

ISSUE: Certificate of Appropriateness for alterations

APPLICANT: Ildar Abdullin & Anna Kachalova

LOCATION: Parker-Gray District
1310 Queen Street

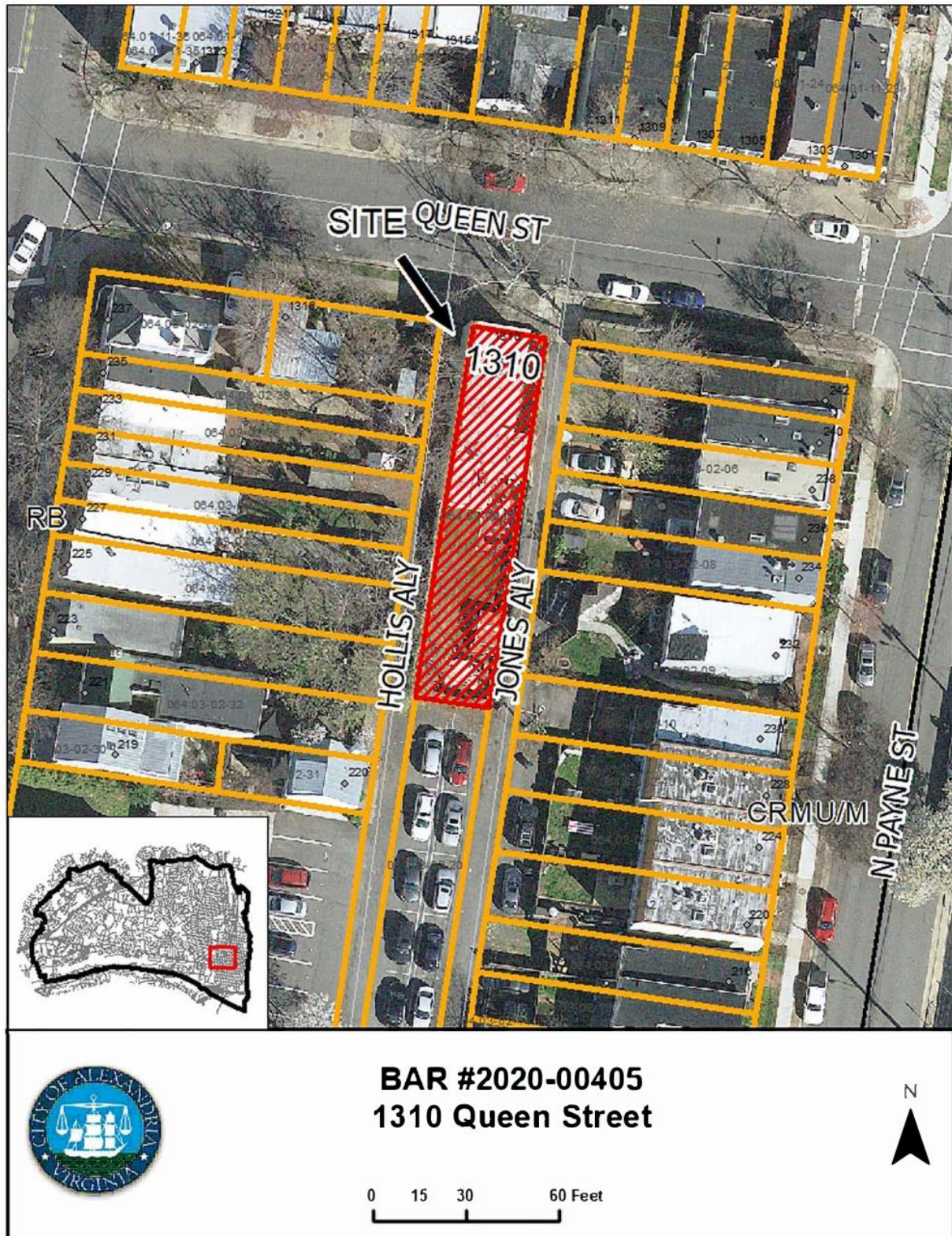
ZONE: RB/Residential Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approval of the Certificate of Appropriateness for alterations as submitted.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



UPDATE

On January 23, 2019, the BAR approved relocating this house five feet to the east to move it within the boundaries of the property, finding relocation to be the best means of preservation by correcting an error in the home's original construction partially in the alley. At this hearing, the BAR also approved the demolition of two non-historic additions at the rear of the house (BAR2018-00587). The BAR approved a Certificate of Appropriateness for alterations and additions on March 4, 2020 (BAR2019-00480). In this application, the applicant would like to propose an additional alteration to the property.

I. APPLICANT'S PROPOSAL

The applicant requests a Certificate of Appropriateness to add two chimneys to serve an interior wood burning fireplace and sauna heater.

Certificate of Appropriateness

Alterations

Both proposed chimneys will be clad in flat seam, pre-finished metal cladding that matches the metal cladding previously approved elsewhere on the elevations. One chimney will be internal until it exits at the west side of the roof deck at the rear of the house. The other chimney will be external on the east side of the first level of the rear/south elevation, internal on the second floor, and exit the roof at the southeast corner of the roof deck. A previously approved privacy screen would hide the first-floor level of this chimney from public view. Thus, both chimneys would only be visible as they emerge at the roof deck. Both chimneys rise 10'-2 1/2" from the floor level of the roof deck, with the lowest 3'-8 1/4" screened by a parapet.

Site context

This house sits between two 10-foot-wide public alleys, Hollis to the west and Jones to the east. The south/rear elevation currently has private paved parking behind it that extends all the way to Cameron Street. The house is therefore in a highly visible location.

II. HISTORY

Sanborn Fire Insurance Maps indicate that this two-story, three-bay vernacular Second Empire style townhouse was constructed between 1902 and 1907, most likely in **1905**. According to City building permits, Lewis Smith received a building permit for this property on October 17, 1905 and another for construction at the rear of the house on June 8, 1913 (Alexandria Library Special Collections). Mr. Smith made other changes to the house over the years, applying weatherboard siding in 1935 (Permit #1209) and an asphalt shingle roof in 1936 (Permit #1920).

Tom and Kathleen Hollis purchased the house circa 1946. Tom worked as a head chef for two different Alexandria restaurants, passing away in 1995 at age 86. His wife Kathleen lived in the home until her death in 2012 at age 102. While living at 1310 Queen Street, they added a bathroom

in 1969 (Permit #26480), clad the house in aluminum siding in 1965 (Permit #21671), and replaced the roof in 1971 (Permit #28091). Hollis Alley is named for the couple (SNC2006-0002).

Previous BAR Approvals

As noted in the Update section above, the BAR approved relocating the house, partial demolition, and additions and alterations in 2019 and 2020. Additional BAR approvals include a 2017 administrative approval for an in-kind fence replacement (BAR2017-00293) and a 1997 fence replacement and new window on the west alley elevation. (BAR1997-00231).

III. ANALYSIS

Certificate of Appropriateness

The *Design Guidelines* state that "...chimneys and flues can have an important impact on the overall visual composition of a building and, if not appropriately located on a building, may be a visual disruption of a unified building design." This focus on the importance of a unified building design directly affects this proposal, as the *Design Guidelines* also state "The Boards strongly discourage the use of exterior metal flue chimneys." In discouraging metal chimneys, the *Design Guidelines*, adopted 27 years ago, assumed a traditional brick or frame exterior cladding. In this case, due to the approved metal exterior cladding on this addition to the house, a traditional masonry chimney would look out of place and have a jarring visual effect. By cladding the chimneys in the same material as the exterior of the building, the chimneys will be less prominent and will fade into the background. Although not in the historic district, the Colecroft Station Condominiums at 501 East Braddock Road have metal chimneys which match the roofing material (Figure 1), making the chimneys less prominent.

While the 10'-2 ½" height of the chimneys may sound tall, the stacks must be tall enough to carry smoke away from the roof deck. As the Board and staff know, Alexandria has numerous tall chimneys scattered throughout the town. To this point, the applicant included several photos in the application. While the proposed chimneys would be visible from the rear/south elevation (Figure 2) and the adjacent alleys, they would be minimally visible from Queen Street. The chimney on the west side of the house sits approximately 42' from the Queen Street/north elevation. The chimney on the east side of the house sits approximately 57' from the Queen Street elevation (Figure 3). Both chimneys are further obscured by the mansard roof on the north elevation (Figures 4 & 5) and the 3' parapet surrounding the roof terrace



Figure 1: Colecroft Station metal chimneys

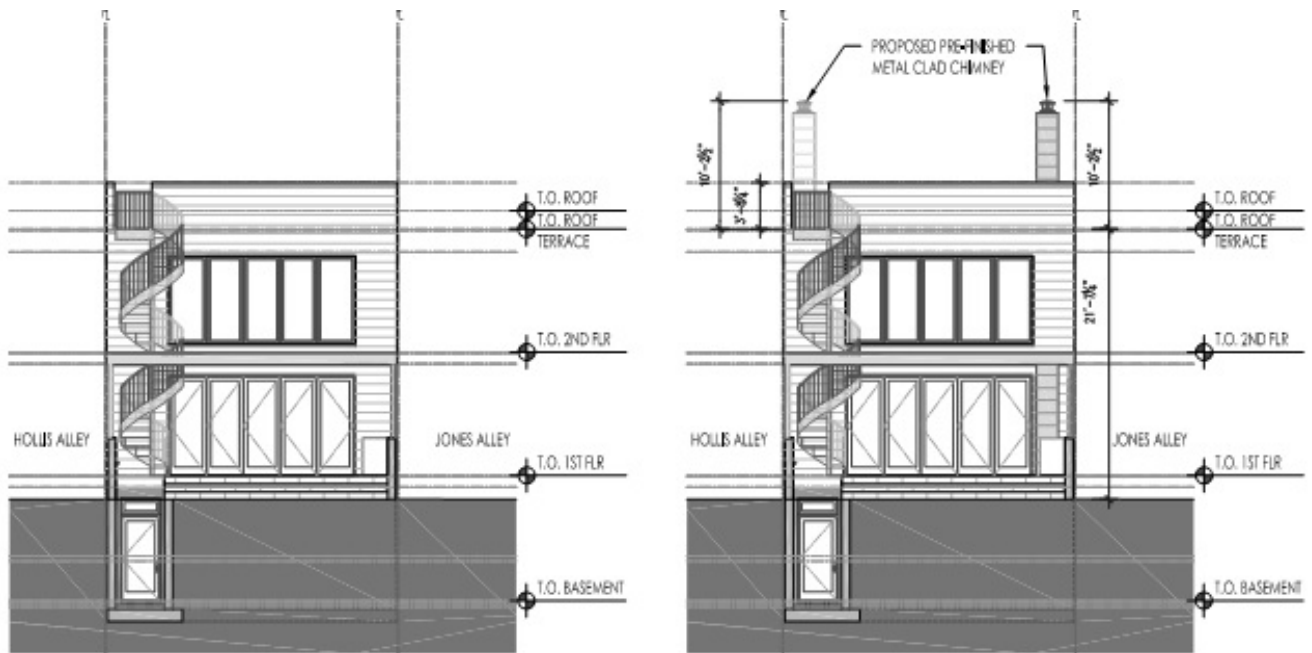


Figure 2: Left: Approved rear elevation. Right: Proposed rear elevation with chimneys

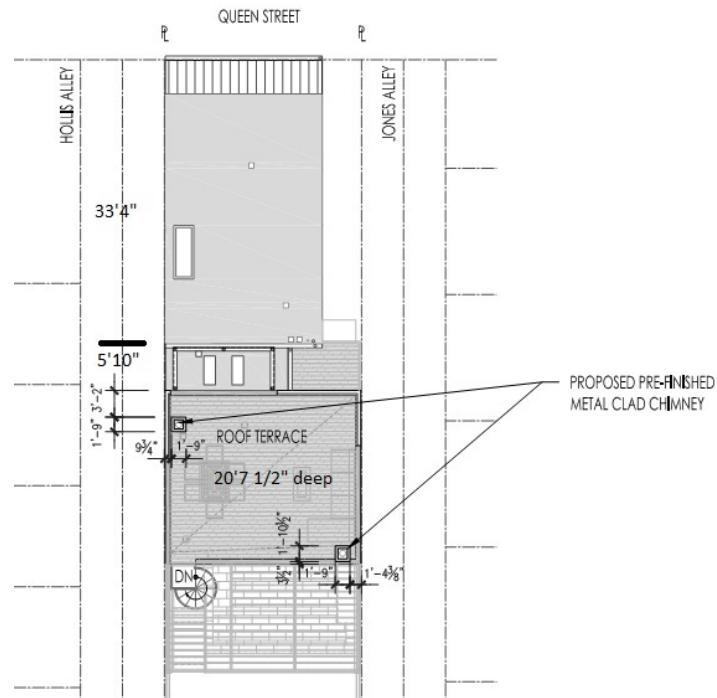


Figure 3: Roof plan showing distance of chimneys from Queen Street elevation



Figures 4 & 4: Mansard as seen from east (left image) and west (right image)

Staff recommends approval of the project as submitted.

STAFF

Susan Hellman, Historic Preservation Planner, Planning & Zoning
 Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed chimneys comply with zoning.

Code Administration

C-1 A building permit and plan review are required prior to the start of construction.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 Previously reviewed under BAR2017-00293; BAR2018-00587; BAR2019-00480; BAR97-00231 (T&ES)

F-2 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-3 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 No archaeological oversight will be necessary for this undertaking.

V. ATTACHMENTS

- 1 – Application for BAR 2020-00405: 1310 Queen Street*
- 2 – Supplemental Materials*

ADDRESS OF PROJECT: _____

DISTRICT: ☐ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: *(Please check all that apply)*

☐ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail : _____

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ _____

Name: _____ Phone: _____

E-mail: _____

Legal Property Owner:

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

- ☐ **Yes** ☐ **No** Is there an historic preservation easement on this property?
☐ **Yes** ☐ **No** If yes, has the easement holder agreed to the proposed alterations?
☐ **Yes** ☐ **No** Is there a homeowner's association for this property?
☐ **Yes** ☐ **No** If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION

☐ EXTERIOR ALTERATION: *Please check all that apply.*

☐ awning

☐ fence, gate or garden wall

☐ HVAC equipment

☐ shutters

☐ doors

☐ windows

☐ siding

☐ shed

☐ lighting

☐ pergola/trellis

☐ painting unpainted masonry

☐ other _____

☐ ADDITION

☐ DEMOLITION/ENCAPSULATION

☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*
SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: Karen Conkey

Date: 08/17/2020

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Ildar Abdullin Anna Kachalova	1310 Queen Street	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 1310 Queen Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Ildar Abdullin Anna Kachalova	1310 Queen Street	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Ildar Abdullin Anna Kachalova		N/A
2. Karen Conkey	spouse	William Conkey
3. Karen Conkey	client / landlord	Robert Adams

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

08/17/20
Date

Karen Conkey
Printed Name


Signature



Department of Planning and Zoning PHASE 4 BAR SUBMISSION

Floor Area Ratio and Open Space Calculations

B

A. Property Information

A1. 1310 QUEEN STREET, ALEXANDRIA, VA 22314
Street Address

RB
Zone

A2. 2,810.00 x 0.75 = 2,107.50
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area

Basement
First Floor 805.00
Second Floor 805.00
Third Floor
Attic
Porches
Balcony/Deck
Lavatory***
Other**

Allowable Exclusions**

Basement**
Stairways** 60.00
Mechanical**
Attic less than 7'***
Porches**
Balcony/Deck**
Lavatory*** 50.00
Other**
Other**

B1. 1,610.00 Sq. Ft.
Existing Gross Floor Area*
B2. 110.00 Sq. Ft.
Allowable Floor Exclusions**
B3. 1,500.00 Sq. Ft.
Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

B1. Total Gross 1,610.00 B2. Total Exclusions 110.00

C. Proposed Gross Floor Area

Proposed Gross Area

Basement 1,412.00
First Floor 444.00
Second Floor 384.00
Third Floor
Attic
Porches
Balcony/Deck
Lavatory***
Other SHED 40.00

Allowable Exclusions**

Basement** 1,412.00
Stairways** 89.00
Mechanical** 11.00
Attic less than 7'***
Porches**
Balcony/Deck**
Lavatory*** 90.00
Other** SHED 40.00
Other** FEAT 57.00

C1. 2,280.00 Sq. Ft.
Proposed Gross Floor Area*
C2. 1,699.00 Sq. Ft.
Allowable Floor Exclusions**
C3. 581.00 Sq. Ft.
Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

C1. Total Gross 2,280.00 C2. Total Exclusions 1,699.00

D. Total Floor Area

D1. 2,081.00 Sq. Ft.
Total Floor Area (add B3 and C3)
D2. 2,107.50 Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space (RA & RB Zones)

E1. 1,842.00 Sq. Ft.
Existing Open Space
E2. 800.00 Sq. Ft.
Required Open Space
E3. 834.00 Sq. Ft.
Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

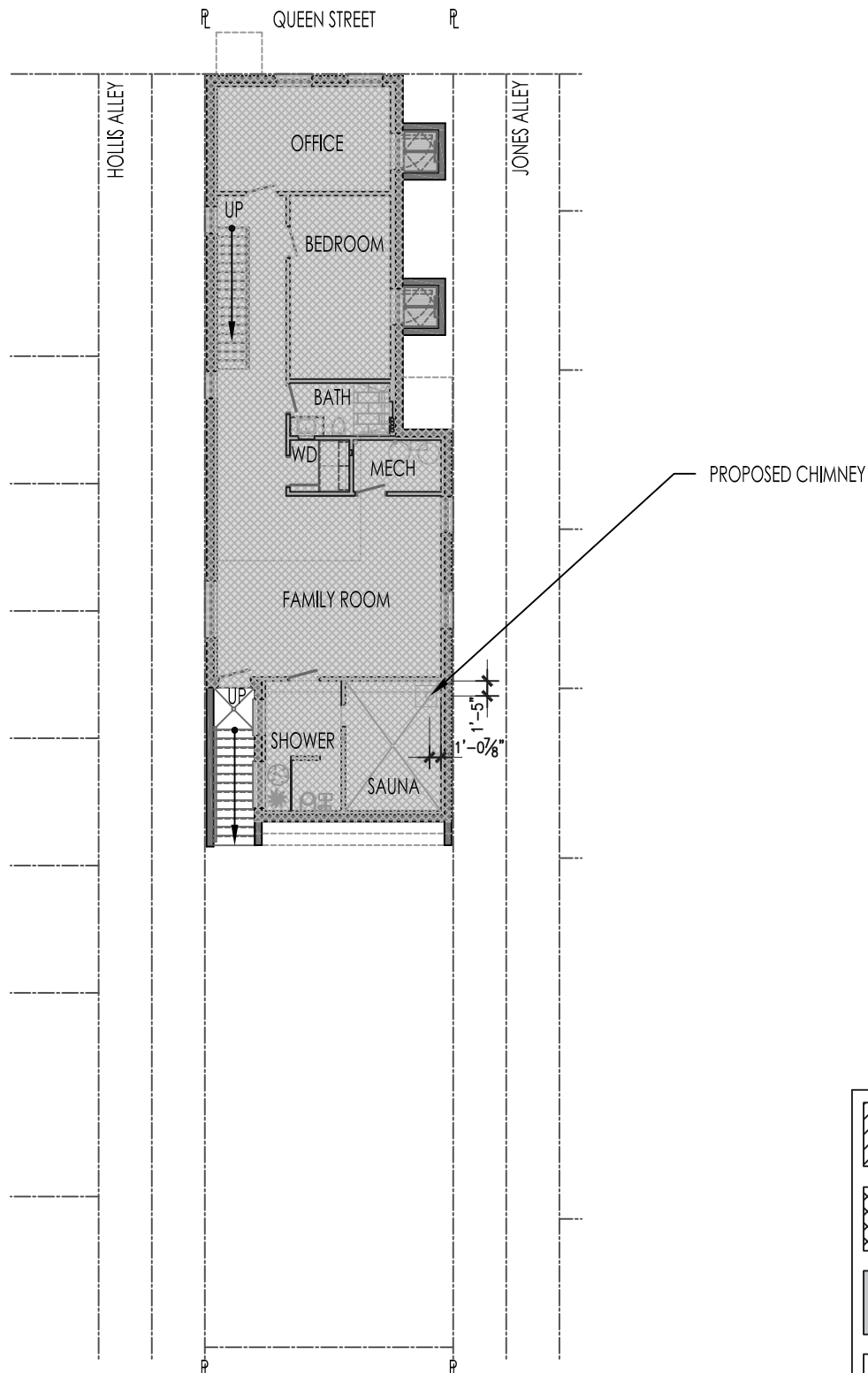
The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:

[Signature]

Date:

8/17/2020



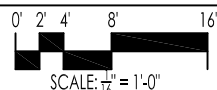
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	EXISTING AREA DEDUCTED
	PROPOSED AREA TO BE ADDED
	PROPOSED AREA TO BE DEDUCTED
	EXISTING OPEN SPACE = 1,842 SF
	PROPOSED OPEN SPACE = 834 SF

1310 Queen Street, Alexandria, VA 22314

BASEMENT PLAN SHOWING PROPOSED CHIMNEY

CLIENT:
Ildar Abdullin & Anna Kachalova
3600 S. Glebe Road, Unit 315
Arlington, VA 22202



17 AUGUST 2020

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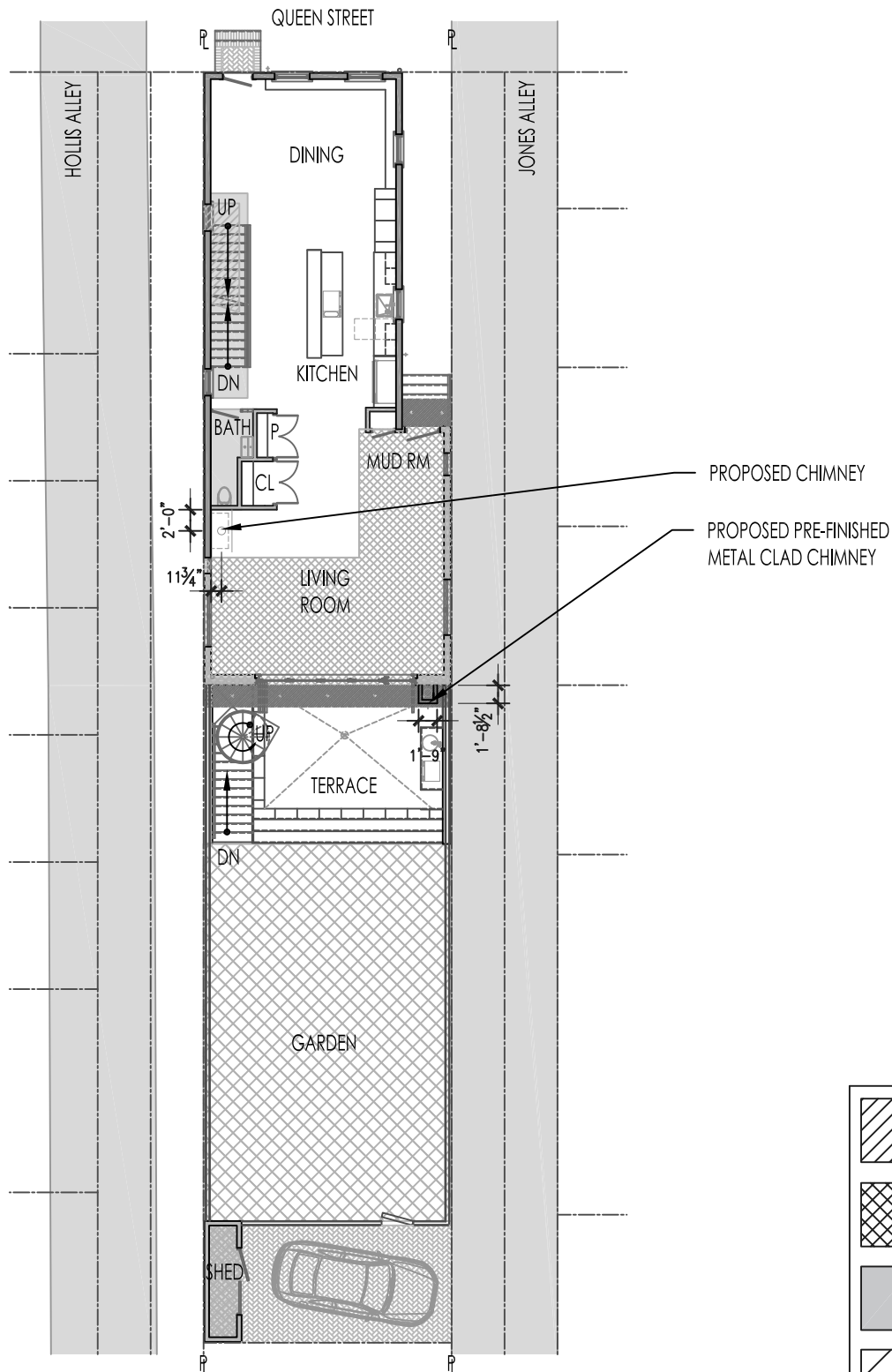
ARCHITECT: 405 south washington street
alexandria, va 22314
703 . 589 . 4550
info@conkeyarchitects.com

Conkey | architects

BAR - PHASE 4 - CHIMNEYS

**ASK
2.0A**

NOT FOR CONSTRUCTION



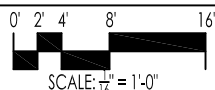
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1310 Queen Street, Alexandria, VA 22314

1ST FLOOR PLAN SHOWING PROPOSED CHIMNEYS

CLIENT:

Ildar Abdullin & Anna Kachalova
3600 S. Glebe Road, Unit 315
Arlington, VA 22202



17 AUGUST 2020

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ARCHITECT:

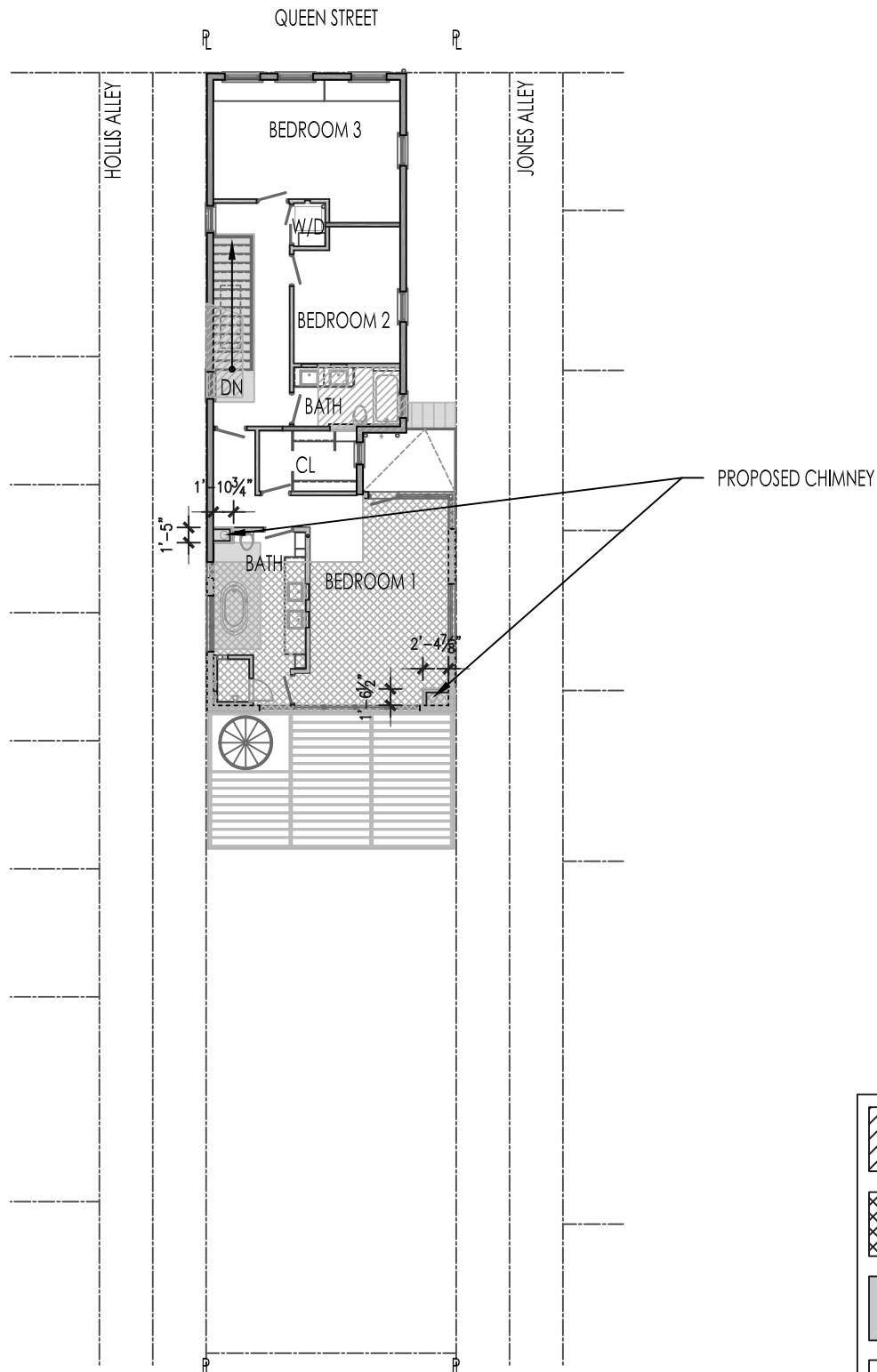
405 south washington street
alexandria, va 22314
703 . 589 . 4550
info@conkeyarchitects.com

Conkey | architects

BAR - PHASE 4 - CHIMNEYS

**ASK
2.1A**

NOT FOR CONSTRUCTION



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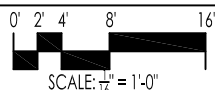
1310 Queen Street, Alexandria, VA 22314

2ND FLOOR PLAN SHOWING PROPOSED CHIMNEYS

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CLIENT:

Ildar Abdullin & Anna Kachalova
3600 S. Glebe Road, Unit 315
Arlington, VA 22202



17 AUGUST 2020

ARCHITECT:

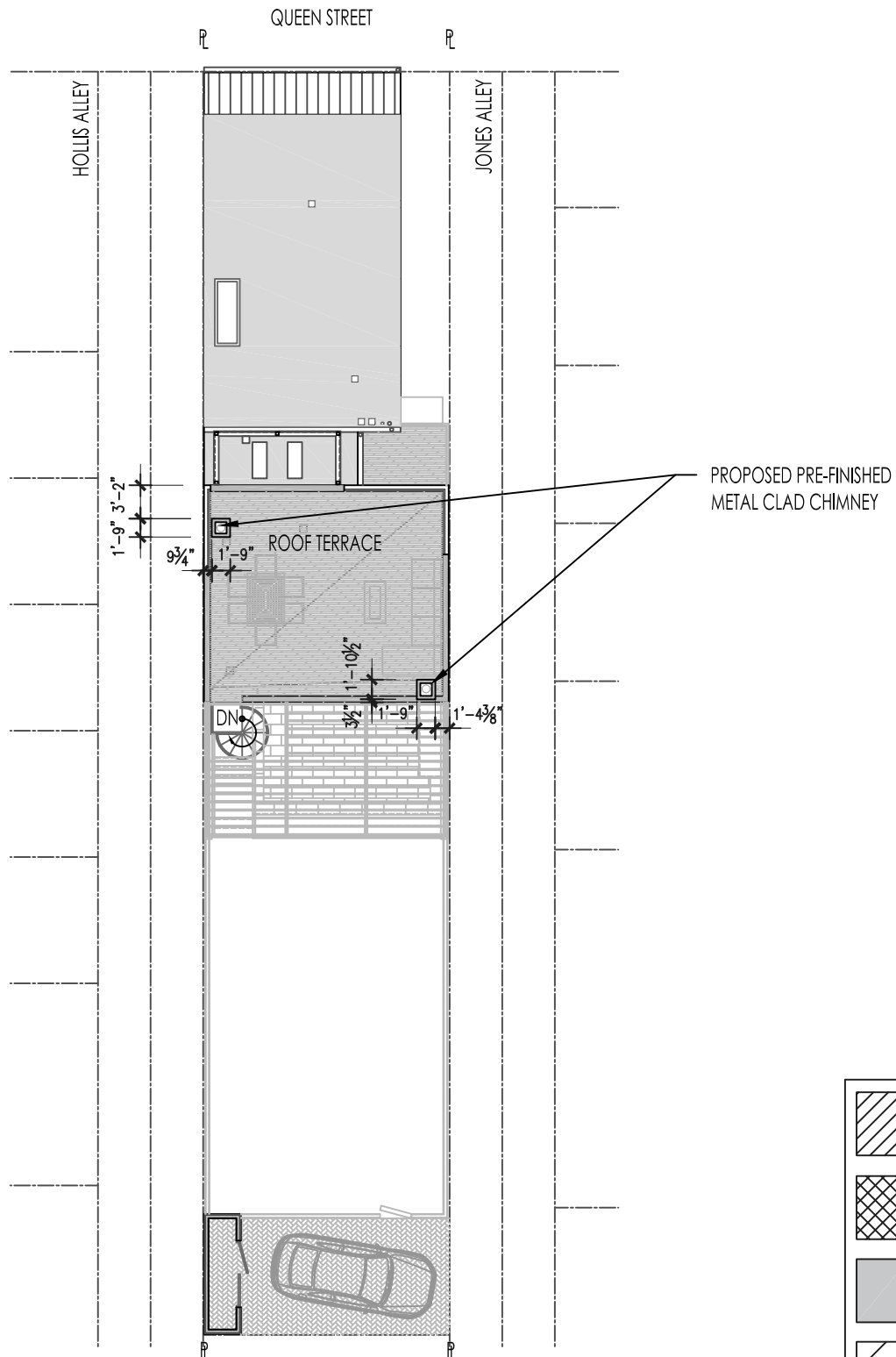
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alexandria, va 22314
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BAR - PHASE 4 - CHIMNEYS

ASK
2.2A

NOT FOR CONSTRUCTION



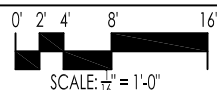
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	EXISTING AREA DEDUCTED
	PROPOSED AREA TO BE ADDED
	PROPOSED AREA TO BE DEDUCTED
	EXISTING OPEN SPACE = 1,842 SF
	PROPOSED OPEN SPACE = 834 SF

1310 Queen Street, Alexandria, VA 22314

ROOF PLAN SHOWING PROPOSED CHIMNEYS

CLIENT:
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3600 S. Glebe Road, Unit 315
Arlington, VA 22202



17 AUGUST 2020

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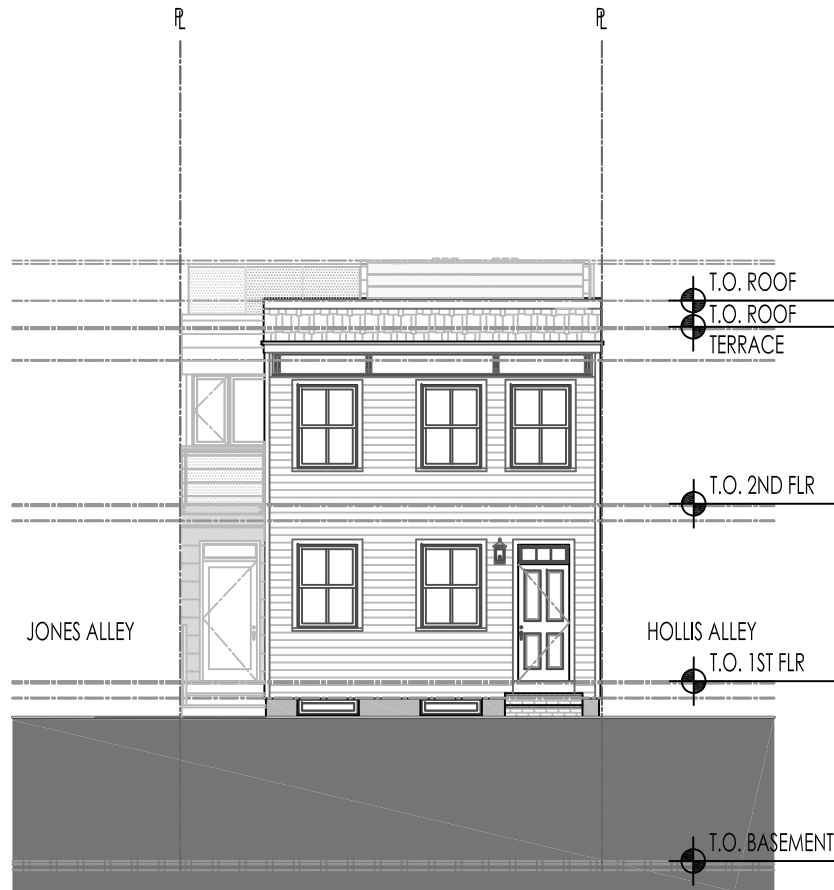
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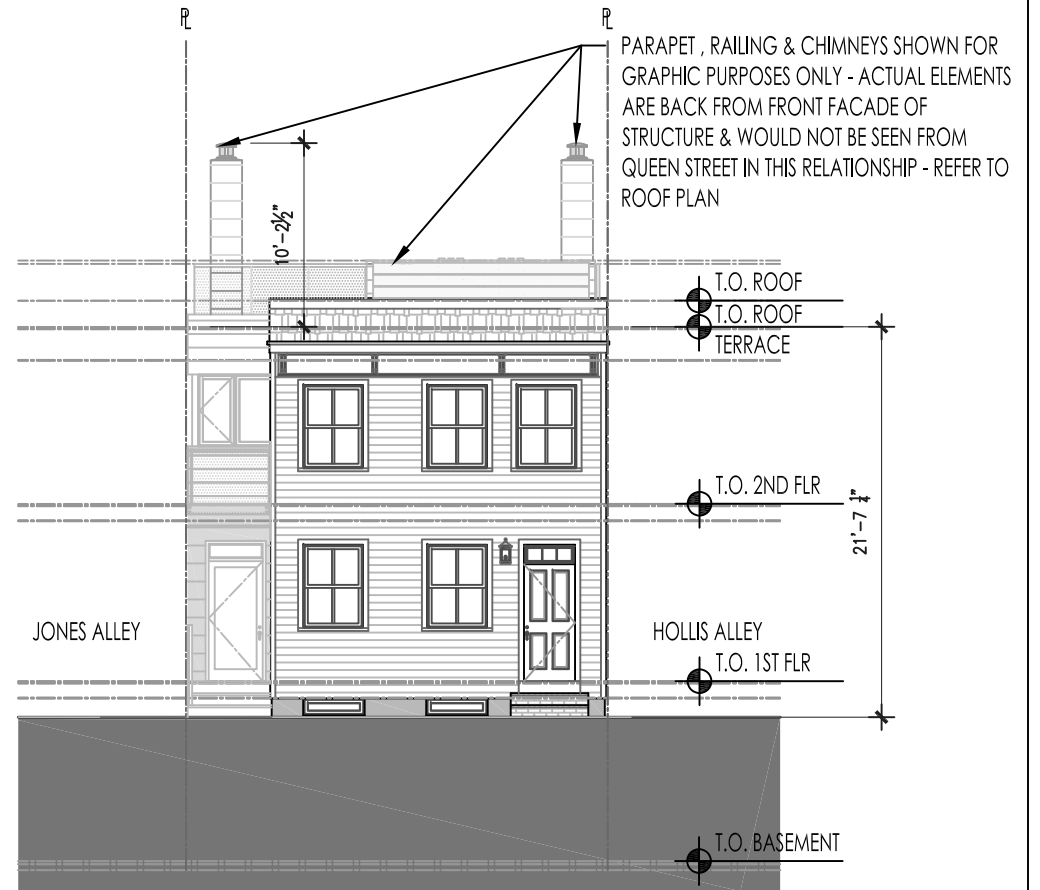
BAR - PHASE 4 - CHIMNEYS

**ASK
2.3A**

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A APPROVED ELEVATION - QUEEN ST FACADE

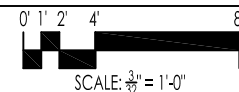


B PROPOSED CHIMNEYS - QUEEN ST FACADE

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BAR - PHASE 4 - CHIMNEYS

ASK
3.1

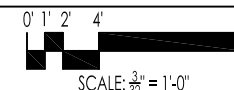


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APPROVED SIDE ELEVATION (JONES ALLEY)

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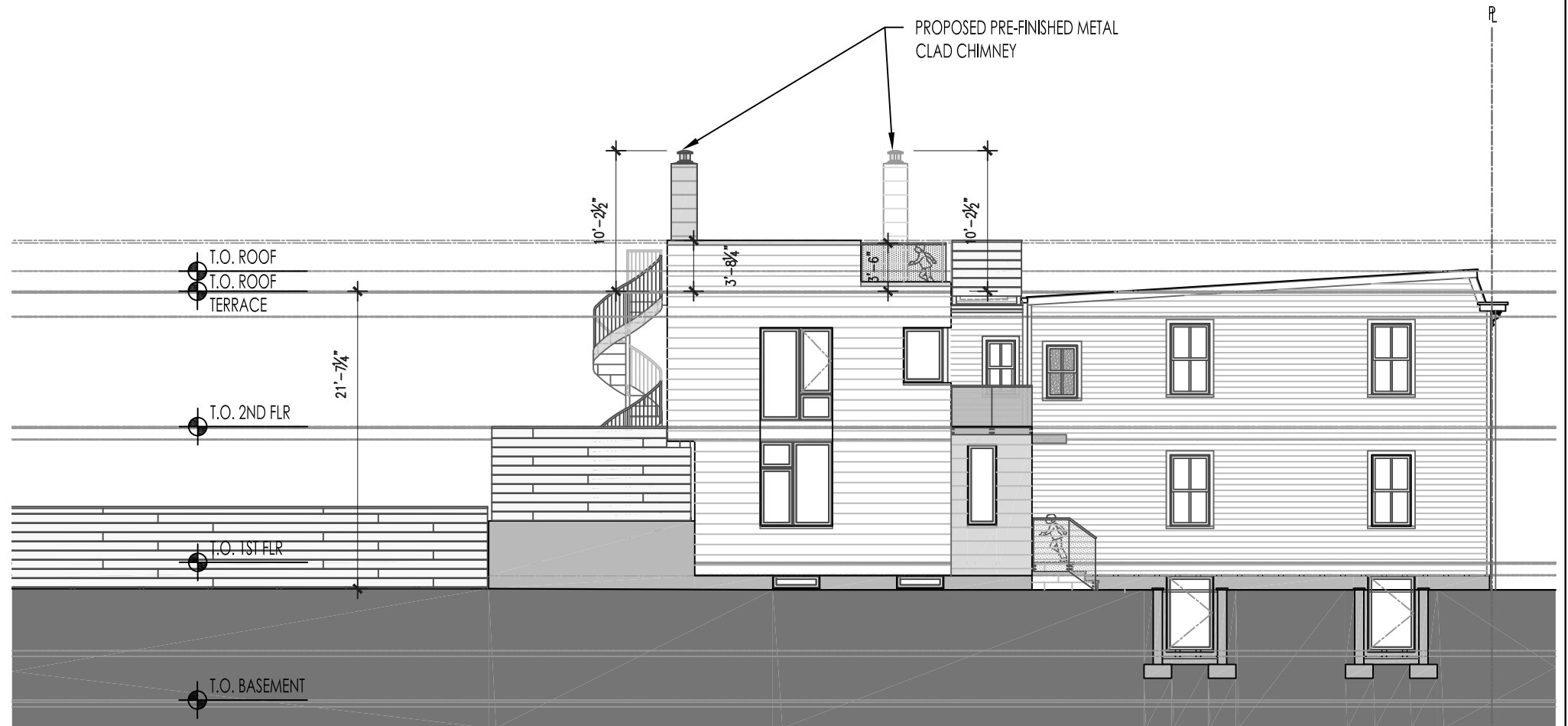
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BAR - PHASE 4 - CHIMNEYS

ASK
3.2

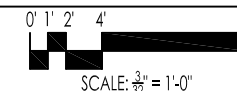


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PROPOSED SIDE ELEVATION (JONES ALLEY) SHOWING METAL CLAD CHIMNEYS

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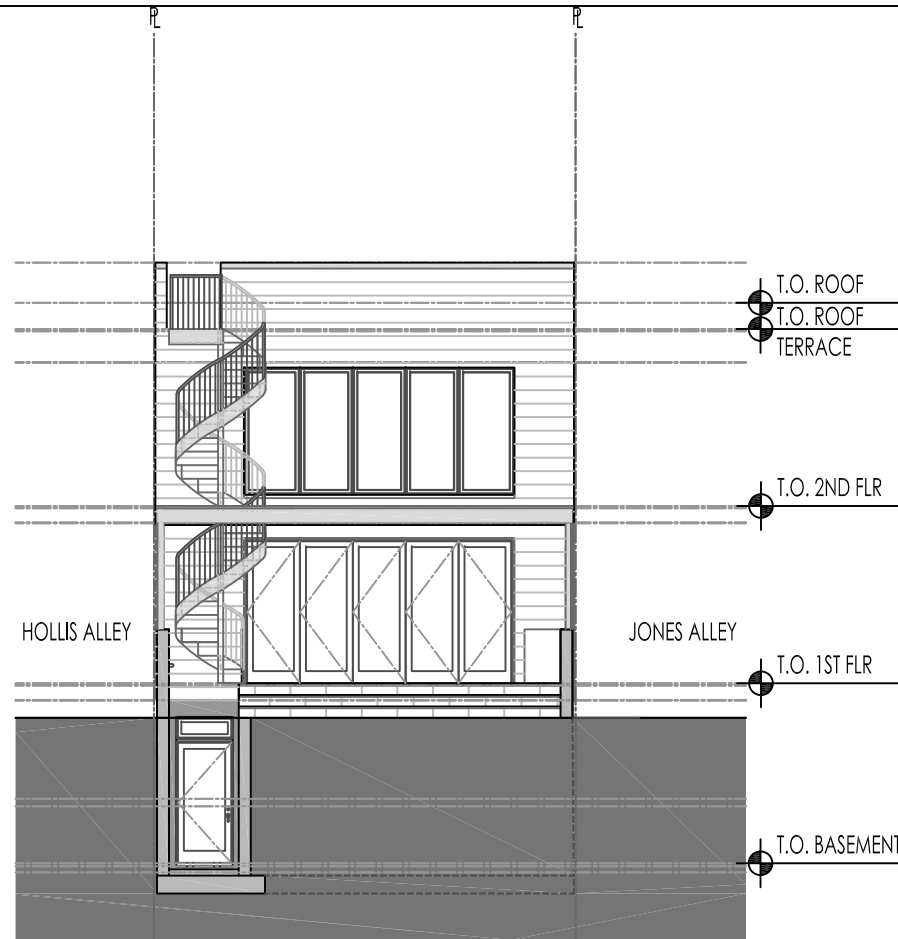
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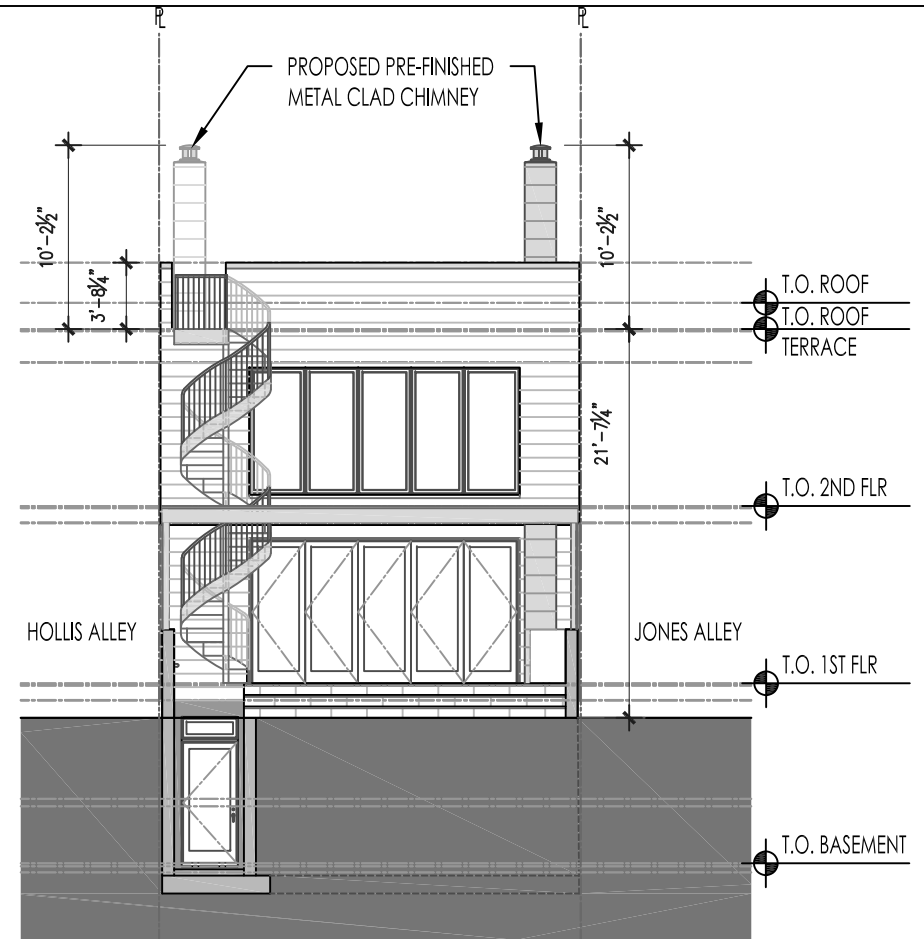
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BAR - PHASE 4 - CHIMNEYS

ASK
3.2A



A APPROVED ELEVATION - REAR FACADE



B PROPOSED CHIMNEYS - REAR FACADE

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0' 1' 2' 4' 8'
SCALE: $\frac{3}{8}$ " = 1'-0"

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BAR - PHASE 4 - CHIMNEYS

ASK
3.3

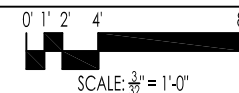


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APPROVED SIDE ELEVATION (HOLLIS ALLEY)

CLIENT:
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BAR - PHASE 4 - CHIMNEYS

ASK
3.4

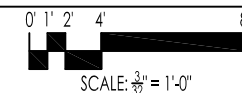


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PROPOSED SIDE ELEVATION (HOLLIS ALLEY) SHOWING METAL CLAD CHIMNEYS

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BAR - PHASE 4 - CHIMNEYS

ASK
3.4A



STUCCO CLAD
CHIMNEY
EXTENDING
ABOVE ROOF

1310 Queen Street, Alexandria, VA 22314

PHOTO OF NEIGHBORHOOD EXAMPLE OF CLAD CHIMNEY - 220 HOLLIS ALLEY

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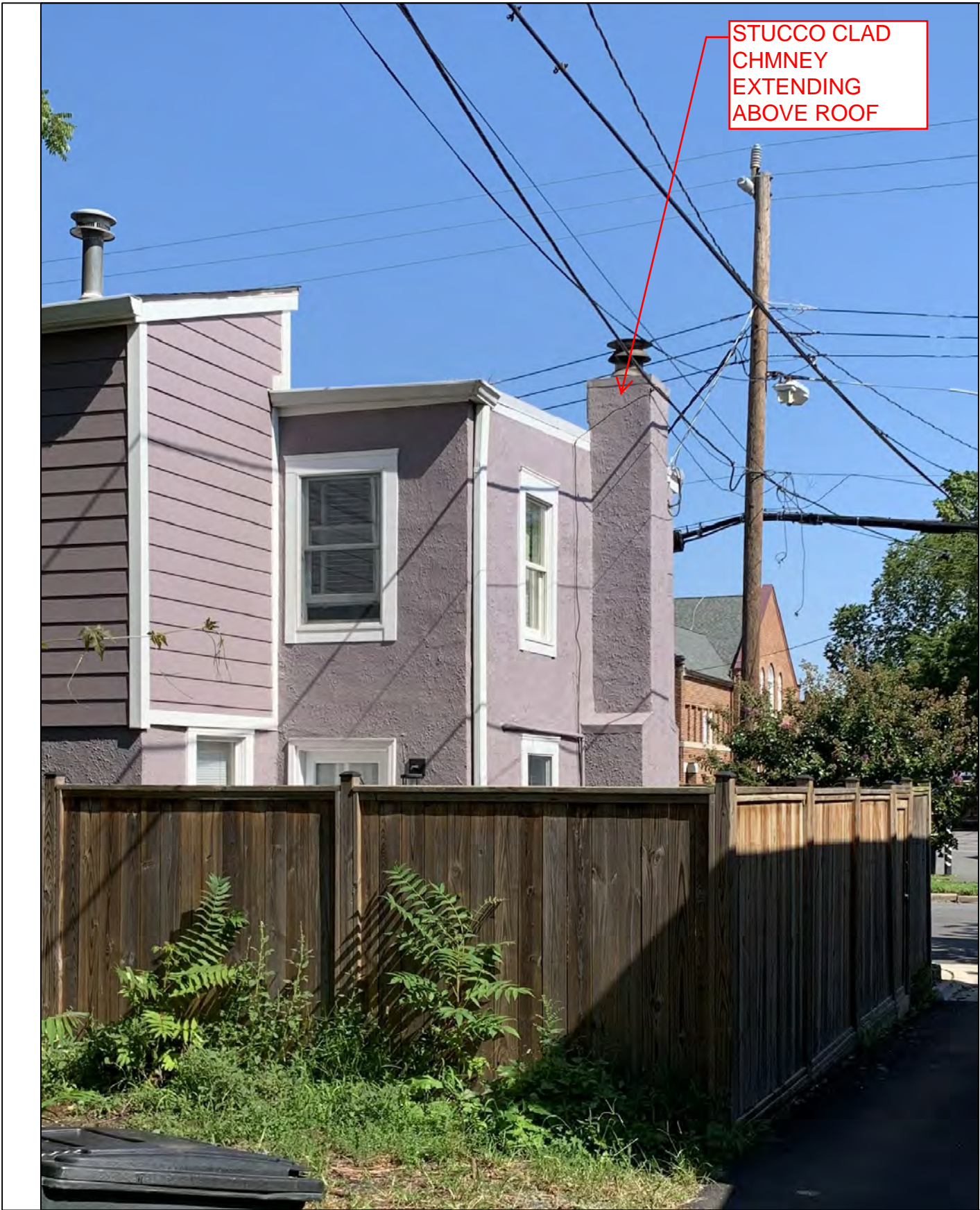
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BAR - PHASE 4 - CHIMNEYS

**ASK
8.0A**

NOT FOR CONSTRUCTION



STUCCO CLAD
CHIMNEY
EXTENDING
ABOVE ROOF

1310 Queen Street, Alexandria, VA 22314

PHOTO OF NEIGHBORHOOD EXAMPLE OF CLAD CHIMNEY - REAR OF 916 PRINCESS STREET

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BAR - PHASE 4 - CHIMNEYS

**ASK
8.0B**

NOT FOR CONSTRUCTION



STUCCO CLAD
CHIMNEY
EXTENDING
ABOVE ROOF

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PHOTO OF NEIGHBORHOOD EXAMPLE OF CLAD CHIMNEY - REAR OF 909 QUEEN STREET

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BAR - PHASE 4 - CHIMNEYS

**ASK
8.0C**

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PHOTO OF NEIGHBORHOOD EXAMPLE OF CLAD CHIMNEY - REAR OF 331 N PATRICK STREET

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BAR - PHASE 4 - CHIMNEYS

**ASK
8.0D**

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Installation

Typical Installations

How To Plan Your Chimney Installation

Step 1.	Measure the diameter of the appliance flue outlet. Select the chimney and either DVL or DuraBlack connector stovepipe with the same size diameter as the appliance flue outlet.
Step 2.	Measure the roof pitch. For example, a 6/12 pitch has a vertical rise of 6" over a horizontal distance of 12". Select the appropriate flashing.
Step 3.	Determine the minimum chimney height above the roof line. Building codes require a minimum of 3' above the roof penetration, and at least 2' higher than any portion of a building within 10'. See Figure 1.
Step 4.	If an offset is required to avoid rafters or other obstructions, measure the horizontal distance required and the vertical height available. Both 15° and 30° elbows are available. Please note that 45° elbows are not allowed in the United States. At least one Elbow Strap is required for each offset. Elbow Straps ensure adequate support.
Step 5.	Determine the total length of chimney and stovepipe required for the installation. To calculate the installed per length of 6"-8" DuraPlus chimney pipe, subtract 1 1/2" per joint. Subtract 1 1/4" per joint of DuraBlack stovepipe. Subtract 1 1/2" per joint of DVL stovepipe. Minimum chimney height, at sea level of straight vertical chimney is 10' to 15' above the appliance outlet. Higher elevations, or the use of elbows or a tee, will require approximately 30% to 60% more height to provide for an adequate draft.

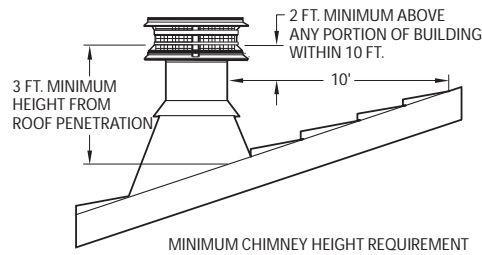
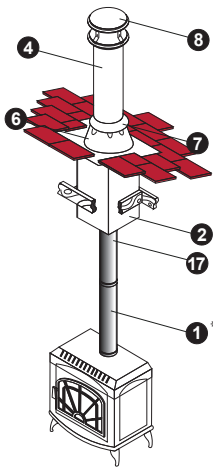
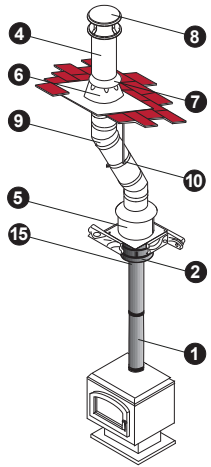


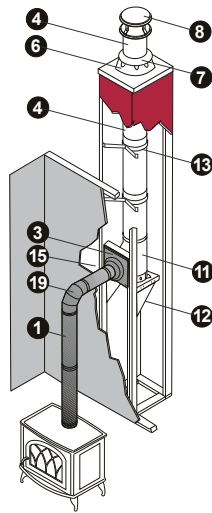
Figure 1



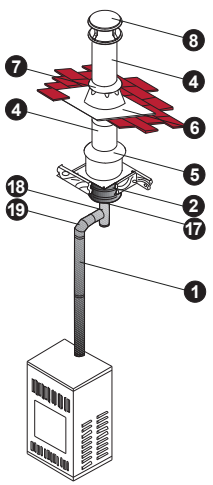
Manufactured Home
*DVL stovepipe required for this installation



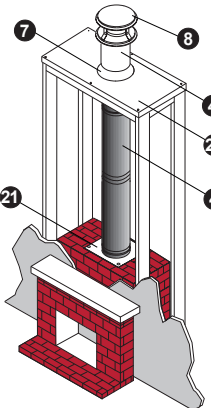
Attic Offset



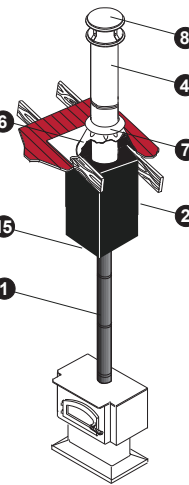
Through-the-Wall



Oil Furnace



Fireplace
(new or retrofit)



Cathedral Ceiling
Roof Support

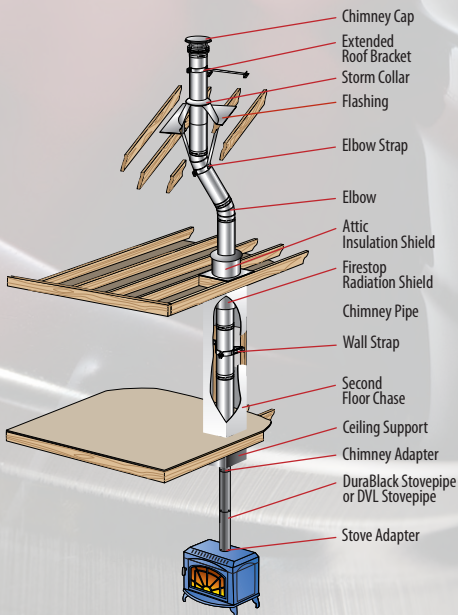
DuraPlus	
1	DVL or DuraBlack Stovepipe
2	Ceiling Support Box
3	Wall Thimble
4	DuraPlus Chimney
5	Attic Insulation Shield
6	Roof Flashing
7	Storm Collar
8	Chimney Cap
9	Elbow
10	Elbow Strap
11	Tee with Cap
12	Tee Support Bracket
13	Wall Strap
14	Firestop Radiation Shield
15	Snap-Lock Adapter, DVL/ DuraBlack Chimney Adapter, DuraBlack Slip Connector
16	Extended Roof Bracket
17	DVL or DuraBlack Chimney Adapter
18	DVL or DuraBlack Tee
19	DVL or DuraBlack Elbow
20	Chase Top Flashing
21	Anchor Plate

- A DVL/DuraBlack Chimney Adapter or DuraBlack Slip Connector must be used when connecting DVL or DuraBlack stovepipe to a Ceiling Support or Wall Thimble. A Snap-Lock Adapter must be used when attaching snap-lock stovepipe to DuraPlus.
- A Wall Thimble must be installed with an appropriate section of chimney pipe for all horizontal through-the-wall installations. To accommodate thicker walls a wall thimble extension can be field fabricated.
- An Attic Insulation Shield must be used in all installations that pass through an attic, regardless of whether the attic is insulated or not. If chimney is enclosed in a chase in the attic space, an Attic Insulation Shield is not required.
- A Firestop Radiation Shield must be used when a chimney passes through a floor or ceiling without a Ceiling Support Box.

How It Works

The chimney system allows your stove or fireplace to exhaust flue gases while a draft creates the draw that pulls fresh combustion air into the stove. A well balanced system provides an even, hot fire when it has good draft. The draft suction keeps smoke from coming into the room. Insulation in the chimney pipe is important because it helps keep the exhaust hot until it is expelled outside. Heat in the chimney makes draft, which pulls in more combustion air. This creates a hotter fire, delivering more heat to the chimney and resulting in more draft. The size of the flue is important for the system to work efficiently. The appliance manufacturers installation instructions will indicate how to size the flue to match the stoves flue collar.

Stovepipe connects to the stove. It is the usually black interior pipe that transitions from the stove to the chimney pipe with an adapter. It is not insulated and cannot penetrate ceilings or walls. Chimney pipe is an insulated pipe that is rated to pass through walls and ceilings. In addition to the chimney pipe, supports to hold the system in place and shields to protect areas from combusting are needed for the system. The flashing, storm collar and chimney cap are required to seal the system from moisture penetration.



Contact

Professional Technical Help
DuraVent prides itself on providing the best customer service and technical support in the industry.

Our Customer Support Team is available to answer technical questions.

Monday – Friday
5:30am – 4pm Pacific | 8:30am – 7pm Eastern

Tel: 800-835-4429
Fax: 707-446-4740
customerservice@duravent.com



DuraPlus®
All-fuel, triple-wall chimney system.
UL 103 HT.

DuraPlus®

Leaders in-Venting Innovation™

DuraVent®

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L127_810007487_Brochure_DuraPlus_03-18-20_V4

Applications
DuraPlus Chimney is a triple-wall, all-fuel chimney for use with wood stoves, fireplaces, furnaces, boilers, stoves, ranges, water heaters, or other appliances fueled by wood, oil, coal, or gas.

Materials and Construction
.016" 430 stainless steel outer wall or .018" galvanized steel outer wall.
.018" aluminized steel intermediate liner.
.016" 430 stainless steel inner liner.
Insulated layers of ceramic blanket plus ventilated air space. Locks tightly with a precision twist-lock connection.

Clearances
2" clearance to combustibles.

Diameters
6" - 8".

Listings
UL Listed to UL 103HT (MH7399).



Product List

	DuraPlus Through the Ceiling Kit Kit includes: DVL/DuraBlack Chimney Adapter, Snap-Lock Adapter, 11" Square Ceiling Support Box with Trim, Adjustable Flashing 0/12-6/12, Chimney Cap, Storm Collar, and Attic Insulation Shield. Only available in 6" diameter. Pipe not included. Can be used for flat or vaulted ceiling installations. Use for typical through-the-roof installations.
	DuraPlus Manufactured Home Kit Kit includes: DVL/DuraBlack Adapter, 24" Square Ceiling Support Box with Trim, Adjustable Flashing 0/12-6/12, Chimney Cap, Storm Collar, and (2) 24" DuraPlus Chimney Pipe (galvanized). Only available in 6" diameter. Can be used for cathedral ceiling installations. Use for manufactured home through-the-roof installations.
	DuraPlus Through-The-Wall Kit Kit includes: DVL/DuraBlack Chimney Adapter, Snap-Lock Adapter w/ Trim, 9" DuraPlus Chimney Pipe (galvanized), Wall Thimble, Tee w/ Cap, (2) Wall Strap, Tee Support Bracket, and Chimney Cap. Only available in 6" diameter. Use for through-the-wall installations.
	Chimney Pipe 6" to 8" diameters. Stainless steel inner walls. Outer-casing in galvalume or stainless steel.
	Elbow Kit Kit includes: 2 Elbows and 1 Elbow Strap. 15° or 30° elbows swivel 360° at base.
	Elbow Strap Use to prevent excessive weight on the elbows by supporting the weight of the chimney. Required to be installed between two elbows in offset installations.
	Round Ceiling Support Supports chimney pipe and provides a positive connection between support box and chimney with a built-in twist-lock. Supports up to 35' of DuraPlus Chimney. Includes trim collar.
	Square Ceiling Support Box Supports up to 35 ft. of chimney. Use with flat, vaulted or cathedral ceilings; in 11", 24" or 36" lengths. Includes trim collar.

	Flat Ceiling Support Box Supports chimney pipe and provides a positive connection between support box and chimney with a built-in twist-lock. Designed for installation in flat ceilings only. Supports up to 35' of DuraPlus chimney pipe.
	Wall Thimble For passing chimney through a wall. Adjusts from a minimum of 4 3/4" to a maximum of 7 3/4" wall thickness, and fits between standard wall studs. To accommodate thicker walls, the telescoping pieces can be extended up to 16" with a field-fabricated extension installed.
	Tee w/ Cap For through-the-wall installations. The tee clean-out cap is removable for easy chimney cleaning or inspection.
	Tee Support Bracket Use to support the Tee; suspended from a wall. Supports up to 35' of DuraPlus Chimney. Starter Section built in.
	Adjustable Wall Strap Use in interior or exterior installations to support and to stabilize the chimney while assuring a 2" clearance. Wall straps are required every 4' on exterior of building. Adjusts 2"-6" from wall.
	Wall Strap Use in interior or exterior installations to support and to stabilize the chimney while assuring a 2" clearance. Wall straps are required every 4' on exterior of building only.
	Base Plate Use to adapt on a zero-clearance fireplace when using DuraPlus directly off the unit. Starter Section built in.
	Transition Anchor Plate Provides easy installation of DuraLiner to DuraPlus chimney when used with a slip connector and hanger.
	Starter Section Use only when converting from DuraLiner to DuraPlus and the DuraPlus Chimney is going to be enclosed in a chase.
	Firestop Radiation Shield Use in ceiling/floor penetrations when a ceiling support is not used. Not required when passing through the roof. Fits on underside of ceiling and adjusts to cover framing.

	Attic Insulation Shield Required for installations that pass through an attic to prevent insulation and debris from accumulating near the chimney. Fits over Firestop Radiation Shield or a support box.
	Close Clearance Shield Use in installations where a 7" or 8" DuraVent chimney system passes through a roof opening with less than the normal 2" minimum clearance to roof trusses or rafters.
	Roof Flashings Use to weather proof the penetration of chimney pipe through the roof. Storm Collar required. Select roof flashing based on pitch of roof. Also available in dead soft aluminum.
	Storm Collar Required with DuraPlus flashing to create a weatherproof penetration through the roof deck.
	Extended Roof Bracket Use to support the chimney when it extends more than 4' above the roof. Provides stability to chimney against wind and snow.
	Chimney Cap Required where chimney pipe terminates above the roof line. Removable screws allow for cleaning of the chimney and spark arrestor screen. Made of stainless steel.
	Snow Splitter Use to divert snow around chimney, vent, and roof flashing. Constructed of paintable galvanized material.

What Makes Us Different From The Rest?



New Black Paint

NEW Black Paint

As of May 1, 2014, DuraVent has transitioned to a new and improved black paint. The new paint is our response and solution to comments from installers and dealers regarding durability of DuraVent's black paint.

As a California company, we are required to meet more stringent rules regarding painting, compared to other non-California companies. These regulations have prevented us from using solvent-based paints that pollute the air and water systems. After thorough research and testing, our new paint delivers a much improved scratch-resistance while still maintaining a more environmentally sustainable process.

Features

Easier installs with much less touch-up work afterwards.

Saves time and money for the installer.

A more environmentally sustainable process.

Provides the homeowner with a beautiful installation.

DuraVent Products Using the New Paint

DirectVent Pro

DuraTech

DuraPlus

PelletVent Pro

DuraBlack

DVL

DuraPlus HTC



DuraVent
Member of & M&G Group

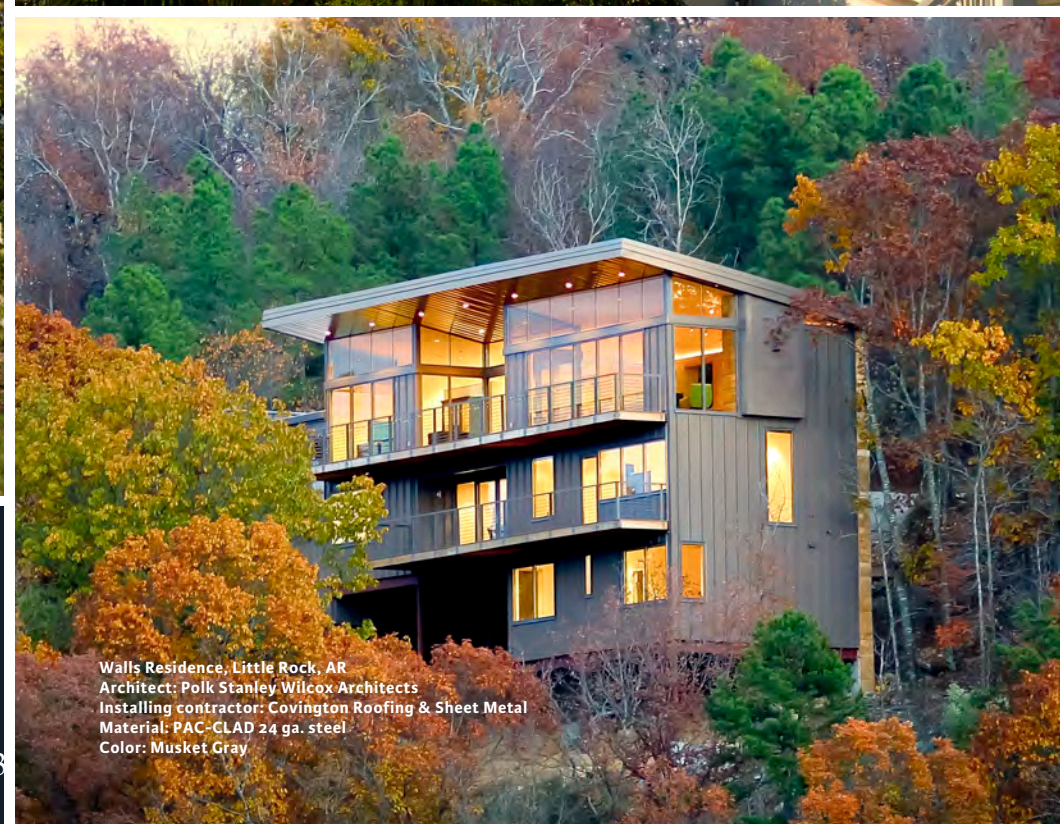
RESIDENTIAL



Cover Photo:
Residence, Burr Ridge, IL
Architect: Michael Buss Architects
Installing contractor: Complete Flashings
Builder: McNaughton Brothers Construction
Material: Snap-Clad .032 aluminum
Color: Charcoal



Residence, Ponte Vedra Beach, FL
Architect: Jaycox Reinel Architects
General contractor: C. F. Knight Inc.
Roofing fabricator: Thorne Metal Systems
Material: PAC-CLAD Slate Gray .040 aluminum



Walls Residence, Little Rock, AR
Architect: Polk Stanley Wilcox Architects
Installing contractor: Covington Roofing & Sheet Metal
Material: PAC-CLAD 24 ga. steel
Color: Musket Gray



PAC-CLAD
P E T E R S E N

AN ELEGANT PALETTE

Petersen's extensive color palette includes options that are complementary to most architectural styles, building materials including brick, stone and wood, plus exterior products such as siding, windows and doors.

▲★ PATINA GREEN	▲★ TEAL	▲★ HEMLOCK GREEN	FOREST GREEN	HARTFORD GREEN
▲★ EVERGREEN	▲★ HUNTER GREEN	▲★ ARCADIA GREEN	▲★ MILITARY BLUE	BERKSHIRE BLUE
▲ GRAPHITE	▲★ CHARCOAL	INTERSTATE BLUE	▲★ SLATE BLUE	AWARD BLUE
MATTE BLACK	▲★ DARK BRONZE	▲★ BURNISHED SLATE	▲★ AGED BRONZE	▲★ MEDIUM BRONZE
▲★ MANSARD BROWN	BURGUNDY	▲★ TERRA COTTA	▲★ COLONIAL RED	▲★ CARDINAL RED
MIDNIGHT BRONZE	▲★ MUSKET GRAY	▲★ SIERRA TAN	▲★ SANDSTONE	▲★ ALMOND
▲★ SLATE GRAY	▲★ CITYSCAPE	▲★ GRANITE	▲★ STONE WHITE	▲★ BONE WHITE

Premium Colors

▲●★ ANODIC CLEAR	▲●★ SILVERSMITH	●▲★ SILVER	●▲★ CHAMPAGNE	●▲★ COPPER PENNY
●▲★ ZINC	●▲★ WEATHERED ZINC	★ WEATHERED STEEL	★ WEATHERED COPPER	●▲★ AGED COPPER

▲ Cool Colors ● Metallic Colors ★ Energy Star Colors ★ Premium Colors

Due to limitations of the printing process, color representation on the grid above is not 100% accurate. Please request a free color guide from your Petersen rep, architect or contractor to confirm your color choice before placing an order.



BEYOND THE ORDINARY

Design: Stuart Cohen & Julie Hacker Architects
Photo: Tony Soluri Photography

A home with a metal roof stands with more pride than neighboring homes, and for good reason. The beauty of a metal roof is superior to the asphalt shingles most homeowners think of when envisioning a residential roof. A metal roof will perform better, too. The properties of metal combined with the incredible solar reflectivity of our superior PAC-CLAD paint coating can reduce the cost of heating and cooling a home. Additionally, a metal roof will last much longer and endure better than an asphalt or wood roof. While neighbors

complain about replacing their non-metal roofs, those living under metal roofs will beam with pride that theirs looks as good as the day it was installed.

SEE IT ON YOUR HOME TODAY

Drop a photo of any home into our online visualization tool to see how Petersen's PAC-CLAD products will look on it. Visit pac-clad.com and click on PAC E-Tools to work with the visualizer. Or, ask your contractor for assistance.

A LIFETIME INVESTMENT

Alvhem, Centreville, MD
Owner: Robert Dahl
Architect: Torchio Architects
Installing contractor: CitiRoof Corp.
Profile: Precision Series HWP
Color: Matte Black
Photo: Buchanan Studios Inc.

When considering a metal roof, discussions should focus on lifetime value, not upfront cost. A metal roof is for homeowners who appreciate its value. The price of a metal roof, which comes with an estimated lifetime of 50 years if properly maintained, can be up to three times the installed cost of other materials. In return for the investment, the made-in-the-USA metal roof will last 3 or 4 times longer than a typical residential roof.

METAL EXPERIENCE MATTERS

When choosing an architect or contractor, experience matters. A metal roof is a different animal that requires a specialized skill set to properly specify and install. Choosing architects and contractors with metal roof experience will maximize your metal roof's performance, and add a level of comfort to your decision.

NEW CONSTRUCTION OR REMODELING

A metal roof will look beautiful and perform well on a home built from the ground up, or on a home undergoing an exterior remodel or simple roof replacement. A good architect or designer can blend a Petersen metal roof or siding with any architectural style or color.

STEEL OR ALUMINUM

Petersen's PAC-CLAD metal roofing and siding products are available in either steel or aluminum. An experienced Petersen rep, architect or contractor will guide homeowners toward the material that's best for their home.

A GREEN, SUSTAINABLE PRODUCT

A Petersen metal roof is made with recycled content, qualifying it as a "green" or recycled-content product. It is also 100% recyclable at the end of its useful life, unlike other roofing materials which are routinely disposed of by the ton in landfills.

LITERALLY COOL COLORS

A PAC-CLAD metal roof from Petersen is available in 35 colors that are rated by the Cool Roof Rating Council, plus 31 that are Energy Star-rated. Coating technology that is specifically formulated for PAC-CLAD products reflects sunlight and cools a roof by emitting radiation to its surroundings. The roof stays cooler and reduces the amount of heat conducted to a home, saving up to 40% of a typical home's annual energy costs.

WARRANTY COVERAGE

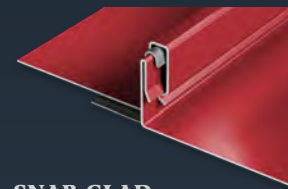
Petersen offers a limited 30-year finish warranty on its PAC-CLAD painted metal roof and siding panels. A weathertight warranty is available on selected metal roof products.

BEAUTIFUL PROFILES

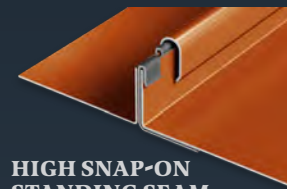


Private residence, Florida
Architect: T. S. Adams Studio Architects
Installing contractor: Cartercraft Roofing
Profiles: PAC-150, Flush panel
Colors: Weathered Zinc, Champagne

Metal Roofing



SNAP-CLAD



**HIGH SNAP-ON
STANDING SEAM**



**PAC-150
90° SINGLE LOCK**

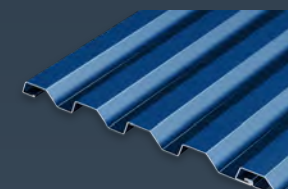


**PAC-150
180° DOUBLE LOCK**

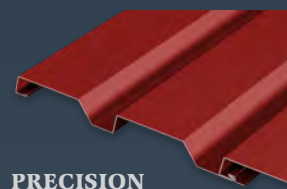


**REDI-ROOF
STANDING SEAM**

Siding



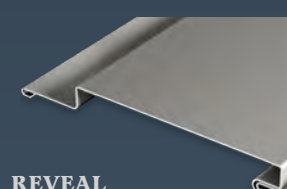
**PRECISION
SERIES HWP**



**PRECISION
SERIES
HIGHLINE 16-C**

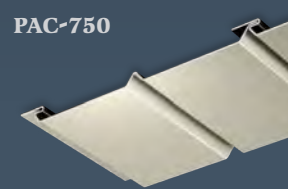


**FLUSH
PANEL**

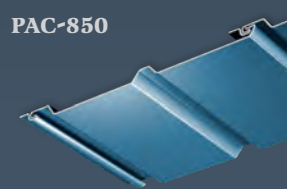


**REVEAL
PANEL**

Soffit Panels



PAC-750



PAC-850

Soffit panels come in solid, full-vented and half-vented variations.