

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for addition and alterations

APPLICANT: Ryan R. Au & Megan E. Au

LOCATION: Old and Historic Alexandria District
712 South Pitt Street

ZONE: RM/Residential Townhouse Zone

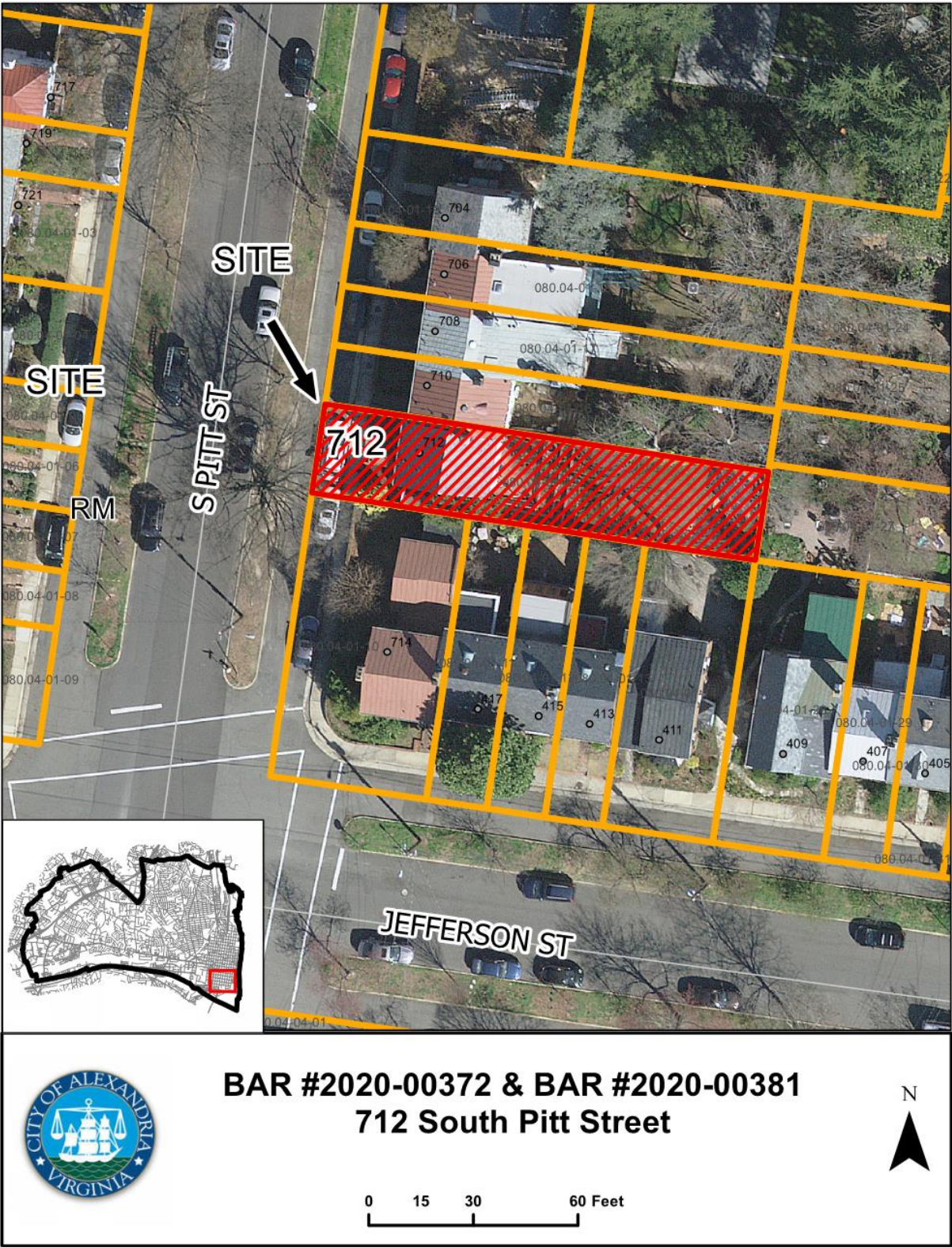
STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness with the following conditions:

1. The applicant must submit window specifications with the building permit to confirm that the proposed windows comply with the Alexandria New and Replacement Window Performance Specifications in the Historic Districts; and,
2. Include the statements from Alexandria Archaeology, below, in the General Notes of all on all construction documents that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
 - a. Call Alexandria Archaeology (703.746.4399) two weeks before the starting date of any ground disturbance so that a monitoring and inspection schedule for city archaeologists can be arranged.
 - b. Call Alexandria Archaeology immediately (703.746.4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - c. No metal detection may be conducted on the property, unless authorized by Alexandria Archaeology.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



Note: *Staff coupled the applications for a Permit to Demolish (BAR 2020-00381) and Certificate of Appropriateness (BAR2020-00372) for clarity and brevity. The Permit to Demolish requires a roll call vote.*

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to demolish portions of the east (rear) elevation and construct a three-story addition, as well as alterations, at 712 South Pitt Street.

The exteriors of the three-story addition (1,161.75 square feet) will consist of fiber cement siding, wood-clad double hung-windows, wood-clad French doors, and a gable roof with asphalt shingle. A portion of the addition is a hyphen with a flat roof. There will be a faux shutter on the second and third-stories on the north (side) elevation. The proposed deck will be painted wood.

Site context

A small portion of the proposed addition will be visible from the right-of-way.

II. HISTORY

The three-bay, three-story brick townhouse was constructed in 1939 during the first phase of construction of the Yates Garden Development. Sanborn Fire Insurance Map and building record research confirmed that the existing footprint has not change since construction.

Previous BAR Approvals

BAR2014-00211 – administrative approval for alterations.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B) which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No

(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

Staff does not believe that the proposed demolition/capsulation meets any of the criteria above, as the area of impacted is not of unusual or uncommon design and could be reproduced easily today. The Permit to Demolish/Capsulate should be granted.

Certificate of Appropriateness

According to the Design Guidelines, “An addition to a historic building should be clearly distinguishable from the original structure. An addition should not obscure or dilute the architectural and historic importance of an existing building by creating a false sense of the past.” The applicant has chosen to design the addition such that it complements the existing building’s form with the continued use of a gable roof on a portion of the addition and the use of a hyphen with a flat roof to minimize the amount of demolition on the east elevation of historic main block. Compatible window configurations are proposed on the west and south elevations, but the addition introduces some modern materials such as fiber cement siding and wood-clad windows to subtly differentiate the new construction from the historic house.

The *Design Guidelines* state that an open deck is primarily a late-20th century occurrence and suburban in character. The Board has previously approved the construction of open decks in section of the districts that have a distinctly suburban feel or where there is minimal visibility of the deck from a public way. The subject property meets both criteria of the *Design Guidelines*. It is located in the southern portion of the Old and Historic Alexandria District and the proposed deck will be minimally visible. Additionally, the deck does not hide, obscure or cause the removal or historic architectural details, and, the materials are compatible to materials generally found in the historic districts.

The applicant must submit window specifications with the building permit to confirm that the proposed windows comply with the Alexandria New and Replacement Window Performance Specifications in the Historic Districts. With the conditions above, staff recommends approval of the project. Staff notes the recommendations of Alexandria Archaeology.

STAFF

Amirah Lane, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed addition complies with zoning.

Code Administration

C-1 A building permit and plan review are required prior to the start of construction.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 Previously reviewed under BAR2019-00009; BAR2019-00370 (T&ES)

F-2 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-3 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 According to historic maps and aerial photographs, the property at 712 S. Pitt St. remained vacant until the mid-twentieth century. John Daingerfeld owned the entire block in the 1870s as a real estate investment, but this particular lot did not get developed until much later.
- R-1 Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)
- R-2 The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply shall result in project delays. The language noted above shall be included on all final site plan sheets involving any ground disturbing activities. (Archaeology)

V. ATTACHMENTS

- 1 – Application for BAR2020-00381 & BAR2020-00372: 712 South Pitt Street*
- 2 – Supplemental Materials*

ADDRESS OF PROJECT: 712 South Pitt StreetDISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old BuildingTAX MAP AND PARCEL: _____ ZONING: RMAPPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
*(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)*Applicant: ☐ Property Owner ☒ Business *(Please provide business name & contact person)*Name: Marks-Woods Construction - Greg MarksAddress: 205 S Union StCity: Alexandria State: VA Zip: 22314Phone: 7039282513 E-mail: gmarks@markswoods.comAuthorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ _____

Name: _____ Phone: _____

E-mail: _____

Legal Property Owner:

Name: Ryan R Au or Megan E AuAddress: 712 S Pitt StCity: Alexandria State: VA Zip: 22314Phone: 972-978-6268 E-mail: ryan.r.au1@gmail.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☐ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☐ EXTERIOR ALTERATION: *Please check all that apply.*

☐ awning
☐ doors
☐ lighting
☐ other _____

☐ fence, gate or garden wall
☐ windows
☐ pergola/trellis

☐ HVAC equipment
☐ siding
☐ painting unpainted masonry

☐ shutters
☐ shed

☒ ADDITION
☒ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

A 2 story addition with basement. The removal of portions of exterior rear wall in order to connect new addition to the existing structure.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☒ ☐ Description of the reason for demolition/encapsulation.
☒ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: GREGORY T. MARKS

Printed Name: GREGORY T. MARKS

Date: 8-3-2020

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

	Name	Address	Percent of Ownership
1.	N/A		
2.			
3.			

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 712 S PITT ST (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

	Name	Address	Percent of Ownership
1.	RYAN & MEGAN AU	712S PITT ST	100
2.			
3.			

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

	Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.	RYAN & MEGAN AU	N/A	
2.			
3.			

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

8/3/20

GREGORY T., MARKS

GREGORY T. MARKS

Date

Printed Name

Signature



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations

as of 12/20/18

B

A. Property Information

A1. 712 South Pitt Street RM
Street Address Zone

A2. 3,319.00 x 1.50 = 4,978.50
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**		
Basement	444.87	Basement**		B1. 1,334.61 Sq. Ft.
First Floor	444.87	Stairways**	228.63	Existing Gross Floor Area*
Second Floor	444.87	Mechanical**	31.00	B2. 282.67 Sq. Ft.
Third Floor		Attic less than 7'***		Allowable Floor Exclusions**
Attic		Porches**		B3. 1,051.94 Sq. Ft.
Porches		Balcony/Deck**		Existing Floor Area Minus Exclusions
Balcony/Deck		Lavatory***		(subtract B2 from B1)
Lavatory***		Other**chimney	23.04	Comments for Existing Gross Floor Area
Other**		Other**		
B1. Total Gross	1,334.61	B2. Total Exclusions	282.67	

C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**		
Basement	351.25	Basement**		C1. 1,161.75 Sq. Ft.
First Floor	358.75	Stairways**		Proposed Gross Floor Area*
Second Floor	358.75	Mechanical**		C2. 0.00 Sq. Ft.
Third Floor		Attic less than 7'***		Allowable Floor Exclusions**
Attic		Porches**		C3. 1,161.75 Sq. Ft.
Porches		Balcony/Deck**		Proposed Floor Area Minus Exclusions
Balcony/Deck	93.00	Lavatory***		(subtract C2 from C1)
Lavatory***		Other**		Notes
Other		Other**		
C1. Total Gross	1,161.75	C2. Total Exclusions	0.00	

D. Total Floor Area

D1. 2,213.69 Sq. Ft.
Total Floor Area (add B3 and C3)

D2. 4,978.50 Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space

E1. 2,581.79 Sq. Ft.
Existing Open Space

E2. 1,161.65 Sq. Ft.
Required Open Space

E3. 1,864.78 Sq. Ft.
Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

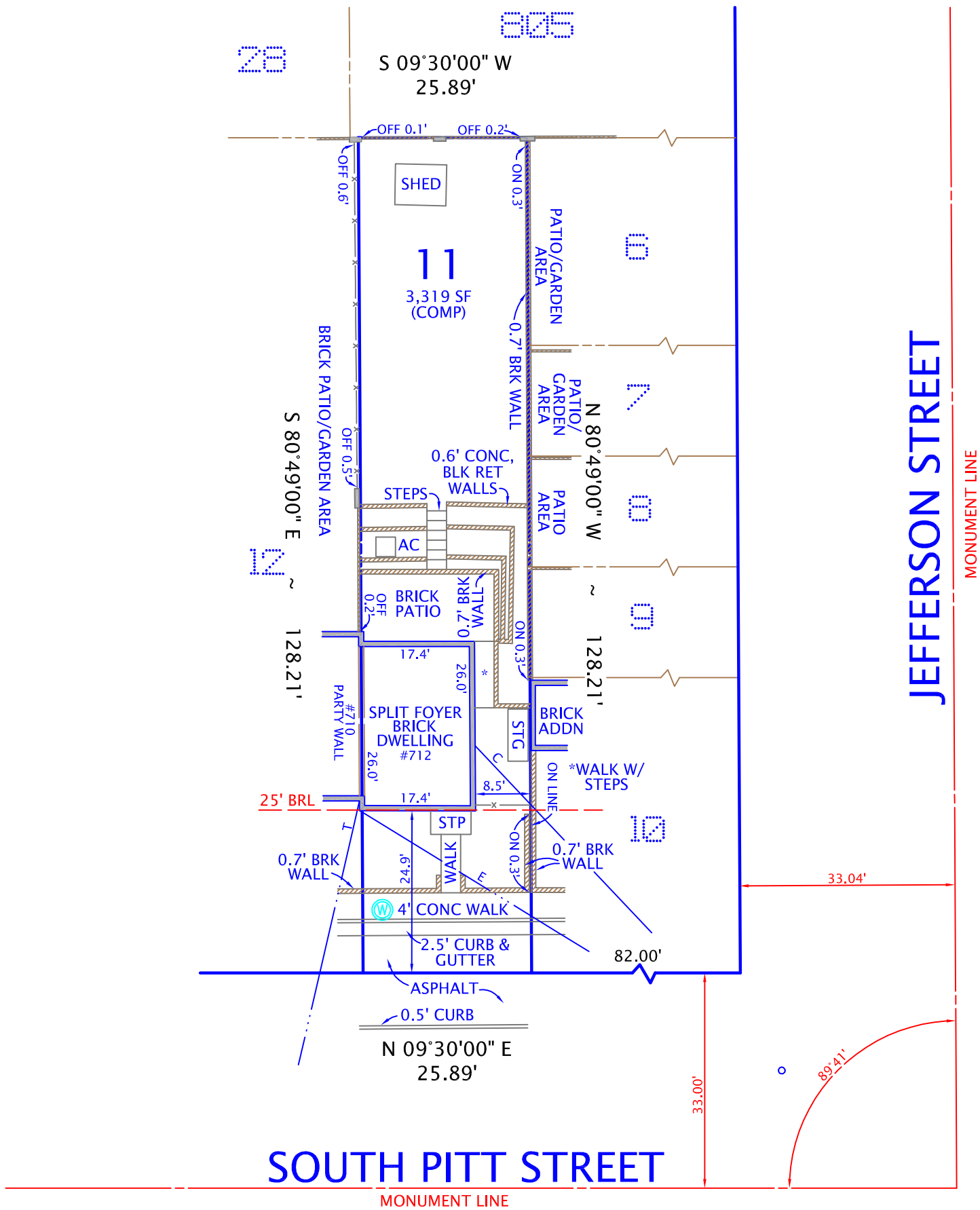
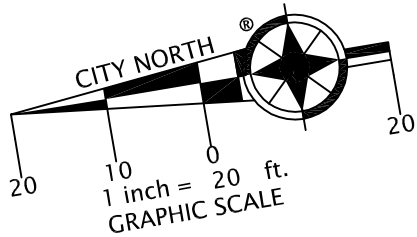
Signature: _____

[Handwritten Signature]

Date: _____

8-3-2020

NOTES: 1. FENCES ARE PICKET.
2. WALLS ARE 0.3' BRICK UNLESS NOTED.



PLAT
SHOWING HOUSE LOCATION ON
LOT 11, BLOCK 1, SECTION ONE
YATES GARDENS
(DEED BOOK 159, PAGE 590)
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 20' JULY 29, 2020

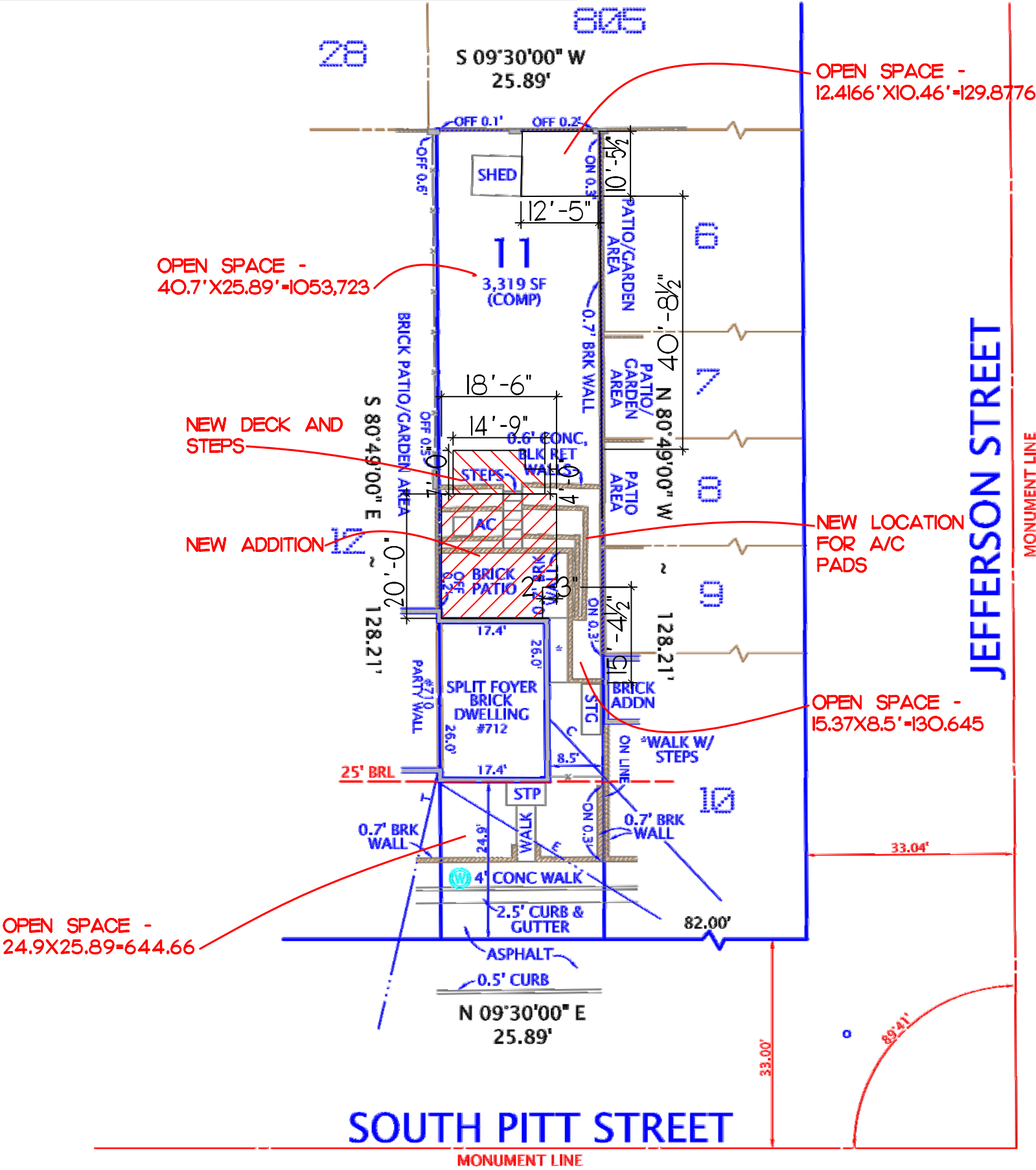
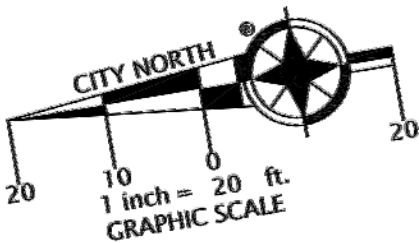
<p>I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:</p>	<p>07/29/2020 GEORGE M. O'QUINN LICENSE NO. 2069 <i>George M. O'Quinn</i></p>	<p>Ordered by: MW Construction Services, LLC 500 N. Washington Street Suite 202 Alexandria, Virginia 22314 Phone: 703-838-9788 Fax: 703-838-9789</p>
<p>THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD. A TITLE REPORT WAS NOT FURNISHED. NO CORNER MARKERS SET.</p>		<p>DOMINION Surveyors Inc.® 8808-H PEAR TREE VILLAGE COURT ALEXANDRIA, VIRGINIA 22309 703-619-6555 FAX: 703-799-6412</p>

NOTES: 1. FENCES ARE PICKET.
2. WALLS ARE 0.3' BRICK UNLESS NOTED.

OPEN SPACE REQUIREMENTS:
3319 X .35 = 1161.65

OPEN SPACE COMPUTED

644.66+130.645+129.8776+1053.723= 1958.9056



PLAT
SHOWING HOUSE LOCATION ON
LOT 11, BLOCK 1, SECTION ONE
YATES GARDENS
(DEED BOOK 159, PAGE 590)
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 20' JULY 29, 2020

I HEREBY CERTIFY THAT THE POSITIONS OF
ALL THE EXISTING IMPROVEMENTS HAVE BEEN
CAREFULLY ESTABLISHED BY A CURRENT FIELD
SURVEY AND UNLESS SHOWN THERE ARE NO
VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO
RESTRICTIONS OF RECORD.
A TITLE REPORT WAS NOT FURNISHED.
NO CORNER MARKERS SET.



Ordered by:



MW
Construction
Services, LLC

500 N. Washington Street
Suite 202
Alexandria, Virginia 22314
Phone: 703-838-9788
Fax: 703-838-9789



DOMINION

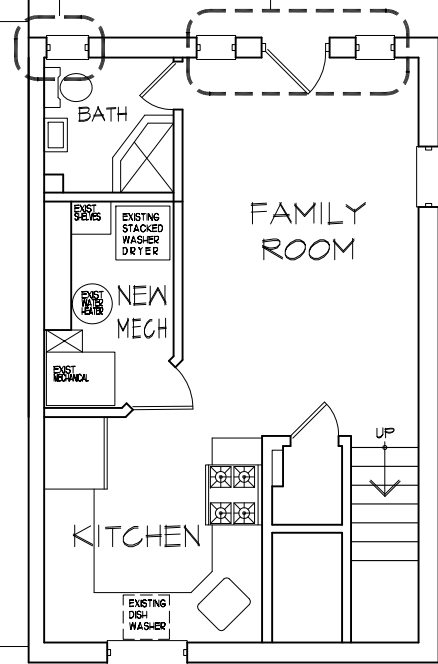
Surveyors
Inc.®

8808-H PEAR TREE VILLAGE COURT
ALEXANDRIA, VIRGINIA 22309
703-619-6555
FAX: 703-799-6412

PROPERTY
LINE

REMOVE
PORTION OF
WALL BELOW
WINDOW FOR
NEW DOOR
OPENING

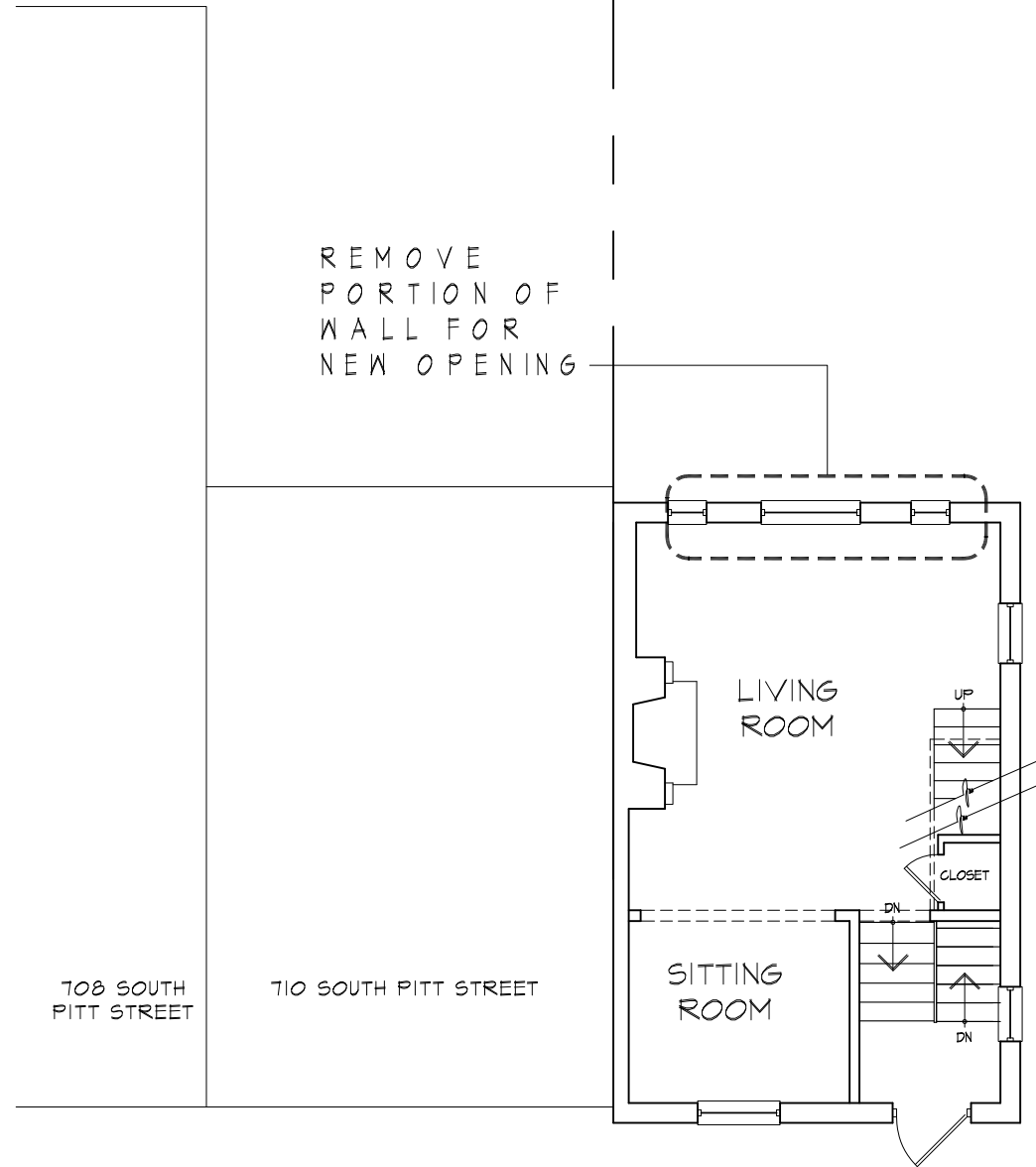
REMOVE
PORTION OF
WALL FOR
NEW OPENING



EXISTING
BASEMENT
P L A N
1/8" = 1'-0"

PROPERTY
LINE

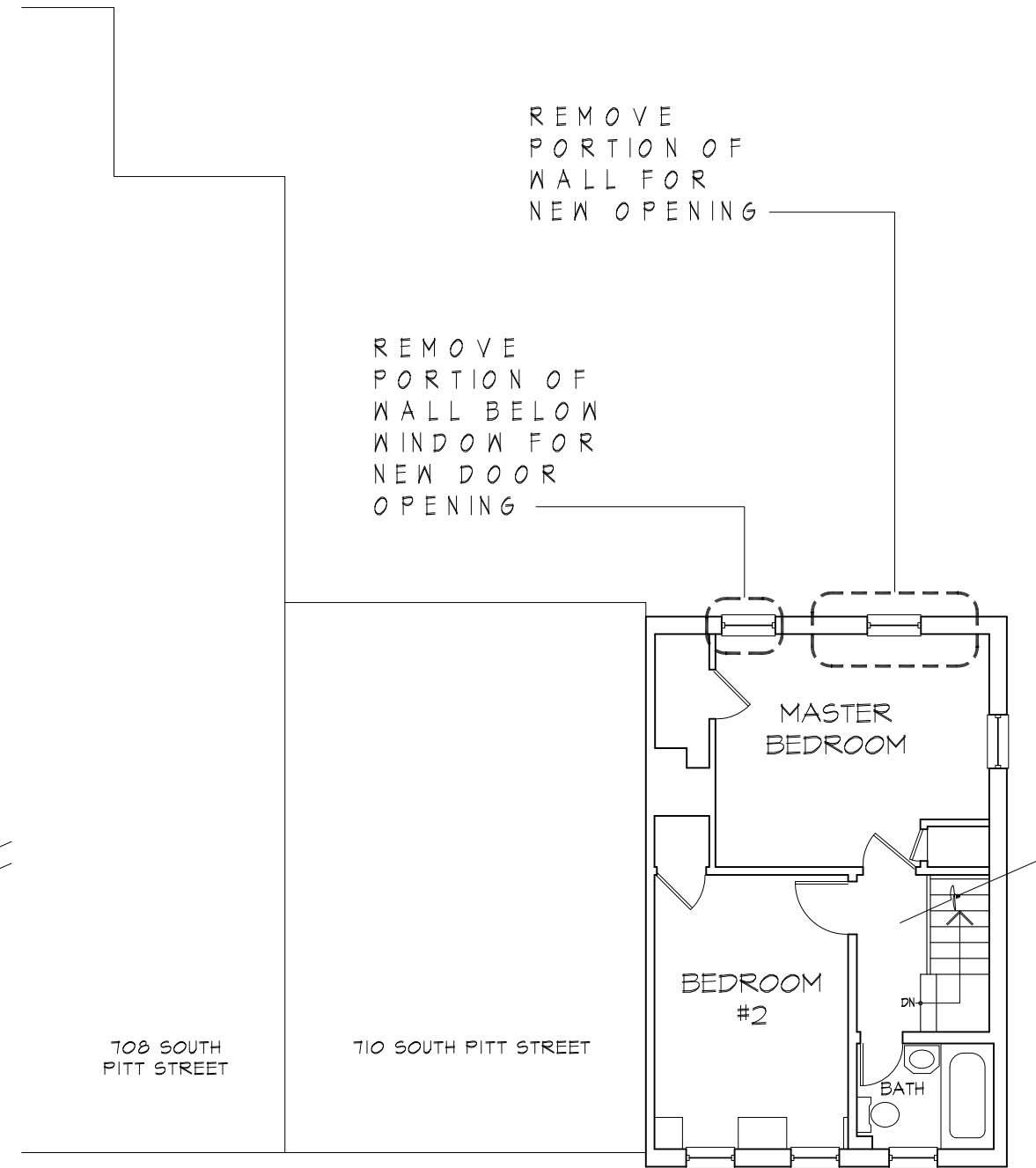
REMOVE
PORTION OF
WALL FOR
NEW OPENING



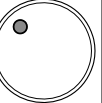
EXISTING
FIRST FLOOR
P L A N
1/8" = 1'-0"

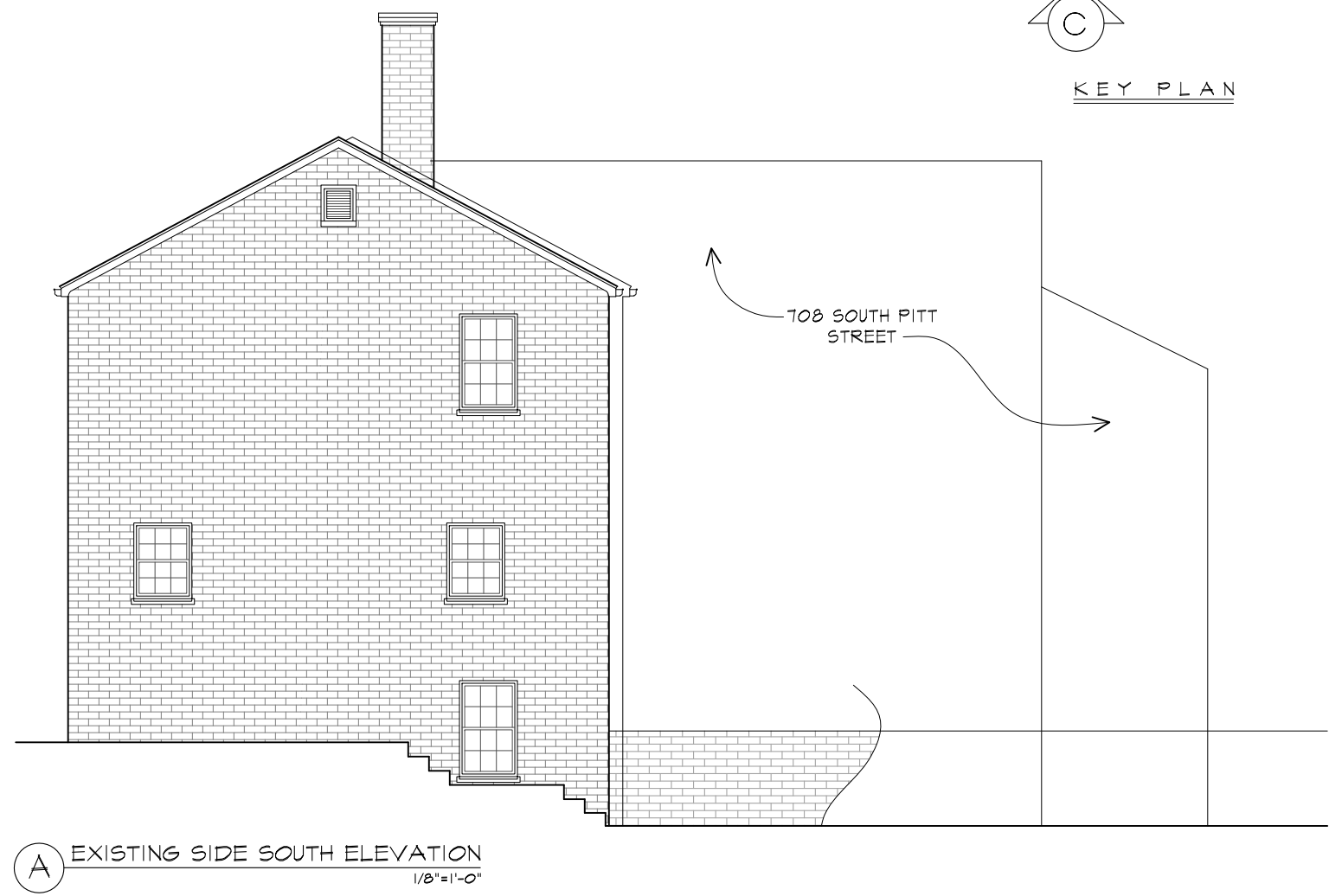
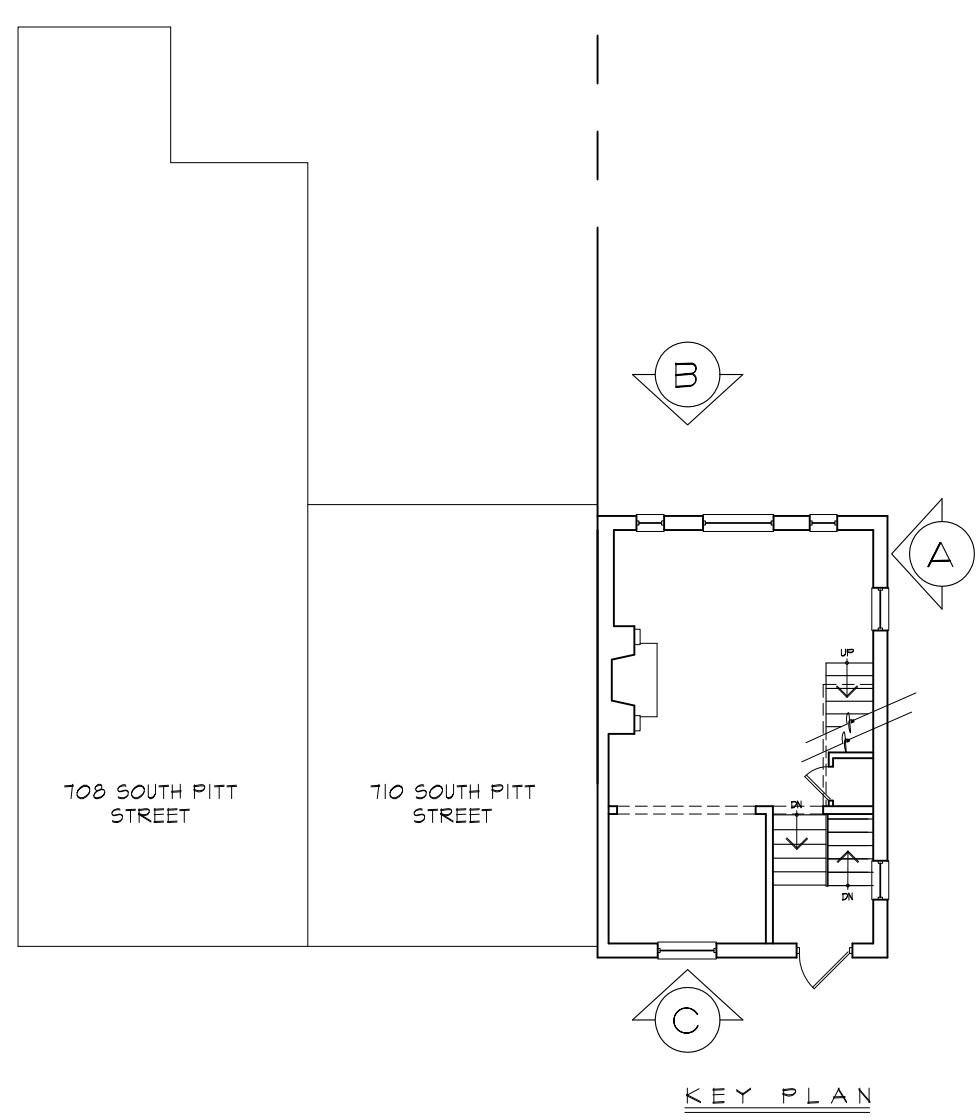
REMOVE
PORTION OF
WALL FOR
NEW OPENING

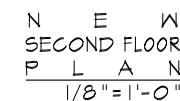
REMOVE
PORTION OF
WALL BELOW
WINDOW FOR
NEW DOOR
OPENING



EXISTING
SECOND FLOOR
P L A N
1/8" = 1'-0"







EXISTING
RIDGE

6'-3 1/2" FIELD VERIFY

EXIST 2ND
FLR CEILING

8'-1" FIELD VERIFY

EXISTING
SECOND FLOOR

1'-2 1/4" FIELD VERIFY

8'-0 1/2" FIELD VERIFY

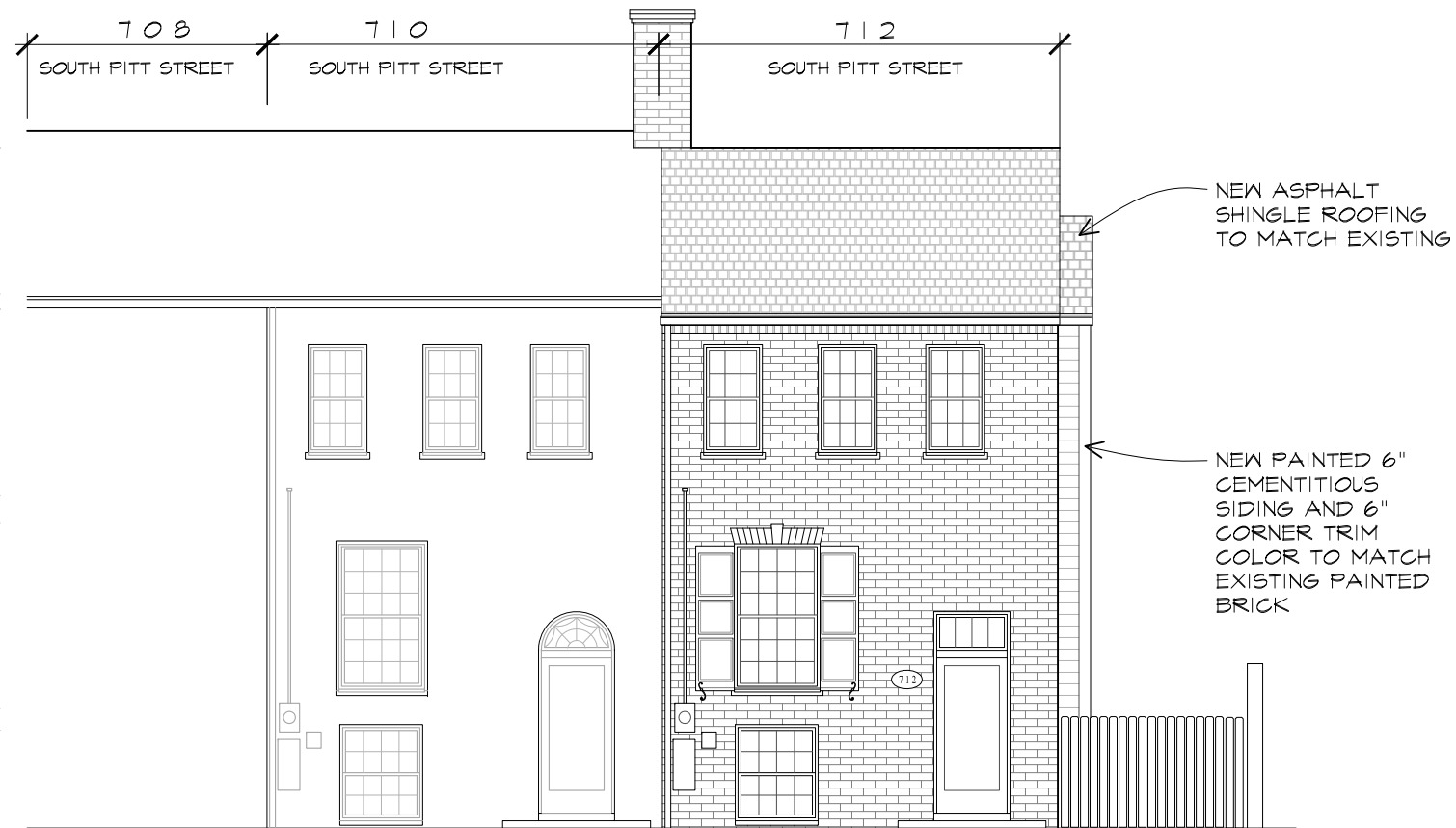
9'-2" FIELD VERIFY

EXISTING
FIRST
FLOOR

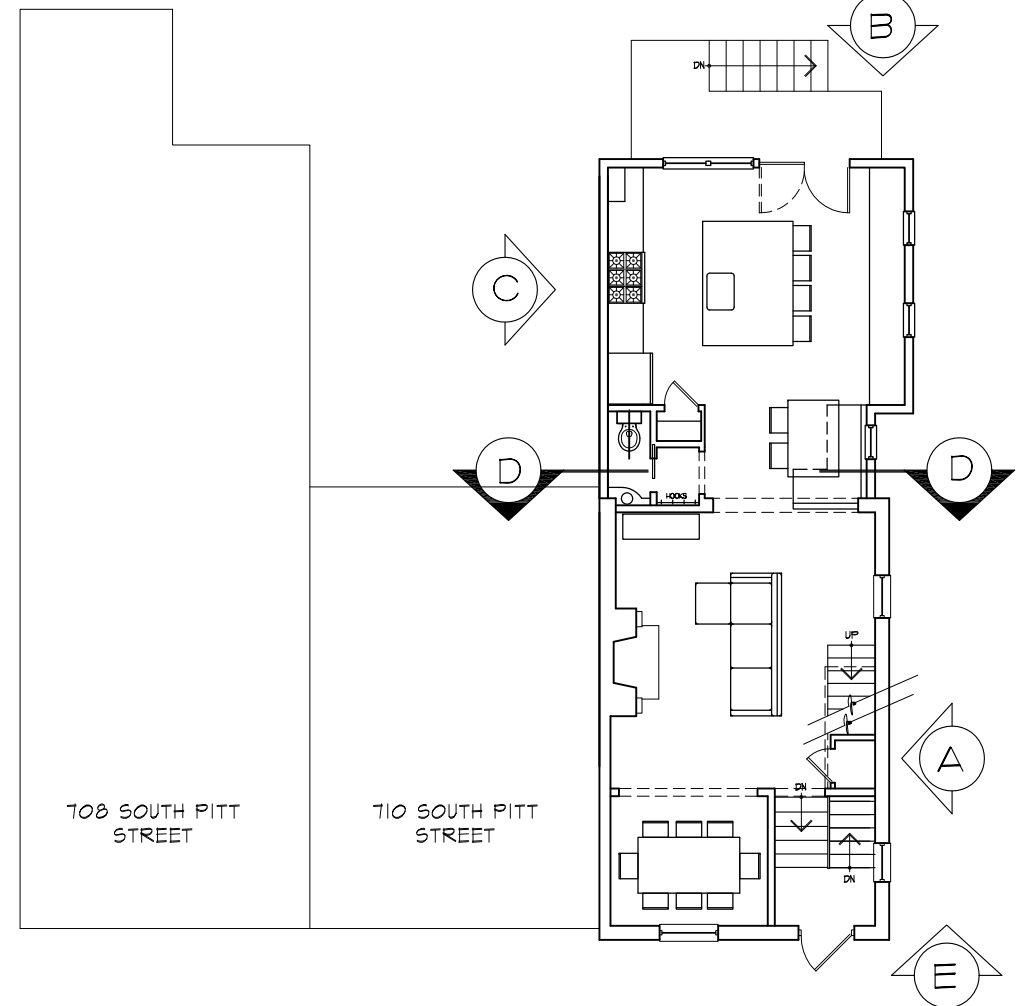
8'-11 1/2" FIELD VERIFY

8'-0 1/2" FIELD VERIFY

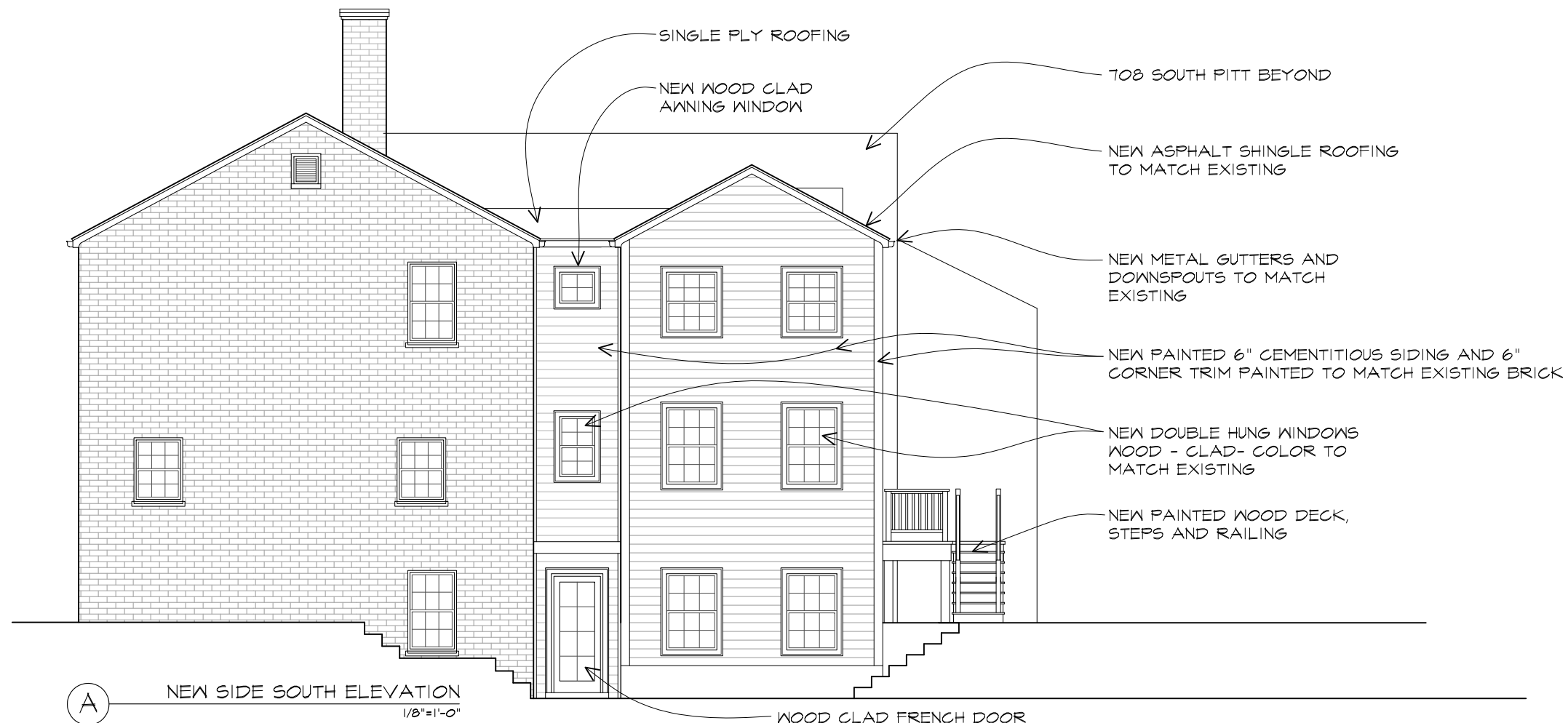
EXISTING
BASEMENT



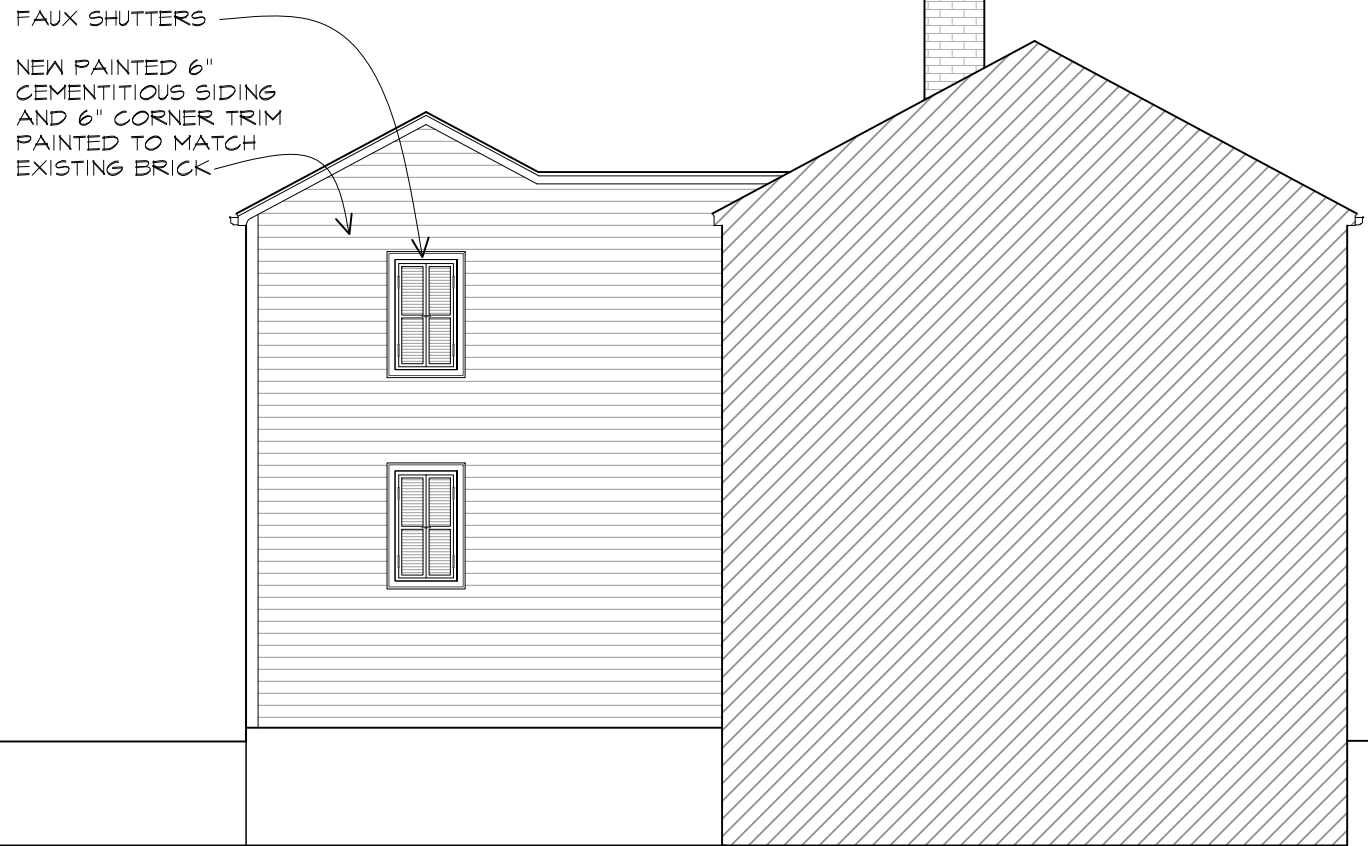
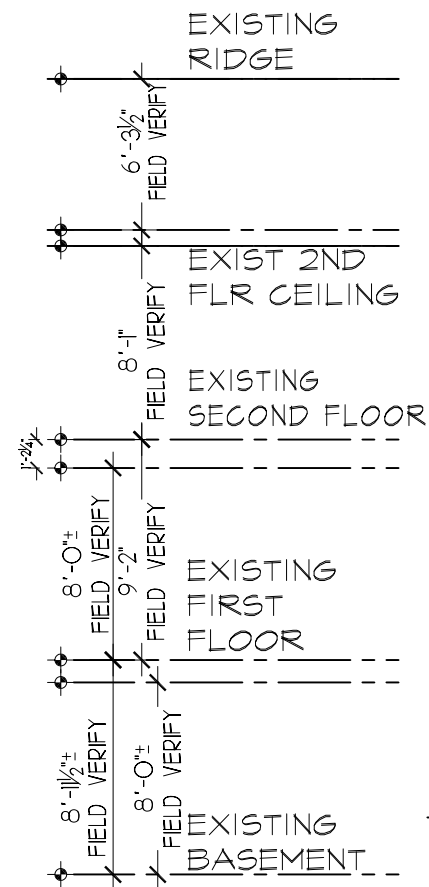
E NEW FRONT WEST ELEVATION
1/8"=1'-0"



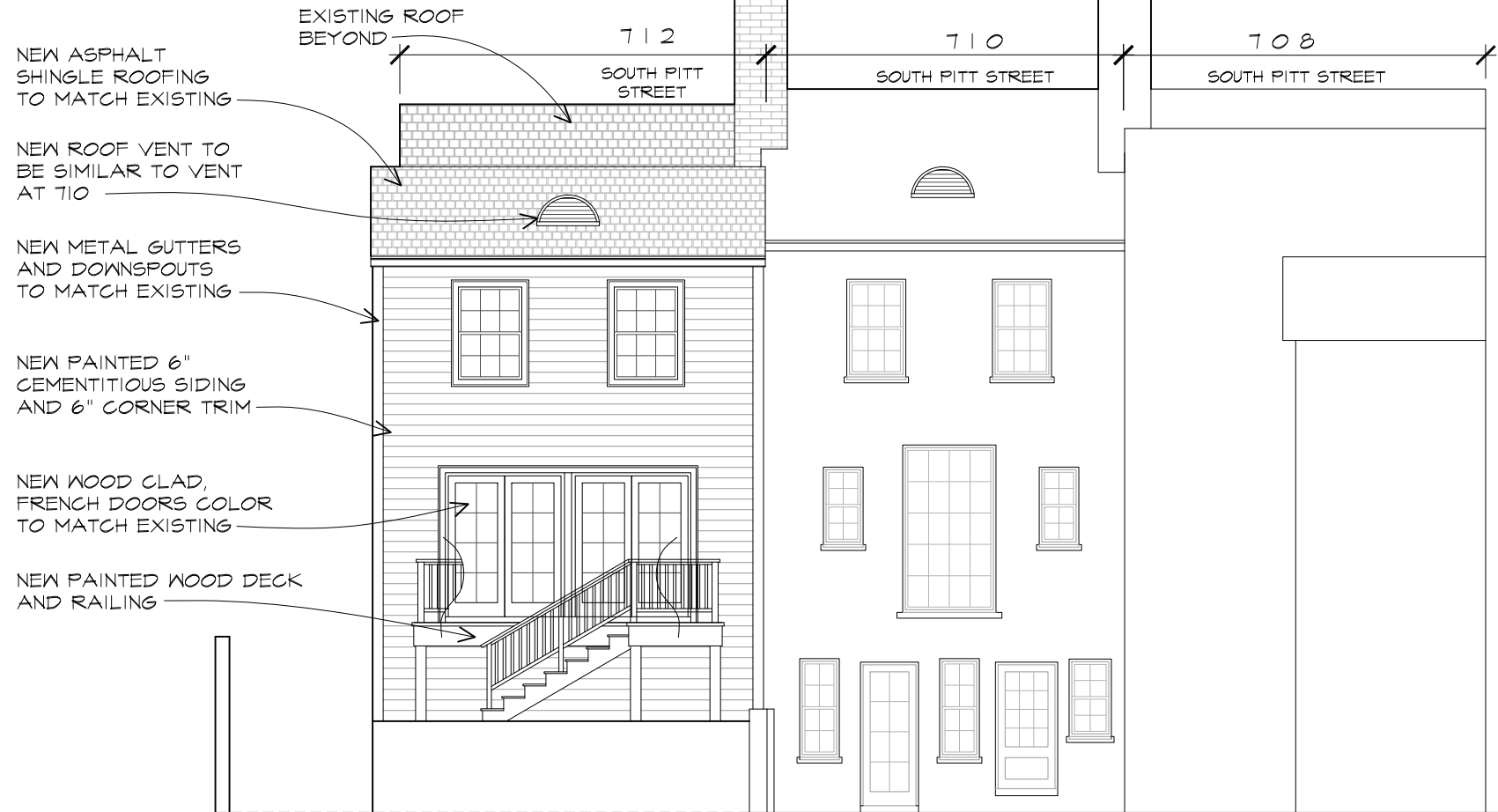
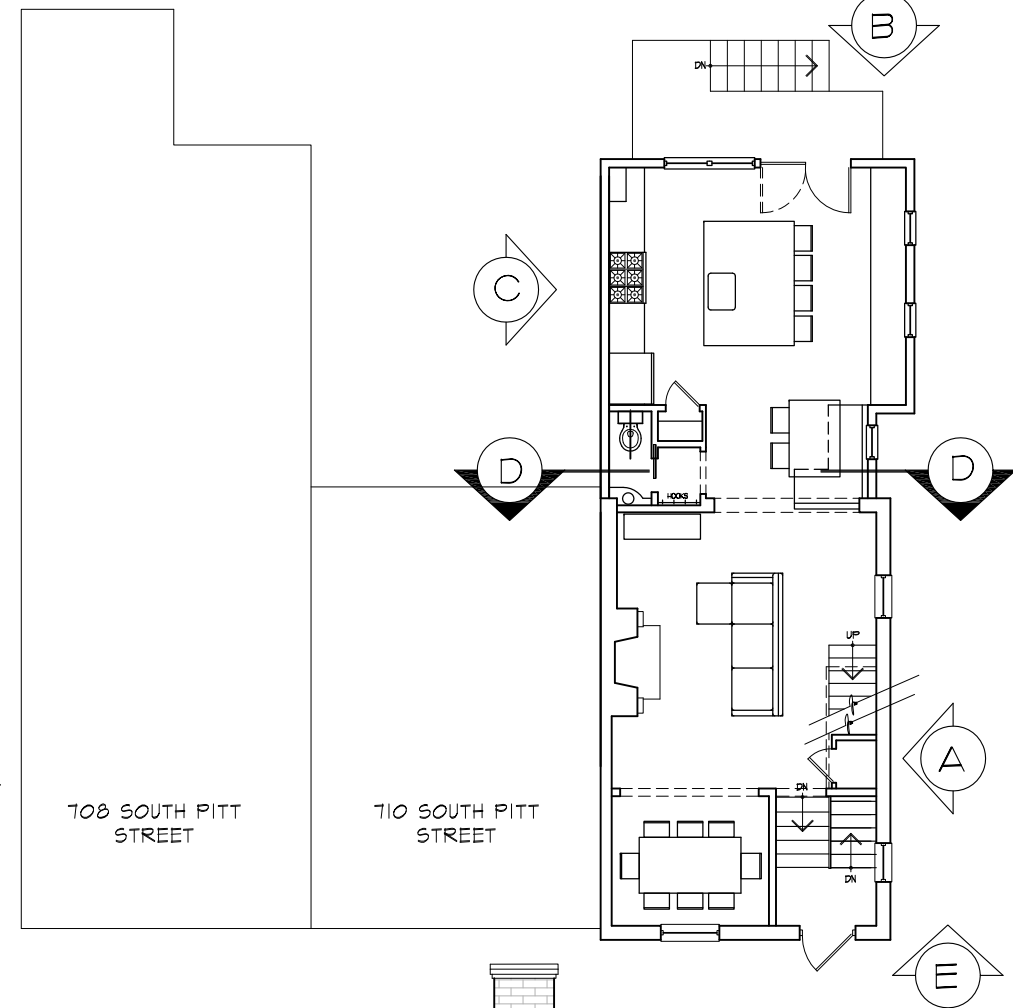
KEY PLAN



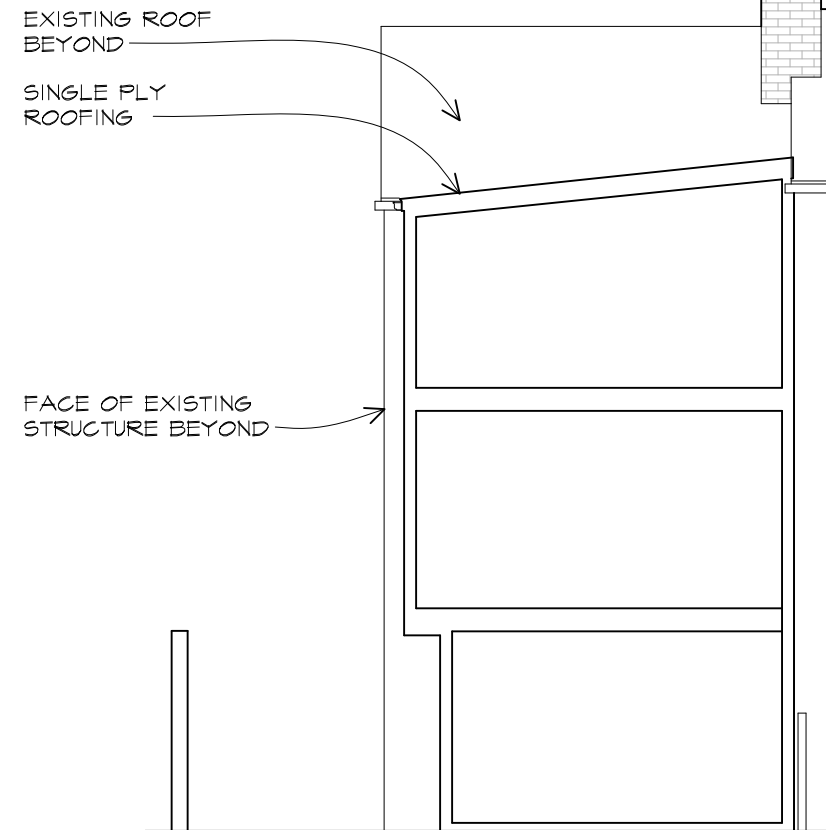
A NEW SIDE SOUTH ELEVATION
1/8"=1'-0"



C NEW SIDE NORTH ELEVATION
1/8"=1'-0"



B NEW REAR EAST ELEVATION
1/8"=1'-0"



D NEW EAST ELEVATION SECTION
1/8"=1'-0"



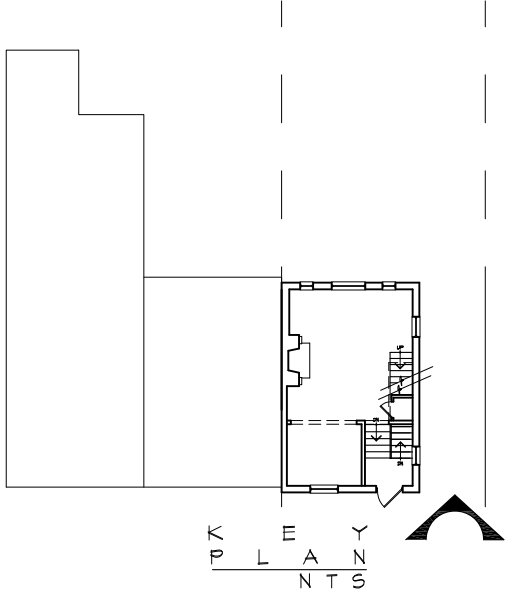
FRONT WEST ELEVATION
712 SOUTH PITT STREET



FRONT WEST ELEVATION
712 SOUTH PITT STREET



SIDE WEST ELEVATION
714 JEFFERSON STREET



PASTEUR

DESIGNS

9303 IRVING STREET
MAYNASSA, VA
20110-5110

E-MAIL: lucy@pasturdesigns.com

TELEPHONE: 703 393 8706
FACSIMILE: 703 393 8706

MARKS WOODS
CONSTRUCTION SERVICES

ALEXANDRIA VIRGINIA
712 SOUTH PITT STREET
AUGUST RESIDENCE

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ISSUE DATE
DESIGN
07/28/20
07/29/20

B A R
08/03/20

SHEET TITLE
PHOTOS

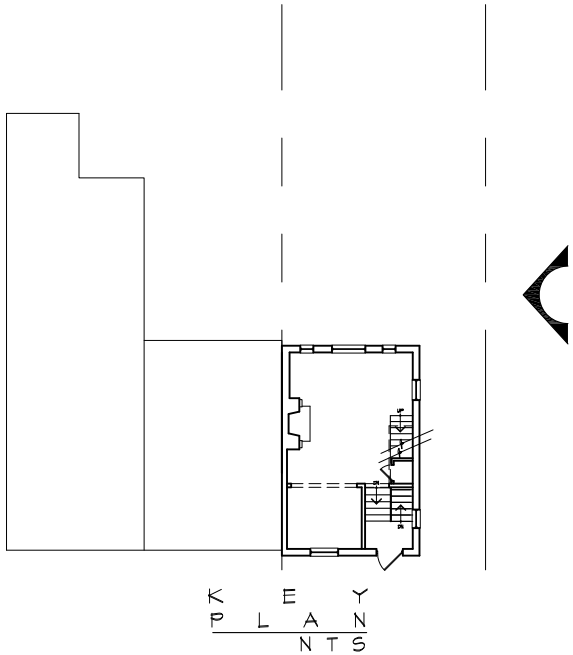
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A-6

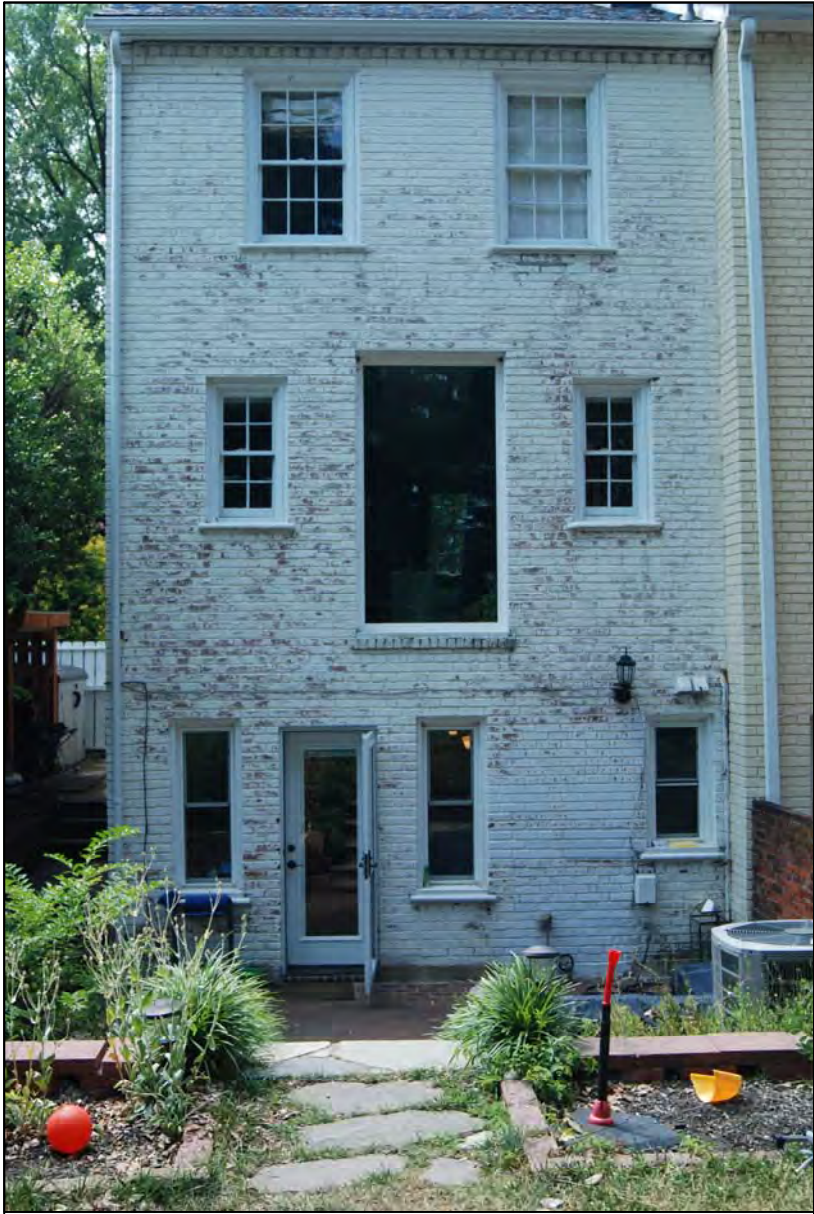


S I D E S O U T H E L E V A T I O N



S I D E S O U T H E L E V A T I O N





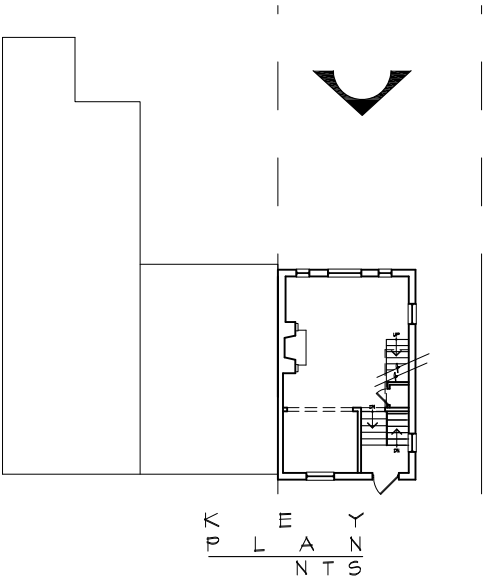
REAR EAST ELEVATION
712 SOUTH PITT STREET



REAR EAST ELEVATION
710 SOUTH PITT STREET



REAR EAST ELEVATION
708 SOUTH PITT STREET



City of Alexandria
Board of Architectural Review
301 King Street
City Council Chambers, 2nd Floor
Alexandria, Virginia 22314

Subject: Board of Architectural Review Meeting of September 16, 2020 - Proposed Addition to 712 South Pitt Street (Tax Assessment Map No. 080.04-01-15) in the Yates Gardens Section of Old & Historic Alexandria

Dear Ms. Lia Niebauer:

The purpose of this letter is to provide public comments pertaining to subject proposed project. My name is David Diamantopoulos and my wife Loredana and I are the owners of a townhouse at 413 Jefferson Street (Lot 7) in Yates Gardens since April 1997.

We do not support subject proposed addition being approved for the following reasons:

1. Visual Impact: Since the development of the Yates Garden section of Old & Historic Alexandria in the late 1930's, a key attribute and appeal of Yates Garden townhouses has been the adjoining brick gardens in the rear of each home that provides green space and an accompanying expansive view from the rear of the townhouses and gardens through the interior area of each Yates Garden city block. The construction of subject addition represents a substantial two-story structure that equates to approximately 87% (1,161.75/1,334.61 Sq. Ft.) of the size of the current townhouse. As the length of subject proposed addition would extend completely across the rear garden of 417 Jefferson Street (Lot 9), and halfway across the rear garden of 415 Jefferson Street (Lot 8), the current visual expanse from the rear of both townhouses would be replaced by the subject large addition. Based on the drawing, it appears that the addition would measure approximately 7.39 feet from the rear garden wall of both townhouses (415 and 417 Jefferson Street, Lots 9 and 8 respectively). The view to the west from the rear of our townhouse (413 Jefferson Street, Lot 7) would also be negatively impacted, albeit to a less severe extent.


2. Design of Proposed Addition: The City of Alexandria, Virginia Design Guidelines applicable to residential additions within the Old & Historic Alexandria District states that, "Additions must be designed so that they are compatible with both the architectural character of the existing house and the immediate neighborhood." The existing Yates Garden townhouse at 712 South Pitt Street is located on the Yates Garden city block comprised of South Pitt Street, South Jefferson Street, South Royal Street and Franklin Street. Consistent with all Yates Garden city blocks, the predominant material design characteristics are that of brick faced townhouses with either slate or metal roofs. The existing 712 South Pitt Street townhouse is brick faced with a slate roof. The proposed addition that would equate to approximately 87% of the existing 712 South Pitt Street townhouse, would include, "new painted 6" cementitious siding and 6" corner trim painted to match existing brick". The proposed roofing material is "new asphalt shingle roofing to match existing". This design approach and associated materials does not seem to be consistent with the aforesaid, City of Alexandria, Virginia Design Guidelines applicable to residential additions within the Old & Historic Alexandria District. I believe that is appropriate for Yates Garden homeowners to expect a comparable degree of design compatibility and architectural character when they exit the rear of their homes as they have when they enter the front of their homes.

3. Fire Safety Impact: The Yates Garden section of the Old & Historic Alexandria District was designed in the late 1930's to feature townhouses along the perimeter of city block that surrounds a central open green

space comprised of adjoining brick gardens. Unlike other older sections of the Old & Historic Alexandria District, there are no cross-block alleyways through the interior areas of Yates Garden city blocks, and therefore access to the interior area of Yates garden city blocks is extremely limited. As open green space within the perimeter of Yates Garden city blocks is replaced by large additions to the rear of Yates Garden townhouses, the risk of fire spread increases as townhouses become much closer in proximity to one another. In the event of a fire, the extreme limited access to structures encroaching within the interior central area within Yates Garden city blocks would seem to pose a significant risk of fire spread in which the Alexandria Fire Department would have limited ability to effectively control due to the original design of the Yates garden subdivision back in the late 1930's, that contemplated open green space within the perimeter of Yates garden city blocks rather than additional buildings.

4. Preservation of Yates Gardens: As unfortunate as it would be for long-term homeowners in the Yates Gardens Section of Old & Historic Alexandria to suddenly find the overall appeal of their properties negatively impacted in such manner, there is one additional concern that I find to be of even greater significance. The Yates Garden townhomes have existed in the Old & Historic Alexandria for approximately 80 years. The original layout and design of this section of Old Town has resulted in these properties having great residential appeal. In the long-run, each Yates Garden homeowner is a temporary resident. There will be generations of future Yates Garden residents that deserve, and would appreciate, the appealing features that are associated with these properties, and the Yates Garden subdivision as it had been originally designed.

Respectfully,


David Diamantopoulos and Loredana Diamantopoulos
413 Jefferson Street
Alexandria, VA 22314-4327

To: The Alexandria Board of Architectural Review
Re: Objections to the proposed extension at 712 South Pitt Street – for BAR hearing
on September 16, 2020

My name is Joyce Malcolm, the owner of the townhouse at 411 Jefferson Street (Lot 6) in Yates Garden. I have lived here for twelve years. This part of Alexandria is special for its lovely gardens and open views of trees and greenery from our backyards. Our houses are small but the expansive, even lush views of trees and gardens from our little yards adds a spacious sense that we value and that was part of the original plan for Yates Garden.

The property at 712 Pitt Street has a yard that goes behind five of our homes. The planned extension not only doubles the size of the house at 712, it is wider than the existing house. The extension would be only seven feet from the back property line of these Jefferson Street houses, not only blocking off light and views from three of the houses, but will effectively hem them in on a third side, and create a narrow alley behind their brick walls. The addition would rise straight up nearly three stories. The impact for the Jefferson Street houses would be dense, cramped city living.

The ground level at 712 Pitt Street is more than four feet above that of the ground level of our houses on Jefferson Street. The planned addition would, therefore, loom over the yards on Jefferson Street, even more so since the planned basement level would actually be above us.

The planned addition would immediately impact the quality of life of the homes it blocked and greatly reduce both the attractiveness, livability and value of our properties.

I realize that property owners have options to build on their property. But this proposed addition immediately diminishes the value of four other properties. A smaller addition, set back from the Jefferson Street houses and compatible with the architecture of the present and surrounding houses would have a less drastic impact while still allowing the property owners at 712 South Pitt Street to expand their living space.

I strongly urge the Architectural Review Board to reject the proposed extension and urge the petitioners to submit a smaller version.

Sincerely,
Joyce Malcolm



From: [carol.wallack](#)
To: [Lia.Niebauer](#)
Cc: [carol.wallack](#)
Subject: [EXTERNAL]Comments for Board of Architectural Review Meeting on September 16, 2020
Date: Tuesday, September 8, 2020 6:38:17 PM

To: The Alexandria Board of Architectural Review
Re: Objections to the proposed extension at 712 South Pitt Street - for hearing on September 16, 2020

My name is Carol Wallack and I am the owner of the townhouse at 417 Jefferson Street (Lot 9) in Yates Garden. I have lived here for 25 years. My house is immediately around the corner from the townhouse at 712 S. Pitt Street. The back of my backyard shares a brick wall with the side of the backyard of that house. (See photo below. I will send other photos in another email.)

Consistent with the prime attraction of Yates Garden, I currently have a beautiful backyard with lovely views of the greenspace--backyards, trees, plants and flowers--in the interior of the block. My backyard is, however, already blocked in on two sides. The proposed addition at 712 S. Pitt will entirely block me in on a third side. It will be like living in a cubicle.

The proposed addition is really a three story addition because the "basement" is on the ground floor in the back of the house. Thus, the addition is very high and will tower over my backyard. Moreover the addition goes very far back and blocks off all of my house and at least half of the house next door (415 Jefferson). I also believe that the addition is wider than the original house and thus that there will not be much space between the back wall of my yard and the addition. They also intend to put their air conditioning units right up next to my back wall and the plans show windows looking right over my yard (which I am unsure is permissible).

The addition will completely block the light to my backyard and house. It will also block all the lovely views, even from the second floor of my house. The ACs will add noise.

The addition will significantly diminish my enjoyment of my home. It also will diminish the value of my house and make it more difficult to sell.

To me, the architectural character of Yates Garden is extremely important. That character includes greenspace in the interiors, appropriate scaling of the size of the houses, houses made of brick and roofs made of slate. The proposed addition complies with none of these architectural characteristics. Increasing the density, diminishing the greenspace, and building with cheaper materials will destroy the architectural character and importance of this great neighborhood. I beg you not to allow this not only for my sake but for the architectural integrity of this beautiful historic town.

I would like the opportunity to comment further at the hearing on September 16, 2020. Please let me know if I need to do anything to register to do so. Also, I would sincerely appreciate your confirming that you received this email.

Sincerely,

Carol Wallack



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source.

From: [J.D. Beary](#)
To: [Lia Niebauer](#)
Cc: [Bryn Beary](#); [J.D. Beary](#)
Subject: [EXTERNAL]Comments for Board of Architectural Review Meeting on September 16, 2020
Date: Tuesday, September 8, 2020 11:48:45 PM

Dear Ms. Niebauer,

Our names are John and Bryn Beary and we are the owners of the townhouse at 415 Jefferson Street (Lot 8) in Yates Garden. The home has been in our family since my aunt bought it in 1960. She was not an original owner but was pretty close to it. Our backyard shares a large portion of the back yard with 712 South Pitt Street.

My late aunt, a prominent artist devoted to Alexandria, created much of her work in her art studio, which sits at the back of 415 Jefferson Street. This studio was designed to optimize light and provide inspiring views of greenspaces, which will be jeopardized by the proposed addition. For context, President Lyndon Johnson, during his tenure in the White House, sat for his official bust in this studio and my aunt also created the clay model for what became the bronze BRIO, which has adorned the Town Square for decades. My wife is an artist as well and after our kids are older, she aspires to also create in this space. If this addition goes through, the functionality of the studio will be substantially diminished.

Further, this addition will limit the use of our backyard. Given the length of the proposed extension of 712 S Pitt and proximity to our lot (and that of 417 Jefferson), the aforementioned light issue will substantially limit the usability of our backyards -- rendering our greenspace and gardens effectively useless. This will undoubtedly limit the enjoyability of our home and almost certainly diminish its value.

Perhaps of most concern to me is that this addition will fundamentally change the character of our home (and that of our neighbors at 417 and 413). My aunt thoughtfully designed the home to open up to our backyard with views of greenspace beyond. These memories for me date back almost 40 years and for my mother almost 60 years. I hope to share those same memories with my children. Yates Garden is a neighborhood where the people have changed, but the essence of the neighborhood remains consistent.

As we know that the board is charged with maintaining the character and architectural consistency in Yates Garden, I hope that you will agree that this addition complies with neither and not allow it to proceed.

We would appreciate confirmation that you received this email and that our comments will be considered at this hearing.

Sincerely,

JD and Bryn Beary

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