

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

APPLICANT: Cabell Hickman

LOCATION: Old and Historic Alexandria District
109 South Lee Street

ZONE: RM/Residential Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial), Certificate of Appropriateness for alterations with the following conditions:

1. The new window on the south elevation complies with the City's *Alexandria New and Replacement Window Performance Specifications in the Historic Districts*
2. The applicant works with staff to choose the gas lantern design

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



N

0 15 30 60 Feet

Note: *Staff coupled the applications for a Permit to Demolish (BAR #2020-00374) and Certificate of Appropriateness (BAR #2020-00376) for clarity and brevity. The Permit to Demolish requires a roll call vote.*

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to change fenestration configuration, as well as alterations, at 109 South Lee Street.

Permit to Demolish/Capsulate

The project calls for the demolition of approximately 40 square feet of masonry wall on the south and west elevations to add windows, and open an existing wood burning fireplace to the exterior patio.

Certificate of Appropriateness

South elevation visible from a public way (Figure 1):

- Insert a 5'-0" x 5'-8" fixed picture window on the first floor of the south elevation. The proposed wood window is double glazed, multi-pane, with sandwich muntins.



Figure 1 - South elevation

East elevation visible from a public way (Figure 2):

- Replace an existing electrical lantern with a new gas lantern

- Shorten by approximately 1' the depth of an existing gated storage area on the first floor, wall to be finished to match existing siding (minimally visible, behind a 6' tall gate)



Figure 2- East elevation

West elevation not visible from a public way

- Extend the CMU wall of the rear one-story addition about one foot raising the roof that will be covered with standing seam to match the main house roof
- Replace the French doors at the rear patio
- Open the existing wood burning fireplace to the exterior patio
- Install a six-over-six, double-hung window with shutters on the second floor, south side
- Replace in-kind the existing shed

Site context

The property at 109 /111 South Lee Street was originally two separate dwellings with a horse alley running in between them but were consolidated sometime after 1940. The property sits on the west side of the 100 block of South Lee Street.

II. HISTORY

The properties at 109 and 111 South Lee Street were built between 1885 and 1891 according to Sanborn Fire Insurance Maps. They were combined into one property sometime after 1940. The late Victorian dwellings feature Queen Anne details such as corbeled brick cornice and molded

brick segmental arches. The buildings also feature historically inappropriate six-over-six double-hung windows with shutters, door with transom and brick stoop.

Previous BAR Approvals

BAR2001-00056 & BAR2001-00057 – Board approval for rear addition and alterations.

BAR2020-00377 – Extensive interior renovation

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The small area of masonry to be demolished is not of unusual or uncommon design and the affected portions could be reproduced easily in the future. Moreover, the Board routinely approves small changes on historic properties secondary and rear elevations to accommodate a more modern and functional interior layout as tastes and technology evolve.

Certificate of Appropriateness

The *Design Guidelines* state that “Windows are a principal character defining feature of a building and serves both functional and aesthetic purposes. Windows allow the interior of a building to receive natural light, provide a means to see from the inside of a building to the outside and allow ventilation of a building interior.” Even though the proposed window on the south elevation is fixed, providing no interior ventilation, it will allow natural light to come in the room. The multipaned proposed window on the building’s side is acceptable since it was a common practice to use one-over-one and two-over-two light configuration windows on the front elevation of Victorian buildings and cheaper multipaned windows on secondary, less prominent, elevations.

However, it is BAR policy that wood windows must be used on buildings and portions of buildings constructed before 1935 and that windows on secondary elevations may be double glazed provided that they have simulated divided lights (SDL), that is, muntins on the exterior. Therefore, staff recommends that the proposed window on the south elevation meets the *Alexandria New and Replacement Window Performance Specifications in the Historic District*.

Staff has no objection to the light fixture replacement on the building’s main façade as long it complies with the *Guidelines* which state that “While a certain level of exterior illumination is necessary for simple safety reasons during nighttime hours, care must be taken so that nighttime lighting does not produce inappropriate glare or misdirected light. The Board recognizes the importance of lighting after dark, but, at the same time, is actively discourage lighting which detracts from the appearance of the historic districts. For example, the Board has expressed concern about inappropriate decorative lighting on residential properties and lighting that is overly bright.”

Staff also has no objection to the other proposed works since they are not, or are minimally, visible from a public way and will not undermine the historic building.

Subsequently, with the conditions discussed above, staff recommends approval of the Certificate of Appropriateness for alterations.

STAFF

Marina Novaes, Historic Preservation Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

C-1 Proposed alterations comply with zoning.

Code Administration

C-1 A building permit and plan review are required prior to start of construction.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 Previously reviewed under BAR2011-00056, BAR2001-00057, BAR2020-00377. (T&ES)

F-2 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-3 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties

and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 No archaeological oversight will be necessary for this undertaking.

V. ATTACHMENTS

- 1 – Application for BAR 2020-00374 & 2020-00376: 109 South Lee Street*
- 2 – Supplemental Materials*

ADDRESS OF PROJECT: 109 S Lee St, Alexandria, VA 22314

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 075.01-07-09 ZONING: RM

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☒ Property Owner ☐ Business (Please provide business name & contact person)

Name: Cabell Hickman

Address: 109 S Lee St

City: Alexandria State: VA Zip: 22314

Phone: 2023226837 E-mail: evelyn@evelynpierce.com

Authorized Agent (if applicable): ☐ Attorney ☐ Architect ☒ Designer

Name: Evelyn Smith Phone: 2023226837

E-mail: evelyn@evelynpierce.com

Legal Property Owner:

Name: Cabell Hickman

Address: 109 S Lee St

City: Alexandria State: VA Zip: 22314

Phone: 2023226837 E-mail: evelyn@evelynpierce.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☒ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--|--|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input checked="" type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input checked="" type="checkbox"/> doors | <input checked="" type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input checked="" type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input checked="" type="checkbox"/> other | <small>Raising height of existing structure and new roof, no plan demolition</small> | | |
- ☐ ADDITION
- ☒ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Exterior Items: - Replacing electric lantern with gas lantern - Storage area at front (where old alley was) to be decreased in length (same material and gate to be used) - Add window on south property line at first floor - Re-point on north brick wall as required - Add window on west wall at second floor - Add 12" in height to existing CMU bump out and replace roof with standing seam metal - Parge exterior of existing CMU Bump out. No site work.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☒ Survey plat showing the extent of the proposed demolition/encapsulation. No plan demolition, only vertical, see elevations
- ☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☒ Description of the reason for demolition/encapsulation.
- ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

Addition is only adding height to existing structure. No additional floor space

- ☐ ☒ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☒ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☒ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project. Proposed alterations are at the rear of the property and at a hidden alleyway

- ☒ ☒ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
 - ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
 - ☒ I, the applicant, or an authorized representative will be present at the public hearing.
 - ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.
-

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:Signature: Evelyn Pierce SmithPrinted Name: Evelyn SmithDate: 7/30/2020

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Cabell Hickman	109 S Lee Street	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 109 S Lee Street, Alexandria, VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Cabell Hickman	109 S Lee Street	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose **any** business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. None	None	None
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

8/3/2020

Date

Evelyn-Pierce Smith

Printed Name



Signature



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations

as of 12/20/18

Addition is only adding height to existing structure. No additional floor space

B

A. Property Information

A1. **109 S. LEE STREET** RB **RM**
 Street Address Zone

A2. **1884** x **1.5** = **0.00 2826**
 Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

<u>Existing Gross Area</u>	<u>Allowable Exclusions**</u>	
Basement <input type="text"/>	Basement** <input type="text"/>	B1. 0.00 2084 Sq. Ft. Existing Gross Floor Area*
First Floor <input type="text"/>	Stairways** <input type="text"/>	B2. 0.00 Sq. Ft. Allowable Floor Exclusions**
Second Floor <input type="text"/>	Mechanical** <input type="text"/>	B3. 0.00 2084 Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)
Third Floor <input type="text"/>	Attic less than 7'*** <input type="text"/>	Comments for Existing Gross Floor Area <div style="border: 1px solid black; height: 60px; margin-top: 10px;"></div>
Attic <input type="text"/>	Porches** <input type="text"/>	
Porches <input type="text"/>	Balcony/Deck** <input type="text"/>	
Balcony/Deck <input type="text"/>	Lavatory*** <input type="text"/>	
Lavatory*** <input type="text"/>	Other** <input type="text"/>	
Other** <input type="text"/>	Other** <input type="text"/>	
B1. Total Gross 0.00 2084	B2. Total Exclusions 0.00	

C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>	<u>Allowable Exclusions**</u>	
Basement <input type="text"/>	Basement** <input type="text"/>	C1. 0.00 Sq. Ft. Proposed Gross Floor Area*
First Floor <input type="text"/>	Stairways** <input type="text"/>	C2. 0.00 Sq. Ft. Allowable Floor Exclusions**
Second Floor <input type="text"/>	Mechanical** <input type="text"/>	C3. 0.00 Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Third Floor <input type="text"/>	Attic less than 7'*** <input type="text"/>	
Attic <input type="text"/>	Porches** <input type="text"/>	
Porches <input type="text"/>	Balcony/Deck** <input type="text"/>	
Balcony/Deck <input type="text"/>	Lavatory*** <input type="text"/>	
Lavatory*** <input type="text"/>	Other** <input type="text"/>	
Other <input type="text"/>	Other** <input type="text"/>	
C1. Total Gross 0.00	C2. Total Exclusions 0.00	

D. Total Floor Area

D1. **0.00 2084** Sq. Ft.
Total Floor Area (add B3 and C3)

D2. **0.00 2826** Sq. Ft.
Total Floor Area Allowed by Zone (A2)

E. Open Space

E1. **786** Sq. Ft.
Existing Open Space

E2. **659** Sq. Ft.
Required Open Space

E3. **786** Sq. Ft.
Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

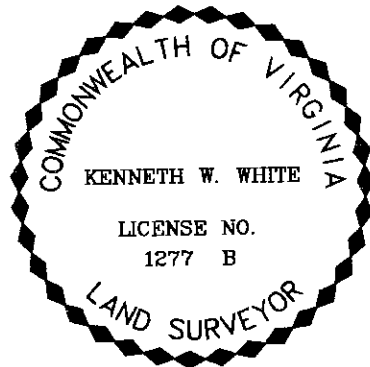
Signature: Evelyn Pierce Smith

Date: 07/30/2020

SURVEYOR'S CERTIFICATE:

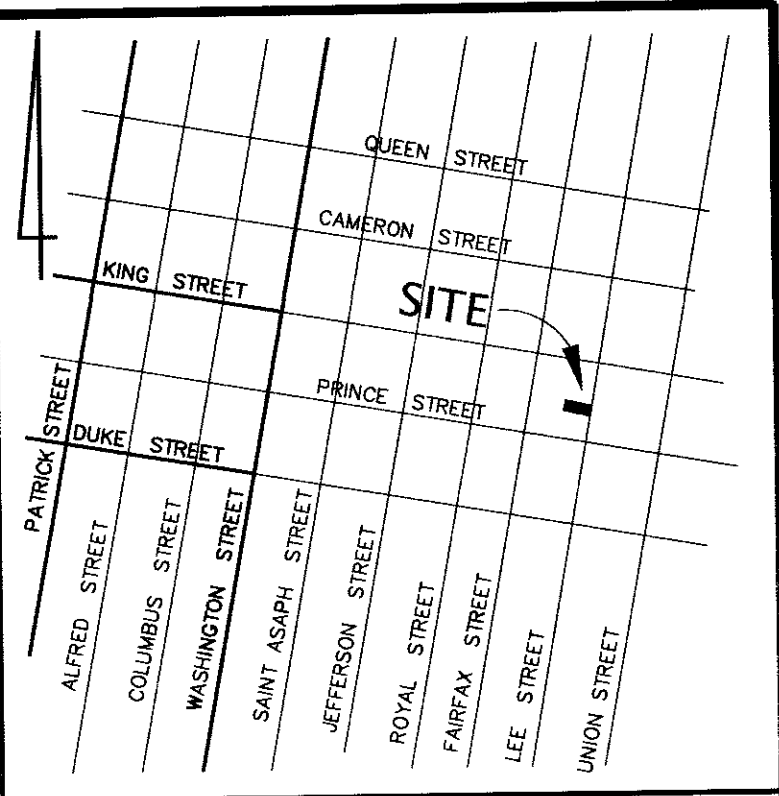
I, KENNETH W. WHITE, A DULY AUTHORIZED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA, DO HEREBY CERTIFY THAT I HAVE CAREFULLY SURVEYED THE PROPERTY DELINEATED BY THIS PLAT, AND THAT IT IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF; THAT IT IS A PLAT OF CONSOLIDATION OF THE PROPERTY NOW IN THE NAME OF CRAIG PATTEE, AS SOLE OWNER, AS ACQUIRED BY HIM BY INSTRUMENT NUMBER 990025939, DATED NOVEMBER 12TH, 1999 AND RECORDED AMONG THE CITY OF ALEXANDRIA LAND RECORDS; AND IS WITHIN THOSE BOUNDARIES; AND THAT ALL REQUIRED MONUMENTS HAVE BEEN INSTALLED WHERE INDICATED EXCEPT THOSE THAT WILL BE INSTALLED AT A LATER DATE BUT BEFORE COMPLETION OF THE PROJECT.

GIVEN UNDER MY HAND AND SEAL THIS 19th DAY OF MARCH, 2001.



Kenneth W. White
KENNETH W. WHITE L.S.

KING STREET

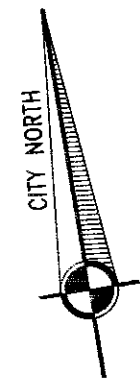


VICINITY MAP
SCALE: 1" = 1000'

NOTES:

1. THIS PROPERTY IS LOCATED ON THE CITY OF ALEXANDRIA TAX ASSESSMENT MAP NO. 75.01-07-9.
2. NO TITLE REPORT WAS FURNISHED.
3. THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.
4. OWNER : CRAIG PATTEE
109 SOUTH LEE STREET
ALEXANDRIA, VIRGINIA 22314

Eileen P. [Signature] 3/27/01



LOT 1
ROSENTHAL-FROUG
BERNARD A. SCHRIEVER
TED MOELLER, TR.
1/2 SWIFT ALLEY
ALEXANDRIA, VIRGINIA 22314

LOT 2
ROSENTHAL-FROUG
RONALD & JOANNE GOLDFARB
2 SWIFT ALLEY
ALEXANDRIA, VIRGINIA 22314

PARCEL 8
VERA SOLOVYOW
107 S. LEE STREET
ALEXANDRIA, VIRGINIA 22314

S 81°15'00" E ~ 76.13'

N 09°30'00" E ~ 24.75'

PARCEL ONE

LOT 500
1884 SQ. FT.

PARCEL TWO

N 81°15'00" W ~ 76.13'

PARCEL 10
HARRY A. & MILDRED F. COUNCILOR
113 S. LEE STREET
ALEXANDRIA, VIRGINIA 22314

EXISTING 2 STORY
BRICK BUILDING #109
EXISTING 2' ALLEY
HEREBY NULL & VOID #111

OFF 0.2'
ON 0.9'
S 09°30'00" W ~ 24.75'
ON 0.2'

SOUTH LEE STREET

PLAT
SHOWING LOT 500
BEING A CONSOLIDATION OF
THE PROPERTY LOCATED AT
109 SOUTH LEE STREET
AND
111 SOUTH LEE STREET
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 10' MARCH 19, 2001

ALEXANDRIA SURVEYS, INC.
6343 SOUTH KINGS HIGHWAY
ALEXANDRIA, VIRGINIA 22306

SHEET 1 OF 1

inst# 010008699

1/2 SWIFT ALLEY
PARCEL 1

107 S. LEE STREET
PARCEL 8

CABELL HICKMAN
109 S. LEE STREET
LOT 500

2ND
FLOOR
DECK

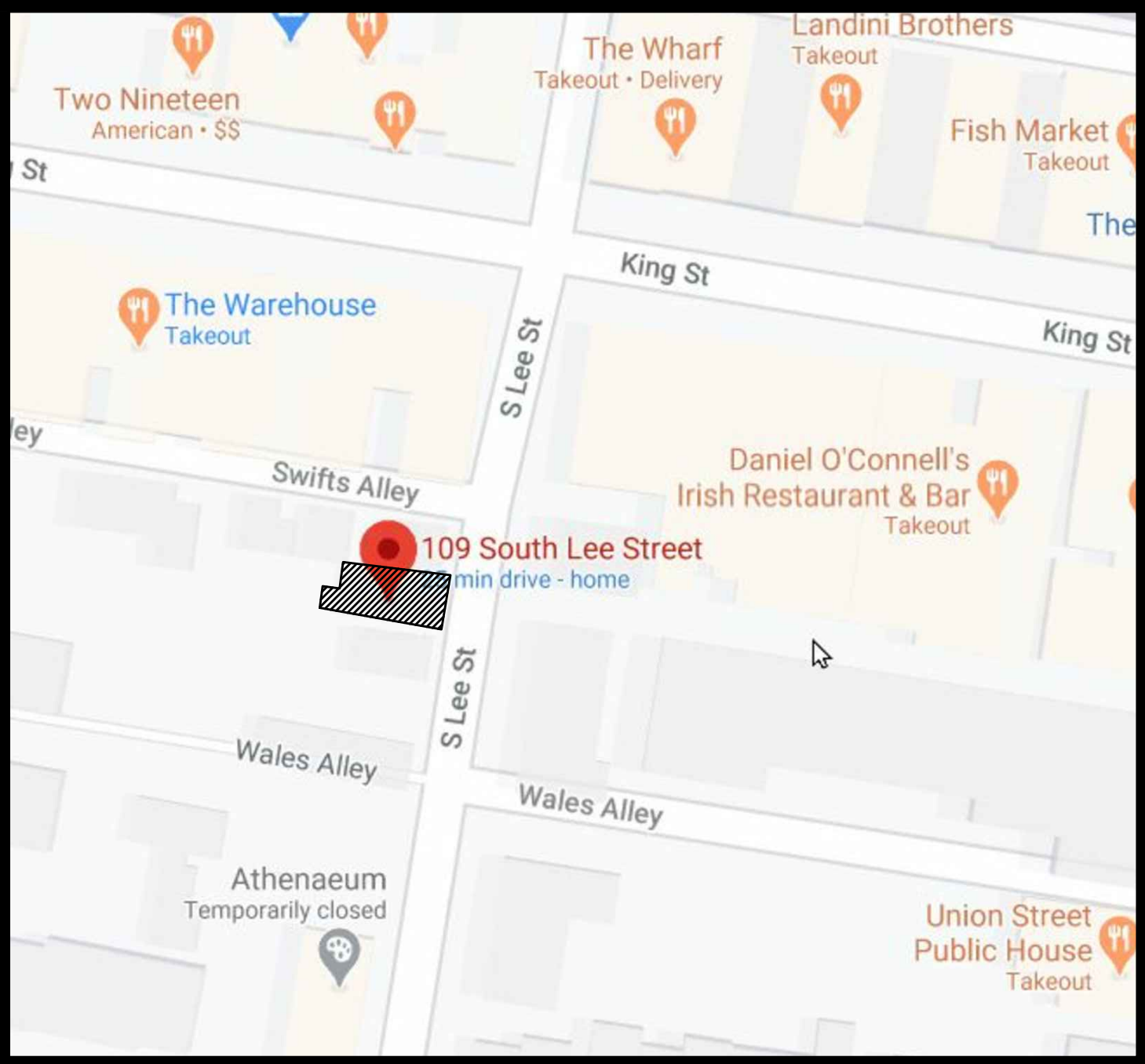
2 STORY

1 STORY

113 S. LEE STREET
PARCEL 10



S. LEE STREET



1
A002
EXISTING ARCHITECTURAL SITE PLAN WITH NEIGHBORHOOD CONTEXT
SCALE: 1/4"=1'-0"

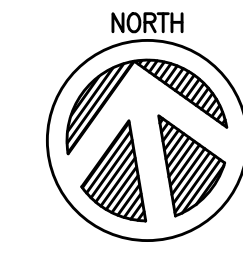
2
A002
KEYPLAN
SCALE: 1/128"=1'-0"

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HICKMAN
RESIDENCE
109 S. LEE STREET
ALEXANDRIA, VA 22314

EXISTING ARCHITECTURAL SITE PLAN AND CONTEXT			
DRAWING:	ISSUED:	BUDGET PRICING SET	HISTORIC PRESERVATION
	2020.06.03	2020.07.21	2020.08.03

A002



1 SWIFT ALLEY
2 PARCEL 1

107 S. LEE STREET
PARCEL 8

REPOINT MASONRY WALL AS REQUIRED

CONVERT
EXISTING FIREPLACE
TO EXTERIOR WOOD
BURNING ON
FIRST FLOOR
REPLACE EXISTING DOOR
IN KIND ON
FIRST FLOOR

REPLACE EXISTING DOOR
IN KIND ON
FIRST FLOOR

2ND
FLOOR
DECK

2 STORY

SHORTEN LENGTH OF RECESSED STORAGE
ON FIRST FLOOR. MATCH EXISTING SIDING
AND RE-INSTALL EXISTING LOUVERED
ARCH DOOR

S. LEE STREET

NEW GAS LANTERN IN EXISTING
ELECTRIC LANTERN LOCATION

CABELL HICKMAN
109 S. LEE STREET
LOT 500

REPLACE IN KIND EXISTING
PAINTED WOOD SHED, SEE
PHOTO

PARGE OVER
EXISTING CMU
BLOCK ON 3 SIDES

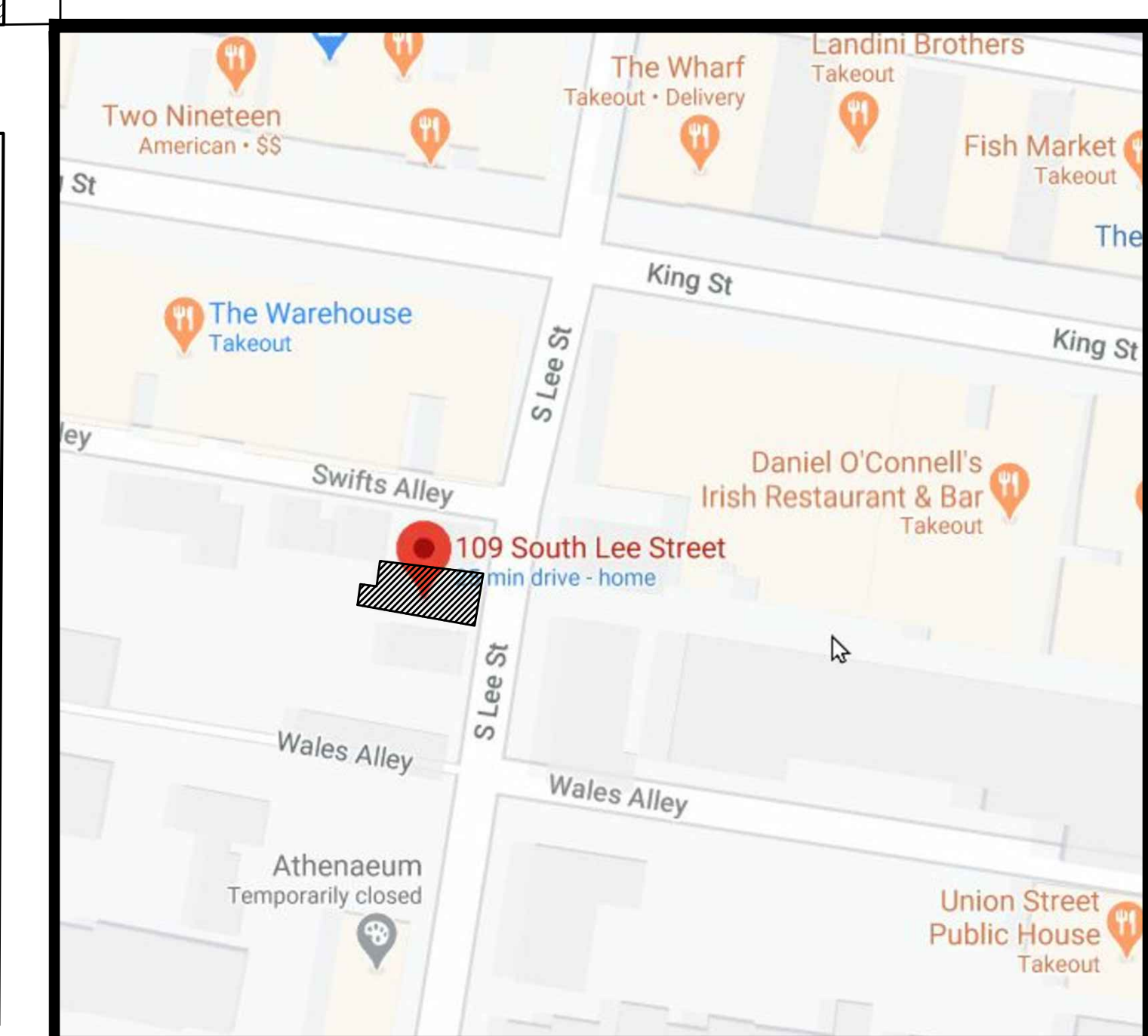
1 STORY

113 S. LEE STREET
PARCEL 10

ADD 12" TO
EXISTING CMU WALLS
AND RE-BUILD ROOF
W/STANDING SEAM METAL ROOF

ADD WINDOW IN NEW BATHROOM ON
SECOND FLOOR

ADD WINDOW
IN DINING ROOM
ON FIRST FLOOR



1 PROPOSED ARCHITECTURAL SITE PLAN WITH NEIGHBORHOOD CONTEXT
A003 SCALE: 1/4"=1'-0"

2 KEYPLAN
A003 SCALE: 1/128"=1'-0"

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PROPOSED ARCHITECTURAL SITE PLAN AND CONTEXT			
ISSUED:	BUDGET PRICING SET	HISTORIC PRESERVATION	HISTORIC SUBMISSION
2020.06.03	2020.07.21	2020.08.03	

A003



1 FRONT EXTERIOR OF 109 S. LEE STREET, ALEXANDRIA VA



2 EXISTING STORAGE AREA WITH EXISTING LOUVERED DOOR AND ELECTRICAL LANTERN ABOVE



3 EXISTING STORAGE AREA WITH EXISTING LOUVERED DOOR



4 EXTERIOR OF 113 & 109 S. LEE STREET



5 EXTERIOR OF GATE AT 113 NEXT TO 109 S. LEE STREET



6 LOOKING OVER GATE AT 113 S. LEE STREET TO SOUTH SIDE OF 109 S. LEE STREET LOCATION OF PROPOSED DINING ROOM WINDOW MIDWAY DOWN PATH ON FIRST FLOOR



7 REAR EXTERIOR OF 109 S. LEE STREET



8 REAR EXTERIOR OF 109 S. LEE STREET FACING EXISTING 1 STORY CMU BUMP OUT. EXISTING ROOF TO BE REMOVED, WALLS RAISED 12" AND NEW STANDING SEAM ROOF. NEW WINDOW AT NEW BATHROOM ON SECOND FLOOR



12 REPLACE IN KIND EXISTING REAR PAINTED WOOD SHED



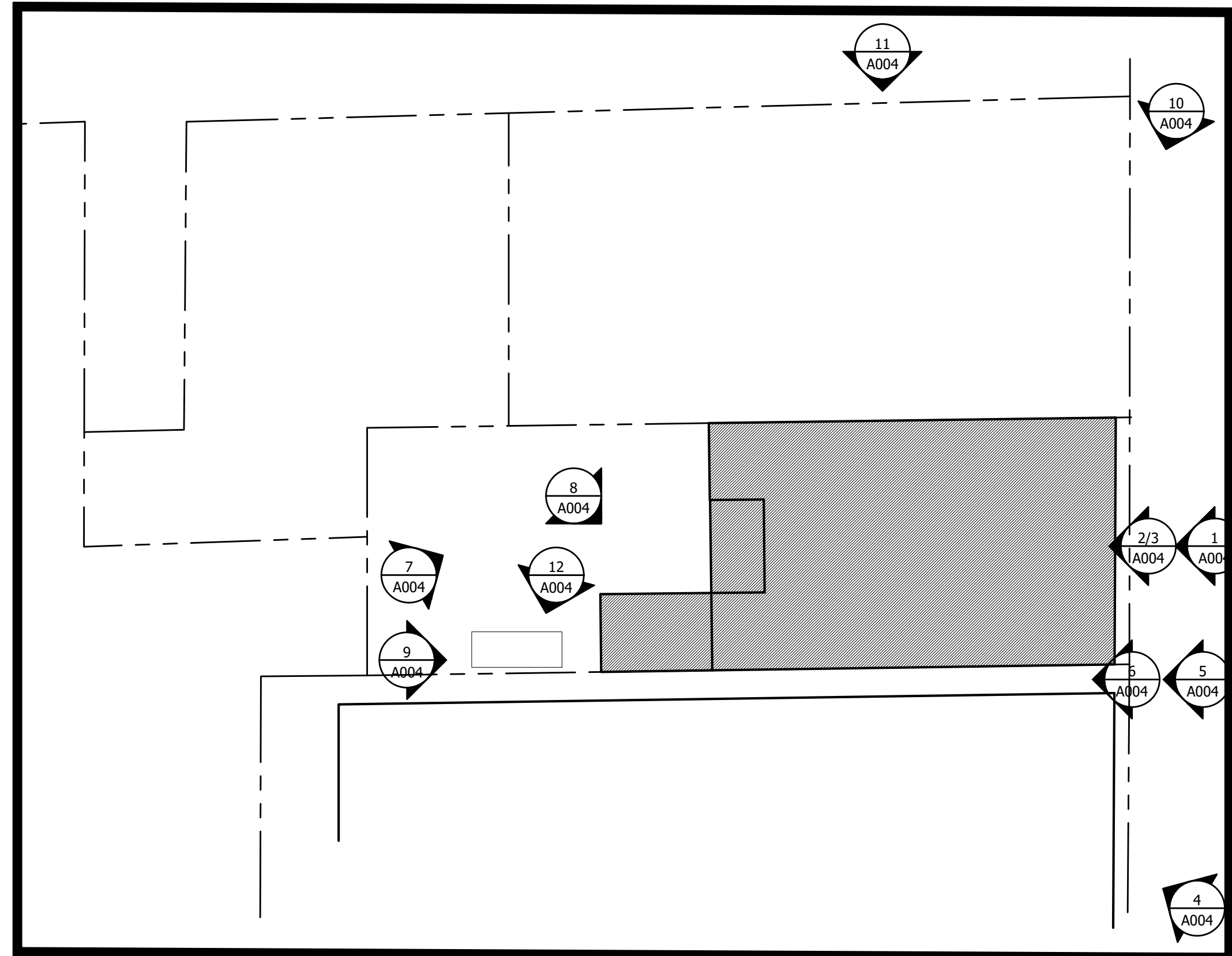
9 REAR EXTERIOR OF 109 S. LEE STREET AT WALL ON SOUTH PROPERTY LINE



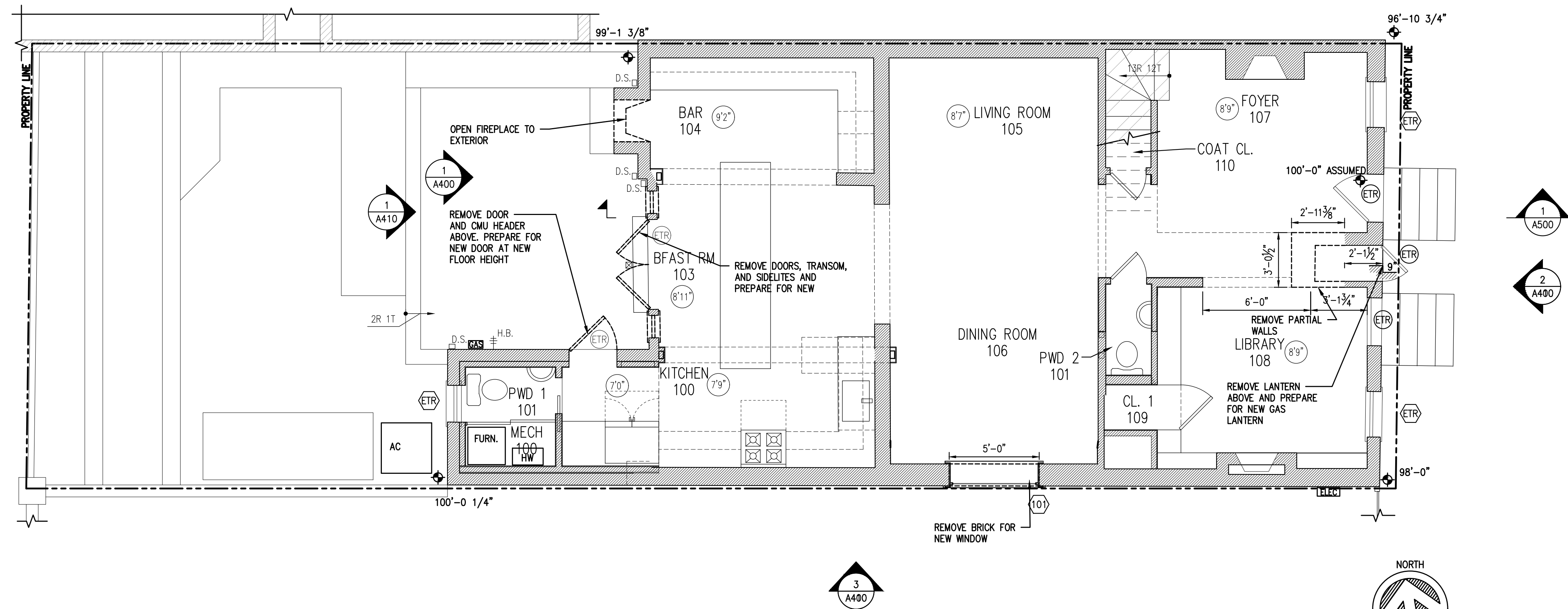
10 109 S. LEE STREET- NORTH SIDE



11 109 S. LEE STREET- NORTH SIDE. VIEWED FROM ALLEY



2 KEYPLAN
A004 SCALE: 1/128"=1'-0"



1 EXISTING FIRST FLOOR DEMO PLAN
SCALE: 1/4"=1'-0"

DEMOLITION LEGEND:

	EXISTING TO REMAIN
	EXISTING TO BE DEMOLISHED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO REMAIN
	EXISTING WINDOW TO BE REMOVED

- DEMOLITION NOTES:
1. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEANS & METHODS, JOB SAFETY, & CONFORMANCE TO CODES
 2. GENERAL CONTRACTOR SHALL BRING TO ARCHITECT'S OR OWNER'S ATTENTION ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWING INTENT
 3. REMOVE ALL UNUSED PLUMBING LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 4. REMOVE ALL UNUSED ELECTRICAL LINES WHERE ACCESSIBLE AND PROPERLY TERMINATE
 5. LOCATE LL WATER SHUT-OFFS AND CUT OFF TO ALL PLUMBING FIXTURES TO BE DEMOLISHED
 6. REMOVE SUPPLY, VENT, AND WASTE LINES IN WALLS TO BE DEMOLISHED AND CAP
 7. CONFIRM WITH OWNER BEFORE REMOVING ANY SHRUBBERY OR PLANTS.
 8. SALVAGE ALL EXISTING DOORS BEING REMOVED FOR POSSIBLE REUSE.
 9. REMOVE FLOOR AND SALVAGE FOR PATCHING OTHER AREAS
 10. NO EXTERIOR SITE WORK.
 11. SALVAGE CABINETS AND APPLIANCES FOR DONATION.

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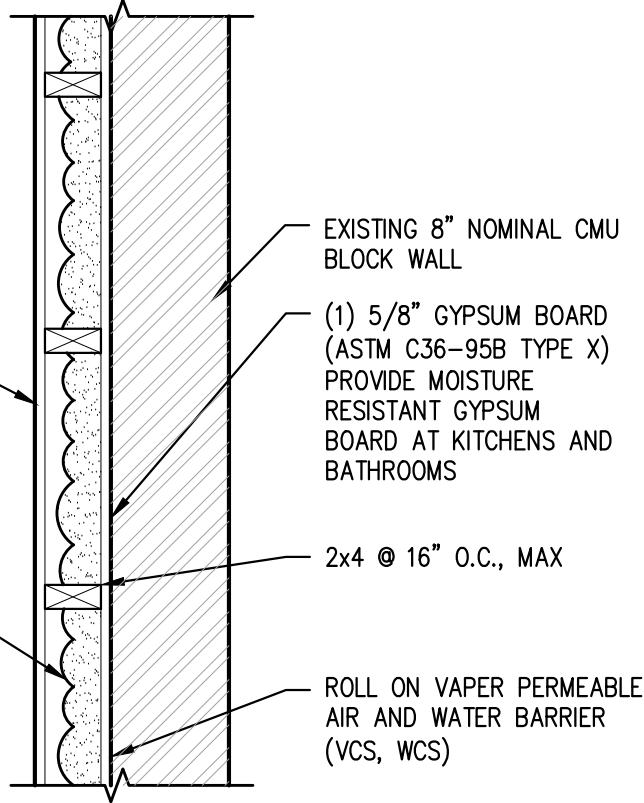
DRAWING:	EXISTING FIRST FLOOR DEMO PLAN
ISSUED:	
2020.06.03	BUDGET PRICING SET
2020.07.21	HISTORIC PRESERVATION
2020.08.03	HISTORIC SUBMISSION

A200

UL 263 DESIGN NO. U305
R VALUE: 13

(1) 5/8" GYPSUM BOARD (ASTM C36-95B TYPE X) PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT KITCHENS AND BATHROOMS

R-13 CLOSED CELL INSULATION, INSTALLED PER MANUF. INSTRUCTION

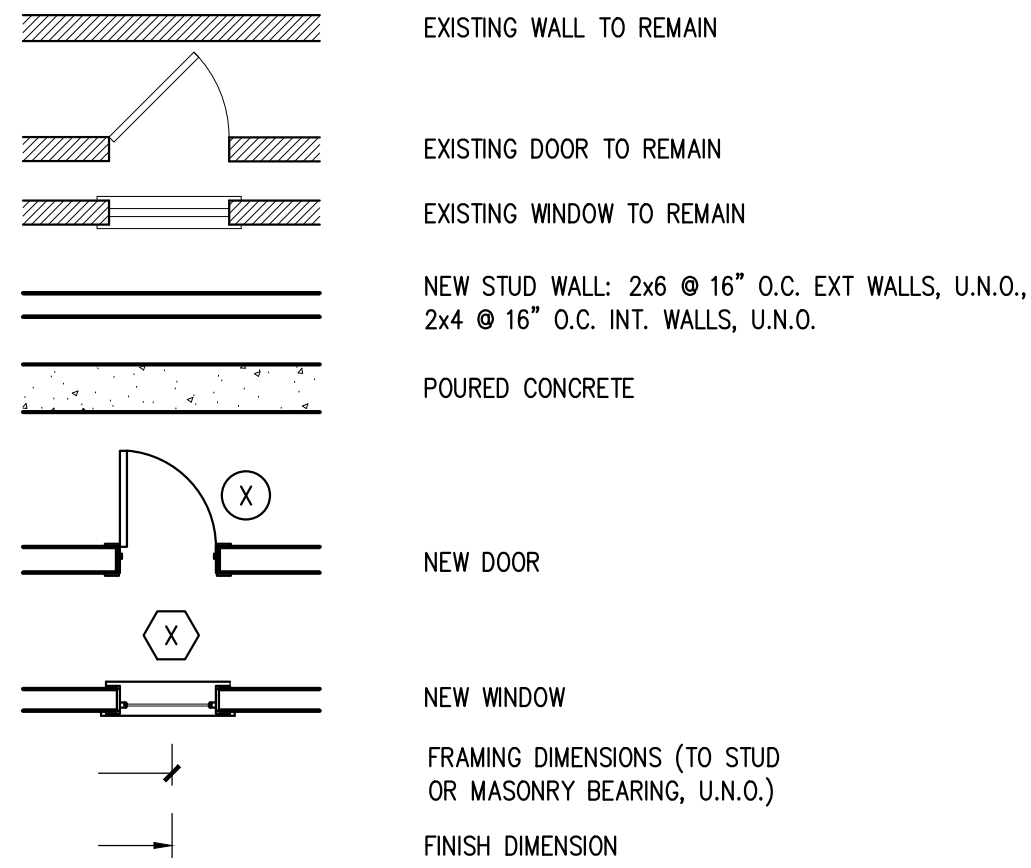


1 1 HR RATED WALL DETAIL
SCALE: 1"=1'-0"

DOOR	FRAME SIZE	TYPE	MATERIAL	SILL	INTERIOR FINISH	EXTERIOR FINISH	HARDWARE FUNCTION	HARDWARE STYLE	NOTES
HICKMAN RESIDENCE									
105	96.25"x98"	B	Wood	Bronze	Painted	Painted	Entry Set	Match Existing	keyed to match existing
106	30"x98"	A	Wood	Bronze	Painted	Painted	Entry Set	Match Existing	keyed to match existing
Door Types:									
A	Full single lite								
B	French door with side lites								
General notes: See drawings and specifications for addition information									
1 All new doors by the same manufacturer									
2 Provide samples of all hardware for architect and owner review and approval prior to fabrication.									
3 Provide shop drawings for all doors, showing sizes, elevations, and profiles. Provide shop drawings with handing on exterior doors only.									
4 Shop drawings shall be approved and signed by the architect prior to ordering.									
5 Do not pre-bore doors unless hardware is pre-selected before order.									
6 Manufacturers shall supply glazed doors free of excessive glazing compound.									
Contractor shall be responsible for:									
1 Verifying quantities from the architectural plans and elevations.									
2 Reviewing plans and elevations with door supplier to comply with egress and tempered glass code requirements.									
3 Coordinating swing direction for all doors with drawings as shown. Notify architect if discrepancies are found.									
4 Verifying size of required jamb with wall construction. Provide jamb extensions as required. Jambs to match door interior.									
5 Verifying paint and stain colors with architect.									
6 Contacting architect with any discrepancies prior to contracting opening or ordering doors.									
7 Removing any excess glazing compound and cleaning glass.									
8 Verifying required size of framed and masonry opening based on the drawings, schedules, and manufacturer recommendations									
Exterior Door Description:									
1 Exterior door styles to match elevations. New Exterior doors to be Metal Clad, U.N.O. Glass lites per elevations. (1 3/4" thick slab)									
2 Exterior doors to be factory primed.									
3 All glass shall be clear, double-pane insulating, argon filled, low 'e', safety glazing and tempered glazing where required by code.									
4 Door U-factor to be less than or equal to U=0.35. SHGC to be less than SHGC=0.24.									
5 Grilles shall be simulated divided lites with mill finish bronze spacer bar									
6 Grille and glazing bead profiles to be 7/8"									
7 Exterior doors shall have bronze aluminum sills, contractor to provide sample.									
8 All exterior doors to be fitted with copper weather stripping or manufacturer standard, confirm with architect.									
Door Hardware Description:									
1 Exterior Entry doors shall have standard hinges (3 per door), finish to match door hardware									
2 Exterior Entry doors with new hardware, allow \$250 a set.									
3 All exterior doors to be keyed alike except as noted.									

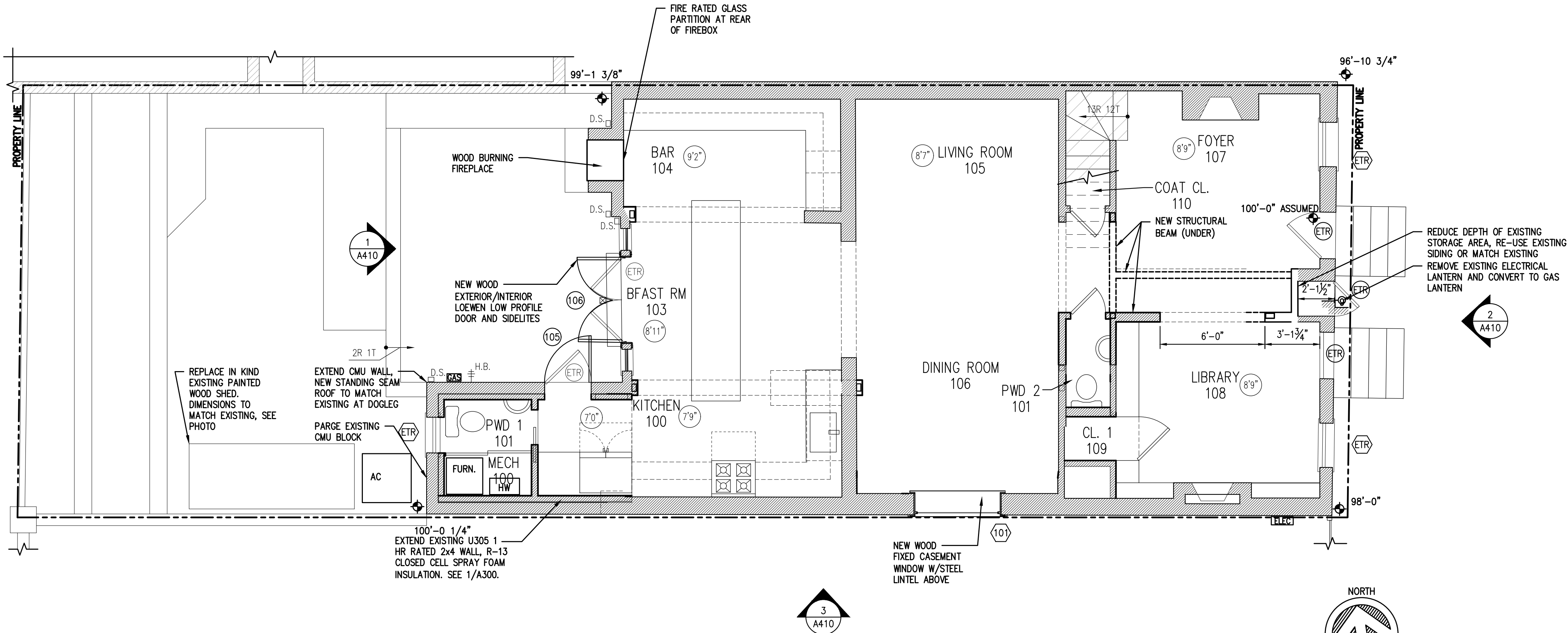
3 DOOR SCHEDULE
SCALE: N.T.S.

CONSTRUCTION LEGEND:

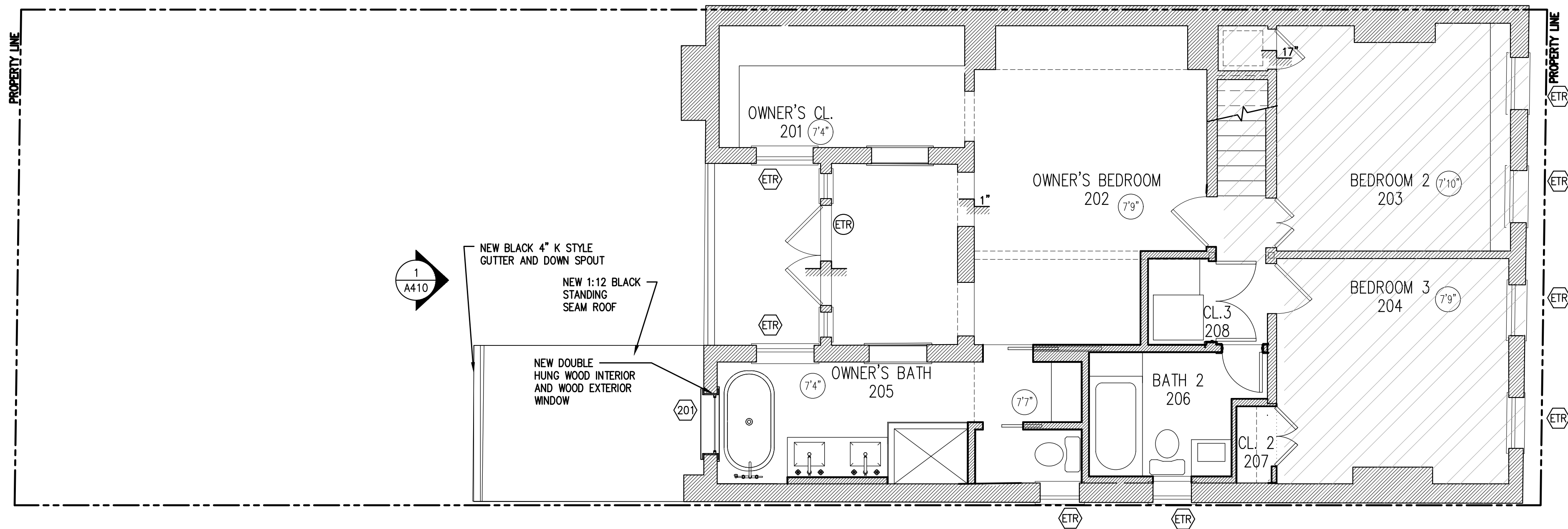


CONSTRUCTION NOTES:

- SEE STRUCTURAL FOR COLUMN, POST AND BEAM SIZES.
- SEE STRUCTURAL FOR FOUNDATION INFORMATION AND LAYOUT.
- CONTRACTOR TO UTILIZE TREE PROTECTION MEASURES AS REQUIRED.
- NON-VENTED CRAWLSPACE. 10 MIL POLYETHYLENE VAPOR RETARDER ON GROUND, EXTEND TO 6" ABOVE GRADE. 6" LAP JOINTS TAPE AND SEAL PER MANUFACTURER'S INSTRUCTIONS AND DETAILS. R-13 SPRAY FOAM INSULATION AT CRAWL SPACE EXTERIOR WALLS.

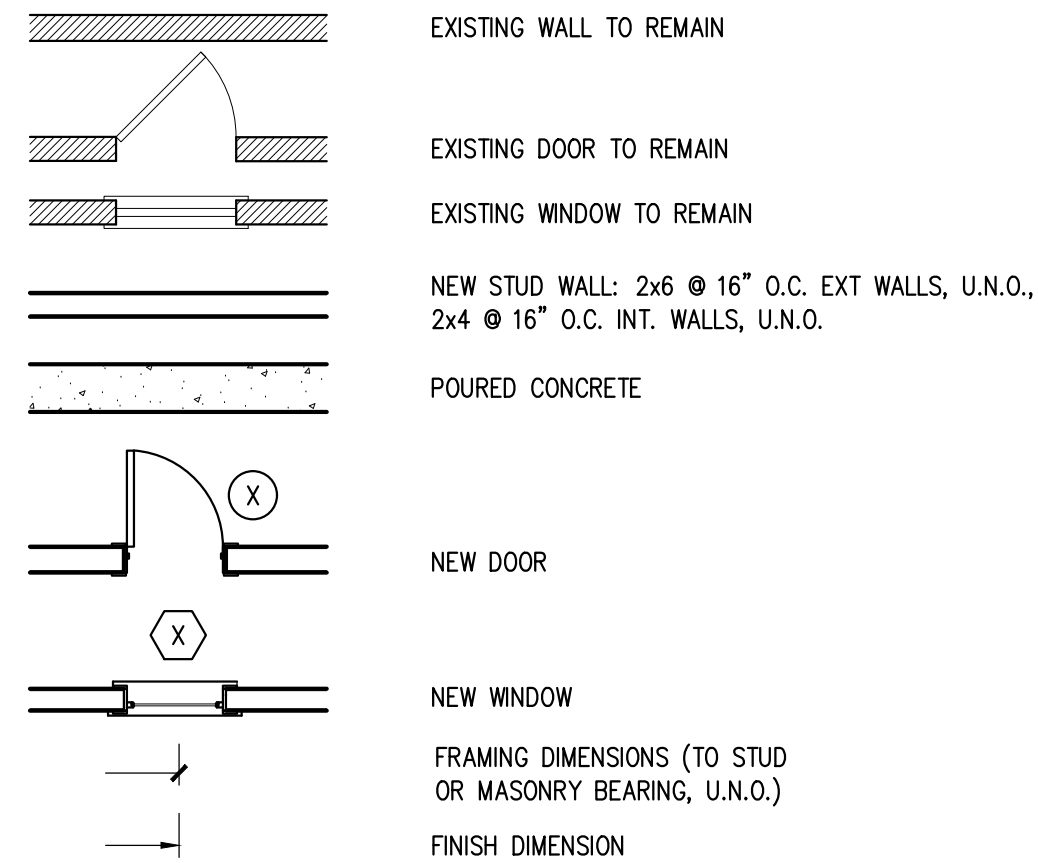


1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



1
A301
PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

CONSTRUCTION LEGEND:



CONSTRUCTION NOTES:

1. FINISHED GRADES ARE INDICATED TO SHOW DESIGN INTENT. GENERAL CONTRACTOR SHALL DETERMINE CUT/FILL REQUIREMENTS
2. CONTRACTOR TO UTILIZE TREE PROTECTION MEASURES AS REQUIRED.
3. ARCH ELEVATION 100'-0" = 351.7' PER SURVEY

EVELYNPIERCE DESIGN STUDIO

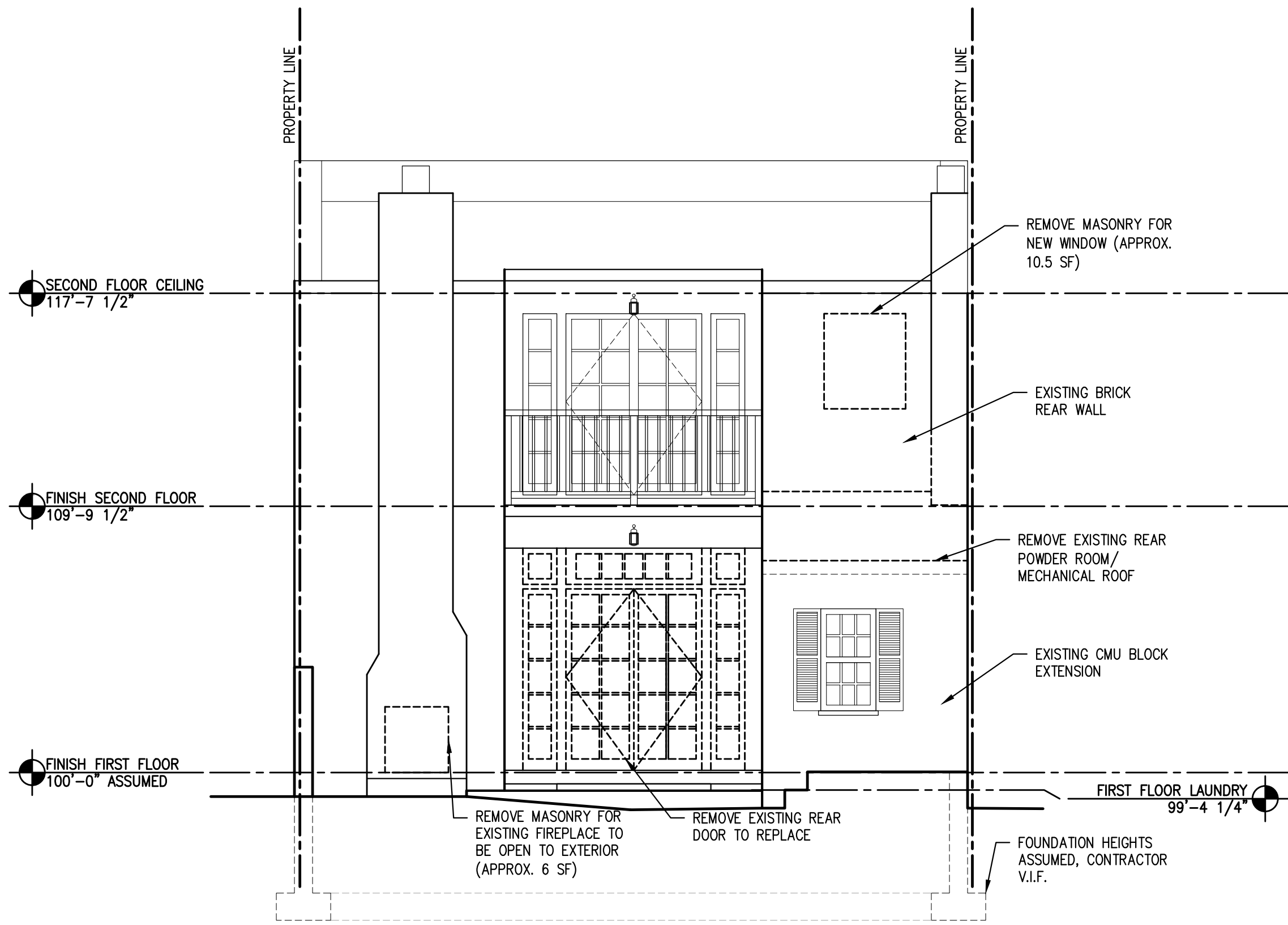
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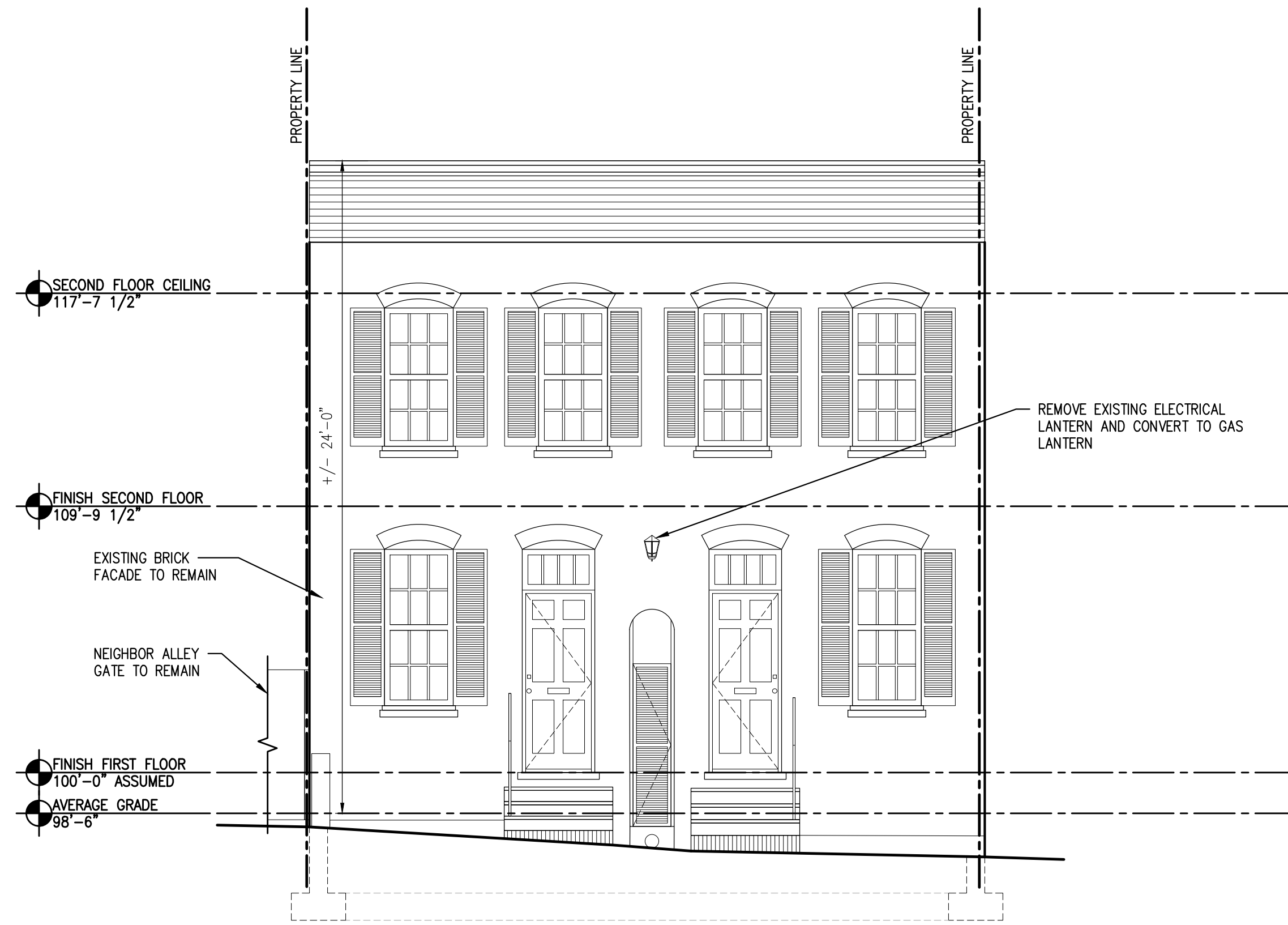
DRAWING: PROPOSED SECOND FLOOR PLAN

ISSUED:	
2020.06.03	BUDGET PRICING SET
2020.07.21	HISTORIC PRESERVATION
2020.08.03	HISTORIC SUBMISSION

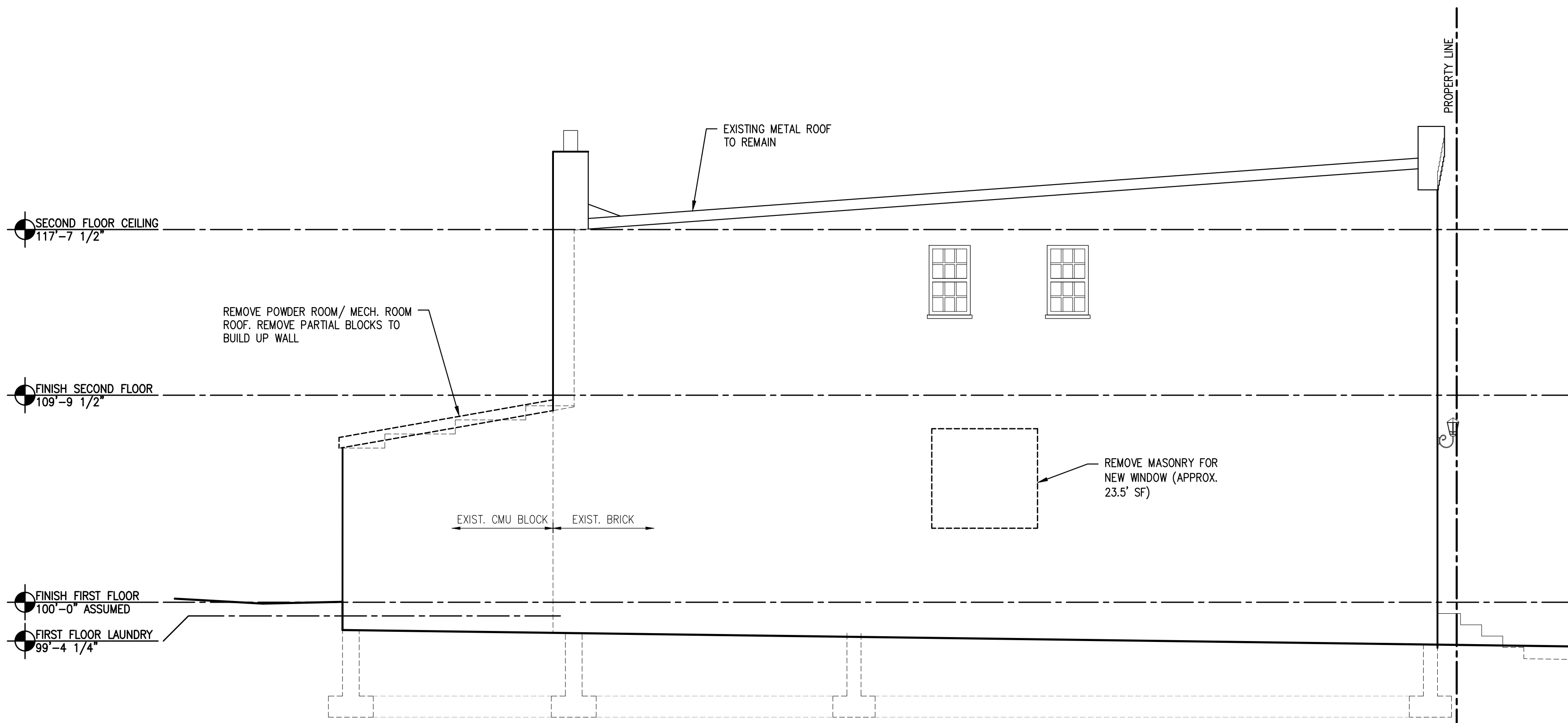
A301



1 EXISTING REAR ELEVATION
A400 SCALE: 1/4"=1'-0"



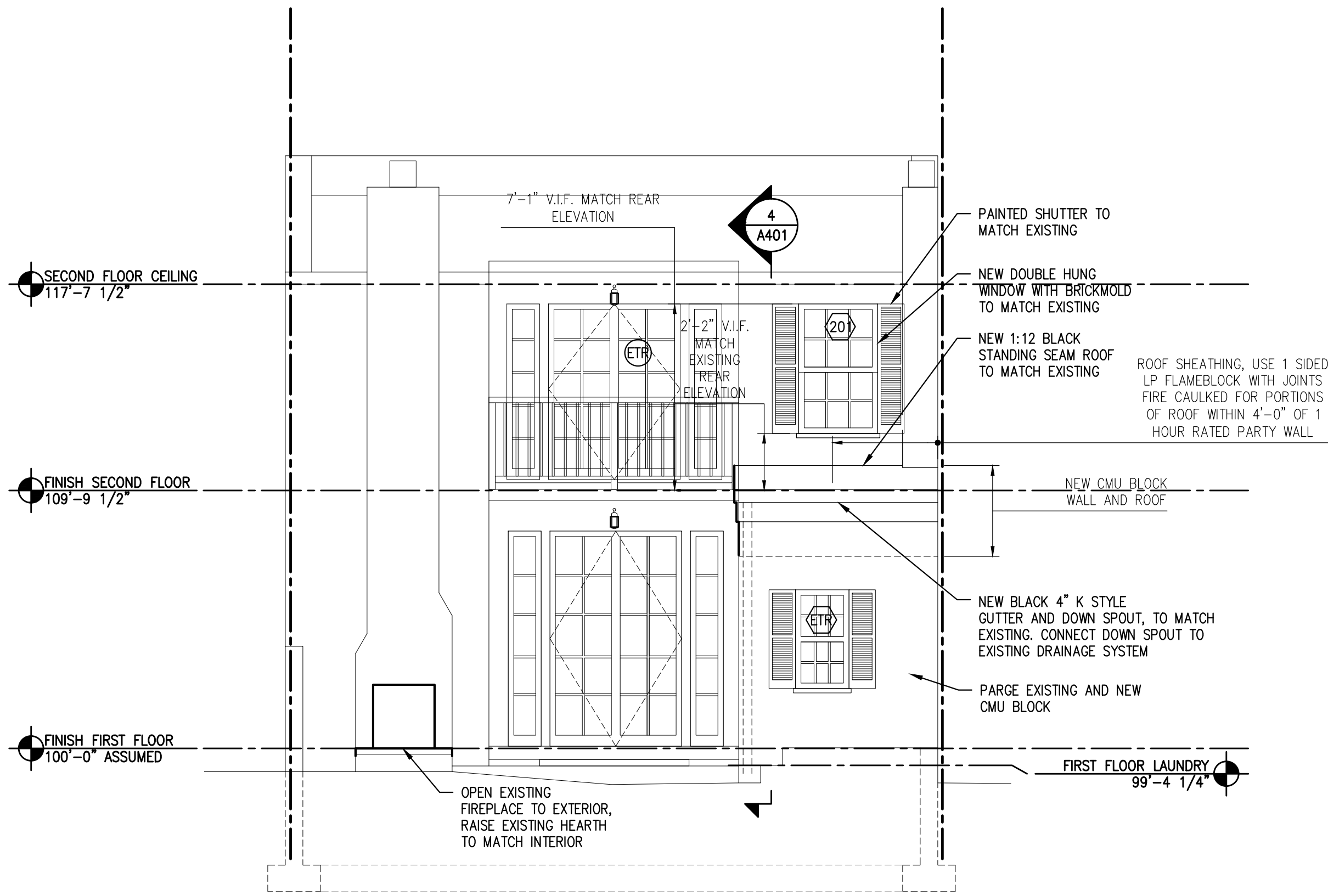
2 EXISTING FRONT ELEVATION
A400 SCALE: 1/4"=1'-0"



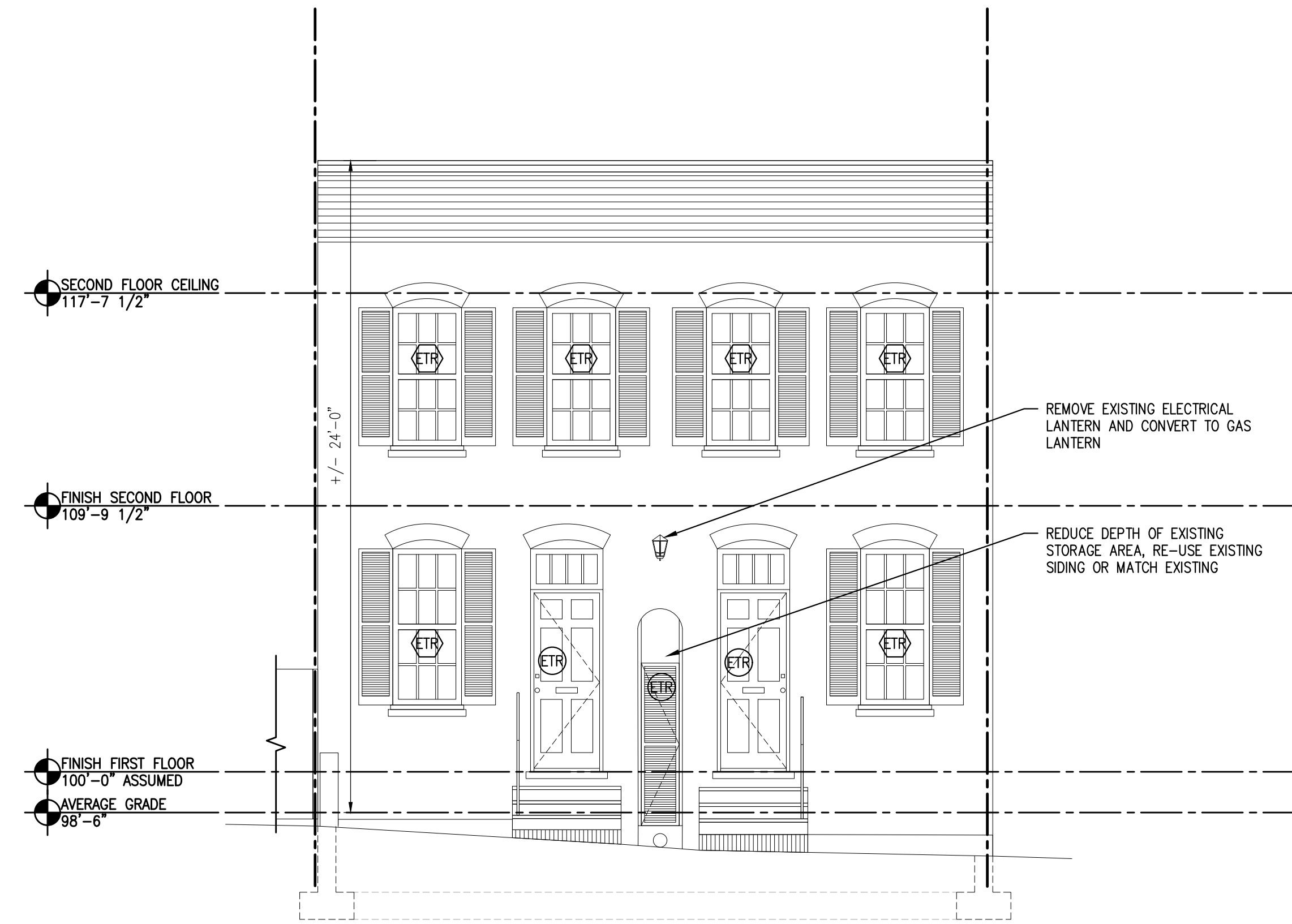
3 EXISTING ALLEY ELEVATION
A400 SCALE: 1/4"=1'-0"

WINDOW	FRAME SIZE	TYPE	MATERIAL	SILL	INTERIOR FINISH	EXTERIOR FINISH	CODE NOTES	HARDWARE	HEAD/ JAMB/ SILL DETAILS	SCREEN
HICKMAN RESIDENCE										
101	5'-0"x5'-8 1/2"	Fixed	Wood	Wood	Painted	Painted		Mfg. Std. White		N
201	3'-0"x4'-11"	Double Hung	Wood	Wood	Painted	Painted		Mfg. Std. White		Y
General Notes: See Drawings and specification for additional information										
1 See specifications for window allowances , if any.										
2 Window and Exterior Doors shall be provided by the same manufacturer, U.N.O.										
3 Head height of windows shall match head height of exterior doors, U.N.O.										
4 Contractor is responsible for coordinating required jamb depths and for providing jamb extensions. Jamb extensions to match window interior.										
Window Descriptions:										
1 Window interiors shall be painted wood, U.N.O. Window exteriors to be painted wood, U.N.O.										
2 Interior and exterior casing shall be as noted on the drawings.										
3 Window sills shall be as noted on the drawings.										
4 Glass shall be clear, double-pane insulating, argon-filled, low 'e' glass. Safety glazing where required by code, U.N.O.										
5 Grilles shall be manufacturer's standard, between the glass.										
6 Grille and glazing bead profile shall be manufacturer's standard.										
7 Windows noted shall be installed with manufacturer's Inview screens with white frames to match windows.										
8 All window details, including casing and muntin style, shall match exterior elevations.										
9 Glazing U-factor to be equal or less than U=0.35. Glazing SHGC to be equal or less than SHGC=0.4.										
10 Specified Pella Casement U=0.28, SHGC=0.24. Specified Pella Double Hung U=0.31, SHGC=0.25.										
11 Manufacturer U-factors of fenestration products to be determined in accordance with the NFRC or the default table values.										
12 Manufacturer SHGC values to be determined in accordance with the NFRC or the default table values.										
13 Fenestration to be listed and labeled by manufacturer as meeting AAMA/ WDMA/ CSA 101/ I.S. 2/ A440 or does not exceed code limits per NFRC 400.										
Hardware Notes:										
1 For inswing casement windows, provide white crank handle										
2 All exposed hardware shall be white										
3 Provide samples of all hardware for Architect and Owner approval prior to fabrication.										

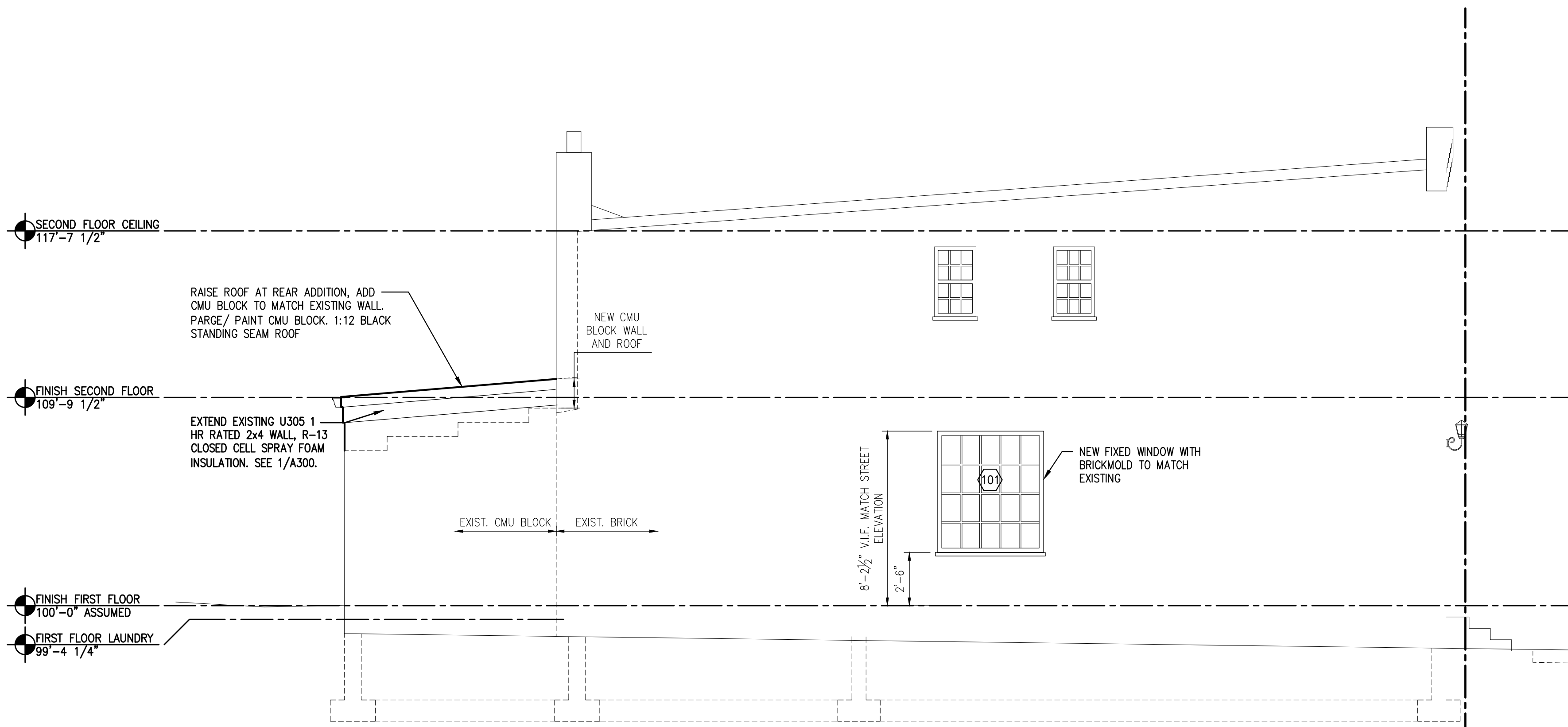
4 WINDOW SCHEDULE
A400 SCALE: N.T.S



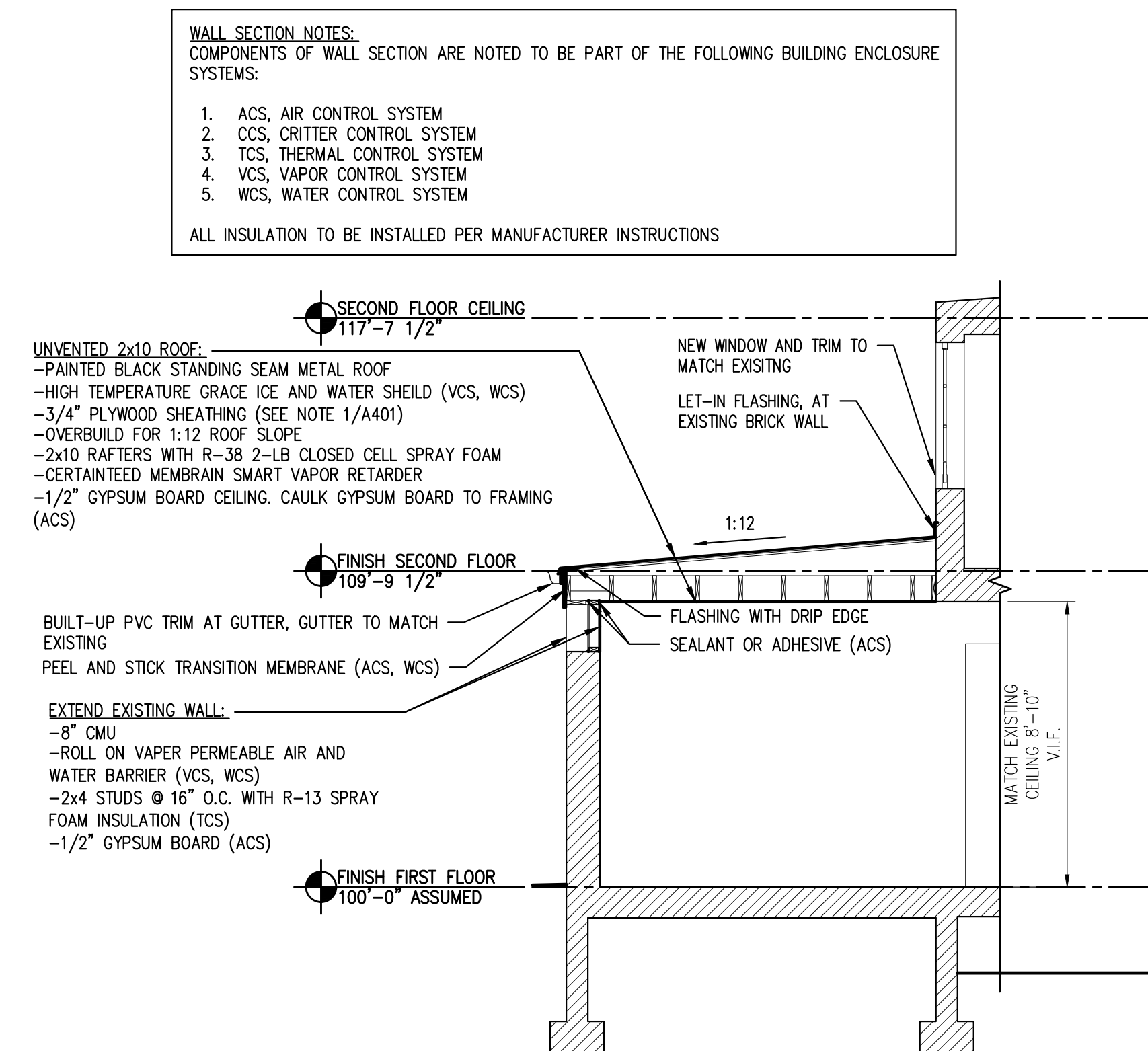
1 PROPOSED REAR ELEVATION
A401 SCALE: 1/4"=1'-0"



2 PROPOSED FRONT ELEVATION
A401 SCALE: 1/4"=1'-0"



3 PROPOSED ALLEY ELEVATION
A401 SCALE: 1/4"=1'-0"



4 PROPOSED BUILDING SECTION
A401 SCALE: 1/4"=1'-0"

WALL SECTION NOTES:
COMPONENTS OF WALL SECTION ARE NOTED TO BE PART OF THE FOLLOWING BUILDING ENCLOSURE SYSTEMS:

1. ACS, AIR CONTROL SYSTEM
2. CCS, CRITTER CONTROL SYSTEM
3. TCS, THERMAL CONTROL SYSTEM
4. VCS, VAPOR CONTROL SYSTEM
5. WCS, WATER CONTROL SYSTEM

ALL INSULATION TO BE INSTALLED PER MANUFACTURER INSTRUCTIONS