

**ISSUE:** Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

**APPLICANT:** Christina Schoeler & Paul Fischer

**LOCATION:** Old and Historic Alexandria District  
912 Green Street

**ZONE:** RM/Residential Townhouse Zone

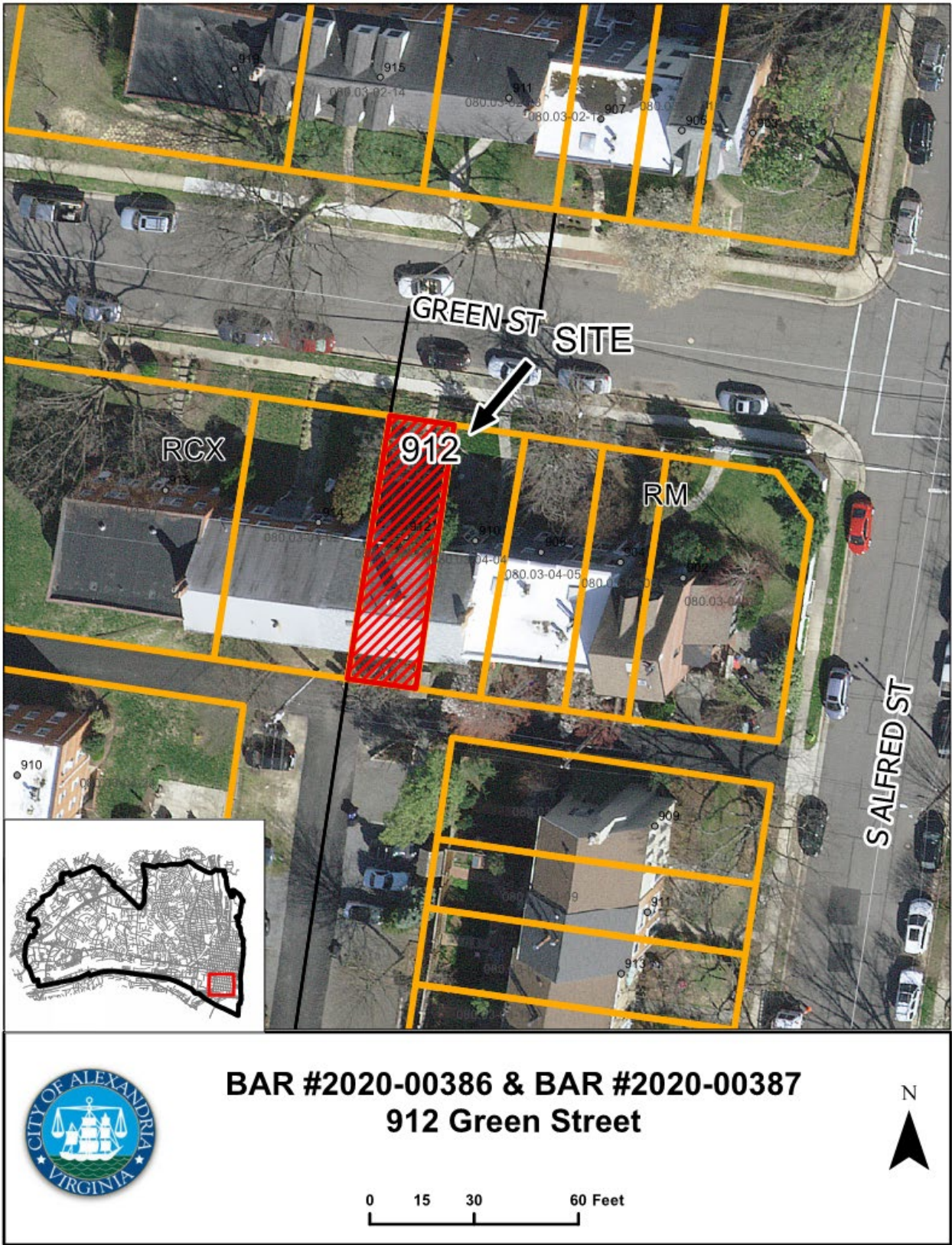
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**STAFF RECOMMENDATION**

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness, with the condition that the proposed vinyl siding is replaced with a solid and paintable siding material, such as HardiePlank or Boral (or a similar product).

**GENERAL NOTES TO THE APPLICANT**

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



**Note:** Staff coupled the applications for a Permit to Demolish (BAR #2020-00386) and Certificate of Appropriateness (BAR #2020-00387) for clarity and brevity. The Permit to Demolish requires a roll call vote.

## **I. APPLICANT'S PROPOSAL**

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for a dormer on the rear roof slope at 912 Green Street.

### Permit to Demolish/Capsulate

Demolish a 10' 11" by 14' portion of the south-facing rear roof slope (approximately 150 square feet) to accommodate a new attic dormer.

### Certificate of Appropriateness

The addition consists of a new attic (third floor) shed roof dormer on the rear (south) roof slope. The dormer will be inset over four feet on the shared property lines and will have a pair of double-hung multi-light windows. Materials consist of vinyl siding, a rubber roof, and Pella Reserve traditional simulated divided light, double-hung, aluminum-clad windows in a six-over-six configuration. Staff notes that while some of the drawings show full light windows on the house, all of the existing windows on the house are multi-light and will remain. No changes are proposed on the front façade.

### Site context

This property is a mid-block attached townhouse on the last block of Green Street before the Rt. 1 sound barrier. The townhouse is the last building on the western edge of the Old & Historic Alexandria District.

## **II. HISTORY**

The attached townhouse at 912 Green Street was constructed between **1941-1958** as an apartment building according to the Sanborn Fire Insurance Maps. The eastern portion of this row was converted from apartments to individual fee simple townhouses sometime in the 1970s.

### *Previous BAR Approvals*

Staff could locate no previous BAR approvals for the subject property.

## **III. ANALYSIS**

### Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B) which relate only to the subject property and not to

neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

In the opinion of staff, while this mid-20<sup>th</sup> century townhouse is a successful background building and compatible with nearby historic resources, it is without individual historical significance or uncommon architectural merit and not of the criteria for demolition or capsulation are met and the Permit to Demolish should be granted.

#### Certificate of Appropriateness

The request for attic dormers is not unusual in the historic districts, as residents seek to achieve additional living space while preserving outdoor space. Although the *Design Guidelines* generally discourage the installation of shed style dormers, in recent years the Board has approved many shed dormers, especially on later buildings. In the opinion of staff, the design of the dormer complies with the overall intent of the *Guidelines*, which is to be stylistically appropriate and not out of scale with the building. The Board's policies on modern materials support the use of

aluminum clad windows on this post-1934 building, but not the use of vinyl siding. Instead of vinyl siding, staff recommends that the applicant use a solid and paintable siding product such as HardiePlank (fiber cement) or Boral (poly-ash), or a similarly manufactured product.

**STAFF**

Stephanie Sample, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

**IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

**Zoning**

C-1 Proposed new dormer complies with zoning.

**Code Administration**

C-1 A building permit is required prior to the start of construction.

**Transportation and Environmental Services**  
**CONDITIONS**

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

**FINDINGS:**

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

## CODE REQUIREMENTS

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

## V. ATTACHMENTS

- 1 – Application for BAR 2020-00386 & 2020-00387: 912 Green Street*
- 2 – Supplemental Materials*



ADDRESS OF PROJECT: 912 Green StDISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old BuildingTAX MAP AND PARCEL: 080.03-04-03 ZONING: RMAPPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH*(Required if more than 25 square feet of a structure is to be demolished/impacted)*☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
*(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)*Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*Name: Christina Schoeler & Paul FischerAddress: 912 Green StCity: Alexandria State: VA Zip: 22314Phone: 330-414-4680 E-mail: caschoeler@gmail.com; paulfish06@gmail.comAuthorized Agent *(if applicable)*: ☐ Attorney ☒ Architect ☐ \_\_\_\_\_Name: Christopher Chu Phone: 908-656-1992E-mail: CCHU@MOSSBUILDINGANDDESIGN.COM**Legal Property Owner:**Name: Christina Schoeler & Paul FischerAddress: 912 Green StCity: Alexandria State: VA Zip: 22314Phone: 330-414-4680 E-mail: caschoeler@gmail.com; paulfish06@gmail.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☒ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☐ NEW CONSTRUCTION  
☐ EXTERIOR ALTERATION: *Please check all that apply.*  

☐ awning  
☐ doors  
☐ lighting  
☐ other \_\_\_\_\_

☐ fence, gate or garden wall  
☐ windows  
☐ pergola/trellis

☐ HVAC equipment  
☐ siding  
☐ painting unpainted masonry

☐ shutters  
☐ shed
- ☒ ADDITION  
☒ DEMOLITION/ENCAPSULATION  
☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

Proposed rear shed dormer on attic level of townhouse at 912 Green Street. The dormer is of typical design. The dormer is centered on the townhouse width and the existing roof eave overhang is to remain.

The shed dormer extends from existing roof ridge to existing rear exterior wall. It is 10'-11" in width and 14'-0" deep.

The siding is proposed Cedarboard's "Natural Clay" 5" lap vinyl siding. The windows are proposed Pella  
 The roofing is proposed black rubber membrane.

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.  
☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.  
☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.  
☐ ☐ Description of the reason for demolition/encapsulation.  
☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.



**Additions & New Construction:** *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☐ <sup>N/A</sup> ☒ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☒ FAR & Open Space calculation form.
- ☐ ☒ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☒ Existing elevations must be scaled and include dimensions.
- ☐ ☒ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☒ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ <sup>N/A</sup> ☐ Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- ☐ ☐ Square feet of existing signs to remain: \_\_\_\_\_.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** *Check N/A if an item in this section does not apply to your project.*

- ☐ <sup>N/A</sup> ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
  - ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
  - ☒ I, the applicant, or an authorized representative will be present at the public hearing.
  - ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.
- 

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: Christopher Chu

Printed Name: Christopher Chu, MOSS BUILDING AND DESIGN

Date: 7/31/2020

# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Christina Schoeler & Paul F	912 Green St, Alexandria, VA 22314	100
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 912 Green St (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Christina Schoeler & Paul Fischer	912 Green St, Alexandria, VA 22314	100
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2.		
3.		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

7/30/2020

Date

Christina Schoeler and Paul Fischer

Printed Name



Signature



# Department of Planning and Zoning

## Floor Area Ratio and Open Space Calculations

as of 12/20/18

**B**

### A. Property Information

A1.  Street Address  Zone

A2.  Total Lot Area x  Floor Area Ratio Allowed by Zone =  Maximum Allowable Floor Area

### B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	B1. <input type="text"/> Sq. Ft.
First Floor	<input type="text"/>	Stairways**	<input type="text"/>	Existing Gross Floor Area*
Second Floor	<input type="text"/>	Mechanical**	<input type="text"/>	B2. <input type="text"/> Sq. Ft.
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	Allowable Floor Exclusions**
Attic	<input type="text"/>	Porches**	<input type="text"/>	B3. <input type="text"/> Sq. Ft.
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	Existing Floor Area Minus Exclusions
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>	(subtract B2 from B1)
Lavatory***	<input type="text"/>	Other**	<input type="text"/>	Comments for Existing Gross Floor Area
Other**	<input type="text"/>	Other**	<input type="text"/>	
B1. <u>Total Gross</u>	<input type="text"/>	B2. <u>Total Exclusions</u>	<input type="text"/>	

### C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	C1. <input type="text"/> Sq. Ft.
First Floor	<input type="text"/>	Stairways**	<input type="text"/>	Proposed Gross Floor Area*
Second Floor	<input type="text"/>	Mechanical**	<input type="text"/>	C2. <input type="text"/> Sq. Ft.
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	Allowable Floor Exclusions**
Attic	<input type="text"/>	Porches**	<input type="text"/>	C3. <input type="text"/> Sq. Ft.
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	Proposed Floor Area Minus Exclusions
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>	(subtract C2 from C1)
Lavatory***	<input type="text"/>	Other**	<input type="text"/>	
Other	<input type="text"/>	Other**	<input type="text"/>	
C1. <u>Total Gross</u>	<input type="text"/>	C2. <u>Total Exclusions</u>	<input type="text"/>	

### D. Total Floor Area

D1.  Sq. Ft.  
Total Floor Area (add B3 and C3)

D2.  Sq. Ft.  
Total Floor Area Allowed by Zone (A2)

### E. Open Space

E1.  Sq. Ft.  
Existing Open Space

E2.  Sq. Ft.  
Required Open Space

E3.  Sq. Ft.  
Proposed Open Space

### Notes

\*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

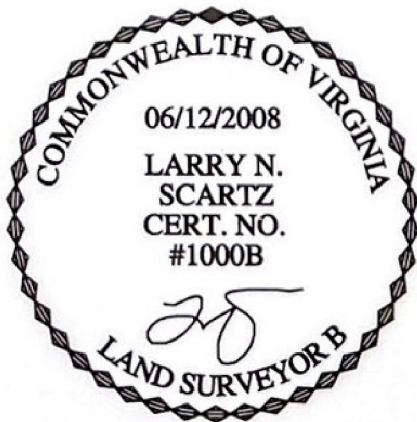
\*\*\*Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

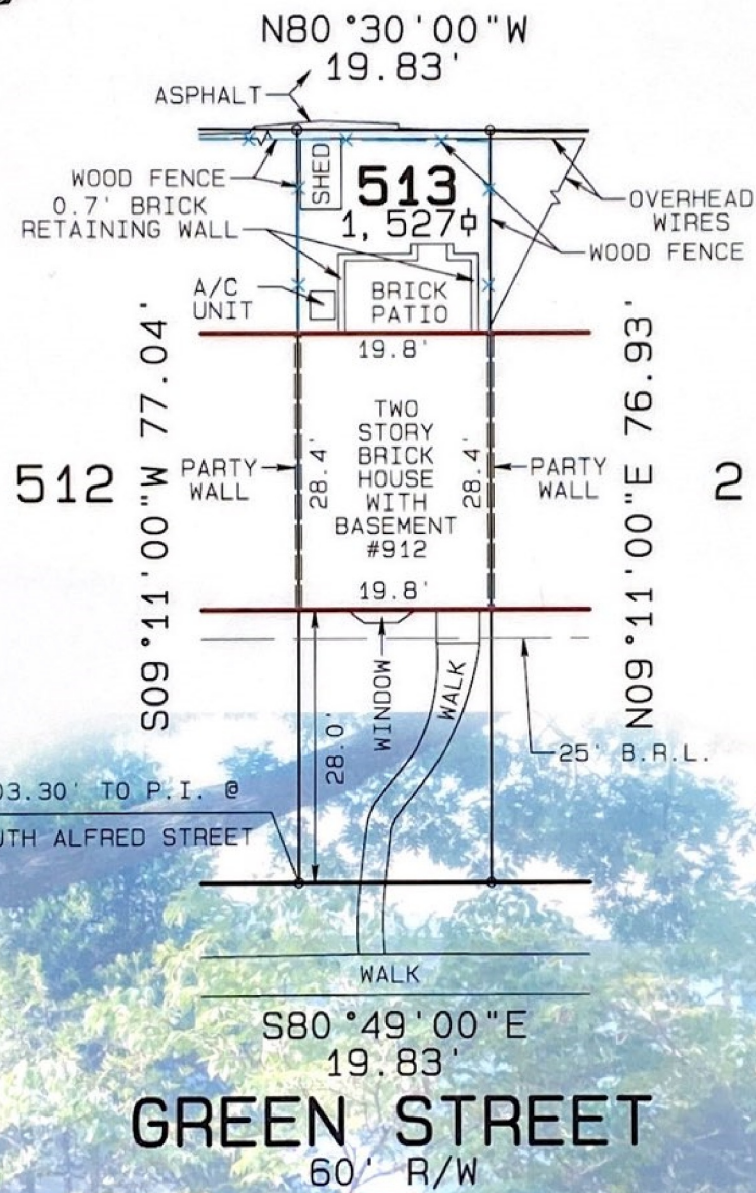
Signature: Christopher Chu

Date: 7/29/2020





12' PUBLIC ALLEY



PHYSICAL IMPROVEMENTS SURVEY  
LOT 513, BLOCK 4  
**HUNTING CREEK HOMES**

CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1"=20' DATE: JUNE 12, 2008

CASE NAME: STEELE  
TO BAGLIONE (OTAW0805052)

**MBH**  
Settlement Group, L.C.

NO TITLE REPORT FURNISHED.

PLAT SUBJECT TO RESTRICTIONS & EASEMENTS OF RECORD OR OTHERWISE.

FENCE LOCATIONS, IF SHOWN, ARE APPROXIMATE ONLY  
AND DO NOT CERTIFY AS TO OWNERSHIP.

LARRY N. SCARTZ, LTD.

LARRY N. SCARTZ  
CERTIFIED LAND SURVEYOR  
WOODBIDGE, VIRGINIA

LOCAL (703) 494-4181  
METRO (703) 690-4955  
FAX (703) 690-3999

**LNS**

TAX MAP# 080.03-04-03

JOB# 20081017

MN



4125 LAFAYETTE CENTER DRIVE, SUITE 100  
CHANTILLY, VA 20151  
P: 703.961.7707

DESIGNER  
Tyler Tappan  
(703) 961-7707, x893  
TTappan@MossBuildingAndDesign.com

DRAWING:

EXISTING PLAT

SUBMISSION:

PRELIM BAR SUBMITTAL

**SCHOELER RESIDENCE**  
**912 GREEN ST**  
**ALEXANDRIA, VA 22314**

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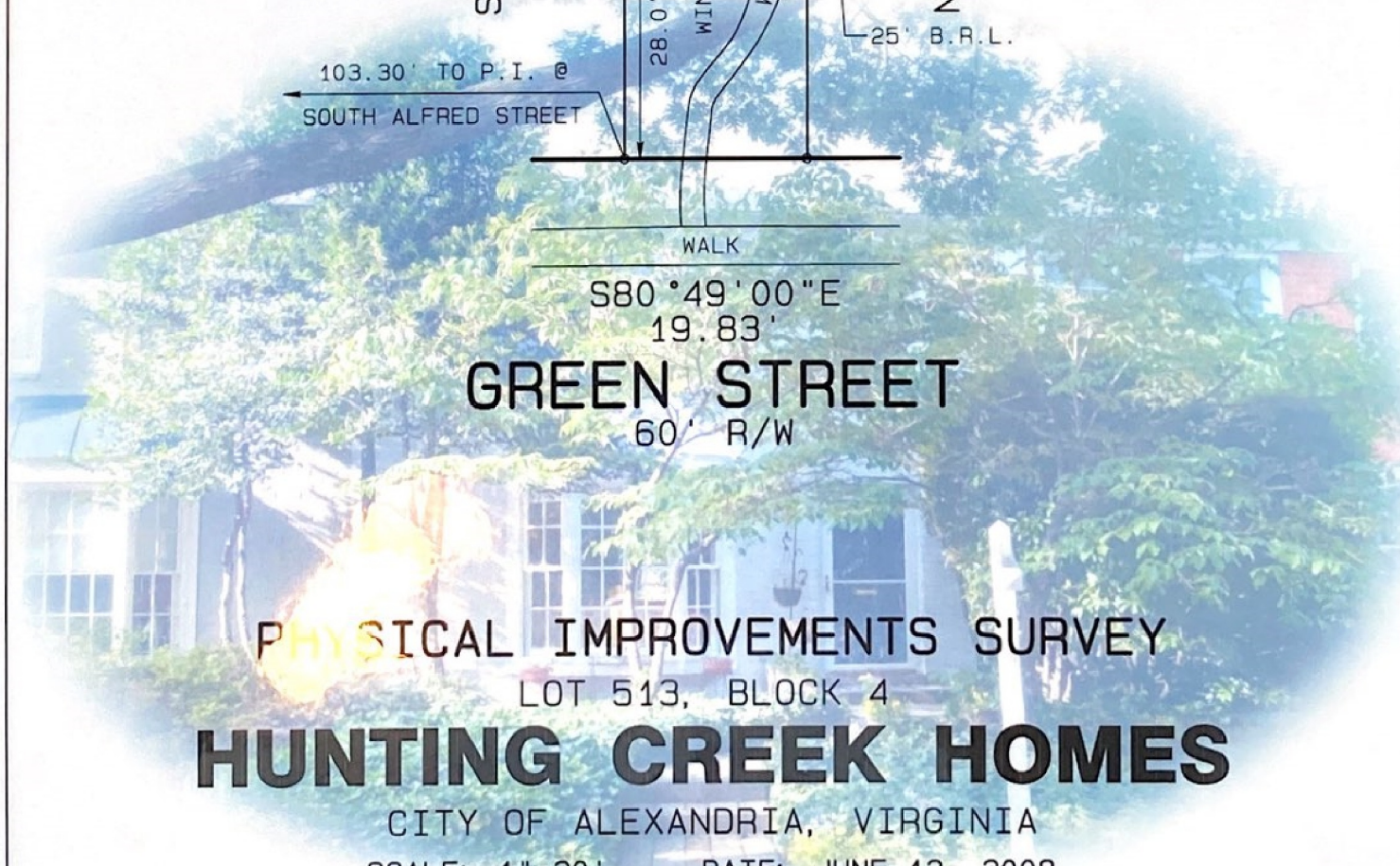
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DATE

8/8/2020



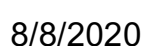
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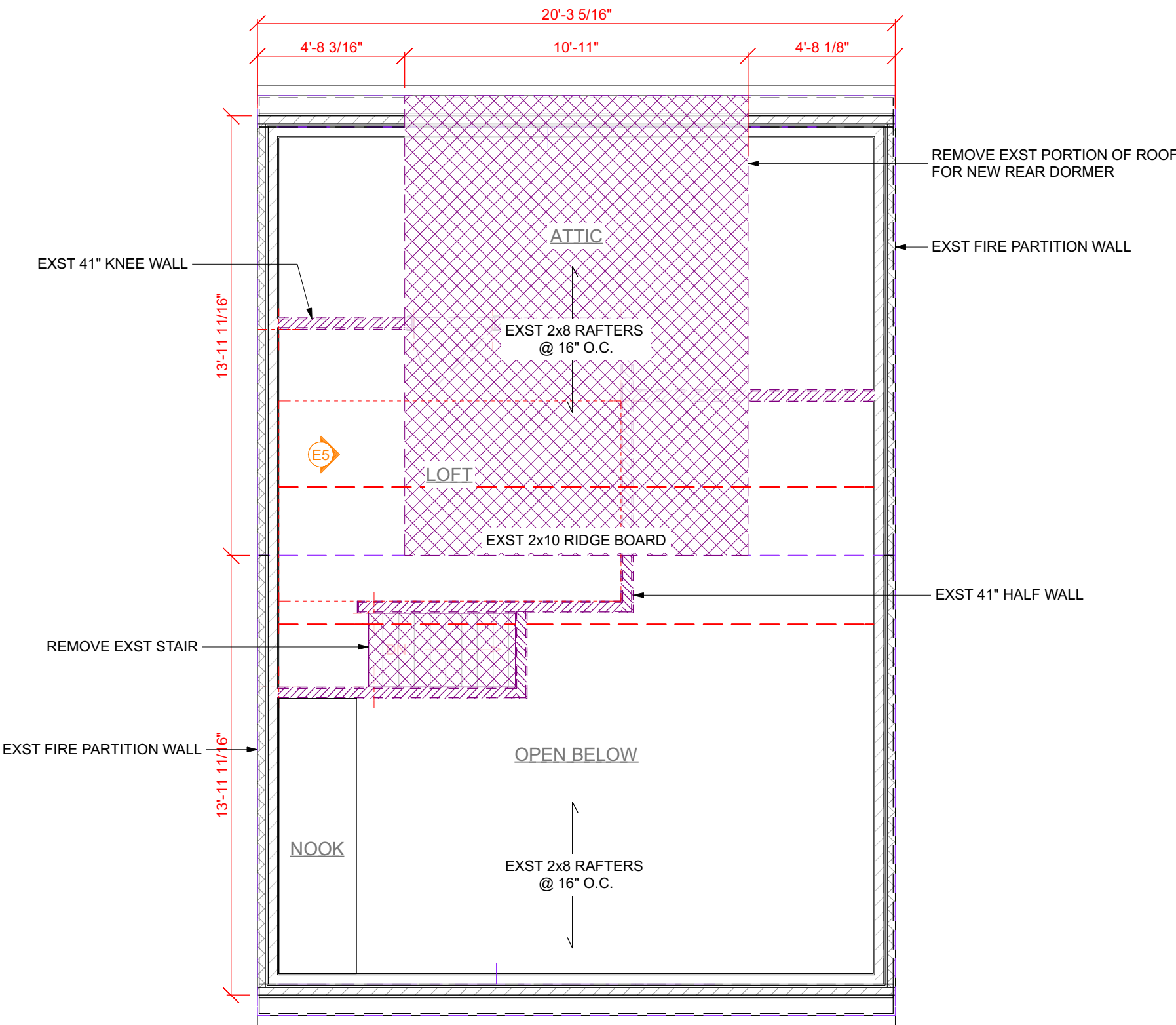
## CITY OF ALEXANDRIA, VIRGINIA

LNS

MN







LEGEND	
	EXST MASONRY WALL
	EXST FRAME & BRICK WALL
	EXST WALL TO BE REMOVED
	EXST AREA TO BE REMOVED


**ATTIC: AS BUILT + DEMO PLAN**  
SCALE: 1/4" = 1'-0"

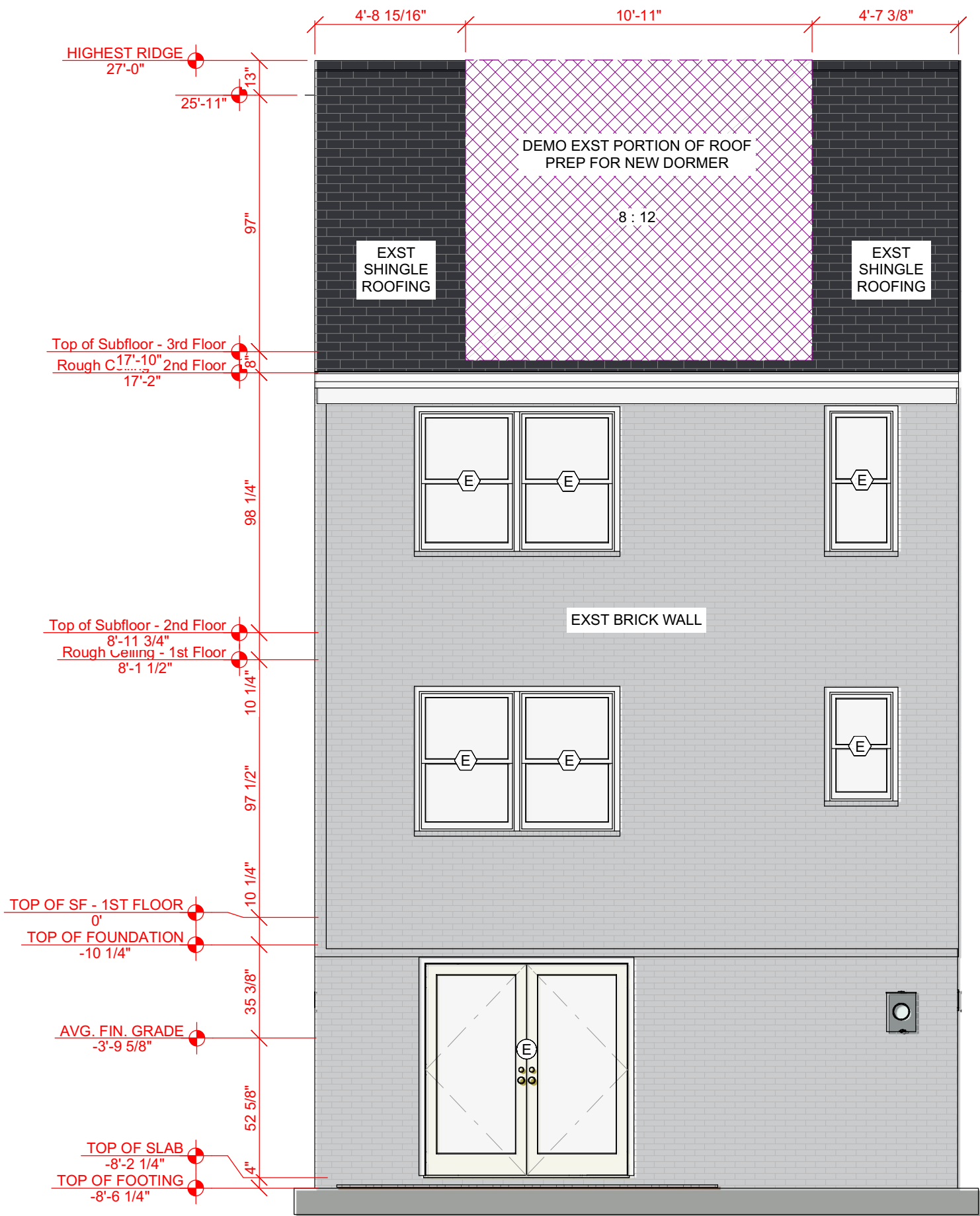
 4125 LAFAYETTE CENTER DRIVE, SUITE 100 CHANTILLY, VA 20151 P: 703.961.7707 DESIGNER Tyler Tappan (703) 961-7707, x893 TTappan@MossBuildingAndDesign.com		DRAWING:  ATTIC: AS BUILT + DEMO PLAN	SUBMISSION:  PRELIM BAR SUBMITTAL	PAGE <b>3</b>  DATE 8/8/2020
		<b>SCHOELER RESIDENCE</b> <b>912 GREEN ST</b> <b>ALEXANDRIA, VA 22314</b>	Standards of Construction drawings are and shall remain the sole property of Moss Building & Design. and use other than Moss Building & Design projects shall not be permitted without express written consent from Moss Building & Design. These documents are not to be changed or reproduced in any form.	






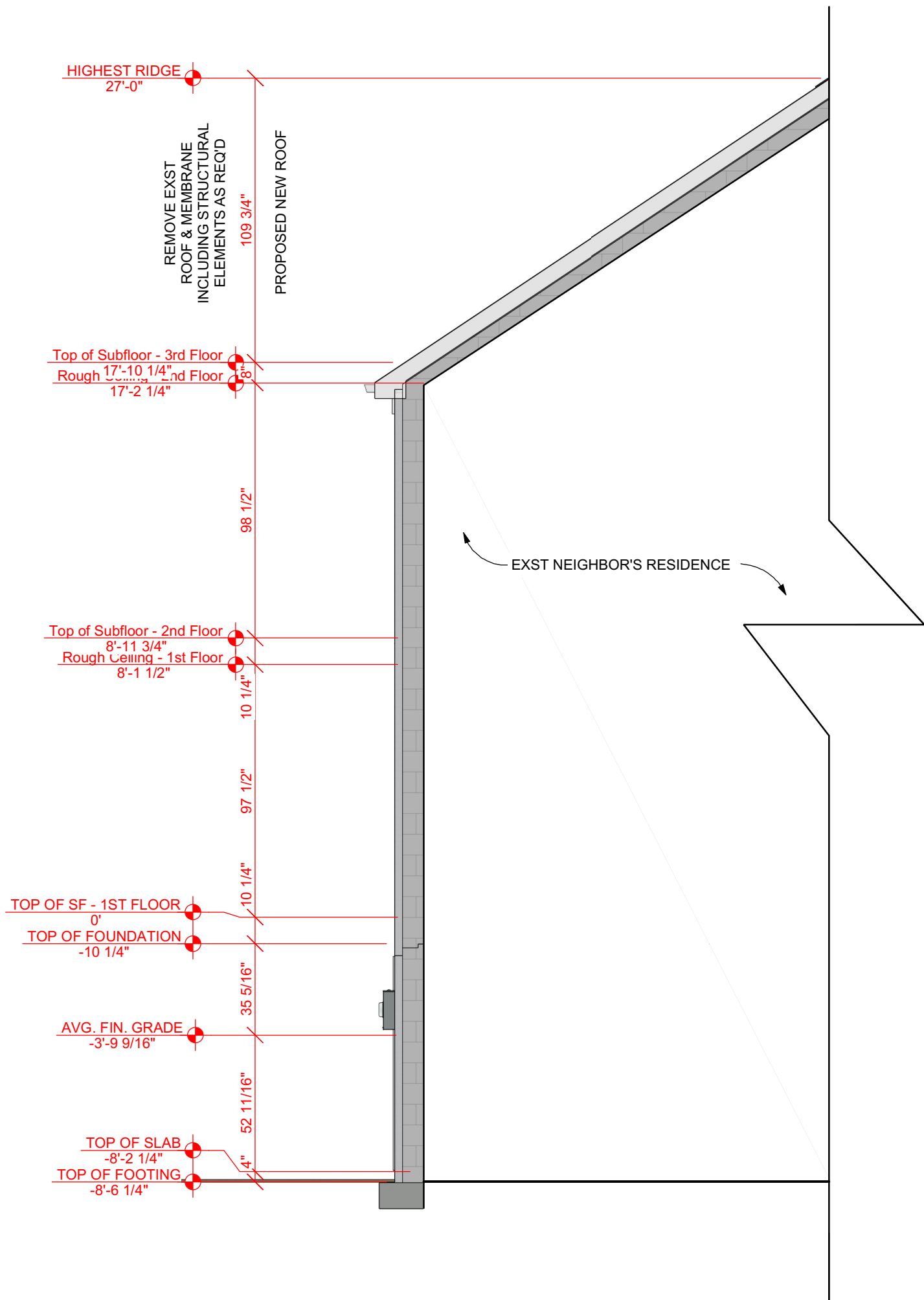
**FRONT ELEVATION: AS BUILT + DEMO PLAN**  
SCALE: 1/4" = 1'-0"

 4125 LAFAYETTE CENTER DRIVE, SUITE 100 CHANTILLY, VA 20151 P: 703.961.7707 DESIGNER Tyler Tappan (703) 961-7707, x893 TTappan@MossBuildingAndDesign.com		DRAWING: FRONT ELEVATION: AS BUILT + DEMO PLAN	SUBMISSION: PRELIM BAR SUBMITTAL	PAGE <b>4</b>  DATE 8/8/2020
		SCHOELER RESIDENCE 912 GREEN ST ALEXANDRIA, VA 22314	Standards of Construction drawings are and shall remain the sole property of Moss Building & Design, and use other than Moss Building & Design projects shall not be permitted without express written consent from Moss Building & Design. These documents are not to be changed or reproduced in any form.	




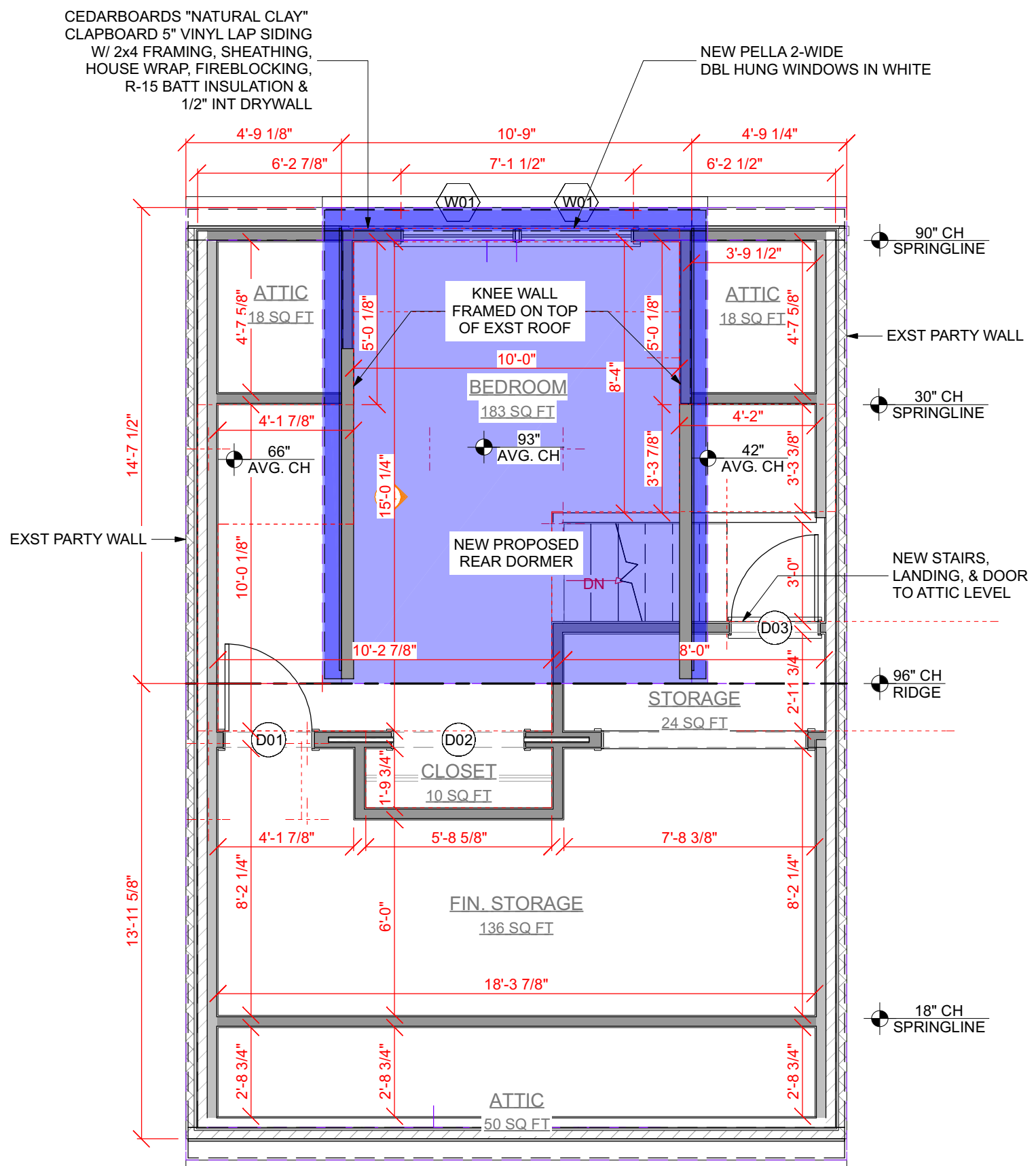
**REAR ELEVATION: AS BUILT + DEMO PLAN**  
SCALE: 1/4" = 1'-0"

 4125 LAFAYETTE CENTER DRIVE, SUITE 100 CHANTILLY, VA 20151 P: 703.961.7707 DESIGNER Tyler Tappan (703) 961-7707, x893 TTappan@MossBuildingAndDesign.com		DRAWING: REAR ELEVATION: AS BUILT + DEMO PLAN	SUBMISSION: PRELIM BAR SUBMITTAL	PAGE <b>5</b>  DATE 8/8/2020
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**SIDE ELEVATION: AS BUILT + DEMO PLAN**  
SCALE: 1/4" = 1'-0"

<div></div> <div>4125 LAFAYETTE CENTER DRIVE, SUITE 100 CHANTILLY, VA 20151 P: 703.961.7707 DESIGNER Tyler Tappan (703) 961-7707, x893 TTappan@MossBuildingAndDesign.com</div>		DRAWING: SIDE ELEVATION: AS BUILT + DEMO PLAN	SUBMISSION: PRELIM BAR SUBMITTAL	PAGE <b>6</b>  DATE 8/8/2020
		SCHOELER RESIDENCE 912 GREEN ST ALEXANDRIA, VA 22314	Standards of Construction drawings are and shall remain the sole property of Moss Building & Design. and use other than Moss Building & Design projects shall not be permitted without express written consent from Moss Building & Design. These documents are not to be changed or reproduced in any form.	



**ATTIC: PROPOSED PLAN**  
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"



4125 LAFAYETTE CENTER DRIVE, SUITE 100  
CHANTILLY, VA 20151  
P: 703.961.7707

DESIGNER  
Tyler Tappan  
(703) 961-7707, x893  
TTappan@MossBuildingAndDesign.com

**DRAWING:**

ATTIC:  
PROPOSED PLAN

**SCHOELER RESIDENCE  
912 GREEN ST  
ALEXANDRIA, VA 22314**

SUBMISSION:

PRELIM BAR SUBMITTAL

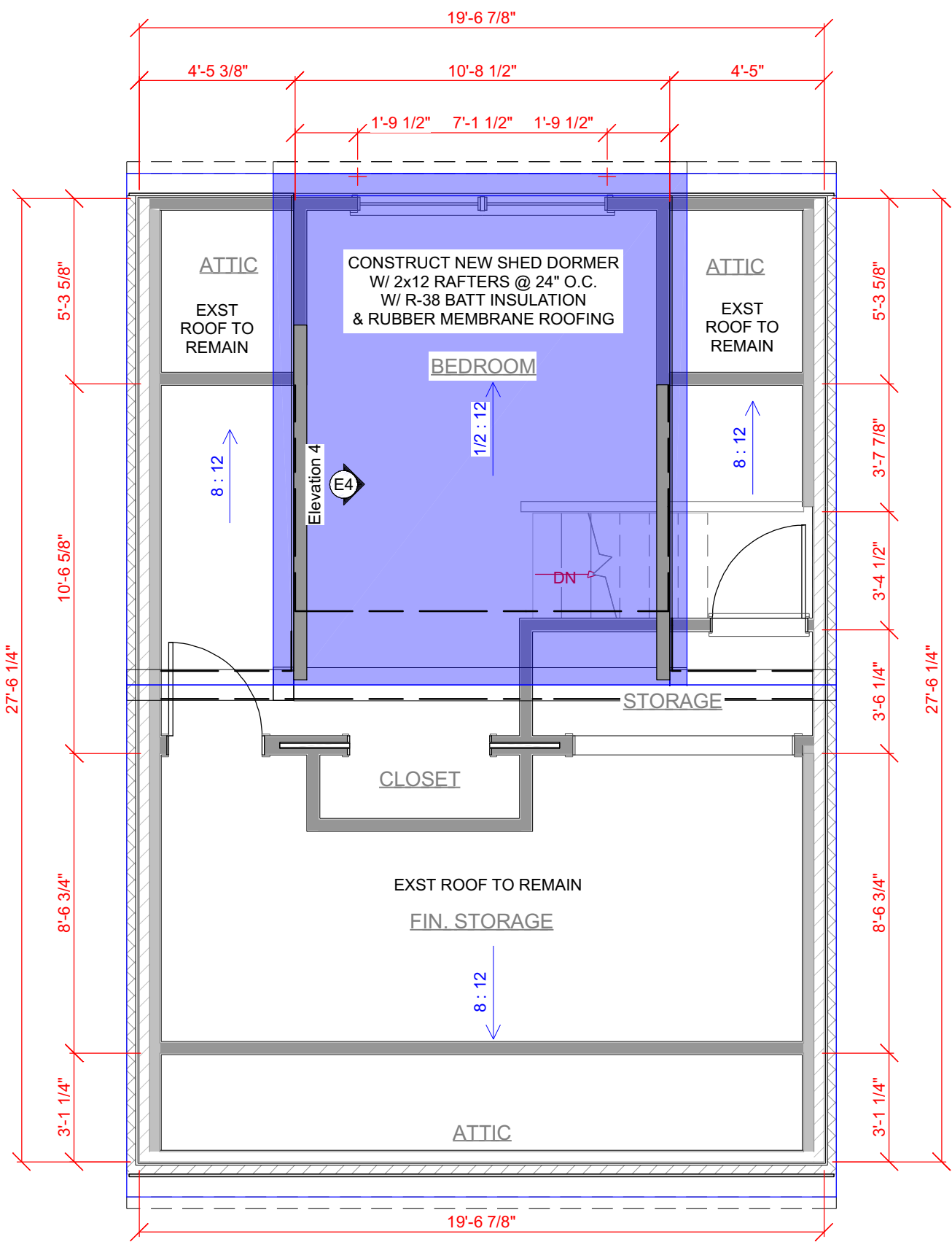
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PAGE


7

DATE \_\_\_\_\_

8/8/2020




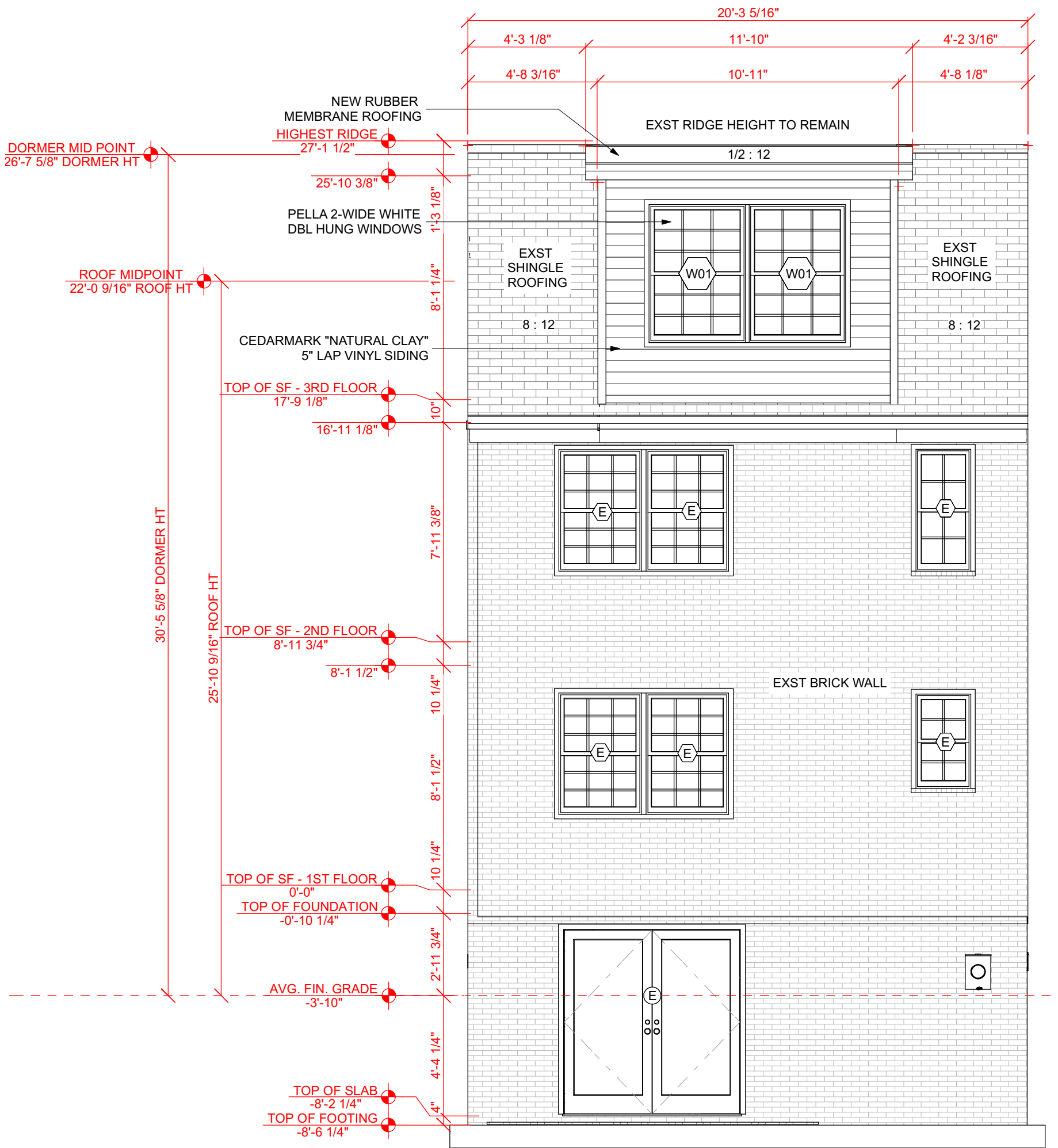
**ATTIC ROOF: PROPOSED PLAN**  
SCALE: 1/4" = 1'-0"

<div></div> <div>4125 LAFAYETTE CENTER DRIVE, SUITE 100 CHANTILLY, VA 20151 P: 703.961.7707 DESIGNER Tyler Tappan (703) 961-7707, x893 TTappan@MossBuildingAndDesign.com</div>		DRAWING: ATTIC ROOF: PROPOSED PLAN	SUBMISSION: PRELIM BAR SUBMITTAL	PAGE <b>8</b>  DATE 8/8/2020
		SCHOELER RESIDENCE 912 GREEN ST ALEXANDRIA, VA 22314	Standards of Construction drawings are and shall remain the sole property of Moss Building & Design, and use other than Moss Building & Design projects shall not be permitted without express written consent from Moss Building & Design. These documents are not to be changed or reproduced in any form.	




**FRONT ELEVATION: PROPOSED PLAN**  
SCALE: 1/4" = 1'-0"

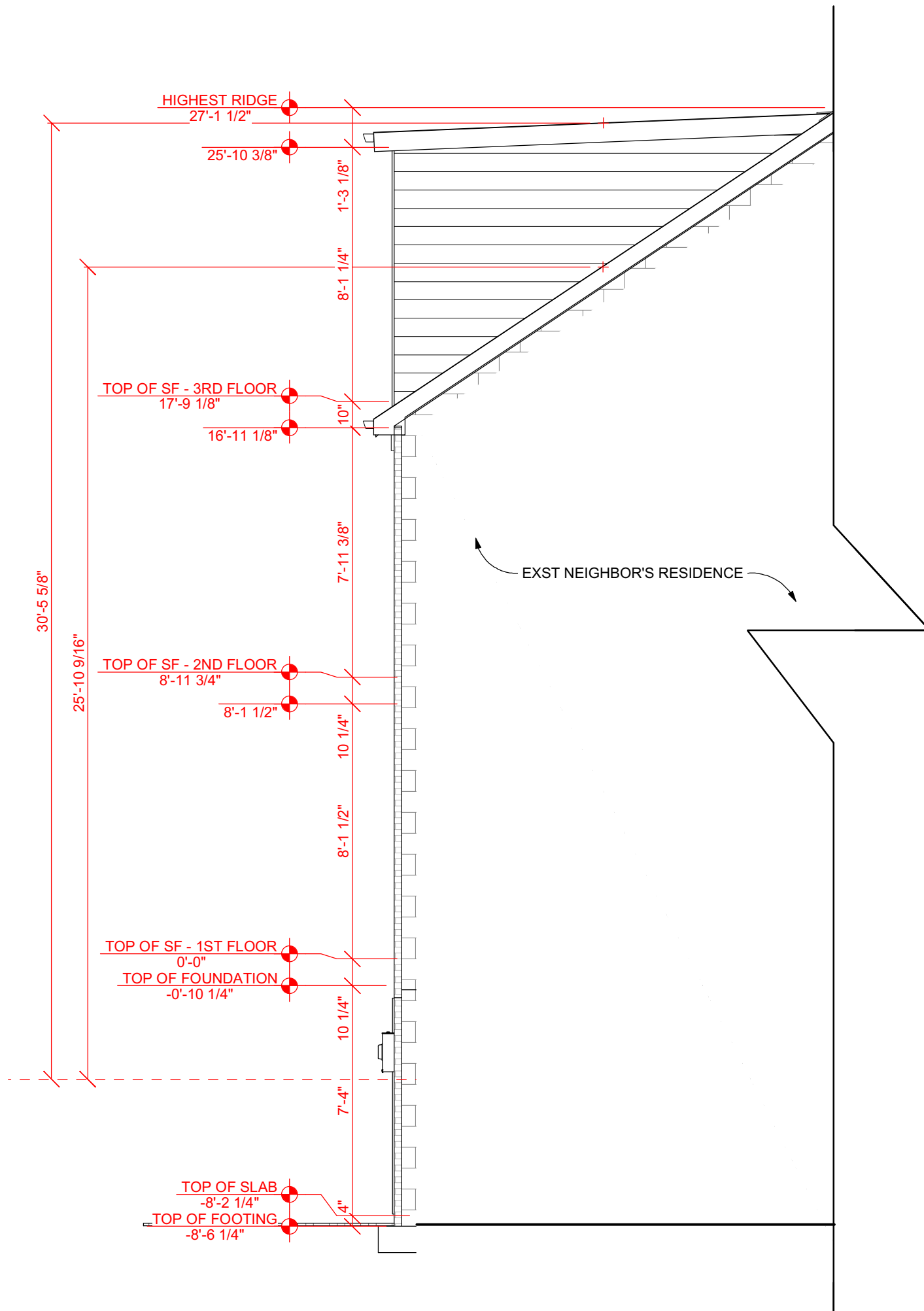
 4125 LAFAYETTE CENTER DRIVE, SUITE 100 CHANTILLY, VA 20151 P: 703.961.7707 DESIGNER Tyler Tappan (703) 961-7707, x893 TTappan@MossBuildingAndDesign.com		DRAWING: FRONT ELEVATION: PROPOSED PLAN	SUBMISSION: PRELIM BAR SUBMITTAL	PAGE <b>9</b>  DATE 8/8/2020
		<b>SCHOELER RESIDENCE</b> <b>912 GREEN ST</b> <b>ALEXANDRIA, VA 22314</b>	Standards of Construction drawings are and shall remain the sole property of Moss Building & Design. and use other than Moss Building & Design projects shall not be permitted without express written consent from Moss Building & Design. These documents are not to be changed or reproduced in any form.	



**REAR ELEVATION: PROPOSED PLAN**  
SCALE: 1/4" = 1'-0"

<div><p>4125 LAFAYETTE CENTER DRIVE, SUITE 100 CHANTILLY, VA 20151 P: 703.961.7707</p><p>DESIGNER Tyler Tappan (703) 961-7707, x893 TTappan@MossBuildingAndDesign.com</p></div>		DRAWING: REAR ELEVATION: PROPOSED PLAN	SUBMISSION: PRELIM BAR SUBMITTAL	PAGE <b>10</b>  DATE 8/8/2020
		<b>SCHOELER RESIDENCE</b> <b>912 GREEN ST</b> <b>ALEXANDRIA, VA 22314</b>	Standards of Construction drawings are and shall remain the sole property of Moss Building & Design, and use other than Moss Building & Design projects shall not be permitted without express written consent from Moss Building & Design. These documents are not to be changed or reproduced in any form.	





**SIDE ELEVATION: PROPOSED PLAN**  
SCALE: 1/4" = 1'-0"



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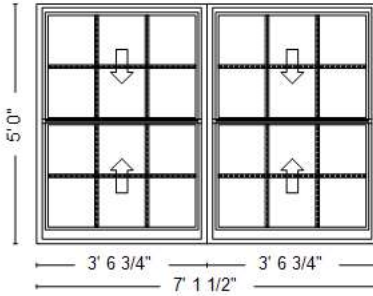
DRAWING:	SUBMISSION:
SIDE ELEVATION: PROPOSED PLAN	PRELIM BAR SUBMITTAL
SCHOELER RESIDENCE 912 GREEN ST ALEXANDRIA, VA 22314	

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PAGE  
**11**  
DATE  
**8/8/2020**

# Customer Approval Form:

Signature: \_\_\_\_\_ Date: \_\_\_\_\_



Viewed from the Exterior

Quote Number: 12838618

Line Number: 10

Quote Qty: 1

Scaling: 1/2" = 1'

Description: Pella® Reserve, Traditional, 2-Wide Double Hung, 85.5 X 60, White

Rough Opening: 7' 2 1/4" X 5' 0 3/4"

Performance Information: U-Factor 0.29, SHGC 0.25, VLT 0.47, CPD PEL-N-232-00255-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)

Performance Information: U-Factor 0.29, SHGC 0.25, VLT 0.47, CPD PEL-N-232-00255-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)

These drawings are based on our interpretation of the information provided to us. They are submitted for final approval of the individual\*\* responsible for the project and are not intended to create any warranty or other liability. The user\*\* is responsible for compliance with applicable building codes or other regulations and determining the suitability of the suggestions for the particular application, including the final design of reinforcement, flashing, and sealant systems for all window and door installations.

\*\* building owner, architect, contractor, installer and/or consumer



Quote Name: Double Hung Proposal

Project Name: Schoeler Residence

Jobsite Location: ALEXANDRIA, VA

Room Location: W#1

Sales Branch Location: 06000 Pella Mid-Atlantic, Inc.

2 of 9

08/09/20

To: Board of Architectural Review

Subject: Proposed Dormer Addition to 912 Green St.

I strongly support this shed dormer addition.

As a party of interest, I represent 911, 914, 915, 918, and 919 Green St. which are the adjacent residences directly West and the residences across the street from 912 Green St. I also represent 910 S. Patrick St. which will have a direct view of the dormer addition when looking out the bedroom windows.

As a citizen and a neighbor, Christina Schoeler and Paul Fischer represent the type of neighbors that you want to have living next door. Increasing the size of their house to accommodate the new addition to their family is very important to them. It is also important to the rest of us in the neighborhood and we would be very disappointed to see them move because of the size of their existing home.

For pandemic reasons, I am writing this letter to express my views rather than personally attend the 9/2/20 meeting at 7:00 P.M. in the City Council Chambers, 2<sup>nd</sup> Floor.

Very Respectfully,

  
Clifford Wilkening