

**ISSUE:** Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for addition and alterations

**APPLICANT:** Clare Little

**LOCATION:** Old and Historic Alexandria District  
709 South Lee Street

**ZONE:** RM/Residential Townhouse Zone

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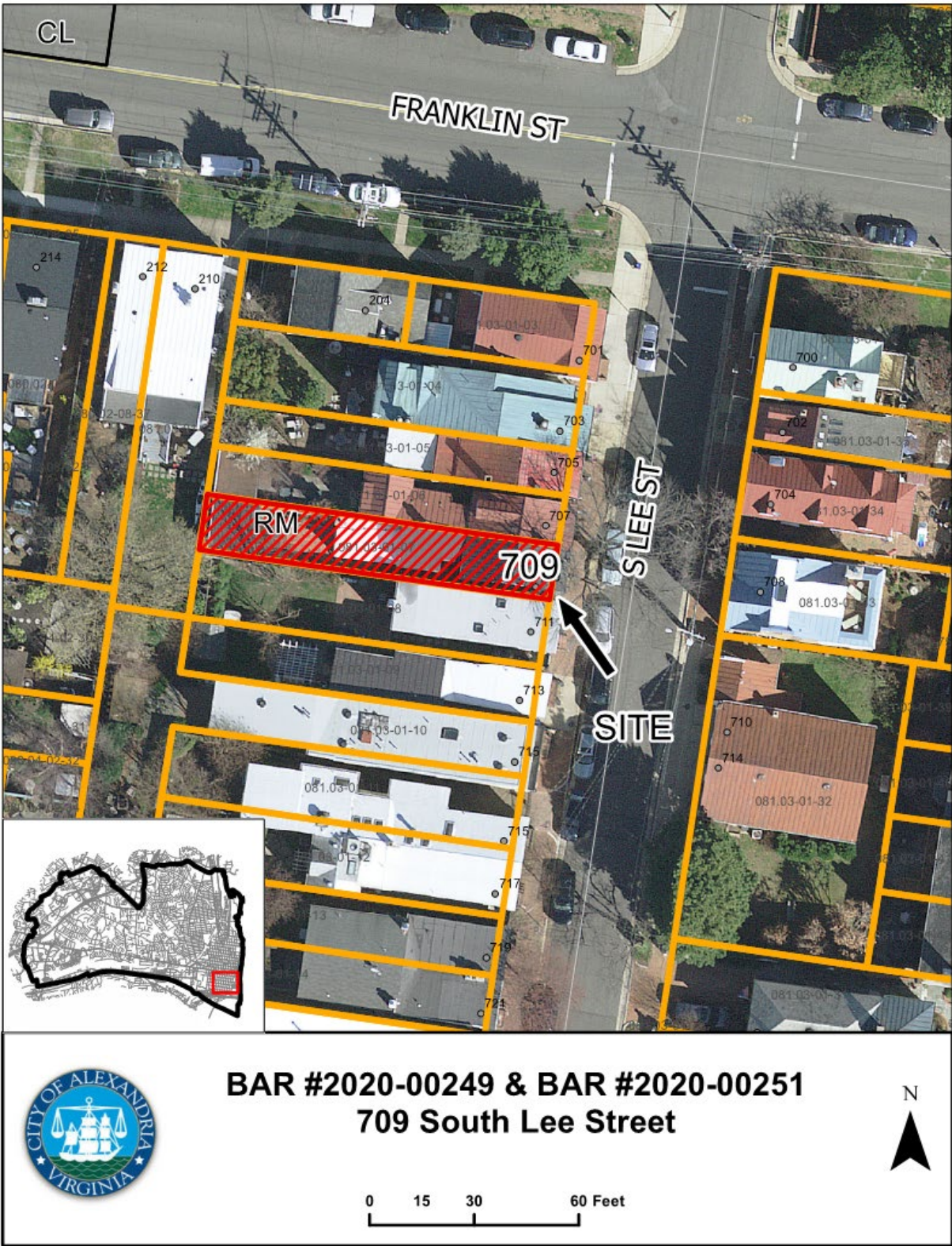
**RECOMMENDATION**

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for an addition and alterations, as submitted.

**GENERAL NOTES TO THE APPLICANT**

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.







**Note:** *Staff coupled the applications for a Permit to Demolish (BAR #2020-00013) and Certificate of Appropriateness (BAR #2020-00014) for clarity and brevity. The Permit to Demolish requires a roll call vote.*

## **I. APPLICANT'S PROPOSAL**

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to construct a rear second story addition, at 709 South Lee Street.

### **Permit to Demolish/Capsulate**

The proposed project occurs on the ell addition at the rear of the property, no work will be done on the main historic building. The applicant proposes to remove the roofs of the two-story and one-story ells at the rear and demolish approximately 50 square feet of the rear west and south walls. The second story west elevation wall of the two-story ell will be capsulated, approximately 70 square feet.

### **Certificate of Appropriateness**

#### **Addition**

The existing approximately 29' x 10' rear ell footprint will not change. The applicant proposes to extend the second floor of the two-story ell over the existing one-story to accommodate a master bathroom and closet. The new addition will be clad with brick veneer to match the existing. Two new windows will be installed on the south elevation wall and a set of French doors with affixed guardrail on the rear west wall. The new metal shed roof will slope south and will have a skylight on the west portion, over the master bathroom.

#### **Alterations**

The project calls to raise the roof line of the existing two-story ell 1'-6" and infill the wall gap with masonry to match the existing. The two existing windows on the second story of the ell's south elevation will also be raised about 1'-0". The project also calls to extend the existing rear masonry chimney approximately 7'-0".

#### **Site context**

The property sits on the west side of the 700 block of South Lee Street. There is no alley or vacant lot adjacent to the property; the second-story addition will be minimally visible from Franklin and South Lee streets.

## **II. HISTORY**

This semi-detached, two bay, two-story, frame Colonial Revival dwelling was built **ca. 1902**. The house features a side gable metal roof, six-over-six windows with operable shutters on the second story, a six-over-nine light configuration window on the street level, a six-panel front door with a transom and a classical door surround with pilasters. The Sanborn map of 1907 shows the two-story and one-story ell additions at the rear.



*Previous BAR Approvals:*

A new rear addition was approved by the BAR in 1978.

May 11, 2010 – approval for a gas lantern (BAR2010-00110)

April 1, 2015 – approval for roof replacement (BAR2015-00084)

September 19, 2019 – approval for door replacement (BAR2019-0395)

### **III. ANALYSIS**

#### **Permit to Demolish/Capsulate**

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

<b>Standard</b>	<b>Description of Standard</b>	<b>Standard Met?</b>
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No



In the opinion of staff, none of the criteria for demolition and capsulation are met in this case and the Permit to Demolish/Capsulate should be granted. The building is considered an Early (built before 1934) structure in the Old and Historic Alexandria District. The amount of material that will be demolished is minimal and the roofs to be removed are not original to the building. The materials and workmanship of the affected portions could be reproduced easily today.

#### Certificate of Appropriateness

According to the *Design Guidelines*, “As a general rule, the Boards favor contextual background buildings which allow historic structure to maintain the primary visual importance.” Furthermore, “It is not the intention of the Boards to dilute design creativity in residential additions. Rather, the Boards seek to promote compatible development that is, at once, both responsible to the needs and tastes of the late 20<sup>th</sup> century while being compatible with the historic character of the districts.”

Staff has no objection to the construction of a second story addition above the existing one-story portion of the existing rear ell and the proposed alterations to the two-story portion of the ell. They will be minimally visible from any public way and will not detract from the historic character of the main historic building. The Board routinely approves changes on the rear elevations of historic buildings to accommodate a more modern and functional interior layout as tastes and technology evolve. The existing rear elevations do not exhibit a high level of design or architectural detail as well.

Staff recommends approval of the project as submitted.

#### **STAFF**

Marina Novaes, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

#### **IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

#### **Zoning**

C-1 Complies with zoning.

#### **Code Administration**

No comments received.

#### **Transportation and Environmental Services**

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)



- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
  
- F-1 Previously reviewed under BAR2010-00110, BAR2015-00084, BAR2019-00395 (T&ES)
  
- F-2 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
  
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
  
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
  
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
  
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
  
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
  
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

**Alexandria Archaeology**

No archaeological oversight will be necessary for this project.

**V. ATTACHMENTS**

*1 – Supplemental Materials*

*2 – Application for BAR 2020-00013 & 2020-00014; 801 South Fairfax Street*



ADDRESS OF PROJECT: 709 S LEE ST.DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old BuildingTAX MAP AND PARCEL: 81.03 ZONING: RMAPPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☐ Property Owner ☒ Business *(Please provide business name & contact person)*Name: CLARE LITTLEAddress: 709 S LEE STCity: ALEXANDRIA State: VA Zip: \_\_\_\_\_Phone: \_\_\_\_\_ E-mail: clare.little1@verizon.netAuthorized Agent *(if applicable)*: ☐ Attorney ☒ Architect ☐ \_\_\_\_\_Name: KURT WEST Phone: 202-957-0933E-mail: kurt@westworkshop.com**Legal Property Owner:**Name: CLARE LITTLEAddress: 709 S LEE STCity: ALEXANDRIA State: VA Zip: 22314Phone: \_\_\_\_\_ E-mail: clare.little1@verizon.net

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☒ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.



**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☐ NEW CONSTRUCTION  
☐ EXTERIOR ALTERATION: *Please check all that apply.*  

☐ awning  
☐ doors  
☐ lighting  
☐ other \_\_\_\_\_

☐ fence, gate or garden wall  
☐ windows  
☐ pergola/trellis

☐ HVAC equipment  
☐ siding  
☐ painting unpainted masonry

☐ shutters  
☐ shed

☒ ADDITION  
☒ DEMOLITION/ENCAPSULATION  
☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

Addition and alteration to existing 2-story brick dwelling.

Demolition scope to include roof removal.

New work to include a raised roof, new master bathroom and interior finishes.

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.  
☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.  
☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.

☐ ☐ Description of the reason for demolition/encapsulation.  
☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.



**Additions & New Construction:** *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.*

- ☐ <sup>N/A</sup> ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ <sup>N/A</sup> ☐ Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- ☐ ☐ Square feet of existing signs to remain: \_\_\_\_\_.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** *Check N/A if an item in this section does not apply to your project.*

- ☒ <sup>N/A</sup> ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.



**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that \_\_\_\_\_ is the \_\_\_\_\_ of the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: \_\_\_\_\_

Printed Name: KURT WEST

Date: MAY 22, 2020





# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. N/A		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at \_\_\_\_\_ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. CLARE LITTLE	709 S LEE ST	100
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. N/A		
2.		
3.		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent,  
the information provided above is true and correct.

MAY 22, 2020

Date

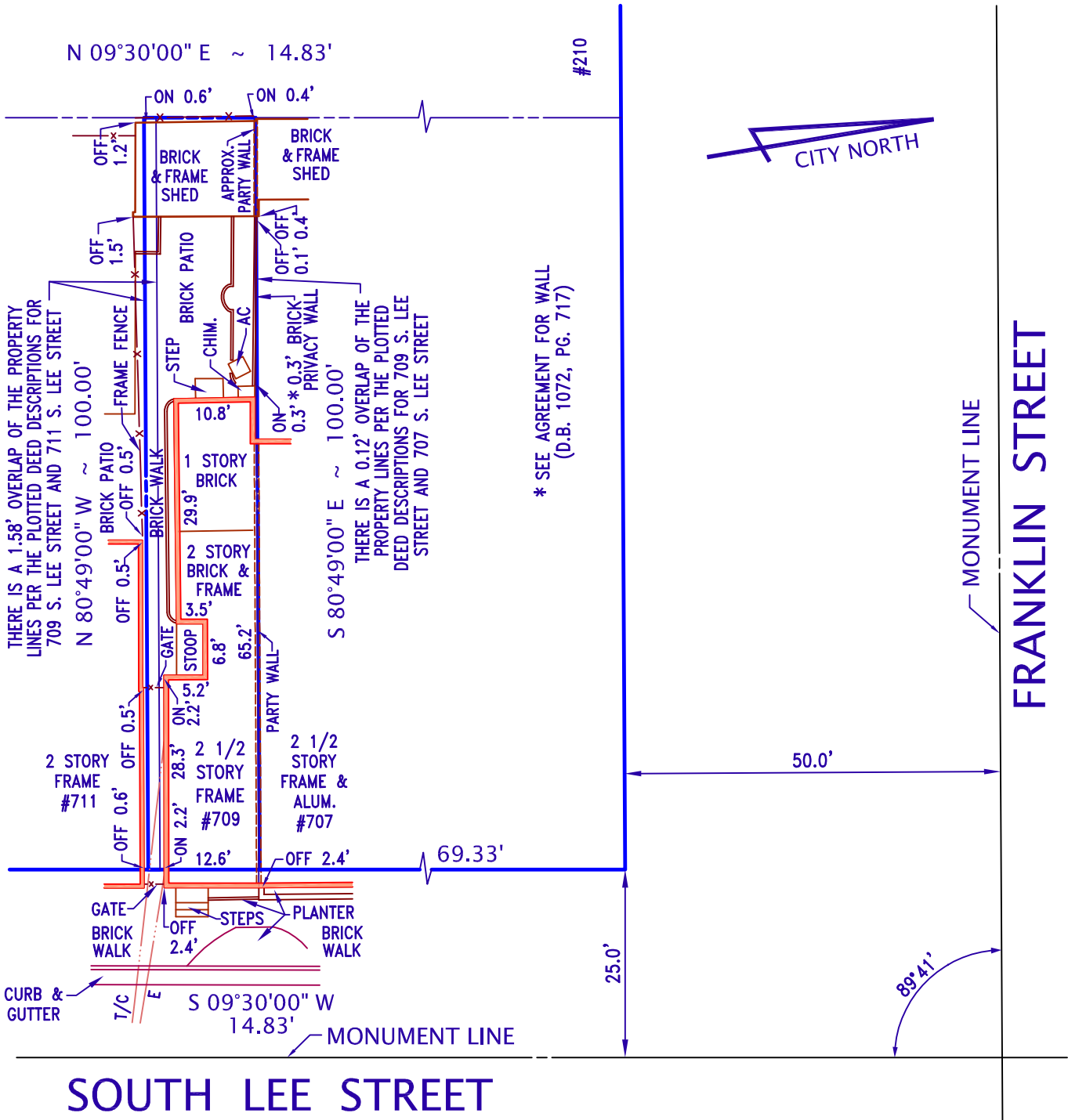
KURT WEST

Printed Name

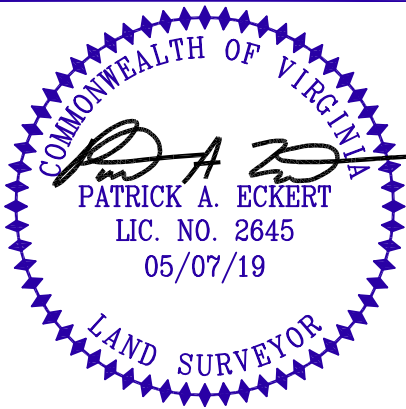
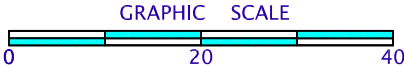


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PLAT  
SHOWING HOUSE LOCATION ON  
THE PROPERTY LOCATED AT  
**# 709 SOUTH LEE STREET**  
CITY OF ALEXANDRIA , VIRGINIA  
SCALE: 1" = 20'      MAY 3, 2019



THE POSITION OF THE EXISTING IMPROVEMENTS HAS BEEN ESTABLISHED BY AN ON SITE INSTRUMENT SURVEY AND UNLESS OTHERWISE SHOWN THERE ARE NO VISIBLE ENCROACHMENTS.

CASE NAME:  
GREER TRS ~ LITTLE  
ORDERED BY:  
KVS TITLE, LLC

PLAT PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. THIS PLAT IS SUBJECT TO RESTRICTIONS AND EASEMENTS OF RECORD OR ESTABLISHED. NO CORNER MARKERS SET.

**ALTERRA SURVEYS, INC.**  
11350 RANDOM HILLS ROAD #430  
FAIRFAX , VIRGINIA 22030  
TEL. NO. 703-520-1558  
FAX NO. 703-995-4800  
INBOX@ALTERRASURVEYS.COM





# DEPARTMENT OF PLANNING AND ZONING

## FLOOR AREA RATIO AND OPEN SPACE CALCULATIONS

### A. Property Information

A1. Street Address 709 S. LEE STREET Zone RM

A2.  $\frac{1483}{\text{Total Lot Area}} \times \frac{1.5}{\text{Floor Area Ratio Allowed by Zone}} = \frac{2224}{\text{Maximum Allowable Floor Area}}$

### B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions **	
Basement		Basement	
First Floor	695	Stairways	56
Second Floor	508	Mechanical	12
Third Floor		Other	
Porches/ Other	180 (Shed)	Total Exclusions	68
<b>Total Gross *</b>	<b>1383</b>		

B1. Existing Gross Floor Area \*  
1383 Sq. Ft.

B2. Allowable Floor Exclusions  
68 Sq. Ft.

B3. Existing Floor Area minus Exclusions  
1315 Sq. Ft.  
(subtract B2 from B1)

### C. New Gross Floor Area

Proposed Gross Area*		Allowable Exclusions **	
Basement		Basement	
First Floor		Stairways	
Second Floor	187	Mechanical	
Third Floor		Other	
Porches/ Other		Total Exclusions'	
<b>Total Gross *</b>	<b>187</b>		

C1. New Gross Floor Area \*  
187 Sq. Ft.

C2. Allowable Floor Exclusions  
0 Sq. Ft.

C3. New Floor Area minus Exclusions  
187 Sq. Ft.  
(subtract C2 from C1)

### D. Existing + New Floor Area

D1. Total Floor Area (add B3 and C3) 1502 Sq. Ft.

D2. Total Floor Area Allowed by Zone (A2) 2224 Sq. Ft.

\*Gross floor area is the sum of all gross horizontal areas under roof, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the zoning ordinance (Section 2-145(B)) and consult with zoning staff for information regarding allowable exclusions.

If taking exclusions other than basements, floor plans with excluded areas must be submitted for review. Sections may also be required for some exclusions.

### F. Open Space Calculations

Existing Open Space	337
Required Open Space	337
Proposed Open Space	337

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: [Signature]

Date: April 2, 2020



PROJECT NO.  
1964A

LITTLE RESIDENCE  
ADDITION & ALTERATION

709 S. LEE ST.  
ALEXANDRIA, VA 22314

ISSUE:	
DATE	DESCRIPTION
2020-02-09	FEASIBILITY STUDY 100%
2020-03-17	PRESERVATION STAFF REVIEW
2020-05-17	BAR APPLICATION

REVISION:		
DATE	DESCRIPTION	NO.

SHEET TITLE:  
EXISTING EXTERIOR PHOTOS

SHEET:  
G002

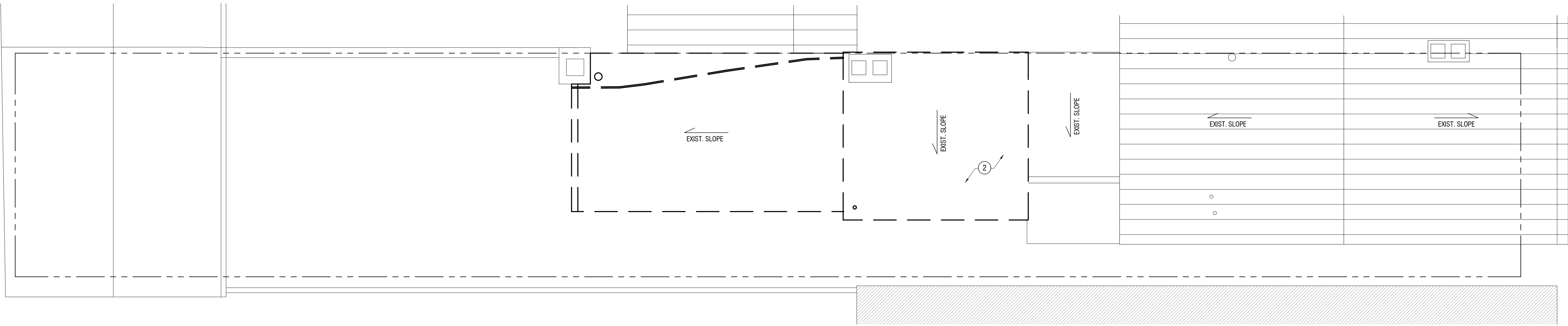




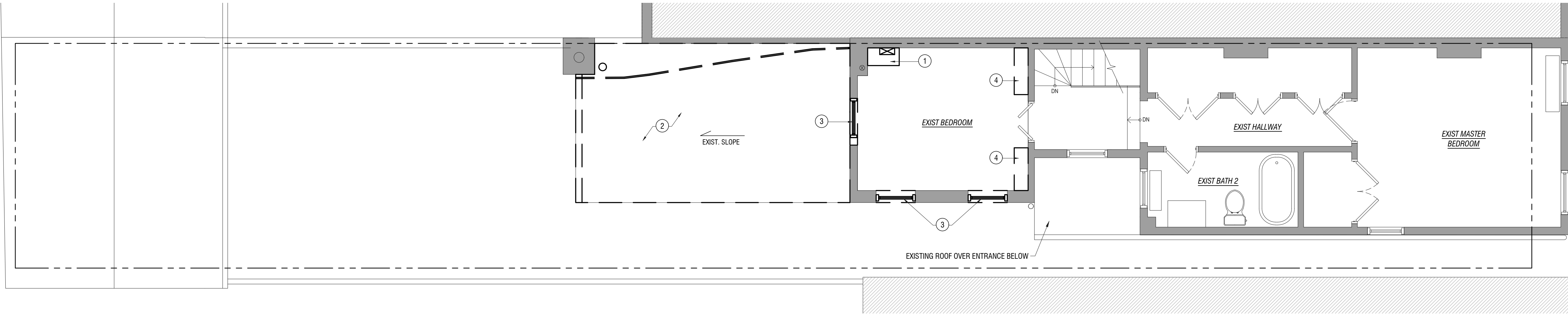
**GRAPHICS LEGEND**

- EXISTING CONSTRUCTION
- REMOVE WALL OR PORTION OF WALL
- REMOVE WINDOW SASH, FRAME, AND TRIM
- REMOVE DOOR, FRAME, AND HARDWARE (UDN)
- REMOVE FLOOR OR ROOF CONSTRUCTION, INCLUDING SLAB AND JOISTS (UDN)

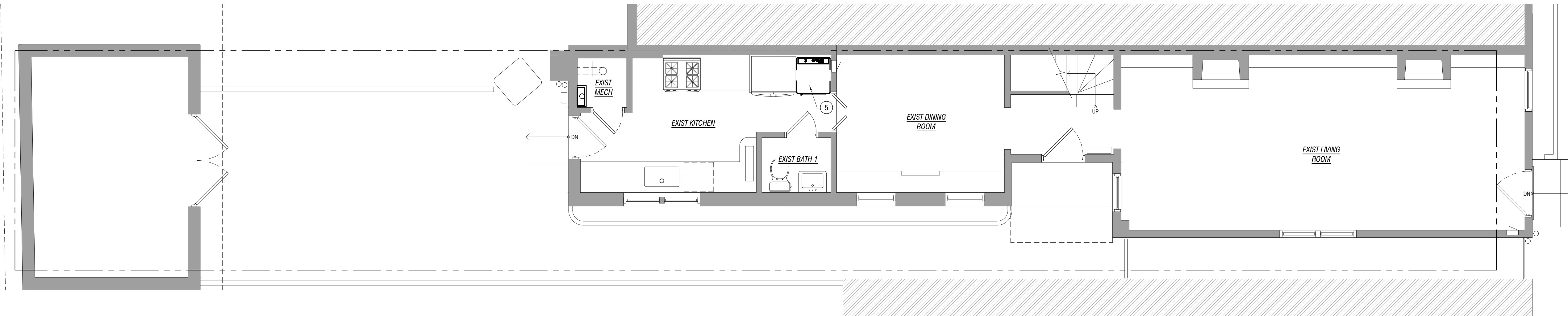
- DEMOLITION KEYNOTES**
- PORTION OF EXISTING MECH STACK TO BE REMOVED. DUCT TO BE RECONFIGURED.
  - EXISTING ROOFING AND ROOF FRAMING TO BE REMOVED
  - EXISTING WINDOWS TO BE REMOVED IN THEIR ENTIRETY. PORTION OF MASONRY TO BE REMOVED. SEE ELEVATIONS.
  - CASEWORK TO BE REMOVED IN ITS ENTIRETY.
  - WASHER/DRYER TO BE RELOCATED. STORE FOR FUTURE USE.



**3** | DEMOLITION PLAN - ROOF  
SCALE: 1/4" = 1'-0"



**2** | DEMOLITION PLAN - SECOND FLOOR  
SCALE: 1/4" = 1'-0"



**1** | DEMOLITION PLAN - FIRST FLOOR  
SCALE: 1/4" = 1'-0"

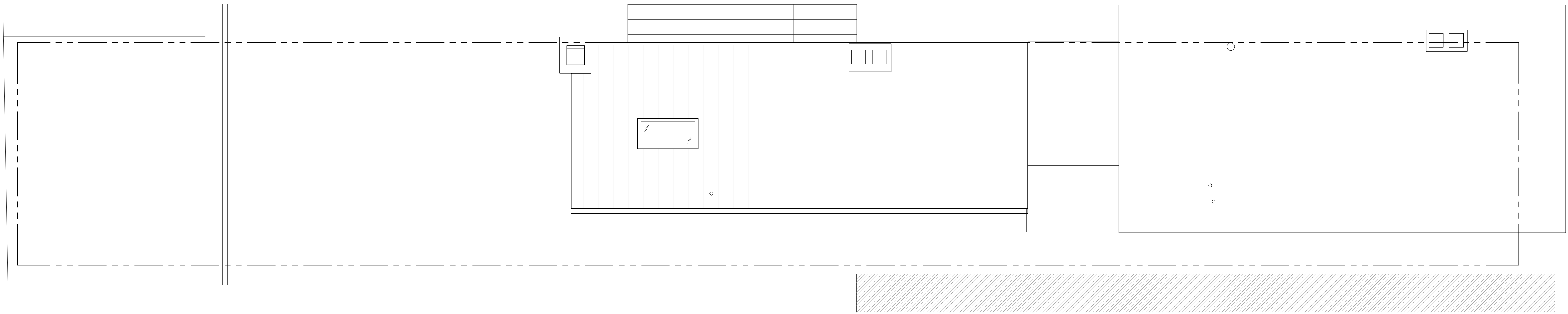
ISSUE:	
DATE	DESCRIPTION
2020-02-09	FEASIBILITY STUDY 100%
2020-03-17	PRESERVATION STAFF REVIEW
2020-05-17	BAR APPLICATION

REVISION:		
DATE	DESCRIPTION	NO.

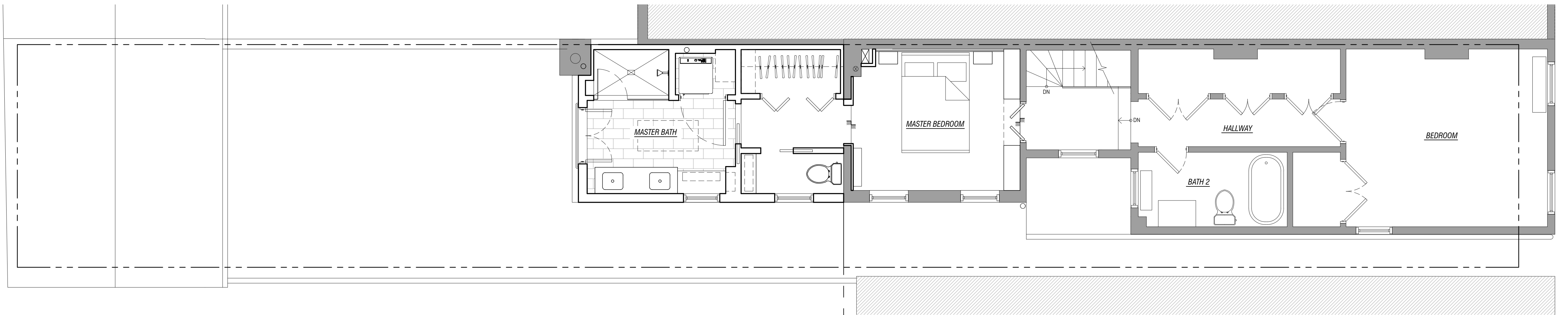
SHEET TITLE:  
DEMOLITION FLOOR PLANS

SHEET:  
**AD101**



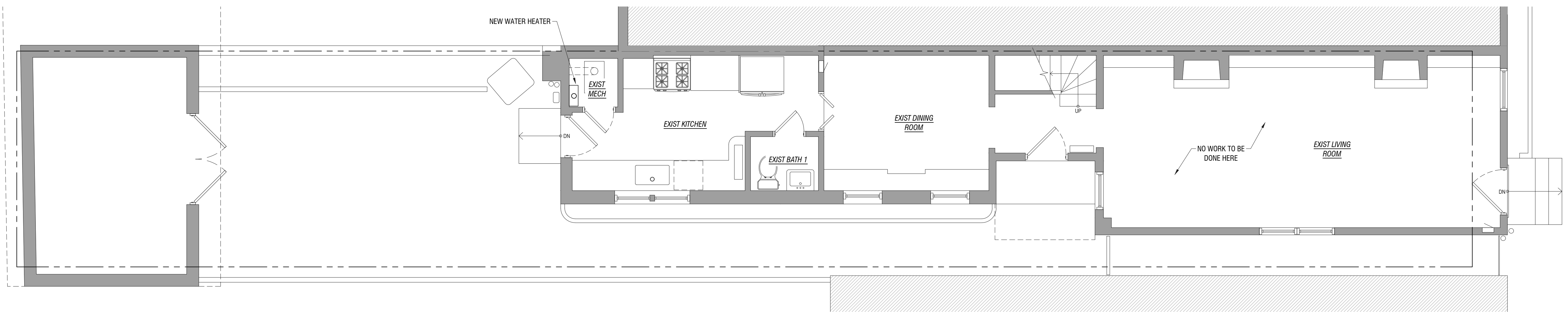


3 | ROOF PLAN  
SCALE: 1/4" = 1'-0"



BUILDING ADDITION ← → EXISTING BUILDING

2 | SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



1 | FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

DATE	DESCRIPTION
2020-02-09	FEASIBILITY STUDY 100%
2020-03-17	PRESERVATION STAFF REVIEW
2020-05-17	BAR APPLICATION

DATE	DESCRIPTION	NO.
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SHEET TITLE:  
PROPOSED FLOOR PLANS

SHEET:  
**A101**



ISSUE:	
DATE	DESCRIPTION
2020-02-09	FEASIBILITY STUDY 100%
2020-03-17	PRESERVATION STAFF REVIEW
2020-05-17	BAR APPLICATION

REVISION:		
DATE	DESCRIPTION	NO.

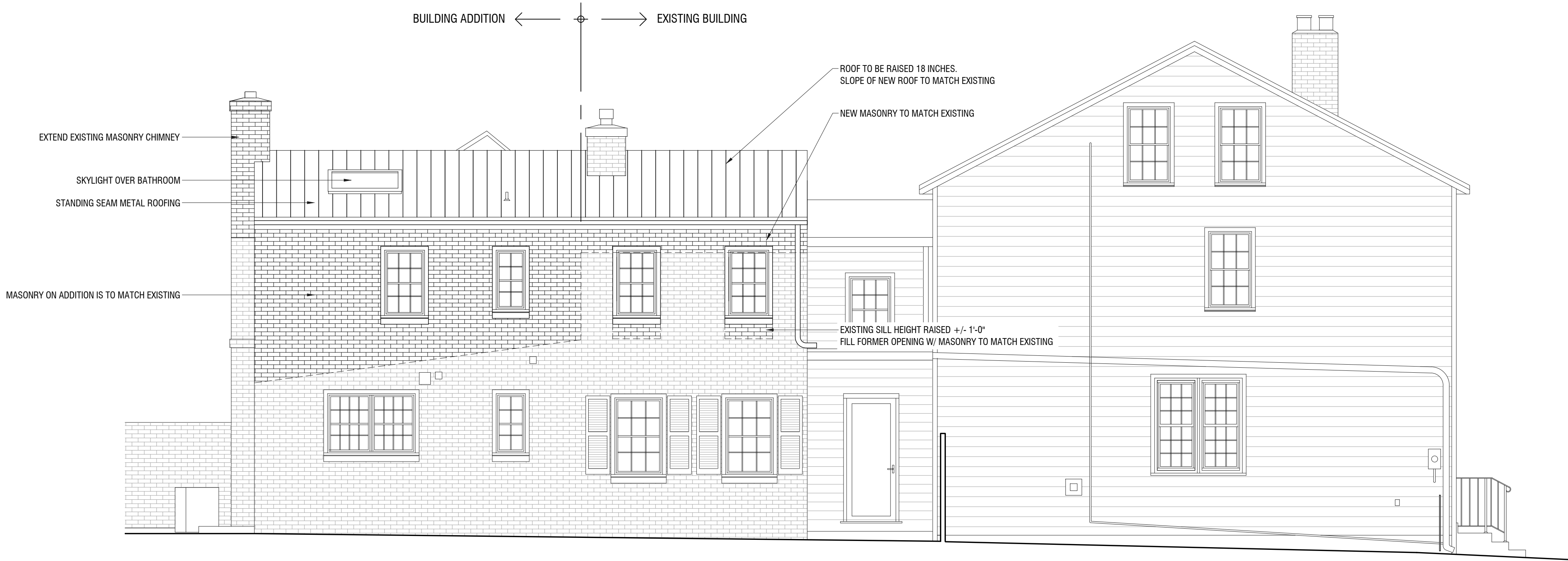
SHEET TITLE:  
EXISTING AND PROPOSED ELEVATION  
SCHEME 01

SHEET:

A201



4 WEST ELEVATION - SCHEME 01  
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION - SCHEME 01  
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION - EXISTING  
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION - EXISTING  
SCALE: 1/4" = 1'-0"



ISSUE:	
DATE	DESCRIPTION
2020-02-09	FEASIBILITY STUDY 100%
2020-03-17	PRESERVATION STAFF REVIEW
2020-05-17	BAR APPLICATION

REVISION:		
DATE	DESCRIPTION	NO.

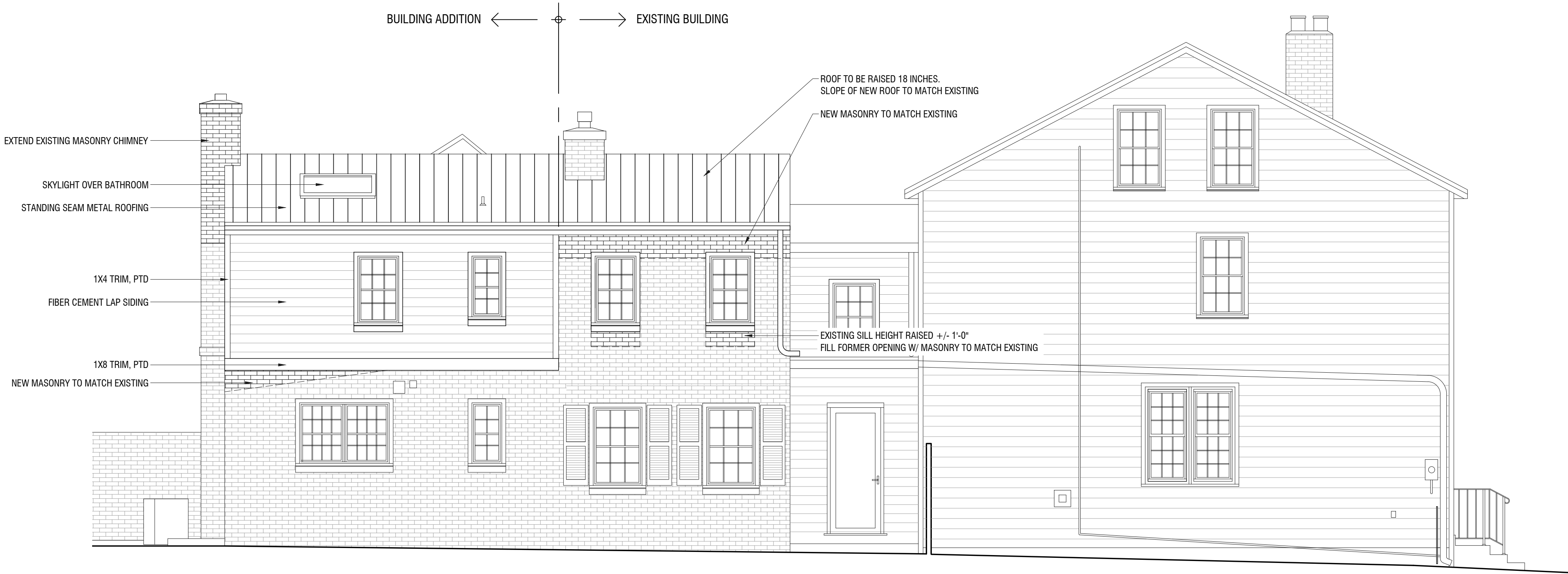
SHEET TITLE:  
PROPOSED ELEVATIONS  
SCHEME 02 & 03

SHEET:

A202



4 | WEST ELEVATION - SCHEME 03  
SCALE: 1/4" = 1'-0"



3 | SOUTH ELEVATION - SCHEME 03  
SCALE: 1/4" = 1'-0"



2 | WEST ELEVATION - SCHEME 02  
SCALE: 1/4" = 1'-0"



1 | SOUTH ELEVATION - SCHEME 02  
SCALE: 1/4" = 1'-0"