

ISSUE: Certificate of Appropriateness for alterations

APPLICANT: Susan (Mimi) Pappas

LOCATION: Old and Historic Alexandria District
613 South Pitt Street

ZONE: RM/Residential Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approval of the Certificate of Appropriateness for alterations with the following conditions:

1. Drainage must comply with Code.
2. Siting must comply with Zoning based on survey conducted June 24, 2020.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



0 15 30 60 Feet

I. APPLICANT'S PROPOSAL

The applicant requests a Certificate of Appropriateness to replace an existing rear patio metal awning with a wood patio cover, at 613 South Pitt Street.

Site context

The alley to the west, behind the subject property, is public. The proposed pergola will be fully visible from the alley.

II. HISTORY

Minutes from the December 9, 1959 BAR hearing indicate that the BAR deferred the application for new construction of 605-613 South Pitt Street to allow applicants R.F. Dowham and John Doniphan to revise their drawings. Staff could not locate the subsequent approved case but has determined that the townhouse was built at some point after that hearing, therefore between **1960 and 1961**, when the owner submitted building permit #16958 to build a short brick wall in the front yard.

An interesting historic fact regarding the house is that its longest-term, and probably original, owner was Ferdinand T. Day. However, this Ferdinand T. Day was not the Alexandria *Living Legend*, civil rights pioneer, and namesake of Ferdinand T. Day Elementary School. This was his uncle, after whom the legendary Day was named. The uncle was born circa 1895 and married Sarah White ca 1914. (United States Census 1900 & 1930). See also Char Bah's article: <https://theotheralexandria.com/2018/02/08/ferdinand-t-day-a-champion-of-champions/> The house remained in the Day family until 2015, when purchased by the current owner.

Previous BAR Approvals

As noted in the history section above, the only BAR case, which has no case number, referred to the property prior to the construction of the house.

III. ANALYSIS

Certificate of Appropriateness

The *Design Guidelines* state that exterior alterations to buildings in the historic districts "...should not hide, obscure or cause the removal of important historic architectural details." Additionally, additions "...should be clearly distinguishable from the original structure" and "...a wood addition would be appropriate for an existing brick residential structure." This proposed 8'10" tall rear patio covering clearly fulfills these requirements and will be a major improvement over the existing metal awning. The proposed pergola will be anchored to the existing patio, and the slight roof pitch will allow proper drainage. The applicant will provide full drainage details when applying for the building permit. The proposed pergola will attach to the house on an existing band board, protecting the brick from any potential damage.

The applicant has a property survey scheduled on June 24 and may not have the results in time for the July 1 hearing. Staff recommends that the BAR approve the application with the condition that it comply with Code and Zoning once the survey and gutter details are available.

With the conditions noted above, staff recommends approval of the project.

STAFF

Susan Hellman, Historic Preservation Planner, Planning & Zoning

Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

F-1 Zoning compliance cannot be determined.

C-1 Applicant must submit a survey plats- one with existing conditions and one with proposed rear porch.

Code Administration

F-1 Adequate roof drainage will need to be provided to collect and discharge water within the property's footprint. This can be checked at the time of building permit application review if not identified during the BAR application review.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 No archaeological oversight will be necessary for this project.

V. ATTACHMENTS

1 – Supplemental Materials

2 – Application for BAR 2020-00264: 613 South Pitt Street

ADDRESS OF PROJECT: 613 S Pitt Street, Alexandria, VA 22314

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building
080.02-03-33 RM

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*
Susan (Mimi) Pappas

Name: _____

Address: 613 S Pitt Street

City: Alexandria State: VA Zip: 22314

Phone: 202.527.0500 E-mail: mimiindc@comcast.net

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ _____

Name: _____

Phone: _____

E-mail: _____

Legal Property Owner:

Name: Katherine Pappas

Address: 2941 Sylvan Hill Court

City: Ellicott City State: MD Zip: 21043

Phone: 410.215.1238 E-mail: pappaspugs@comcast.net

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☐ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--|---|---|-----------------------------------|
| <input checked="" type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☐ ADDITION
☐ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

1. I will remove the pre-existing awning in the back yard.
 2. I will construct a new patio cover in the same location and have the same footprint as the pre-existing awning. The new patio cover will be constructed of wood and will be at a slight pitch to allow drainage. Drawings are attached with dimensions and construction materials.
 3. New patio cover will include a ceiling fan with a light kit.
-
-
-
-

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- | | |
|--------------------------|---|
| <input type="checkbox"/> | <input checked="" type="checkbox"/> Survey plat showing the extent of the proposed demolition/encapsulation. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> Description of the reason for demolition/encapsulation. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible. |

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☒ FAR & Open Space calculation form.
- ☐ ☒ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☒ Existing elevations must be scaled and include dimensions.
- ☐ ☒ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☒ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☒ Square feet of existing signs to remain: _____.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☒ ☒ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
 - ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
 - ☒ I, the applicant, or an authorized representative will be present at the public hearing.
 - ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.
-

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:Signature: Susan (Mimi) PappasPrinted Name: Susan (Mimi) PappasDate: June 1, 2020

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Susan (Mimi) Pappas	613 S Pitt Street, Alexandria, VA	0%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 613 S Pitt St, Alexandria, VA (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Katherine Pappas	2941 Sylvan Hill Court, Ellicott City, MD	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Susan (Mimi) Pappas	none	none
2. Katherine Pappas	none	none
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

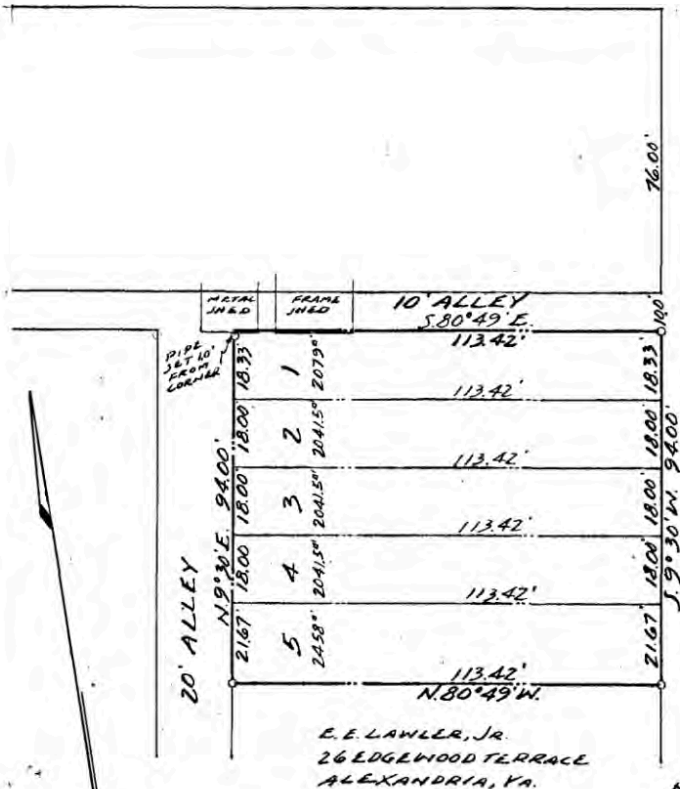
June 1, 2023
Date

Susan (Mimi) Pappas
Printed Name

Susan (Mimi) Pappas
Signature

GIBBON STREET
(66' WIDE)

PITT STREET (66' WIDE)
(SOUTH)



E.E. LAWLER, JR.
26 EDGEWOOD TERRACE
ALEXANDRIA, VA.

ZONE "RM"

NOTE:
BY ACTION OF ZONING BOARD
OF APLAATS SEPT. 8, 1959,
MINIMUM SIDE YARD RESTRICTIONS
WERE WAIVED.

I HEREBY CERTIFY THAT I HAVE CAREFULLY SURVEIED
THE PARCEL OF LAND DELINEATED HEREON AND THAT
IT IS CORRECT TO THE BEST OF MY KNOWLEDGE AND
BELIEF: THAT IT IS THE SAME LAND CONVEYED TO
JOHN L. DONIPHAN AND RICHARD F. DOWNHAM, BY
DEED DATED AUG. 19, 1959, BY LEHMAN H. YOUNG,
ET UX. AND RECORDED AMONG THE LAND
RECORDS OF THE CITY OF ALEXANDRIA, VA.
IN D.B. 498, AT P. 86, AND IS WITHIN THE BOUND-
ARIES THEREOF: THAT IRON PIPE SHOWN THUS: O,
HAVE BEEN PLACED AS INDICATED.

DEC. 3, 1959

Leif J. Linn
CERTIFIED SURVEYOR

THE ABOVE AND FOREGOING SUBDIVISION AS
APPEARS HEREIN IS WITH THE FREE CONSENT
AND IN ACCORDANCE WITH THE DESIRE OF
THE UNDERSIGNED OWNERS:

John L. Doniphan
JOHN L. DONIPHAN
504 HIGH ST. ALEXANDRIA, VA.

Richard F. Downham
RICHARD F. DOWNHAM
504 HIGH ST. ALEXANDRIA, VA.

PLAT
SHOWING DIVISION
OF PROPERTY OF
JOHN L. DONIPHAN & RICHARD F. DOWNHAM
ALEXANDRIA VIRGINIA

APPROVED	
CITY PLANNING COMMISSION ALEXANDRIA, VA.	
<i>Theresa E. Harris</i> VICE - CHAIRMAN	<i>Edith Bell</i> DIRECTOR OF PLANNING
12-24-59 DATE	

CROSS & GHENT	
CECIL J. CROSS	VICTOR H. GHENT
CERTIFIED PROFESSIONAL ENGINEERS & LAND SURVEYORS	
117 SOUTH COLUMBUS STREET ALEXANDRIA, VIRGINIA	
SCALE 1" = 30' DATE: DEC. 3, 1959	
DRAWN BY: C.J.C. CHECKED BY:	
P.D. NOTES / 233-24 FILE	

DB 506 P 634

Released - 12/30/59 B-404

DRAWING NUMBER
B 404

PLAN HOLD CORPORATION • PINE, CALIFORNIA
REORDER BY NUMBER 073A



Drawing by: Omar Ruiz - Manager Scale: 1/4" = 1'

All work to comply with VRC 2015 and manufacturer's requirements

Mimi Pappas
613 South Pitt St.
Alexandria, VA 22314
202-527-0500
410-215-1238

VERANDA & TRELLIS

- Notes:
1. Guardrails are required for decks & porches more than 30" above grade or floor.
Guardrail must extend 36" above floor level.

2. The greatest riser height shall not exceed the smallest by more than 3/8".

3. Secure the pickets at top & bottom with 1-#8 corrosion resistant screw or 2-8d galv. nails.

4. Stairs with 3 or more risers require frost footings & handrails.

5. Graspable handrails to be continuous the full length of the stairs ends to be returned to post.

6. New structure no blocking any existing egress at any level.

7. All beams to be tied together with nails, screws, or mechanical connections per VRC 2015.

8. Footers & posts within 5' from existing exterior house foundation must bear at the same level.

9. All connectors and fasteners to be hot dipped galvanized or equivalent for suitable contact with pressure treated lumber.

10. County Deck Details are attached as part of the approved permit for any missing details.

