: RM

APPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☐ Property Owner ☒ Business *(Please provide business name & contact person)*

Name: 211A S. Union LLC

Address: 206 Duke Street

City: Alexandria State: VA Zip: 22314

Phone: (703) 606 0242 E-mail: mariaandjanehopper@yahoo.com

Authorized Agent *(if applicable)*: ☐ Attorney ☒ Architect ☐ _____

Name: M Jennifer Harty Phone: 202.596.7803

E-mail: Jen@hxxharchitects.com

Legal Property Owner:

Name: 211A S. Union LLC

Address: 206 Duke Street

City: Alexandria State: VA Zip: 22314

Phone: (703) 606 0242 E-mail: mariaandjanehopper@yahoo.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☒ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☐ EXTERIOR ALTERATION: *Please check all that apply.*

☐ awning
☐ doors
☐ lighting
☐ other _____

☐ fence, gate or garden wall
☐ windows
☐ pergola/trellis

☐ HVAC equipment
☐ siding
☐ painting unpainted masonry

☐ shutters
☐ shed
- ☒ ADDITION
☒ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

The proposed work is to add a new shed dormer to the existing attic level of a masonry townhouse built in 1974 . The rear dormer will face the rear yard and will not project over the rear existing masonry facade of the residence. The height of the dormer will not project over the existing roof ridge and should not be visible from any point along South Union. The rear dormer will be constructed of wood with 3 windows, painted lapped siding, and painted trim. The existing house footprint will remain unchanged. There are no other exterior alterations being requested

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☒ Survey plat showing the extent of the proposed demolition/encapsulation.
☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☐ ☒ Description of the reason for demolition/encapsulation.
☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☒ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet or bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: Margaret Jennifer HartyDate: 9/2/2020

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. MARIA HOPPER	206 DUKE ST ALEX. VA 22314	45%
2. Nikki Patterson	317 23rd St. St. Monica CA 90402	45%
3. MARTHA VALKO	206 DUKE ST. ALEX. VA 22314	10%

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 2114 S. UNION (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. MARIA HOPPER	see above	45%
2. Nikki Patterson	↓	45%
3. MARTHA VALKO		10%

3. Business or Financial Relationships. Each person or entity listed above (1 and 2) with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. n/a		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

9/6/20
Date

MARIA V HOPPER
Printed Name

Maria V. Hopper
Signature

September 22, 2020

Board of Architectural Review
Department of Planning and Zoning
301 King Street, Room 2100
Alexandria, VA 22314

Dear Sir/Ma'am,

The Captain's Landing Homeowners Association (CLHOA) has been informed by the homeowner of 211A S. Union Street of her intention to finish the attic into a full third floor living space. This will include a shed dormer off the rear (west facing) side of the house. We understand that based on the existing location of the dwelling in the Old and Historic Alexandria District the homeowner's residence is subject to existing preservation within the Department of Planning and Zoning for the Alexandria City government. The homeowner has informed CLHOA that as part of the process to acquire proper permits, an approval letter must be provided that concurs with the project. The CLHOA has reviewed the request and hereby approves the project as outlined by the homeowner at 211A S. Union Street.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kari Steinberg', with a horizontal line extending to the right.

Kari Steinberg
President,
Captains Landing Homeowners Association



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. Street Address Zone

A2. x =
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	B1. <input type="text"/> Sq. Ft. Existing Gross Floor Area*
First Floor	<input type="text"/>	Stairways**	<input type="text"/>	B2. <input type="text"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor	<input type="text"/>	Mechanical**	<input type="text"/>	B3. <input type="text"/> Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	Comments for Existing Gross Floor Area <input type="text"/>
Attic	<input type="text"/>	Porches**	<input type="text"/>	
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>	
Lavatory***	<input type="text"/>	Other**	<input type="text"/>	
Other**	<input type="text"/>	Other**	<input type="text"/>	
B1. <u>Total Gross</u>	<input type="text"/>	B2. <u>Total Exclusions</u>	<input type="text"/>	

C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	C1. <input type="text"/> Sq. Ft. Proposed Gross Floor Area*
First Floor	<input type="text"/>	Stairways**	<input type="text"/>	C2. <input type="text"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor	<input type="text"/>	Mechanical**	<input type="text"/>	C3. <input type="text"/> Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	
Attic	<input type="text"/>	Porches**	<input type="text"/>	
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>	
Lavatory***	<input type="text"/>	Other**	<input type="text"/>	
Other	<input type="text"/>	Other**	<input type="text"/>	
C1. <u>Total Gross</u>	<input type="text"/>	C2. <u>Total Exclusions</u>	<input type="text"/>	

D. Total Floor Area

D1. Sq. Ft.
Total Floor Area (add B3 and C3)

D2. Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

E1. Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____ Date: _____



FRONT YARD, FACING SOUTH UNION STREET

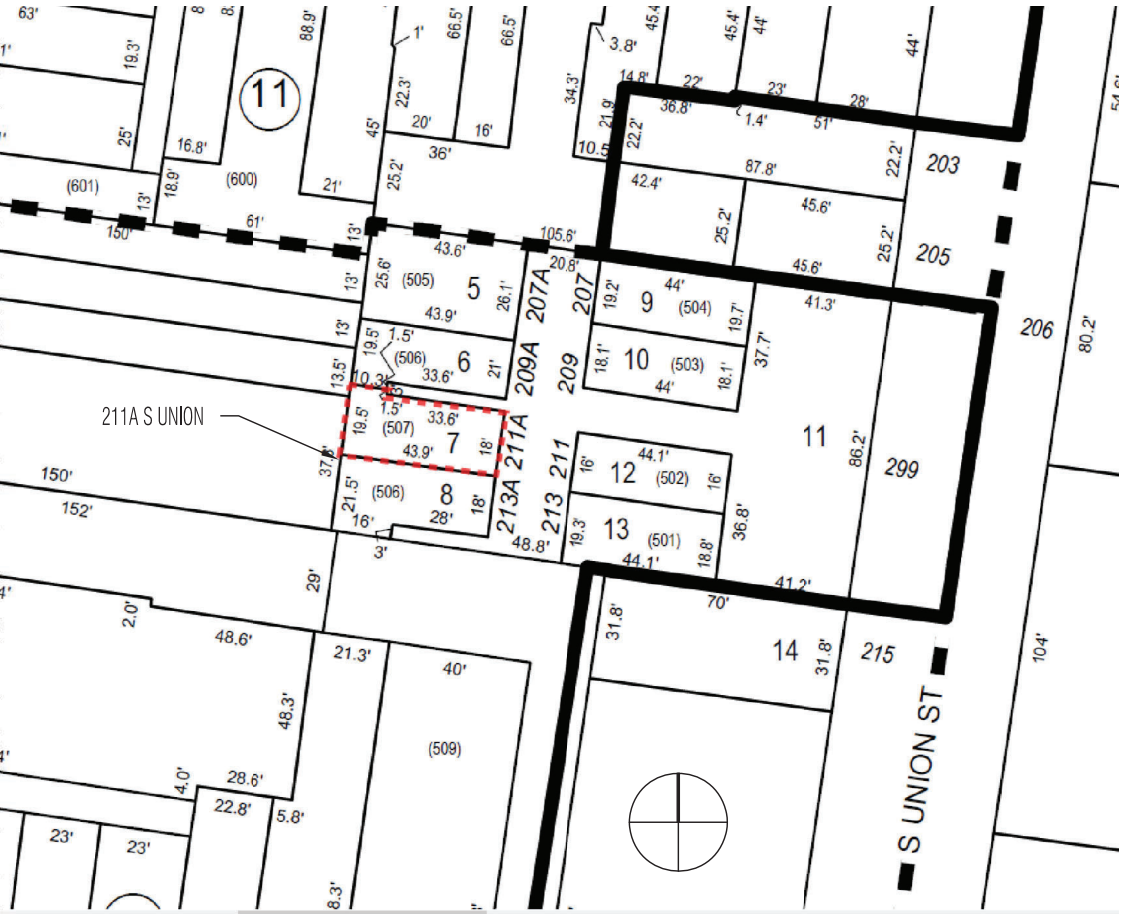


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COMMONWEALTH OF VIRGINIA

MARGARET J HARTY

Lic No. 0401014732

ARCHITECT

9/02/2020

HxH Architects, PLLC
65 RANDOLPH PL NW
WASHINGTON DC 20001
T: 202.596.7803



BAR FILING: 9/2/2020

211a S Union Residence
interior and exterior modifications
211 SOUTH UNION STREET
ALEXANDRIA, VA 22314

EAST SIDE (UNCHANGED)

MAP



REAR YARD, FACING PRIVATE PROPERTY

WEST SIDE (PROPOSED DORMER)

- IN ADDITION TO THE GENERAL CONDITIONS OUTLINED IN THE A.I.A. OWNER-CONTRACTOR AGREEMENT, THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING CONDITIONS:
1. ALL DISCREPANCIES AND AMBIGUITIES IN THE CONTRACT DOCUMENTS SHALL BE PROMPTLY CALLED TO THE ATTENTION OF THE OWNER. CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE OWNER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR SHALL BE RESPONSIBLE FOR SAME.
 2. CONTRACTOR SHALL NOTIFY THE OWNER BEFORE POURING FOOTINGS, BEFORE BACK FILLING, BEFORE COVERING UP WALLS OR CEILINGS, OR AT ANY OTHER TIME CONCEALED CONDITIONS REQUIRE FIELD VISITS. NOTICE SHALL BE GIVEN AS FAR IN ADVANCE AS POSSIBLE, BUT IN ANY CASE A MINIMUM OF TWENTY-FOUR HOURS BEFORE THE WORK IS TO BE DONE.
 3. THE CONTRACTOR SHALL BE FAMILIAR WITH THE PROVISIONS OF ALL APPLICABLE CODES AND SHALL INSURE COMPLIANCE OF THE WORK WITH THOSE CODES. IN THE EVENT OF A CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN.
 4. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY ARE AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
 5. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND SAFETY PRECAUTIONS, AND FOR COORDINATING ALL PORTIONS OF THE WORK.
 6. THE CONTRACTOR IS TO ASSEMBLE A LOOSE-LEAF NOTEBOOK CONTAINING ALL PRODUCT WARRANTY AND INSTRUCTION MANUALS, AND THE NAMES AND ADDRESSES OF ALL SUBCONTRACTORS, FOR PRESENTATION TO THE OWNER AT THE COMPLETION OF THE PROJECT.

APPLICABLE CODES & REGULATIONS
INTERNATIONAL RESIDENTIAL CODE 2015

VIRGINIA RESIDENTIAL CODE 2015

DESCRIPTION OF WORK

THE PROPOSED WORK IS TO ADD A NEW SHED DORMER TO THE EXISTING ATTIC LEVEL OF A MASONRY TOWNHOUSE BUILT IN 1974.

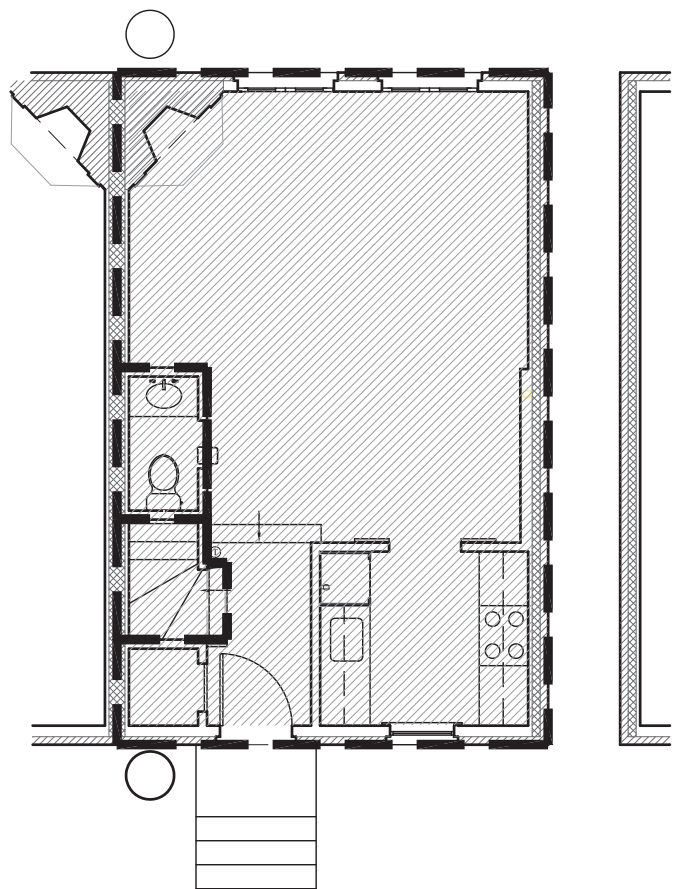
THE REAR DORMER WILL FACE THE REAR YARD AND WILL NOT PROJECT OVER THE REAR EXISTING MASONRY FACADE OF THE RESIDENCE. THE HEIGHT OF THE DORMER WILL NOT PROJECT OVER THE EXISTING ROOF RIDGE AND SHOULD NOT BE VISIBLE FROM ANY POINT ALONG SOUTH UNION. THE REAR DORMER WILL BE CONSTRUCTED OF WOOD WITH 3 WINDOWS, PAINTED LAPPED SIDING, AND PAINTED TRIM. THE EXISTING HOUSE FOOTPRINT WILL REMAIN UNCHANGED. THERE ARE NO OTHER EXTERIOR ALTERATIONS BEING REQUESTED

REASON FOR PARTIAL DEMOLITION: TO REMOVE A PORTION OF THE EXISTING ROOF SO AS TO MAKE WAY FOR THE NEW SHED DORMER

TAX MAP AND PARCEL 075.03-02-07
ZONING DISTRICT: RM

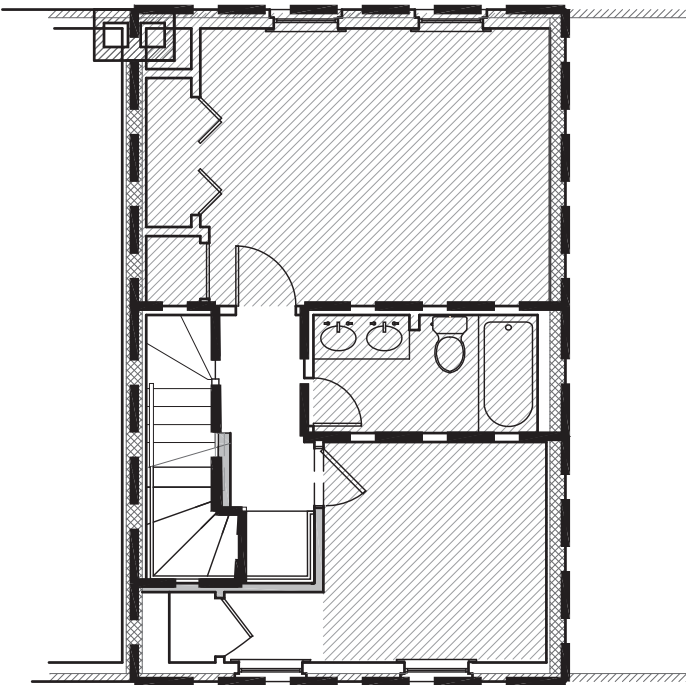
A00

COVER



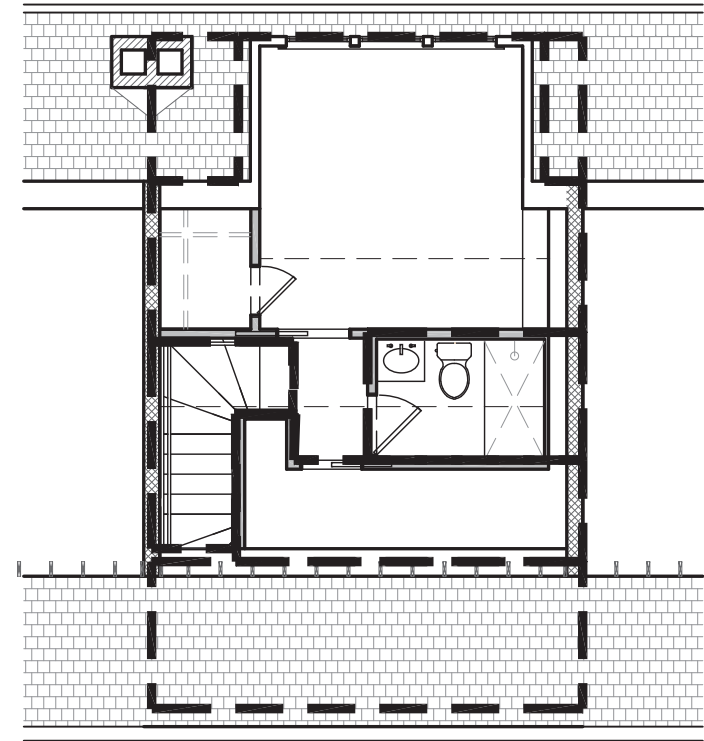
PROPOSED 1ST FLOOR

02



PROPOSED 2ND FLOOR

02



PROPOSED ATTIC

01

LOT AREA IS 804 804 X 1.5 = 1,206 POTENTIAL GROSS FLOOR AREA

EXISTING

GROSS SQUARE AREA EXISTING:	EXISTING EXCLUSIONS:
FIRST FLOOR: 444 SF	STAIRS: 63 SF
SEOND FLOOR: 444 SF	LAVATORY: 82 SF
ATTIC FLOOR: 444 SF	MECHANICAL: 444 SF (ATTIC)

743 SF EXISTING GROSS FLOOR AREA

PROPOSED

GROSS SQUARE AREA PROPOSED:	PROPOSED EXCLUSIONS:
FIRST FLOOR: 444 SF	STAIRS: 101 SF
SEOND FLOOR: 444 SF	LAVATORY: 130 SF
ATTIC FLOOR: 444 SF	MECHANICAL: 110 SF
ATTIC LESS THAN 7': 31 SF	

960 SF PROPOSED FLOOR AREA



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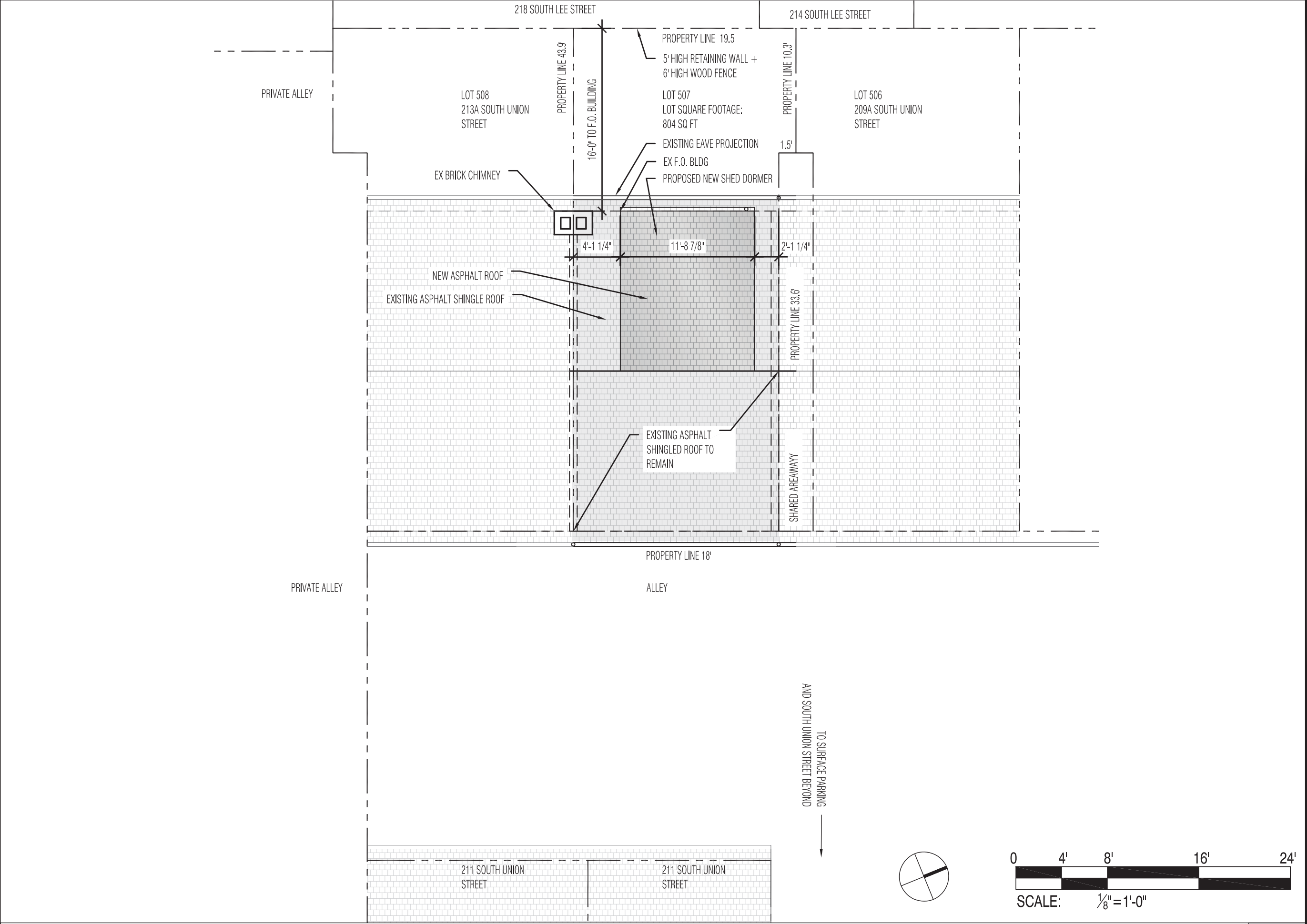


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A02

FAR
DIAGRAMS



SITE PLAN

01

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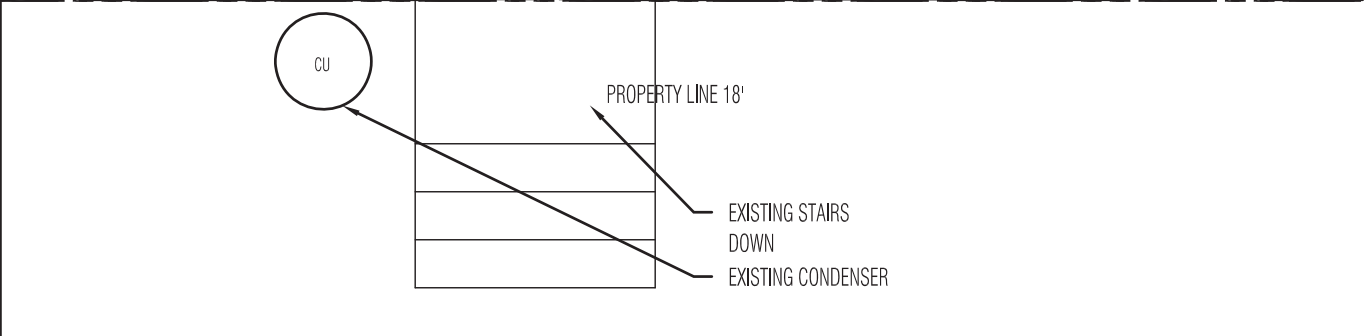
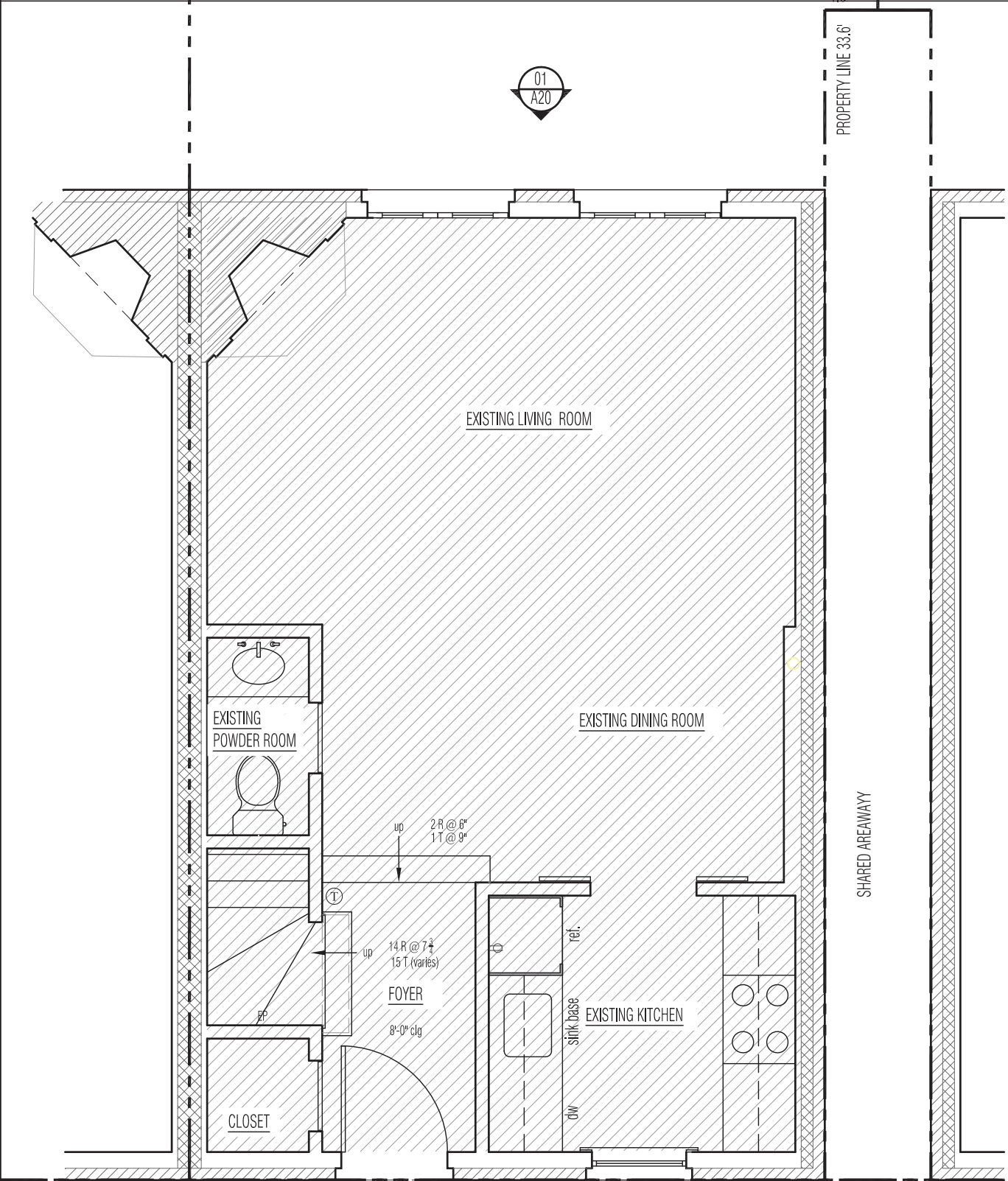
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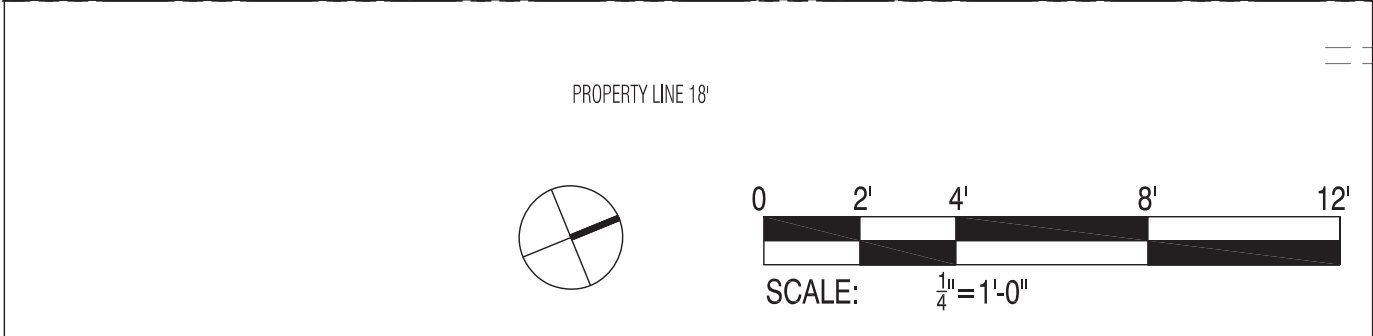
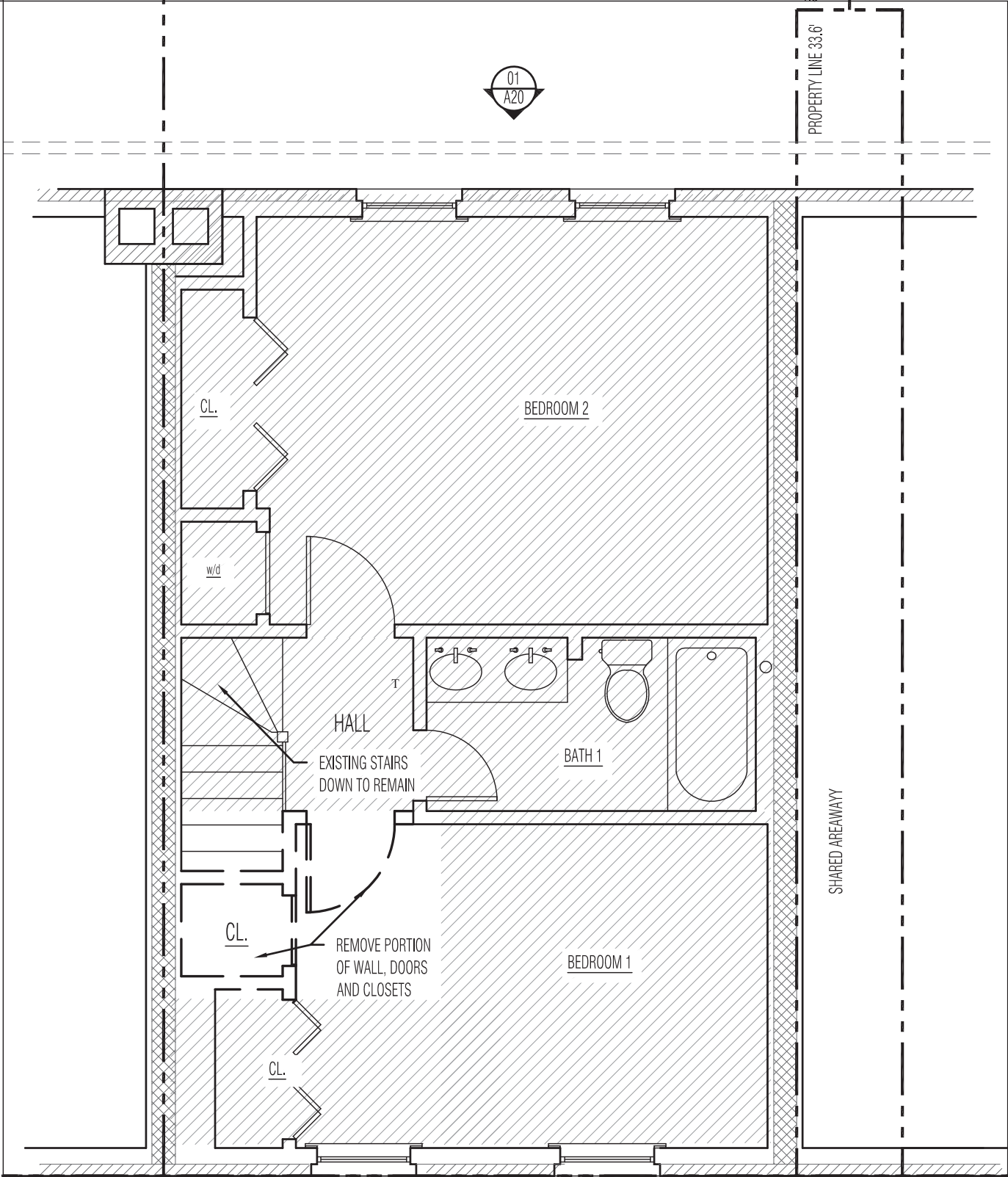
A03

SITE PLAN

SCALE: 1/8" = 1'-0"



REMOVALS FIRST FLOOR (NO WORK)



REMOVALS SECOND FLOOR



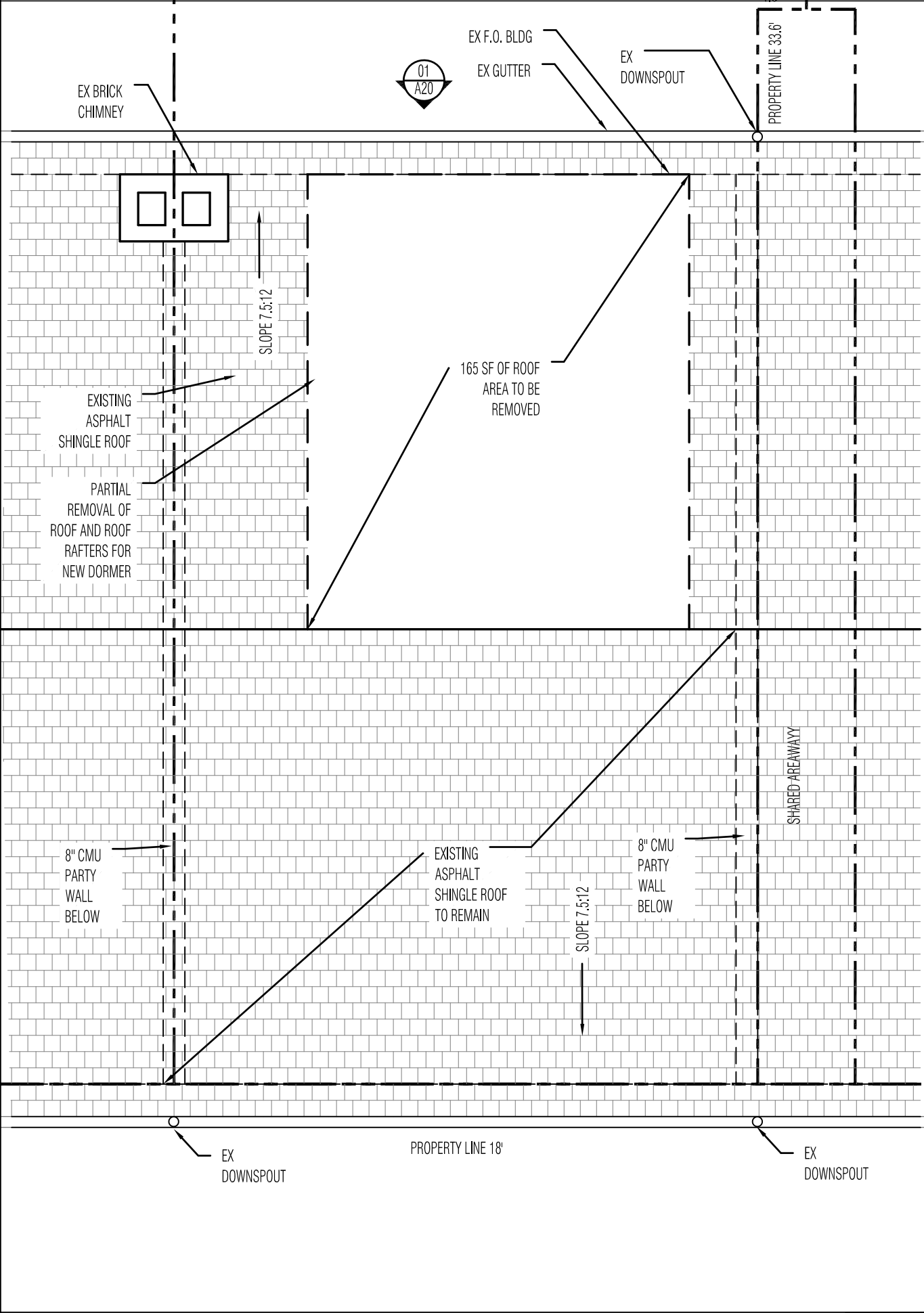
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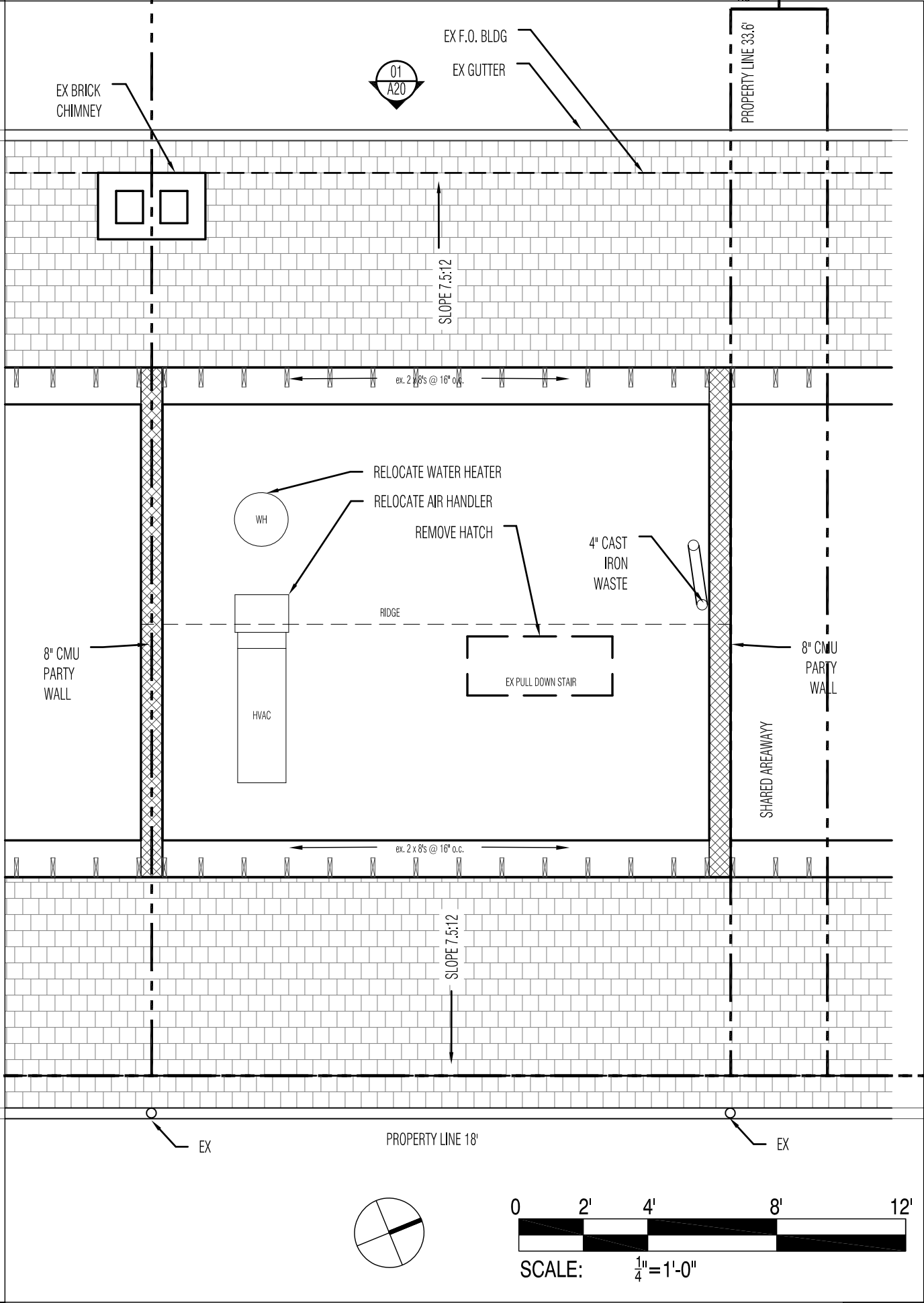
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REMOVALS
PLANS
SCALE: 1/4" = 1'-0"

A05



REMOVALS ROOF PLAN



REMOVALS ATTIC FLOOR

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REMOVALS PLANS

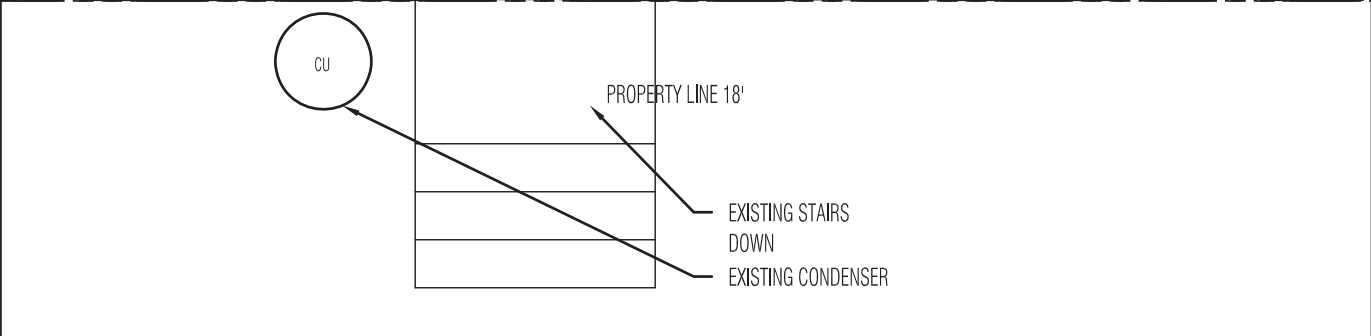
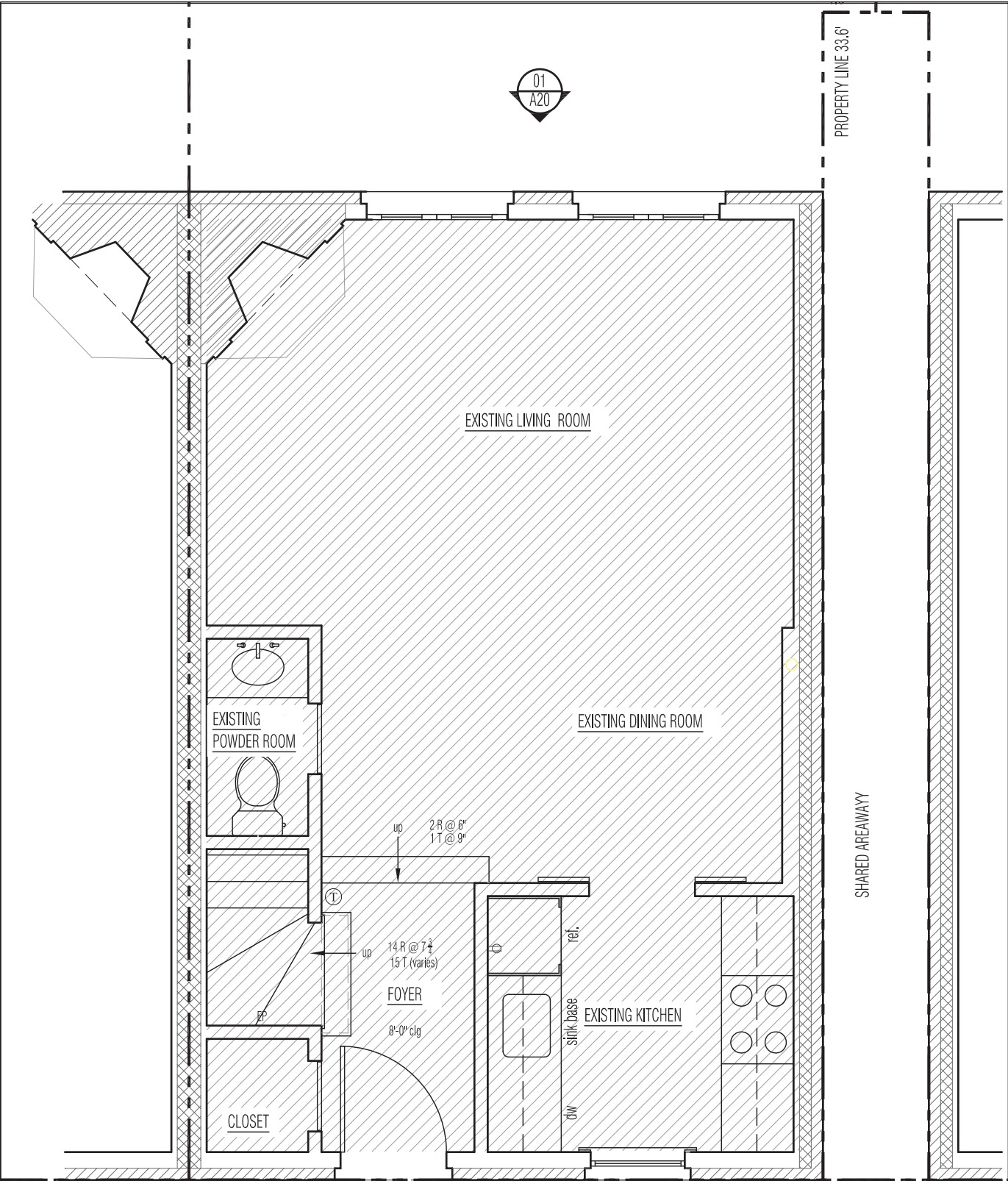
SCALE: 1/4" = 1'-0"

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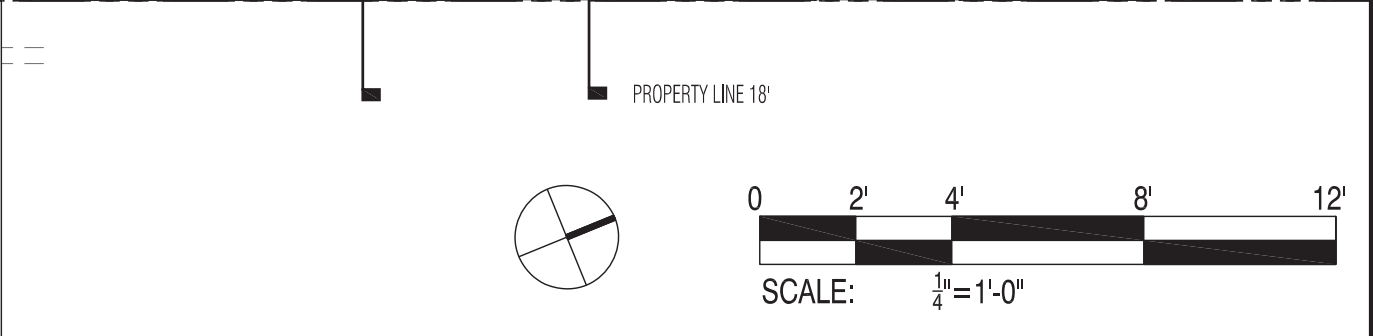
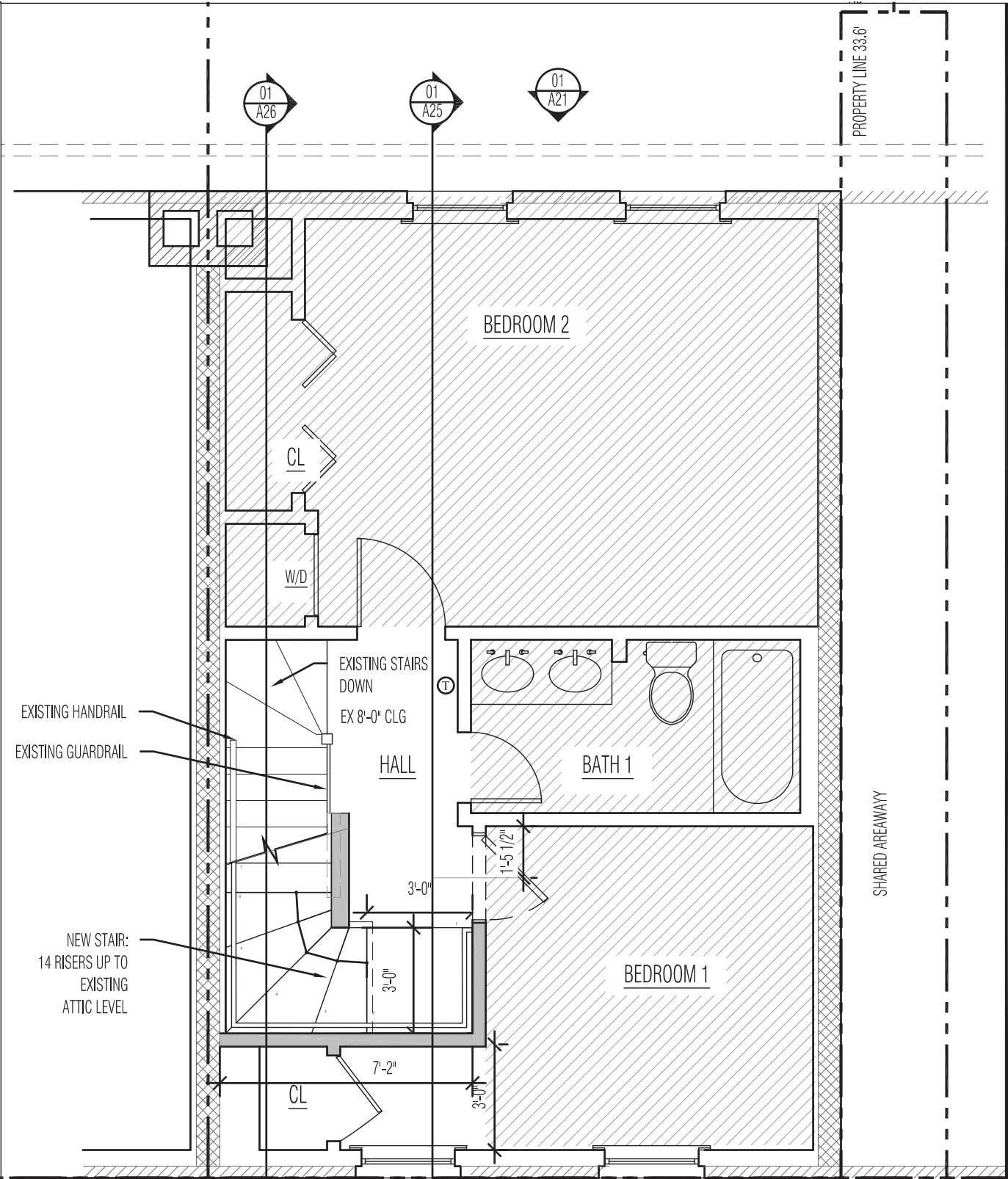
01

A06

02



PROPOSED FIRST FLOOR (NO WORK)



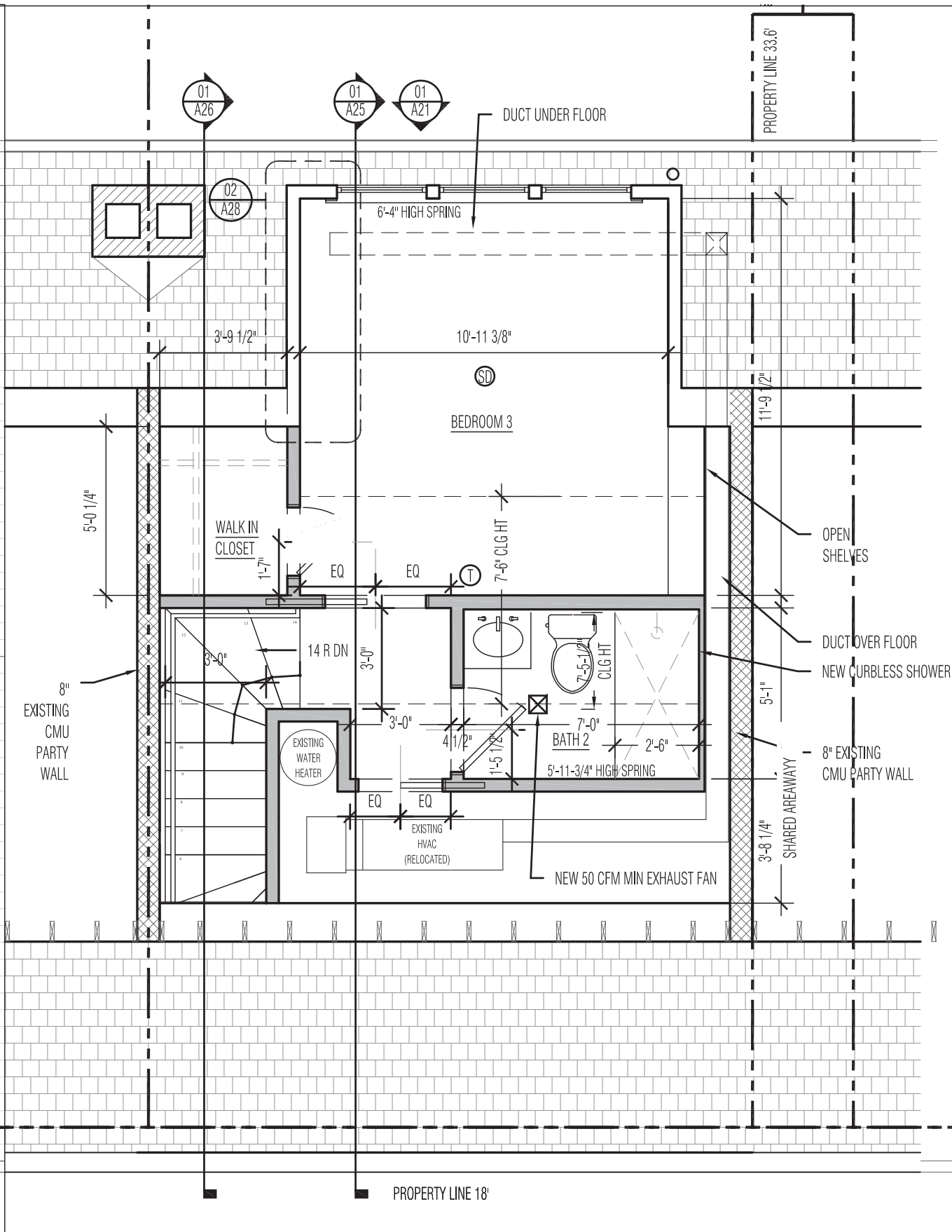
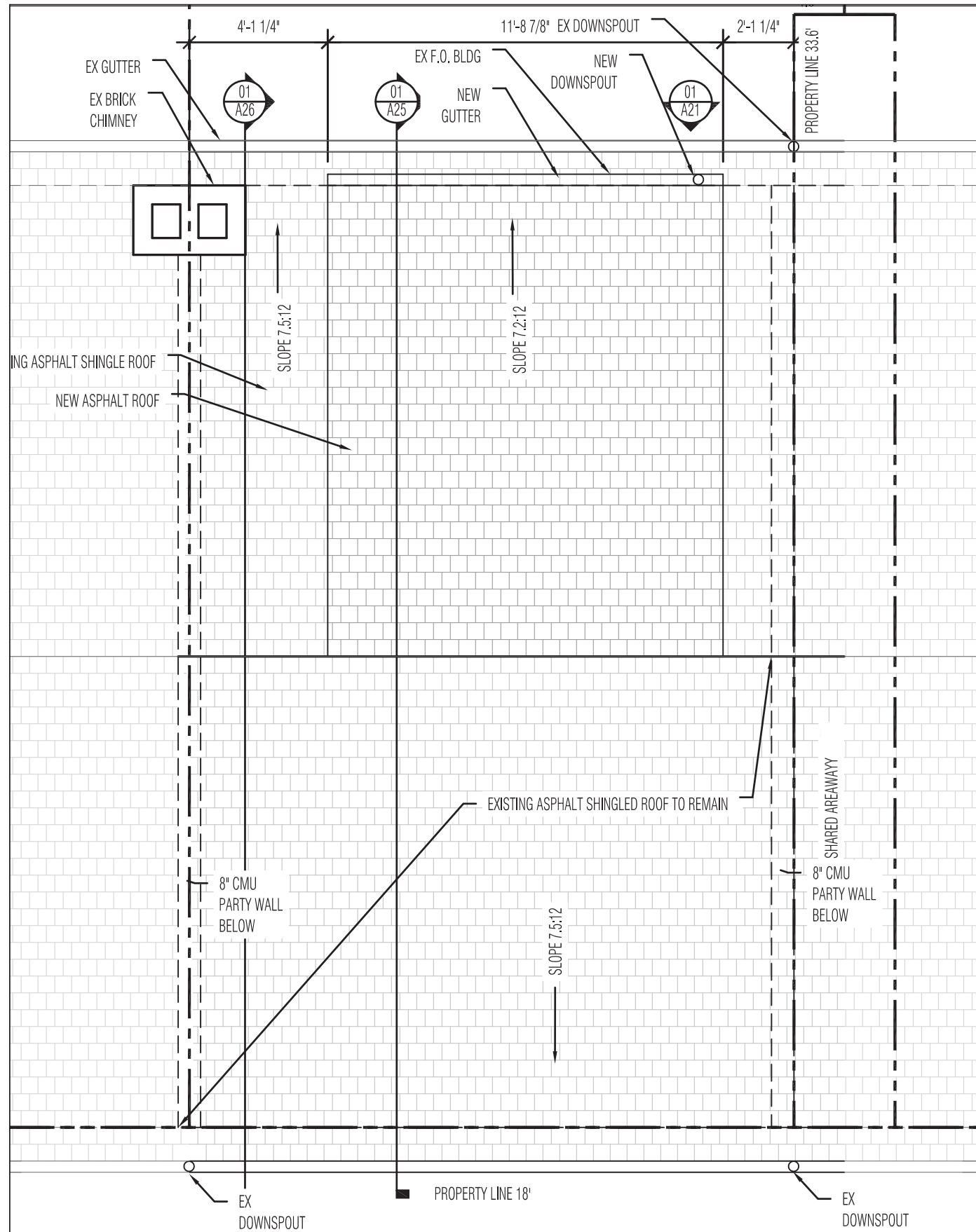
PROPOSED SECOND FLOOR

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PROPOSED PLANS
SCALE: 1/4" = 1'-0"



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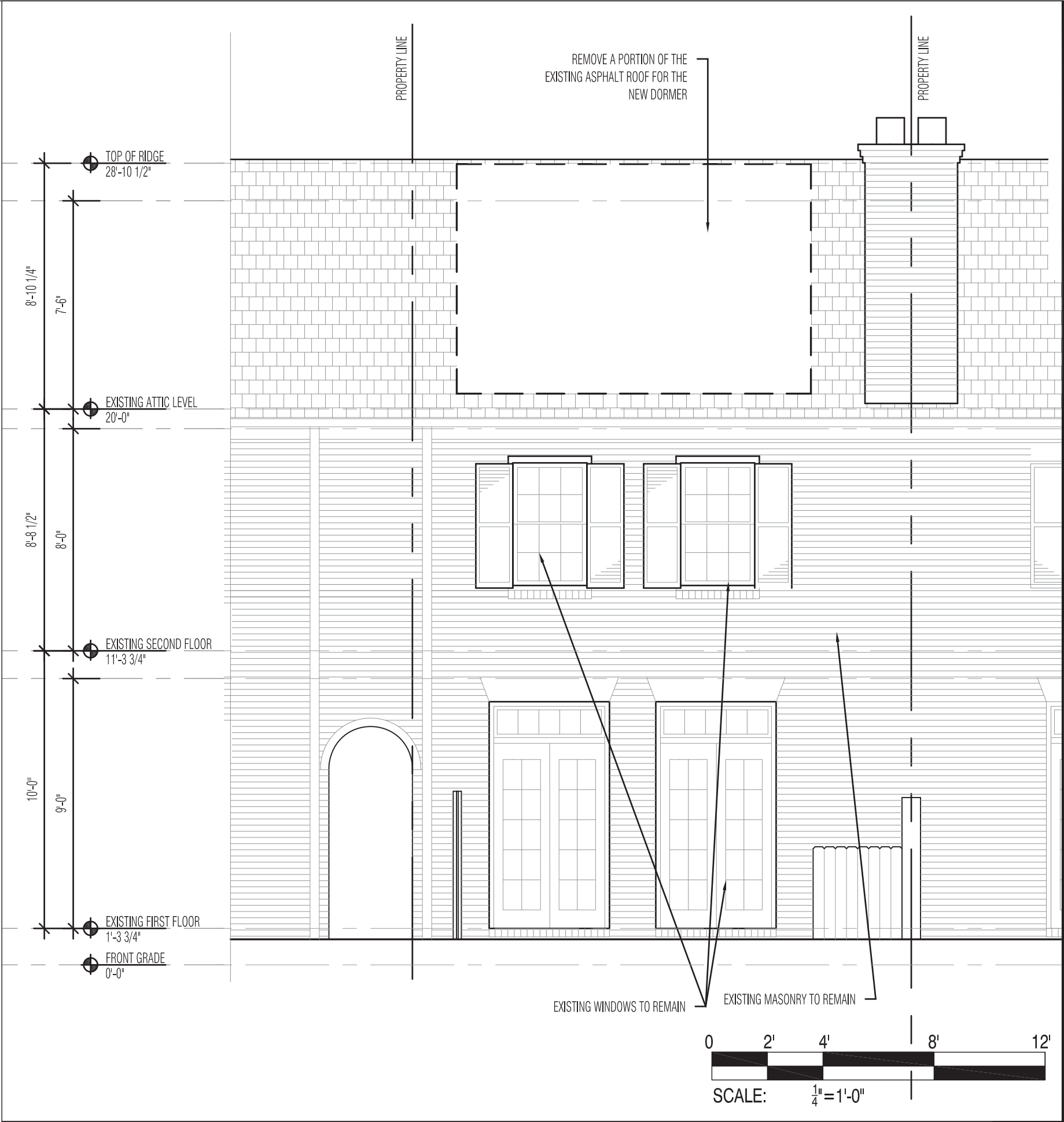
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PROPOSED PLANS

SCALE: 1/4" = 1'-0"

A12



REMOVALS WEST ELEVATION

01



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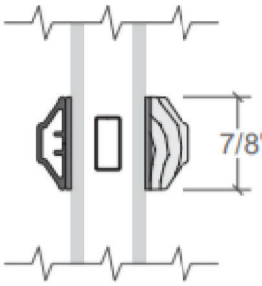
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A20


REMOVALS
ELEVATION

SCALE: 1/4" = 1'-0"

Dual-Pane Vent										N	NC	SC	S	CA
11/16"	Advanced Low-E IG	PEL-N-14-00467-00001	2.5	2.5	argon	0.29	0.27	0.51	58		NC			
	with grilles-between-the-glass	PEL-N-14-00501-00001				0.29	0.25	0.47	58		NC	SC	S	
	with Simulated Divided Light	PEL-N-14-00517-00001				0.29	0.25	0.47	58		NC	SC	S	
11/16"	Advanced Low-E IG	PEL-N-14-00471-00001	3	3	argon	0.29	0.27	0.51	58		NC			
	with grilles-between-the-glass	PEL-N-14-00505-00001				0.29	0.25	0.46	58		NC	SC	S	
	with Simulated Divided Light	PEL-N-14-00521-00001				0.29	0.25	0.46	58		NC	SC	S	
11/16"	SunDefense™ Low-E IG	PEL-N-14-00468-00001	2.5	2.5	argon	0.28	0.20	0.48	59		NC	SC	S	
	with grilles-between-the-glass	PEL-N-14-00502-00001				0.28	0.19	0.43	59		NC	SC	S	
	with Simulated Divided Light	PEL-N-14-00518-00001				0.29	0.19	0.43	59		NC	SC	S	
11/16"	SunDefense Low-E IG	PEL-N-14-00472-00001	3	3	argon	0.28	0.20	0.47	58		NC	SC	S	
	with grilles-between-the-glass	PEL-N-14-00506-00001				0.28	0.19	0.43	58		NC	SC	S	
	with Simulated Divided Light	PEL-N-14-00522-00001				0.29	0.19	0.43	58		NC	SC	S	
11/16"	AdvancedComfort Low-E IG	PEL-N-14-00469-00001	2.5	2.5	argon	0.25	0.27	0.50	46	N	NC			
	with grilles-between-the-glass	PEL-N-14-00503-00001				0.25	0.25	0.46	46	N	NC	SC	S	
	with Simulated Divided Light	PEL-N-14-00519-00001				0.26	0.25	0.46	46	N	NC	SC	S	
11/16"	AdvancedComfort Low-E IG	PEL-N-14-00473-00001	3	3	argon	0.25	0.27	0.50	46	N	NC			
	with grilles-between-the-glass	PEL-N-14-00507-00001				0.25	0.25	0.45	46	N	NC	SC	S	
	with Simulated Divided Light	PEL-N-14-00523-00001				0.26	0.25	0.45	46	N	NC	SC	S	
11/16"	NaturalSun Low-E IG	PEL-N-14-00466-00001	2.5	2.5	argon	0.30	0.51	0.58	58	N				
	with grilles-between-the-glass	PEL-N-14-00500-00001				0.30	0.47	0.53	58	N				
	with Simulated Divided Light	PEL-N-14-00516-00001				0.30	0.47	0.53	58	N				
11/16"	NaturalSun Low-E IG	PEL-N-14-00470-00001	3	3	argon	0.30	0.50	0.58	57	N				
	with grilles-between-the-glass	PEL-N-14-00504-00001				0.30	0.46	0.52	57	N				
	with Simulated Divided Light	PEL-N-14-00520-00001				0.30	0.46	0.52	57	N				



7/8"



BASIS OF DESIGN:
PELLA LIFESTYLE SERIES WOOD CLAD WINDOWS IN WHITE
SIMULATED DIVIDED LIGHT $\frac{7}{8}$ " PUTTY GRILL IN 3 OVER 4

WINDOW DETAILS

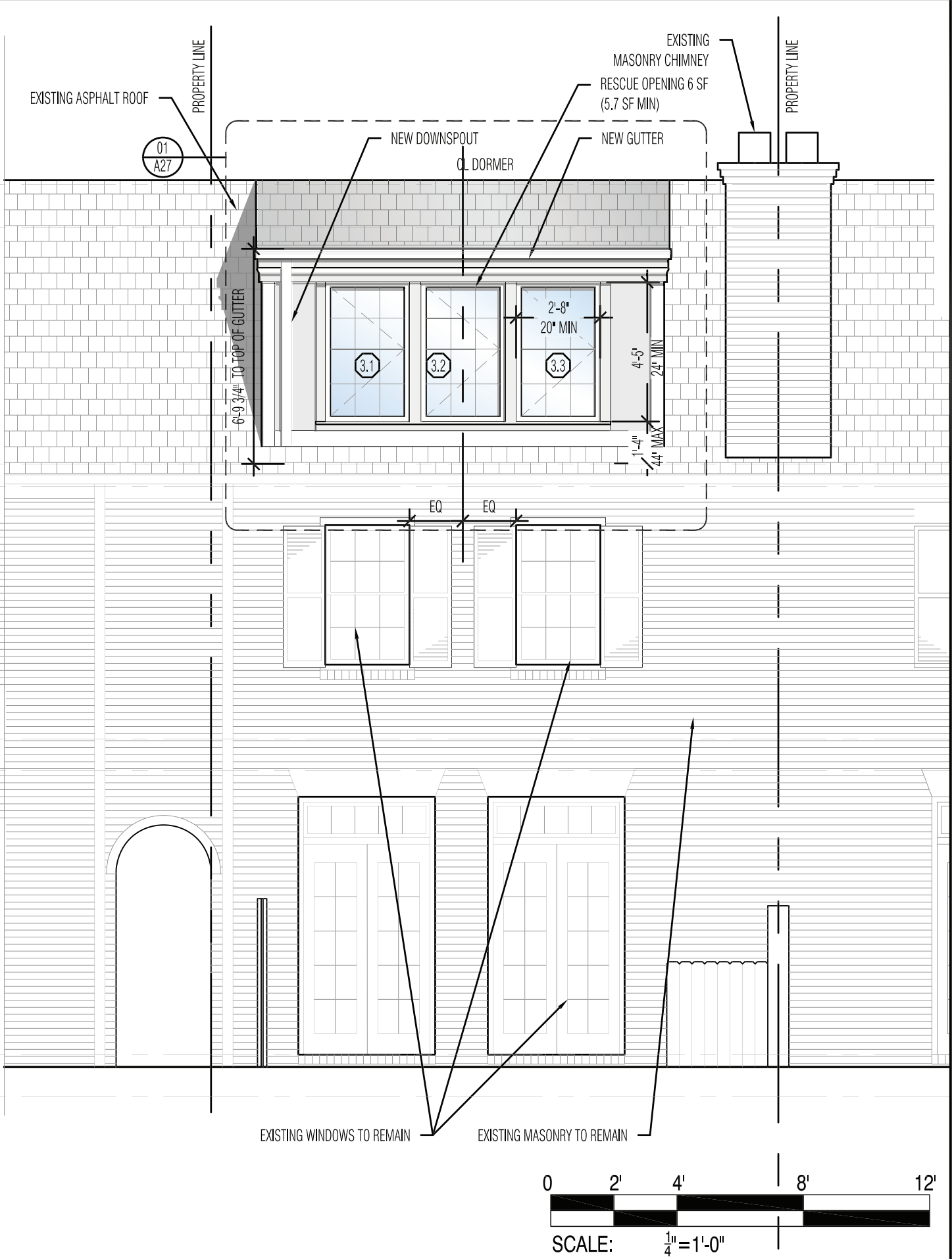
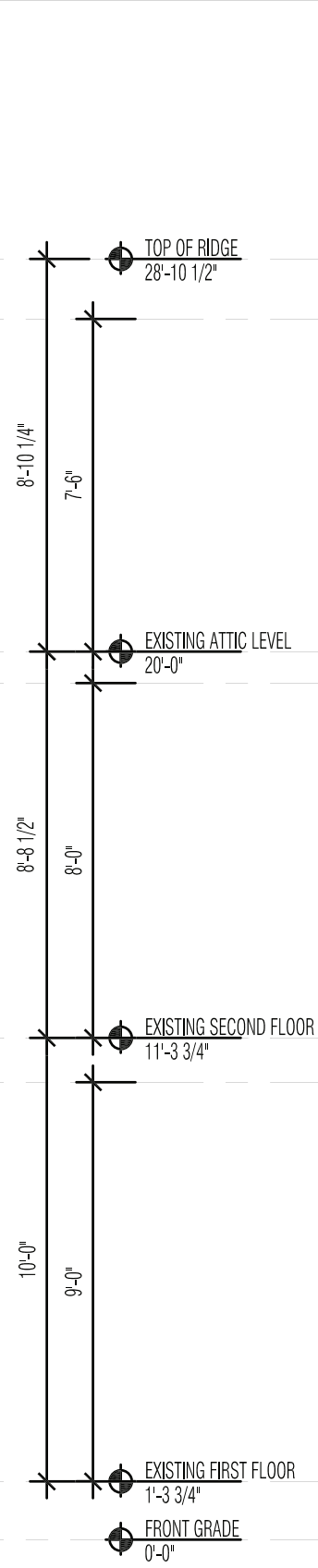
CRITERIA	REQUIRED	PROVIDED
WINDOWS/DOORS - MIN U FACTOR MAX SHGC GLAZING	OPERABLE FENESTRATION U 0.45** SHGC 0.40 **	OPERABLE FENESTRATION U 0.45 SHGC 0.40
CEILINGS/ATTICS	R-38 *	R-38
WALLS (WOOD FRAMING)	R-20 *	R-20

*PER VIRGINIA IECC 2015 TABLE C 402.1,3
**PER VIRGINIA IECC 2015 TABLE C 402.4

ENERGY

WINDOW SCHEDULE											
Key	Description	Rough Opening w x h	Material	Frame Finish (Ext)	Frame Finish (Int)	Glazing	Grilles	Manufacturer	Series	Hdwr	Notes
3.1*	CASEMENT	2'-8" X 4'-5"	Wood aluminum Clad	WHITE	WHITE	Sun Defense Low E IG**	3 X 4	Pella	Lifestyle Series	white	full screen
3.2*	CASEMENT	2'-8" X 4'-5"	Wood aluminum Clad	WHITE	WHITE	Sun Defense Low E IG**	3 X 4	Pella	Lifestyle Series	white	full screen
3.3*	CASEMENT	2'-8" X 4'-5"	Wood aluminum Clad	WHITE	WHITE	Sun Defense Low E IG**	3 X 4	Pella	Lifestyle Series	white	full screen
*Rescue Opening at Bedroom Location											
**SunDefense™ Low-E IG argon filled U Factor 0.29 SHGC 0.19											

WINDOW SCHEDULE



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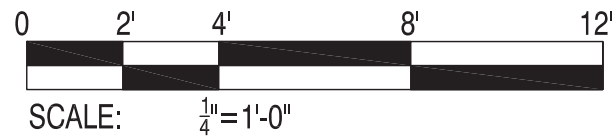
A21

PROPOSED
ELEVATION

SCALE: 1/4" = 1'-0"

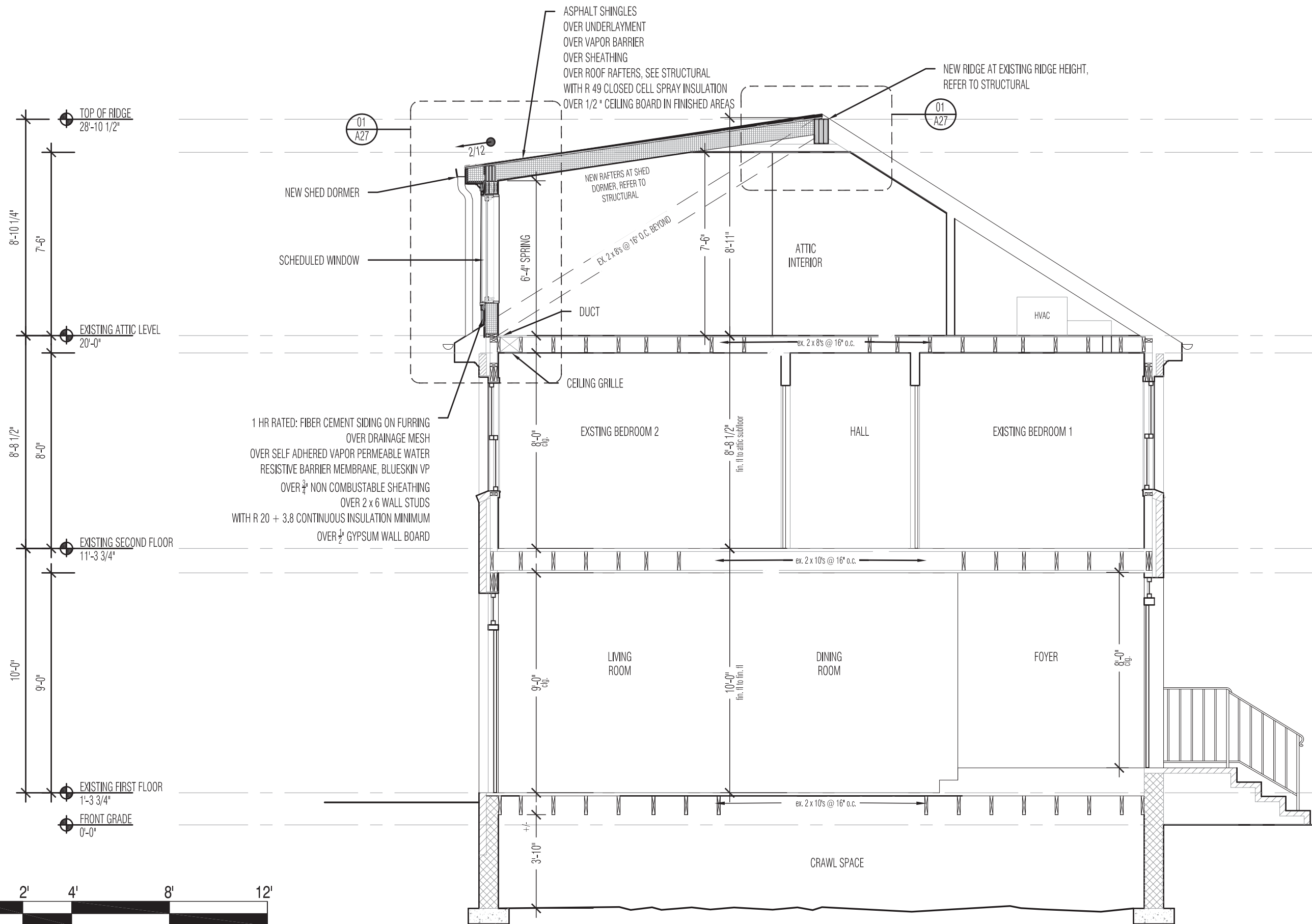
01

PROPOSED WEST ELEVATION



SECTION THROUGH NEW DORMER

01



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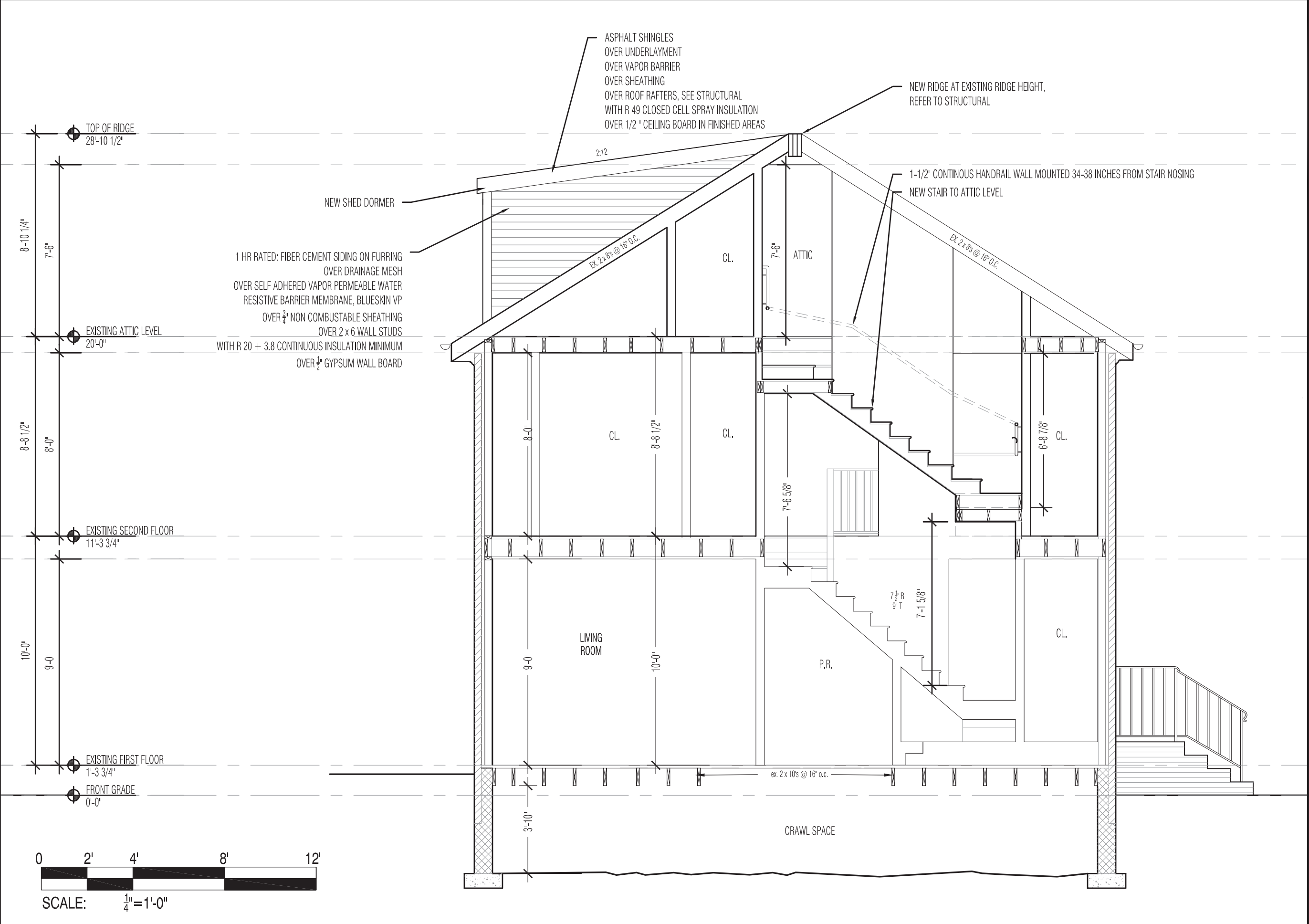
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A25

SECTION THROUGH
PROPOSED DORMER

SCALE: 1/4" = 1'-0"



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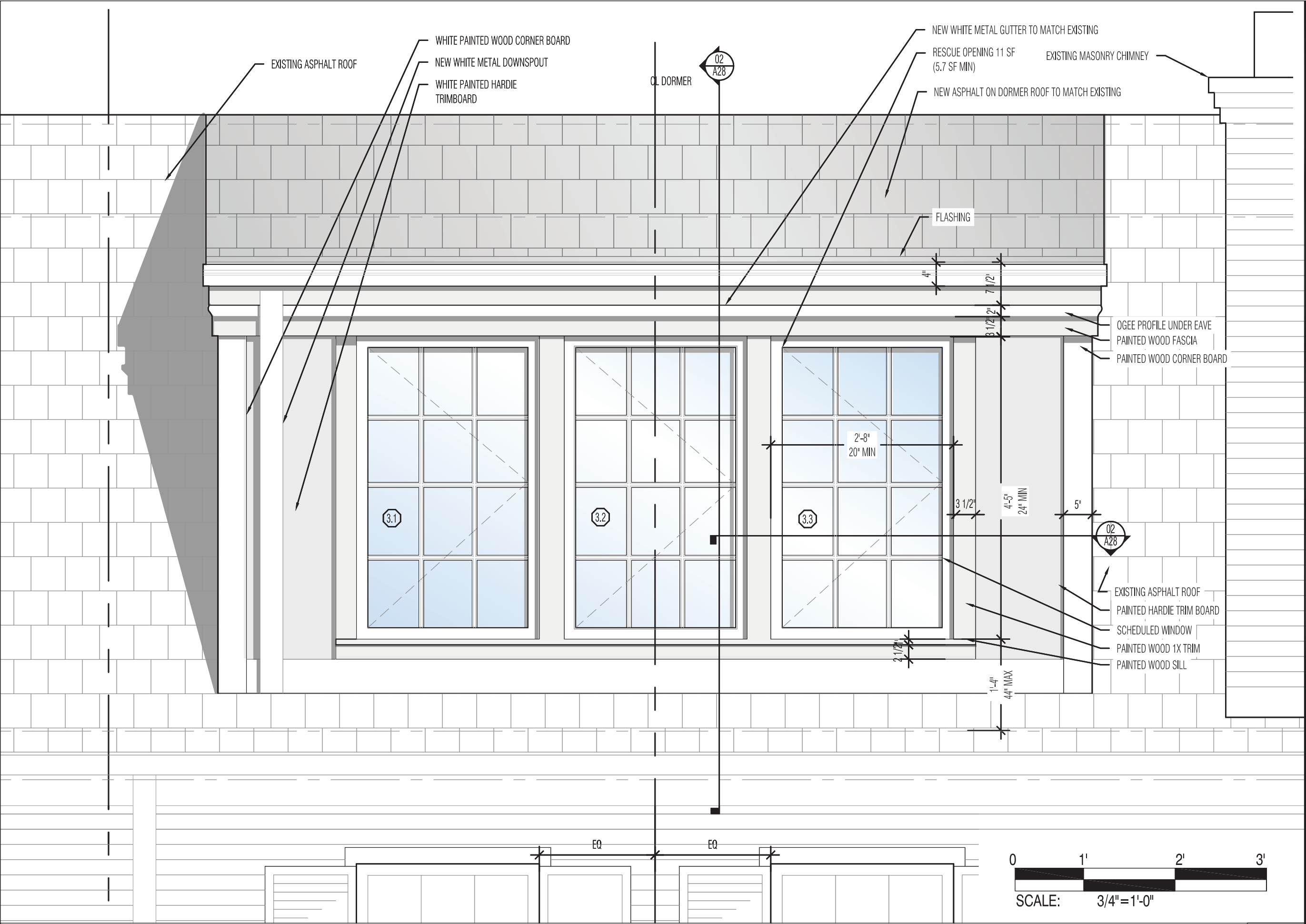
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A26

SECTION THROUGH
PROPOSED STAIR

SCALE: 1/4" = 1'-0"

01



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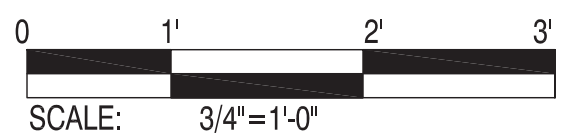
211 SOUTH UNION STREET

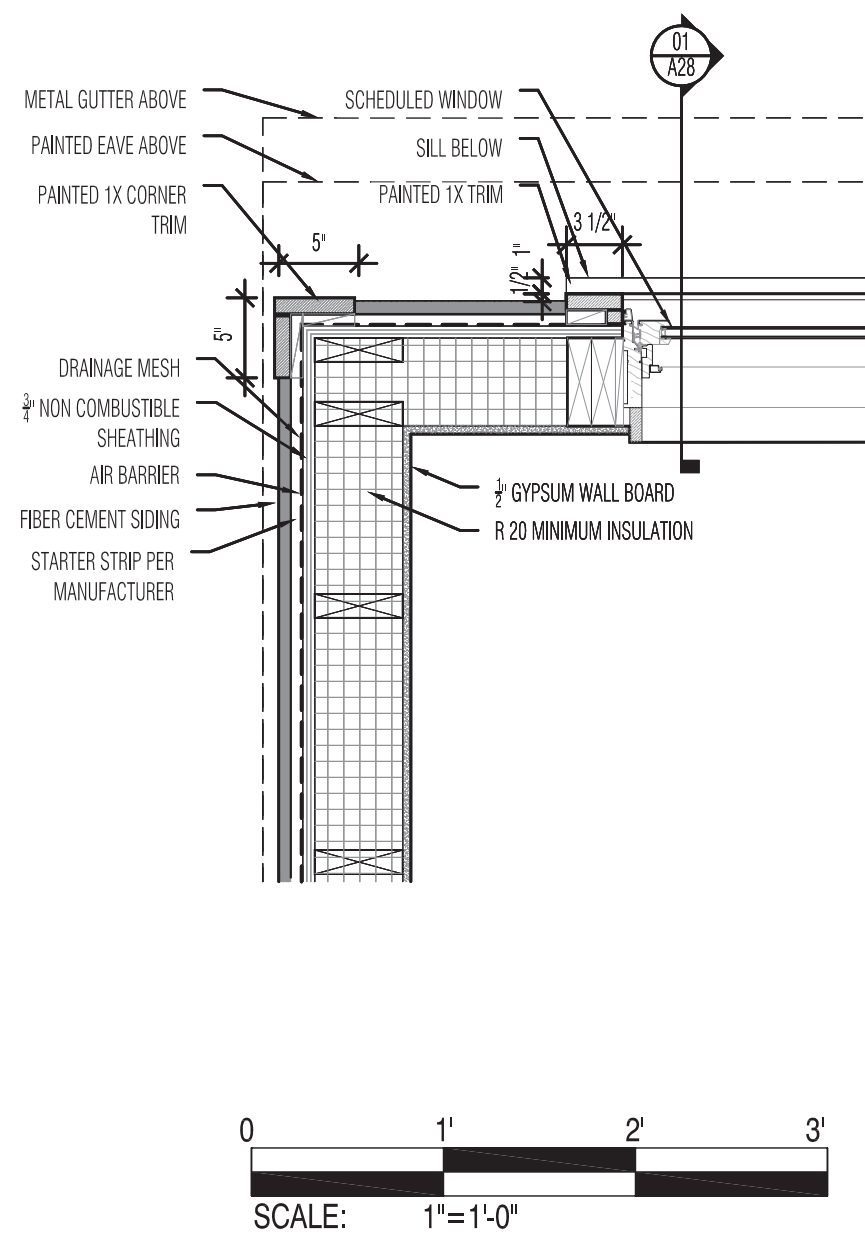
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PROPOSED DORMER

DETAILS

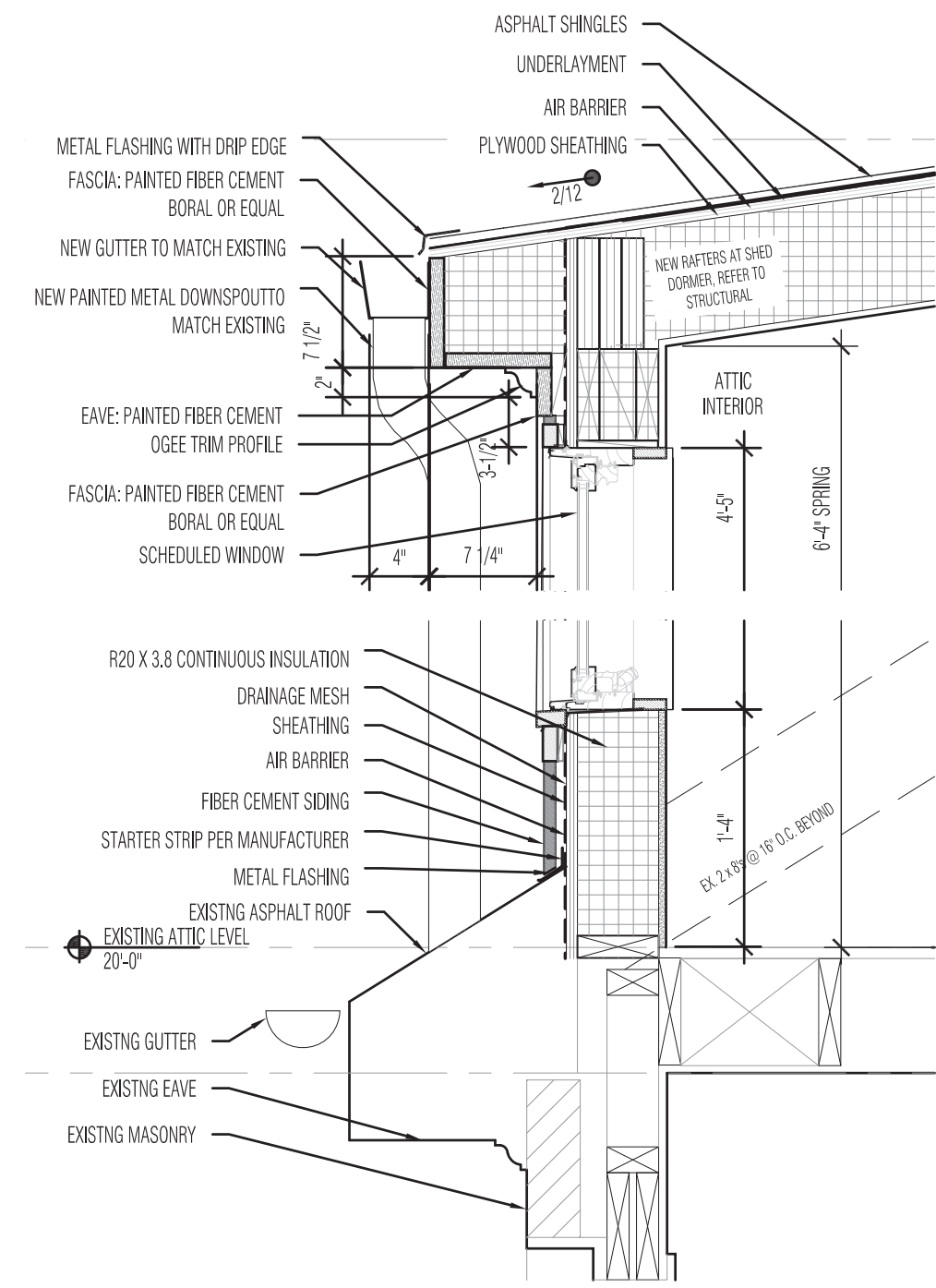
SCALE: 3/4" = 1'-0"



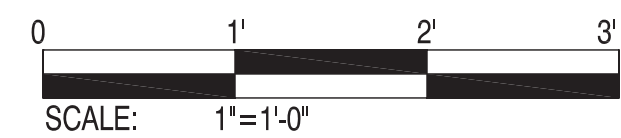
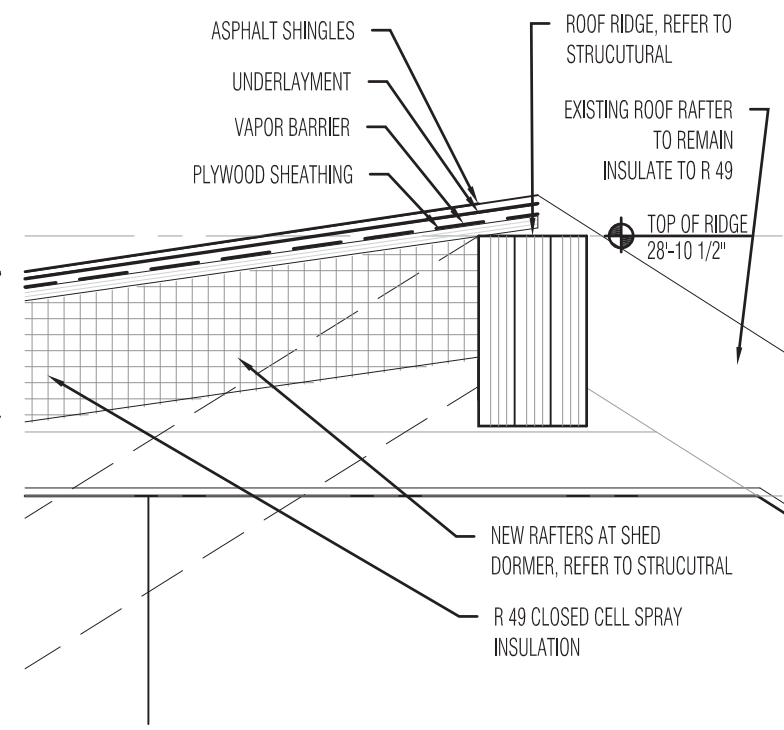


PLAN DETAIL AT DORMER

02



SECTION THROUGH NEW DORMER



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PROPOSED DORMER
DETAILS

SCALE: 1" = 1'-0"

01