

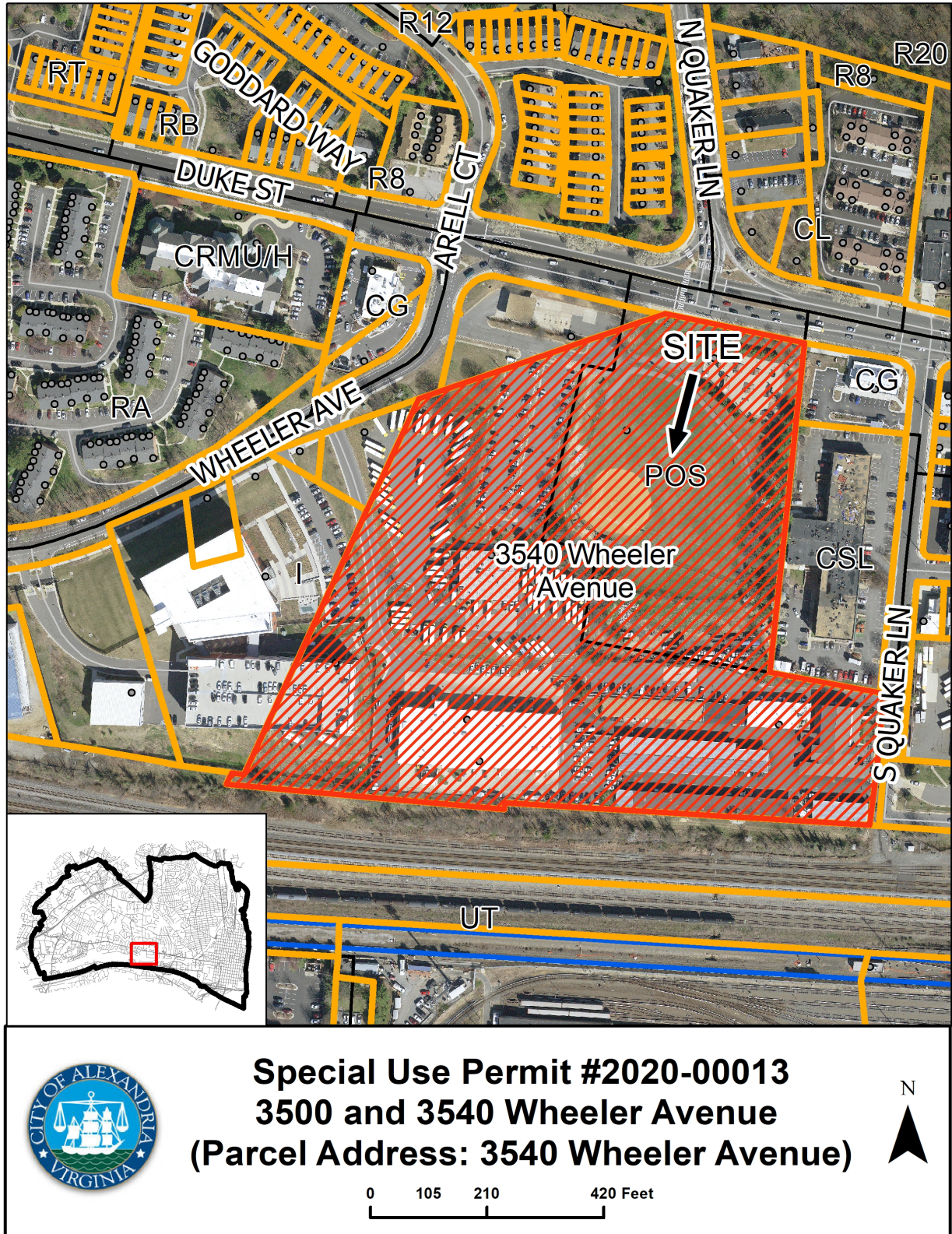
***Special Use Permit #2020-00013
3500 and 3540 Wheeler Avenue
(Parcel Address: 3540 Wheeler Avenue)
Lockett Field & Schuyler Hamilton Jones Skateboard Park
Improvements***

Application	General Data	
Review: Public Hearing and consideration of a request for a Special Use Permit to permit the installation of ball field netting over 15 feet in height at Lockett Field and to add lighting at the Schuyler Hamilton Jones Skate Park (amending SUP #2002-0070)	Planning Commission Hearing:	June 2, 2020
	City Council Hearing:	June 20, 2020
Address: 3500 and 3540 Wheeler Avenue (Parcel Address: 3540 Wheeler Avenue)	Zone:	POS/Public Open Space and Community Recreation Zone
Applicant: City of Alexandria, Department of Recreation, Parks and Cultural Activities	Small Area Plan:	Taylor Run/Duke Street

Staff Recommendation: APPROVAL subject to compliance with all applicable codes and ordinances and the recommended permit conditions found in Section III of this report.

Staff Reviewers: Alexa Powell, alexa.powell@alexandriava.gov
Ann Horowitz, ann.horowitz@alexandriava.gov

PLANNING COMMISSION ACTION, JUNE 2, 2020: On a motion by Commissioner Lyle, seconded by Commissioner McMahon, the Planning Commission voted to recommend approval of Special Use Permit #2020-00013, as submitted. The motion carried on a vote of 6-0, with Commissioner Goebel absent.



PROJECT LOCATION MAP

I. DISCUSSION

The applicant, City of Alexandria, Department of Recreation, Parks and Cultural Activities, requests Special Use Permit approval, pursuant to Section 6-106 and Section 6-108, to allow the height of a structure to increase above 15 feet for ballfield netting as well as the installation of lighting at the Schuyler Hamilton Jones Skate Park located in Luckett Park, respectively.

SITE DESCRIPTION

The site is located south of Duke Street and west of Quaker Lane, along Wheeler Avenue. The subject property, which is approximately 16.4-acres, is a large tract owned by the City of Alexandria and operated by the Department of Recreation, Parks and Cultural Activities. The subject property contains Luckett Park & Schuyler Hamilton Jones Skate Park (*figure 1*). The park consists of a baseball field (*figure 2*), parking lot, and skate park (*figure 3*). The Schuyler Hamilton Jones Skate Park is located to the Northeast of Luckett Field.



Figure 1: Luckett Park & Schuyler Hamilton Skate Park Site Map

To the west of the property is the City's fueling station and the Alexandria City Public Schools bus facility. The site is contiguous with several other city owned properties. Altogether, the land area amounts to a total of 53.7 Acres and is colloquially referred to as the Witter/Wheeler Campus -- named in part for its relationship to those respective City of Alexandria streets.

Luckett Park & Schuyler Hamilton Jones Skate Park are used for recreational uses from baseball to skateboarding. The property is in an area with a mix of uses. There are townhouses to the north, commercial business to the east, and multi-family residences, as well as an assisted living facility, to the west of the subject property. Specifically, the property is bounded on the west by the Normandy Hill apartments and Sunrise of Alexandria Assisted Living Facility, on the north by the Quaker Village townhouses, and on the east by Alexandria Commons. These residential uses are either on the other side of Duke Street or at least 500 feet from the proposed site improvements.



Figure 2: Existing Ballfield



Figure 3: Schuyler Hamilton Jones Skate Park

BACKGROUND

The property that makes up the park area was dedicated to the City in 1956. The property was originally part of a large area owned by the City of Alexandria that included the former Stonewall Jackson Elementary School and Gym.

Luckett Field is a lit diamond ballfield used by Alexandria Little League, adult softball leagues, city cup softball leagues, Bishop Ireton girls' softball, and travel baseball programs. The existing fence around the field measures six feet in height (*figure 4*).



Figure 4: Luckett Field Existing Fence Height

City Council approved SUP #2002-0070 for a skateboard park at the site. It opened in 2005 and remains the only public skate park in the City.

As part of the Neighborhood Parks Improvement Plan in 2015 RCPA collected public feedback about needed improvements for this park. Among the improvement recommendations were to upgrade the ballfield facilities.

PROPOSAL

A special use permit is being requested to provide lighting at the Schuyler Hamilton Jones Skate Park to provide visibility to park users after dark. The lighting system includes seven lights (*figure 5*), each with a maximum height of 25 feet to be placed around the perimeter of the skate park. The proposed skate park lights would be user-activated by push button, staying lit for up to one hour unless activated again. The lights will automatically turn off at 10 p.m.

The applicant is also requesting permission for the installation of netting system at the perimeter of the ballfield, extending above the existing fence an additional 24 feet, and measuring a total of 30 feet in height. The additional height is intended to provide protection to players, spectators, and vehicles in the adjacent parking lot, which are only about 50 feet away from balls overtopping the existing fence consistent with normal athletic field use.

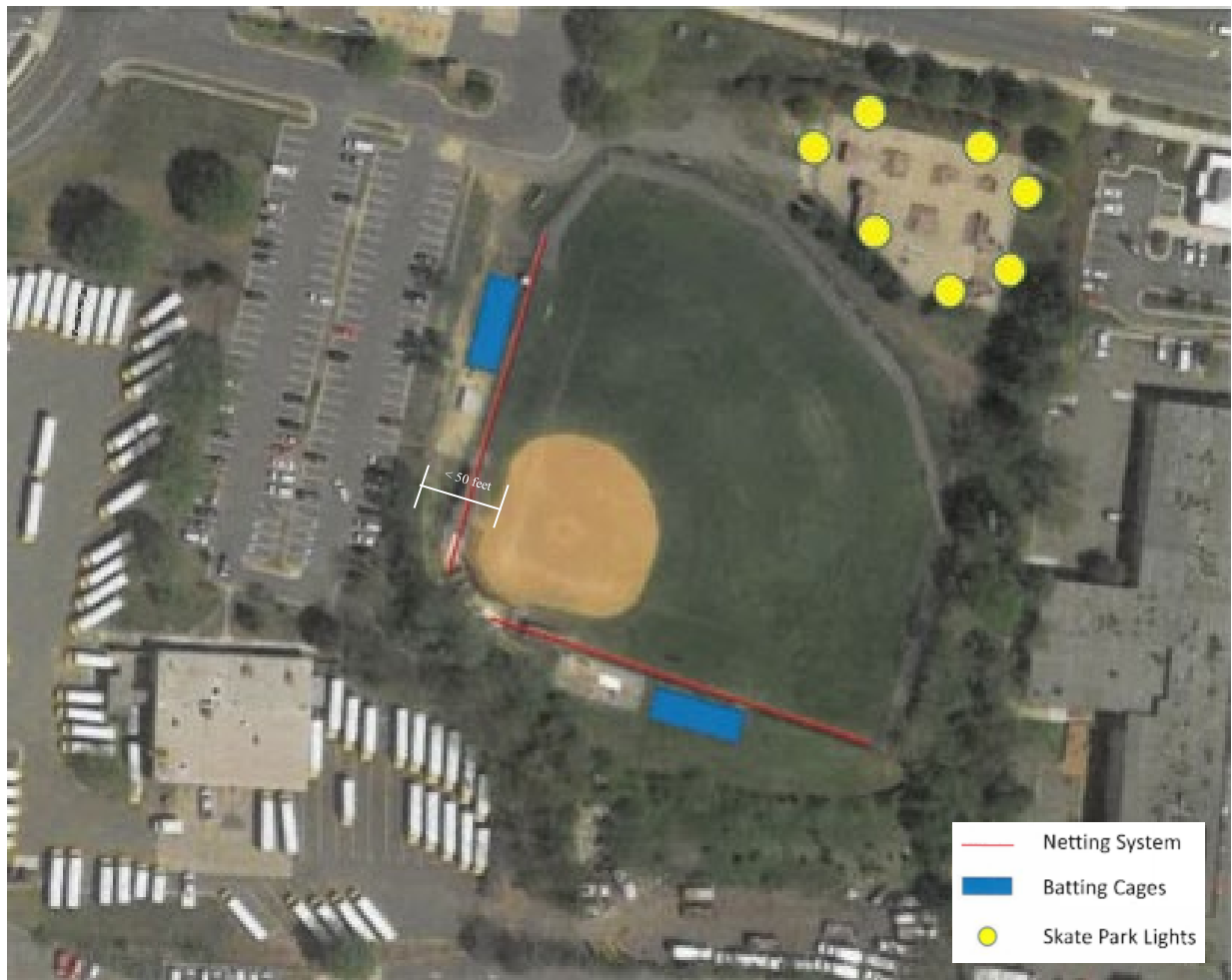


Figure 5: Proposed Improvements

PARKING

Lockett Park shares the Alexandria City Public Schools (ACPS) parking lot which contains a total of 127 parking spaces. As stated in SUP #2002-0070, 65 of the spaces are required for ACPS, 30 are estimated for ballfield use, and 20 for skate park use. The Zoning Ordinance does not provide specific requirements with regard to the number of parking spaces for a public athletic facility on property zoned Public Open Space and Community Recreation Zone (POS).

ZONING/MASTER PLAN DESIGNATION

The subject property is zoned POS/Public Open Space and Community Recreation.

Although Special Use Permit approval is not required for the safety netting and associated structures in general, Section 6-106(A) of the Zoning Ordinance only allows structures greater than 15 feet in height, up to a maximum of 30 feet, with Special Use Permit approval.

Similarly, Section 6-105(G) of the Zoning Ordinance requires City Council approval of a Special Use Permit for the lighting of any area in the POS zone for nighttime use. Review of such SUP

requests is based on compliance with Section 6-108(B) which stipulates that all lighting must be located and shielded to prevent the direct glare of beams onto residential properties and streets.

The proposed use is consistent with the Landmark/Van Dorn Small Area Plan chapter of the Master Plan which designates the property for public recreation uses.

II. STAFF ANALYSIS

Staff supports the applicant's request to seek additional height for the addition of netting to the existing fence around the ballfield. The proposed netting is within the allowable height limits imposed for projects seeking SUP approval. The primary purpose of the higher netting is based on safety concerns for players, spectators, and vehicles in the neighboring parking lot. The higher netting will be a benefit as it will protect people and property from being hit by errant balls that go over the current fence. No impacts have been identified related to the taller height. No trees will be removed or impacted by this project. Regarding any aesthetic concerns, the netting is primarily open which will minimize any negative visual impacts. To date, no comments have been received by the community.

In addition, staff supports the installation of lighting at the skate park because it extends the hours during which the public may use this facility and enhances the overall user experience of this community amenity. Providing additional visibility also enhances safety for residents after dark.

The original SUP #2002-0070, identifies the closing hours of operation for this facility to between sunset and 9 a.m. Staff recommends amendments to Condition #4 to change the hours of operation to between 9 a.m. and 10 p.m. in line with the cut-off time for the proposed lighting. Further, Section 6-108(B) of the Zoning Ordinance requires all lighting to be located and shielded so as to prevent the direct glare of beams onto residential properties and streets in the POS zone and this requirement is captured in added Condition #15. With the amendment to Condition #4, permitting the skate park to remain open until 10 p.m. as well as adherence to added Condition #15, requiring full cut-off lighting at the development site to prevent light spill onto adjacent properties, staff has no objection to the proposed lighting at this location.

Based on current levels of parking utilization, which are not heavy except during times when the ballfield is in use, there is no reason to suggest that any of the proposed improvements will impact parking availability beyond existing capacity. Furthermore, the majority of skate park users do not drive and either skate to the park or rely on the bus or parents dropping them off on site. When combined with the number of spaces required for the ACPS building, there are more than the required number of spaces in the lot. As such, staff sees no reason to include any additional parking related conditions.

Conditions 5-14 from the previous SUP #2002-0070 have been deleted as they relate to the construction of the skate park and the previous SUP inspections noted that the conditions were satisfied.

Subject to the conditions in Section III of this report, staff recommends approval of the Special Use Permit Request.

III. RECOMMENDED CONDITIONS

Staff recommends *approval* of the lighting at the Schuyler Hamilton Jones Skate Park and installation of netting above the existing fence of the baseball field in Lockett Park subject to compliance with all applicable codes and ordinances.

1. **CONDITION AMENDED BY STAFF:** Landscaping for the Lockett Park complex shall be ~~installed~~ maintained to the satisfaction of the Director of Planning and Zoning and the Director of Recreation, Parks and Cultural Affairs. (P&Z) (PC) ~~(SUP #2002-0070)~~
2. **CONDITION SATISFIED BY APPLICANT AND DELETED BY STAFF:** ~~A 12-foot wide access lane and mountable curb from the parking area to the skatepark shall be installed for ambulance access. (Code Enf) (SUP #2002-0070)~~
3. No trespassing signs and the hours in which the park is open shall be posted in English and Spanish. (Police) (SUP #2002-0070)
4. **CONDITION AMENDED BY STAFF:** The park hours shall be ~~closed, locked and secured~~ between ~~sunset and~~ 9:00 a.m. and 10 p.m., as posted by the Director of Recreation, Parks and Cultural Activities. ~~(City Council) (SUP #2002-0070)~~
5. **CONDITION SATISFIED BY APPLICANT AND DELETED BY STAFF:** ~~The stormwater collection system is part of the Cameron Run/Holmes Run watershed. All stormwater inlets shall be duly marked to the satisfaction of T&ES. (T&ES) (SUP #2002-0070)~~
6. **CONDITION SATISFIED BY APPLICANT AND DELETED BY STAFF:** ~~The applicant shall provide a drainage map for the area flowing to the chosen BMP facility, including topographic information and storm drains. (T&ES) (SUP #2002-0070)~~
7. **CONDITION SATISFIED BY APPLICANT AND DELETED BY STAFF:** ~~The applicant is advised that all stormwater designs that require analysis of pressure hydraulic systems and/or inclusion and design of flow control structures must be sealed by a professional engineer, registered in the Commonwealth of Virginia. If applicable, the Director of Transportation and Environmental Services may require resubmission of all plans that do not meet this standard. (T&ES) (SUP #2002-0070)~~
8. **CONDITION SATISFIED BY APPLICANT AND DELETED BY STAFF:** ~~The surface appurtenances associated with the on-site structural BMPs shall be marked to the satisfaction of the Director of Transportation and Environmental Services to identify them as part of the structural BMP system. (T&ES) (SUP #2002-0070)~~
9. **CONDITION SATISFIED BY APPLICANT AND DELETED BY STAFF:** ~~For any surface installed BMPs, i.e. Bio Retention Filters, Vegetated Swales, etc. employed on-site, descriptive signage for the BMP is required to be installed to the satisfaction of the~~

~~Director of Transportation and Environmental Services. (T&ES) (SUP #2002-0070)~~

10. **CONDITION SATISFIED BY APPLICANT AND DELETED BY STAFF:** ~~The stormwater Best Management Practices (BMPs) required for this project shall be constructed and installed under the direct supervision of the design engineer or designated representative. The design engineer shall make a written certification to the City that the BMP(s) are constructed and installed as designed and in accordance with the approved Final Site Plan. In addition, aggregate layers and collector pipes may not be installed unless the design engineer, or representative is present. (T&ES) (SUP #2002-0070)~~
11. **CONDITION SATISFIED BY APPLICANT AND DELETED BY STAFF:** ~~The Developer shall furnish the owners with an Operation and Maintenance Manual for all Best Management Practices (BMPs) on the project. The manual shall include an explanation of the functions and operations of each BMP and any supporting utilities, catalog cuts on any mechanical or electrical equipment, a schedule of routine maintenance for the BMP(s) and supporting equipment, and a copy of the maintenance agreement with the City. (T&ES) (SUP #2002-0070)~~
12. **CONDITION SATISFIED BY APPLICANT AND DELETED BY STAFF:** ~~A “Certified Land Disturber” must be named on the Erosion and Sediment Control plan prior to release of the final site plan and in accordance with Virginia Erosion and Sediment Control Law. (T&ES) (SUP #2002-0070)~~
13. **CONDITION SATISFIED BY APPLICANT AND DELETED BY STAFF:** ~~All required permits from Virginia Department of Environmental Quality, Environmental Protection Agency, Army Corps of Engineers, Virginia Marine Resources must be in place for all project construction and mitigation work prior to release of the final site plan. (T&ES) (SUP #2002-0070)~~
14. **CONDITION AMENDED BY STAFF:** The Director of Planning and Zoning shall review the special use permit one year after the use becomes operational and shall docket the matter for consideration by the Planning Commission and City Council if (a) there have been documented violations of the permit conditions, (b) the director has received a request from any person to docket the permit for review as a result of a complaint that rises to the level of a violation, or (c) the director has determined that there are problems with the operation of the use and that new or revised conditions are needed. (P&Z)(SUP #2002-0070)

15. **CONDITION ADDED BY STAFF:** Full cut-off lighting shall be used as applicable at the development site to prevent light spill onto adjacent properties. (T&ES)
-

STAFF:

Tony LaColla, Land Use Division Chief, Land Use Regulatory Services
Ann Horowitz, Principal Planner
Alexa Powell, Urban Planner

Staff Note: In accordance with section 11-506(c) of the zoning ordinance, construction or operation shall be commenced and diligently and substantially pursued within 18 months of the date of granting of a special use permit by City Council or the special use permit shall become void.

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Transportation & Environmental Services:

Findings:

1. SWM and Floodplain have no comments.
2. T&ES/OEQ does not have any comments on this SUP application. The use must conform to the City's noise code.
3. After review of the information provided, an approved grading plan is not required at this time. Please note that if the land disturbance meets or exceeds 2500 square feet, a released grading plan will be required prior to submitting for permits. (T&ES)

Conditions:

1. Full cut-off lighting shall be used as applicable at the development site to prevent light spill onto adjacent properties.

City Code Requirements:

1. The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). In order to comply with this code requirement, the applicant shall provide a completed Recycling Implementation Plan (RIP) Form within 60 days of SUP approval. Contact the City's Recycling Program Coordinator at (703) 746-4410, or via e-mail at commercialrecycling@alexandriava.gov, for information about completing this form. (T&ES)
2. The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
3. Section 5-1-42- Collection by Private collectors. (c) Time of collection. Solid waste shall be collected from all premises not serviced by the city at least once each week. No collections may be made between the hours of 11:00 p.m. and 7:00 a.m. (6:00 a.m. from May 1, through September 30) if the collection area is less than 500 feet from a residential area. (T&ES)

Code Enforcement:

A building permit and plan review are required prior to the start of construction.

Health Department:

No comments received

Police Department:

No comments received

Fire Department:

No comments or concerns



APPLICATION

SPECIAL USE PERMIT

SPECIAL USE PERMIT # _____

PROPERTY LOCATION: 3540 Wheeler Ave

TAX MAP REFERENCE: 061.03-01-02 **ZONE:** POS

APPLICANT:

Name: City of Alexandria, Department of Recreation, Parks, and Cultural Activities

Address: 1108 Jefferson Street, Alexandria, VA 22314

PROPOSED USE: Luckett Park Improvements

☒ **THE UNDERSIGNED**, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 4-11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

☐ **THE UNDERSIGNED**, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.

☐ **THE UNDERSIGNED**, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

☐ **THE UNDERSIGNED**, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

James Spengler, Director, RPCA

Print Name of Applicant or Agent

1108 Jefferson Street

Mailing/Street Address

Alexandria, VA

City and State

22314

Zip Code

Signature

703.746.5502

Telephone #

james.spengler@alexandriava.gov

Email address

02-07-2020

Date

Fax #

ACTION-PLANNING COMMISSION: _____ **DATE:** _____

ACTION-CITY COUNCIL: _____ **DATE:** _____

PROPERTY OWNER'S AUTHORIZATION

As the property owner of _____, I hereby
 (Property Address)
 grant the applicant authorization to apply for the _____ use as
 (use)
 described in this application.

Name: _____ Phone: _____

Please Print

Address: _____ Email: _____

Signature: Dana Wedeles Date: _____

- 1.** Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.

☐ **Required floor plan and plot/site plan attached.**

☐ **Requesting a waiver. See attached written request.**

- 2.** The applicant is the (check one):

☐ Owner

☐ Contract Purchaser

☐ Lessee or

☐ Other: _____ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent.

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
^{1.} City of Alexandria		100%
^{2.} City of Alexandria		
^{3.} City of Alexandria		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 3540 Wheeler Ave
1108 Jefferson Street, Alexandria, VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than ten percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
^{1.} City of Alexandria	1108 Jefferson Street, Alexandria, VA 22314	100%
^{2.} City of Alexandria	3540 Wheeler Ave	
^{3.} City of Alexandria		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
^{1.} City of Alexandria	None	None
^{2.} City of Alexandria		
^{3.} City of Alexandria		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

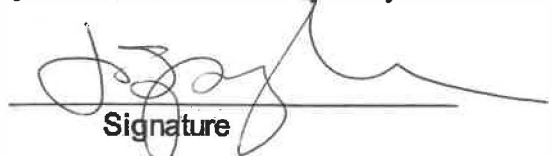
02-07-2020

Date

Printed Name

James Spengler

Signature



If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

☐ **Yes.** Provide proof of current City business license

☐ **No.** The agent shall obtain a business license prior to filing application, if required by the City Code.

NARRATIVE DESCRIPTION

3. The applicant shall describe below the nature of the request **in detail** so that the Planning Commission and City Council can understand the nature of the operation and the use. The description should fully discuss the nature of the activity. (Attach additional sheets if necessary.)

The proposed permit requests three improvements to James Luckett Park, zoned POS:

1. Lighting the Schuyler Hamilton Skate Park within Luckett. Although the skate park is currently not lighted, many young skate boarders use the park after dark, particularly during late fall and winter months. Other areas of the park, including the ball fields are lighted through 10 pm. The lighting from those areas does not reach the skate park. The proposed skate park lights would be user-activated by push button, consistent with other lighted recreation facilities, staying lit for up to 1 hour unless activated again. The lights will automatically turn off at 10 pm. As shown in the attached lighting plan, the proposed lighting system includes seven lights, each with the maximum height of 25 feet.

2. Installation of a netting system at the perimeter of the ballfield. The proposed netting would extend above the 6 foot fence surrounding the athletic facility, adding an additional 24 feet for a total of 30 feet, as shown in the attached detail. The netting provides additional safety to users, spectators, and vehicles in the adjacent parking lots from balls topping the existing fence consistent with normal athletic field use.

3. The addition of batting cages alongside the first and third base line of the field. As proposed in the attached diagram, there would be two 12" x 60" cages. The batting cages will be 12 ft high and will be in use during league games and practices. The addition of batting cages would not result in additional field use.

USE CHARACTERISTICS

4. The proposed special use permit request is for (*check one*):

- ☐ a new use requiring a special use permit,
☐ an expansion or change to an existing use without a special use permit,
☒ an expansion or change to an existing use with a special use permit,
☐ other. Please describe: _____

5. Please describe the capacity of the proposed use:

A. How many patrons, clients, pupils and other such users do you expect?
Specify time period (i.e., day, hour, or shift).

B. How many employees, staff and other personnel do you expect?
Specify time period (i.e., day, hour, or shift).

6. Please describe the proposed hours and days of operation of the proposed use:

Day:

Monday-Sunday

Hours:

6 am-10 pm

7. Please describe any potential noise emanating from the proposed use.

A. Describe the noise levels anticipated from all mechanical equipment and patrons.

No increase in noise levels is anticipated.

B. How will the noise be controlled?

N/A

8. Describe any potential odors emanating from the proposed use and plans to control them:

N/A

9. Please provide information regarding trash and litter generated by the use.

- A. What type of trash and garbage will be generated by the use? (i.e. office paper, food wrappers)
Sport drink bottles (no change from current use)
-
- B. How much trash and garbage will be generated by the use? (i.e. # of bags or pounds per day or per week)
Two bags per week (no change)
-
- C. How often will trash be collected?
Daily
-
- D. How will you prevent littering on the property, streets and nearby properties?
Waste receptacles are present throughout the park.
-

10. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

[] Yes. [✓] No.

If yes, provide the name, monthly quantity, and specific disposal method below:

- 11.** Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

☐ Yes. ☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

- 12.** What methods are proposed to ensure the safety of nearby residents, employees and patrons?

Luckett is located next to the City fueling station, frequented throughout the day by City personnel including Police Officers. It is also within walking distance of the police station. There are no recent reported incidents at ~~the athletic facility or skate park and parents of skate boarders have expressed to staff that feel very safe with~~ their teenagers using the site. Lights will enhance the physical safety for users who often use the park after daylight hours.

The addition of the netting is to enhance outside the field safety to park users and reduce damage to vehicles in the adjacent parking lots.

ALCOHOL SALES

- 13.**

A. Will the proposed use include the sale of beer, wine, or mixed drinks?

☐ Yes ☒ No

If yes, describe existing (if applicable) and proposed alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales.

PARKING AND ACCESS REQUIREMENTS

- 14.** A. How many parking spaces of each type are provided for the proposed use:

_____ 120 _____ Standard spaces
 _____ Compact spaces
 _____ 7 _____ Handicapped accessible spaces.
 _____ Other.

Planning and Zoning Staff Only

Required number of spaces for use per Zoning Ordinance Section 8-200A _____

Does the application meet the requirement?

☐ Yes ☐ No

- B. Where is required parking located? (*check one*)

☒ on-site

☐ off-site

If the required parking will be located off-site, where will it be located?

PLEASE NOTE: Pursuant to Section 8-200 (C) of the Zoning Ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

- C. If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) or (5) of the Zoning Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

☐ Parking reduction requested; see attached supplemental form

- 15.** Please provide information regarding loading and unloading facilities for the use:

- A. How many loading spaces are available for the use? N/A

Planning and Zoning Staff Only

Required number of loading spaces for use per Zoning Ordinance Section 8-200 _____

Does the application meet the requirement?

☐ Yes ☐ No

SUP # _____

- B. Where are off-street loading facilities located? No loading to occur
- C. During what hours of the day do you expect loading/unloading operations to occur?
N/A
- D. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?
N/A
16. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?
N/A




SITE CHARACTERISTICS

17. Will the proposed uses be located in an existing building? ☐ Yes ☒ No
- Do you propose to construct an addition to the building? ☐ Yes ☒ No
- How large will the addition be? _____ square feet.
18. What will the total area occupied by the proposed use be?
1440 sq. ft. (existing) + 0 sq. ft. (addition if any) = 1440 sq. ft. (total)
19. The proposed use is located in: (check one)
- ☐ a stand alone building
 - ☐ a house located in a residential zone
 - ☐ a warehouse
 - ☐ a shopping center. Please provide name of the center: _____
 - ☐ an office building. Please provide name of the building: _____
 - ☒ other. Please describe: Brk

End of Application

Luckett Park Site Improvements



-  Netting System
-  Batting Cages
-  Skate Park Lights

Not to scale
February 7, 2020



Google

Plan View
Scale = 1" = 30'

<u>Symbol</u>	<u>Label</u>	<u>Quantity / Unit</u>	<u>Material Reference</u>	<u>Description</u>	<u>Unit</u>	<u>Material Reference</u>	<u>Quantity / Unit</u>	<u>Material Reference</u>	<u>Notes</u>
	A	7	Ethereal Lighting	D5X2 LED P6-40K 74H RVOLT	LED	D5X2 LED P6-40K 74H RVOLT	49144	6.85	521

[illegible]

Designer
Date
2/13/2019
Scale
Not to Scale
Drawing No.
Summary

1 of 1

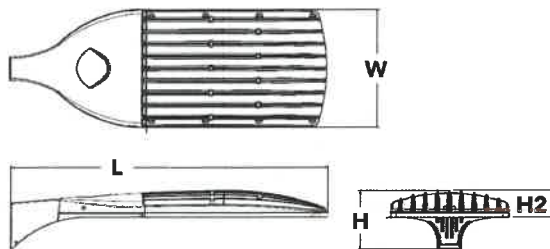


D-Series Size 2 LED Area Luminaire



Specifications

EPA:	1.1 ft ² (0.10 m ²)
Length:	40" (101.6 cm)
Width:	15" (38.1 cm)
Height 1:	7-1/4" (18.4 cm)
Height 2: (max):	3.5"
Weight:	36lbs



Catalog
Number

Notes

Type

For the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.



A+ Capable options indicated by this color background.

Ordering Information

EXAMPLE: DSX2 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX2 LED							
Series	LEDs	Color temperature		Distribution		Voltage	Mounting
DSX2 LED	Forward optics	30K	3000 K	T1S	Type I Short	T5VS	Type V Very Short
	P1 P5	40K	4000 K	T2S	Type II Short	T5S	Type V Short
	P2 P6	50K	5000 K	T2M	Type II Medium	T5M	Type V Medium
	P3 P7			T3S	Type III Short	T5W	Type V Wide
	P4 P8			T3M	Type III Medium	BLC	Backlight control ²
	Rotated optics¹			T4M	Type IV Medium	LCCO	Left corner cutoff ²
	P10 P13			TFTM	Forward Throw Medium	RCCO	Right corner cutoff ²
	P11 P14						
	P12						
						MVOLT ³	Shipped included
						120 ⁴	SPA Square pole mounting
						208 ⁴	RPA Round pole mounting
						240 ⁴	WBA Wall bracket
						277 ⁴	SPUMBA Square pole universal mounting adaptor ⁵
						347 ⁴	RPUMBA Round pole universal mounting adaptor ⁵
						480 ⁴	Shipped separately
							KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁶

Control options		Other options		Finish (required)	
Shipped installed		Shipped installed		DDBXD Dark bronze	
NLTAIR2	nLight AIR generation 2 enabled ⁷	HS	House-side shield ¹⁵	DBLXD	Black
PIRHN	Network, Bi-Level motion/ambient sensor ⁸	SF	Single fuse (120, 277, 347V) ⁴	DNAXD	Natural aluminum
PER	NEMA twist-lock receptacle only (no controls) ⁹	DF	Double fuse (208, 240, 480V) ⁴	DWHXD	White
PER5	Five-wire receptacle only (no controls) ^{9,10}	L90	Left rotated optics ¹	DDBTXD	Textured dark bronze
PER7	Seven-wire receptacle only (no controls) ^{9,10}	R90	Right rotated optics ¹	DBLBXD	Textured black
DMG	0-10V dimming extend out back of housing for external control (no controls) ¹¹	Shipped separately		DNATXD	Textured natural aluminum
DS	Dual switching ^{12,13}	BS	Bird spikes ¹⁶	DWHGXD	Textured white
		EGS	External glare shield		

Ordering Information

Accessories

Ordered and shipped separately

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ¹⁷
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ¹⁷
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ¹⁷
DSHORT SBK U	Shorting cap ¹⁷
DSX2HS 80C U	House-side shield for 80 LED unit ¹⁸
DSX2HS 90C U	House-side shield for 90 LED unit ¹⁸
DSX2HS 100C U	House-side shield for 100 LED unit ¹⁸
PUMBA DB8XD U*	Square and round pole universal mounting bracket (specify finish) ¹⁹
XMA8 DB8XD U	Mast arm mounting bracket adaptor (specify finish) ¹
DSX2EGS (FINISH) U	External glare shield

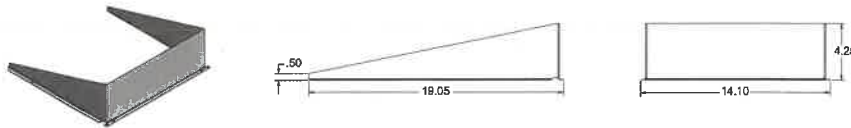
For more control options, visit [DLI](#) and [Acuity](#) online.

NOTES

- P10, P11, P12, P13 or P14 and rotated optics (L90, R90) only available together.
- Not available with HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Universal mounting bracket intended for retrofit on existing pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31.
- Must order fixture with SPA option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Must be ordered with PIRHN. Sensor cover only available in dark bronze, black, white or natural aluminum color.
- Must be ordered with NLTAIR2. For more information on nLight Air 2 visit [this link](#).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option. Shorting Cap included.
- If ROAM® node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Node with integral dimming.
- DMG not available with PIRHN, PER5, PER7, PIR, PIRH, PIR1FC3V or PIR1FC3V.
- Requires (2) separately switched circuits with isolated neutrals. See Outdoor Control Technical Guide for details.
- Provides 50/50 fixture operation via (2) independent drivers. Not available with PER, PER5, PER7, PIR or PIRH. Not available with P1, P2, P10.
- Reference controls options table on page 4.
- Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessories; see Accessories information.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER, PER5 and PER7 option. Ordered and shipped as a separate line item from Acuity Brands Controls.
- Not available with other dimming controls options.
- For retrofit use only.

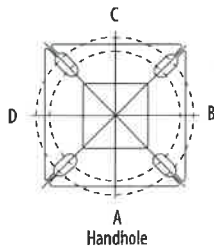
Options

EGS - External Glare Shield



Drilling

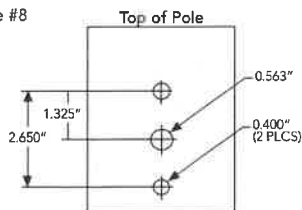
HANDHOLE ORIENTATION



Tenon Mounting Slipfitter**

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 120	3 @ 90	4 @ 90
2-3/8"	SPA/RPA	AS3-5190	AS3-5280	AS3-5290	AS3-5320	AS3-5390	AS3-5490
	SPUMBA	AS3-5190	AS3-5280	AS4-5290	AS3-5320	AS4-5390	AS4-5490
	RUPUMBA	AS3-5190	AS3-5280		AS3-5320		
2-7/8"	SPA/RPA	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
	SPUMBA	AST25-190	AST25-280		AST25-320		
	RUPUMBA	AST25-190	AST25-280		AST25-320		
4"	SPA/RPA	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490
	SPUMBA	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490
	RUPUMBA	AST35-190	AST35-280		AST35-320		

Template #8



Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS

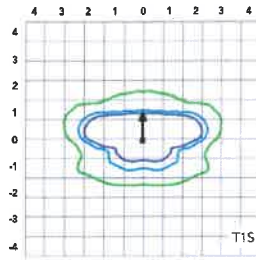
	Drilling Template	Minimum Acceptable Outside Pole Dimension					
SPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
RPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
SPUMBA	#5	2-7/8"	3"	4"	4"	3.5"	4"
RUPUMBA	#5	2-7/8"	3.5"	5"	5"	3.5"	5"

Photometric Diagrams

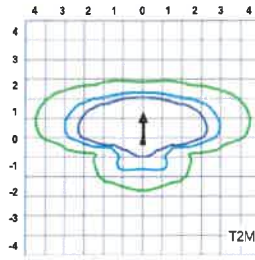
To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Area Size 2 homepage](#).

Isofootcandle plots for the DSX2 LED 80C 1000 40K. Distances are in units of mounting height (30').

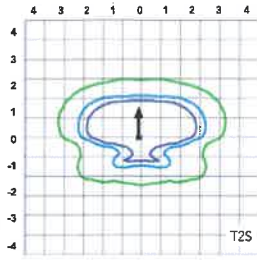
LEGEND
 0.1 fc
 0.5 fc
 1.0 fc



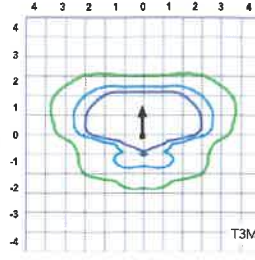
Test No. LTL22425P1 tested in accordance with IESNA LM-79-08.



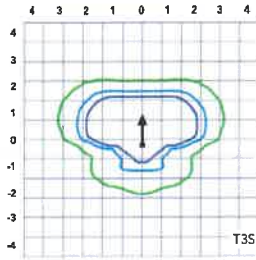
Test No. LTL22428P1 tested in accordance with IESNA LM-79-08.



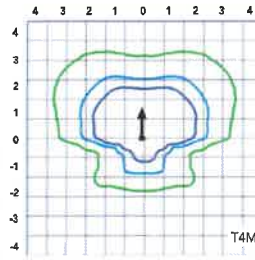
Test No. LTL22434P1 tested in accordance with IESNA LM-79-08.



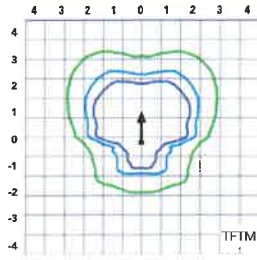
Test No. LTL22435P1 tested in accordance with IESNA LM-79-08.



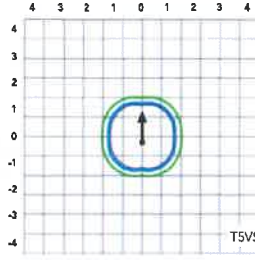
Test No. LTL22430P1 tested in accordance with IESNA LM-79-08.



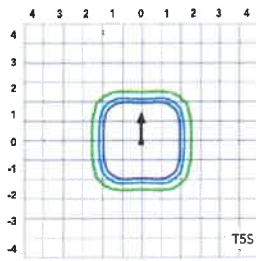
Test No. LTL22434P1 tested in accordance with IESNA LM-79-08.



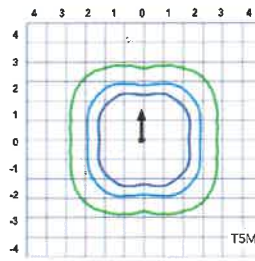
Test No. LTL22428P1 tested in accordance with IESNA LM-79-08.



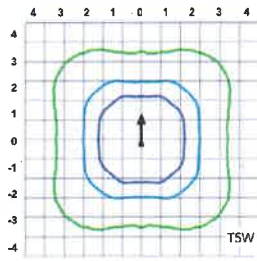
Test No. LTL22430P1 tested in accordance with IESNA LM-79-08.



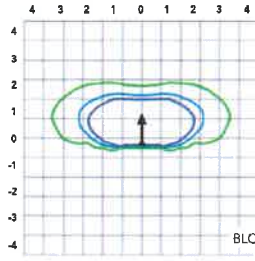
Test No. LTL22425P1 tested in accordance with IESNA LM-79-08.



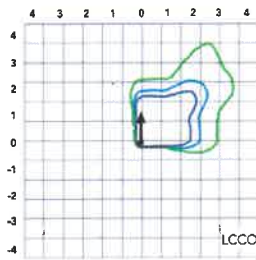
Test No. LTL22434P1 tested in accordance with IESNA LM-79-08.



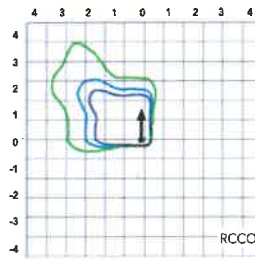
Test No. LTL22428P1 tested in accordance with IESNA LM-79-08.



Test No. LTL22430P1 tested in accordance with IESNA LM-79-08.



Test No. LTL22425P1 tested in accordance with IESNA LM-79-08.



Test No. LTL22434P1 tested in accordance with IESNA LM-79-08.

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25000	50000	100000
Lumen Maintenance Factor	1.00	0.96	0.92	0.85

Electrical Load

					Current (A)					
	Performance Package	LED Count	Drive Current	Wattage	120	208	240	277	347	480
Forward Optics (Non-Rotated)	P1	80	530	140	1.18	0.68	0.59	0.51	0.40	0.32
	P2	80	700	185	1.56	0.90	0.78	0.66	0.52	0.39
	P3	80	850	217	1.82	1.05	0.90	0.80	0.63	0.48
	P4	80	1050	270	2.27	1.31	1.12	0.99	0.79	0.59
	P5	80	1250	321	2.68	1.54	1.34	1.17	0.93	0.68
	P6	100	1050	343	2.89	1.66	1.59	1.37	1.00	0.71
	P7	100	1250	398	3.31	1.91	1.66	1.45	1.16	0.81
	P8	100	1350	431	3.61	2.07	1.81	1.57	1.25	0.91
Rotated Optics (Requires L90 or R90)	P10	90	530	156	1.30	0.76	0.65	0.62	0.45	0.32
	P11	90	700	207	1.75	1.01	0.87	0.74	0.60	0.46
	P12	90	850	254	2.12	1.22	1.06	0.94	0.73	0.55
	P13	90	1200	344	2.88	1.65	1.44	1.25	1.00	0.73
	P14	90	1400	405	3.39	1.95	1.71	1.48	1.18	0.86

Motion Sensor Default Settings

Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*for use when motion sensor is used as dusk to dawn control.

Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the 0-10V leads
DS	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PERS or PER7	Twist-lock photocell receptical	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire
PIR or PIRH	Motion sensors with integral photocell. PIR for 8-15' mounting; PIRH for 15-30' mounting	Luminaires dim when no occupancy is detected.	Acuity Controls SBGR	Also available with PIRH1FC3V when the sensor photocell is used for dusk-to-dawn operation.
nLIGHT2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclipse.	nLight Air rSBGR	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																			
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
80	530	P1	140W	T1S	17,575	3	0	3	126	18,933	3	0	3	135	19,173	3	0	3	137
				T2S	17,556	3	0	3	125	18,913	3	0	3	135	19,152	3	0	3	137
				T2M	17,647	3	0	3	126	19,010	3	0	3	136	19,251	3	0	3	138
				T3S	17,090	3	0	3	122	18,411	3	0	3	132	18,644	3	0	3	133
				T3M	17,604	3	0	3	126	18,964	3	0	3	135	19,204	3	0	3	137
				T4M	17,221	3	0	3	123	18,552	3	0	4	133	18,787	3	0	4	134
				TFTM	17,593	3	0	3	126	18,952	3	0	4	135	19,192	3	0	4	137
				TSVS	18,297	4	0	1	131	19,711	4	0	1	141	19,961	4	0	1	143
				TSS	18,312	4	0	2	131	19,727	4	0	2	141	19,977	4	0	2	143
				TSM	18,266	4	0	2	130	19,677	4	0	2	141	19,926	4	0	2	142
				TSW	18,146	5	0	3	130	19,548	5	0	3	140	19,796	5	0	3	141
				BLC	14,424	2	0	2	103	15,539	2	0	3	111	15,736	2	0	3	112
				LCCO	10,733	1	0	3	77	11,562	1	0	3	83	11,709	2	0	3	84
				RCCO	10,733	1	0	3	77	11,562	1	0	3	83	11,709	2	0	3	84
				80	700	P2	185W	T1S	22,305	3	0	3	121	24,029	3	0	3	130	24,333
T2S	22,281	3	0					4	120	24,003	3	0	4	130	24,307	3	0	4	131
T2M	22,396	3	0					3	121	24,127	3	0	3	130	24,432	3	0	3	132
T3S	21,690	3	0					4	117	23,366	3	0	4	126	23,662	3	0	4	128
T3M	22,342	3	0					4	121	24,068	3	0	4	130	24,373	3	0	4	132
T4M	21,857	3	0					4	118	23,545	3	0	4	127	23,844	3	0	4	129
TFTM	22,328	3	0					4	121	24,054	3	0	4	130	24,358	3	0	4	132
TSVS	23,222	5	0					1	126	25,016	5	0	1	135	25,333	5	0	1	137
TSS	23,241	4	0					2	126	25,037	4	0	2	135	25,354	4	0	2	137
TSM	23,182	5	0					3	125	24,974	5	0	3	135	25,290	5	0	3	137
TSW	23,030	5	0					4	124	24,810	5	0	4	134	25,124	5	0	4	136
BLC	18,307	2	0					3	99	19,721	2	0	3	107	19,971	2	0	3	108
LCCO	13,622	2	0					3	74	14,674	2	0	4	79	14,860	2	0	4	80
RCCO	13,622	2	0					3	74	14,674	2	0	4	79	14,860	2	0	4	80
80	850	P3	217W					T1S	26,202	3	0	3	121	28,226	3	0	3	130	28,584
				T2S	26,174	3	0	4	121	28,196	3	0	4	130	28,553	3	0	4	132
				T2M	26,309	3	0	3	121	28,342	3	0	3	131	28,700	3	0	3	132
				T3S	25,479	3	0	4	117	27,448	3	0	4	126	27,795	3	0	4	128
				T3M	26,245	3	0	4	121	28,273	3	0	4	130	28,631	3	0	4	132
				T4M	25,675	3	0	4	118	27,659	3	0	4	127	28,009	3	0	4	129
				TFTM	26,229	3	0	4	121	28,255	3	0	4	130	28,613	3	0	4	132
				TSVS	27,279	5	0	1	126	29,387	5	0	1	135	29,759	5	0	1	137
				TSS	27,301	4	0	2	126	29,410	5	0	2	136	29,783	5	0	2	137
				TSM	27,232	5	0	3	125	29,336	5	0	3	135	29,707	5	0	3	137
				TSW	27,053	5	0	4	125	29,144	5	0	4	134	29,513	5	0	4	136
				BLC	21,504	2	0	3	99	23,166	2	0	3	107	23,459	2	0	4	108
				LCCO	16,001	2	0	4	74	17,238	2	0	4	79	17,456	2	0	4	80
				RCCO	16,001	2	0	4	74	17,238	2	0	4	79	17,456	2	0	4	80
				80	1050	P4	270W	T1S	30,963	4	0	4	115	33,355	4	0	4	124	33,777
T2S	30,930	4	0					4	115	33,320	4	0	4	123	33,742	4	0	4	125
T2M	31,089	3	0					4	115	33,491	3	0	4	124	33,915	3	0	4	126
T3S	30,108	4	0					4	112	32,435	4	0	5	120	32,845	4	0	5	122
T3M	31,014	3	0					4	115	33,410	3	0	4	124	33,833	3	0	4	125
T4M	30,340	3	0					5	112	32,684	3	0	5	121	33,098	3	0	5	123
TFTM	30,995	3	0					5	115	33,390	3	0	5	124	33,812	3	0	5	125
TSVS	32,235	5	0					1	119	34,726	5	0	1	129	35,166	5	0	1	130
TSS	32,261	5	0					2	119	34,754	5	0	2	129	35,194	5	0	2	130
TSM	32,180	5	0					4	119	34,667	5	0	4	128	35,105	5	0	4	130
TSW	31,969	5	0					4	118	34,439	5	0	5	128	34,875	5	0	5	129
BLC	25,412	2	0					4	94	27,376	2	0	4	101	27,722	2	0	4	103
LCCO	18,909	2	0					4	70	20,370	2	0	4	75	20,628	2	0	4	76
RCCO	18,909	2	0					4	70	20,370	2	0	4	75	20,628	2	0	4	76

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics																			
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
80	1250	P5	321W	T1S	35,193	4	0	4	110	37,912	4	0	4	118	38,392	4	0	4	120
				T2S	35,155	4	0	5	110	37,872	4	0	5	118	38,351	4	0	5	119
				T2M	35,336	4	0	4	110	38,067	4	0	4	119	38,549	4	0	4	120
				T3S	34,222	4	0	5	107	36,866	4	0	5	115	37,333	4	0	5	116
				T3M	35,251	3	0	4	110	37,974	3	0	5	118	38,455	4	0	5	120
				T4M	34,485	3	0	5	107	37,149	4	0	5	116	37,620	4	0	5	117
				TFTM	35,229	3	0	5	110	37,951	3	0	5	118	38,431	3	0	5	120
				TSVS	36,639	5	0	1	114	39,470	5	0	1	123	39,970	5	0	1	125
				TSS	36,669	5	0	2	114	39,502	5	0	2	123	40,002	5	0	2	125
				T5M	36,576	5	0	4	114	39,403	5	0	4	123	39,901	5	0	4	124
				TSW	36,336	5	0	5	113	39,144	5	0	5	122	39,640	5	0	5	123
				BLC	28,884	3	0	4	90	31,115	3	0	4	97	31,509	3	0	4	98
				LCCO	21,492	2	0	4	67	23,153	2	0	5	72	23,446	3	0	5	73
				RCCO	21,492	2	0	4	67	23,153	2	0	5	72	23,446	3	0	5	73
				T1S	37,824	4	0	4	110	40,747	4	0	4	119	41,263	4	0	4	120
100	1050	P6	343W	T2S	37,784	4	0	5	110	40,704	4	0	5	119	41,219	4	0	5	120
				T2M	37,979	4	0	4	111	40,913	4	0	4	119	41,431	4	0	4	121
				T3S	36,780	4	0	5	107	39,623	4	0	5	116	40,124	4	0	5	117
				T3M	37,886	3	0	5	110	40,814	4	0	5	119	41,331	4	0	5	120
				T4M	37,063	4	0	5	108	39,927	4	0	5	116	40,433	4	0	5	118
				TFTM	37,863	3	0	5	110	40,789	4	0	5	119	41,305	4	0	5	120
				TSVS	39,379	5	0	1	115	42,422	5	0	1	124	42,959	5	0	1	125
				TSS	39,411	5	0	2	115	42,456	5	0	2	124	42,993	5	0	2	125
				T5M	39,311	5	0	4	115	42,349	5	0	4	123	42,885	5	0	4	125
				TSW	39,053	5	0	5	114	42,071	5	0	5	123	42,604	5	0	5	124
				BLC	31,043	3	0	4	91	33,442	3	0	4	97	33,865	3	0	4	99
				LCCO	23,099	2	0	5	67	24,884	3	0	5	73	25,199	3	0	5	73
				RCCO	23,099	2	0	5	67	24,884	3	0	5	73	25,199	3	0	5	73
				T1S	42,599	4	0	4	107	45,890	4	0	4	115	46,471	4	0	4	117
				T2S	42,553	4	0	5	107	45,842	4	0	5	115	46,422	4	0	5	117
				T2M	42,773	4	0	4	107	46,078	4	0	4	116	46,661	4	0	5	117
100	1250	P7	398W	T3S	41,423	4	0	5	104	44,624	4	0	5	112	45,189	4	0	5	114
				T3M	42,669	4	0	5	107	45,966	4	0	5	115	46,548	4	0	5	117
				T4M	41,742	4	0	5	105	44,967	4	0	5	113	45,537	4	0	5	114
				TFTM	42,643	4	0	5	107	45,938	4	0	5	115	46,519	4	0	5	117
				TSVS	44,350	5	0	1	111	47,777	5	0	1	120	48,381	5	0	1	122
				TSS	44,385	5	0	2	112	47,815	5	0	3	120	48,420	5	0	3	122
				T5M	44,273	5	0	4	111	47,695	5	0	4	120	48,298	5	0	4	121
				TSW	43,983	5	0	5	111	47,382	5	0	5	119	47,982	5	0	5	121
				BLC	34,962	3	0	4	88	37,664	3	0	5	95	38,140	3	0	5	96
				LCCO	26,015	3	0	5	65	28,025	3	0	5	70	28,380	3	0	5	71
				RCCO	26,015	3	0	5	65	28,025	3	0	5	70	28,380	3	0	5	71
				T1S	45,610	4	0	4	106	49,135	4	0	4	114	49,757	4	0	4	115
				T2S	45,562	4	0	5	106	49,083	4	0	5	114	49,704	4	0	5	115
				T2M	45,797	4	0	4	106	49,336	4	0	5	114	49,960	4	0	5	116
				T3S	44,352	4	0	5	103	47,779	4	0	5	111	48,384	4	0	5	112
				T3M	45,686	4	0	5	106	49,216	4	0	5	114	49,839	4	0	5	116
100	1350	P8	448W	T4M	44,693	4	0	5	104	48,147	4	0	5	112	48,756	4	0	5	113
				TFTM	45,657	4	0	5	106	49,186	4	0	5	114	49,808	4	0	5	116
				TSVS	47,485	5	0	1	110	51,155	5	0	1	119	51,802	5	0	1	120
				TSS	47,524	5	0	3	110	51,196	5	0	3	119	51,844	5	0	3	120
				T5M	47,404	5	0	4	110	51,067	5	0	5	118	51,713	5	0	5	120
				TSW	47,093	5	0	5	109	50,732	5	0	5	118	51,374	5	0	5	119
				BLC	37,434	3	0	5	87	40,326	3	0	5	94	40,837	3	0	5	95
				LCCO	27,854	3	0	5	65	30,006	3	0	5	70	30,386	3	0	5	71
				RCCO	27,854	3	0	5	65	30,006	3	0	5	70	30,386	3	0	5	71

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Rotated Optics																			
LED Count	Drive Current	Power Package	System Watts	Dist. Type	30K (3000 K, 70 CRI)					40K (4000 K, 70 CRI)					50K (5000 K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
90	530	P10	156W	T1S	20,145	4	0	4	129	21,702	4	0	4	139	21,977	4	0	4	141
				T2S	20,029	4	0	4	128	21,577	4	0	4	138	21,850	4	0	4	140
				T2M	20,391	4	0	4	131	21,967	4	0	4	141	22,245	4	0	4	143
				T3S	19,719	4	0	4	126	21,242	4	0	4	136	21,511	4	0	4	138
				T3M	20,379	4	0	4	131	21,954	4	0	4	141	22,232	4	0	4	143
				T4M	19,995	4	0	4	128	21,540	4	0	4	138	21,812	5	0	5	140
				TFTM	20,511	4	0	4	131	22,096	5	0	5	142	22,376	5	0	5	143
				TSVS	20,655	4	0	1	132	22,251	4	0	1	143	22,533	4	0	1	144
				T5S	20,482	4	0	2	131	22,064	4	0	2	141	22,343	4	0	2	143
				T5M	20,477	5	0	3	131	22,059	5	0	3	141	22,338	5	0	3	143
				TSW	20,293	5	0	3	130	21,861	5	0	3	140	22,138	5	0	4	142
				BLC	16,846	4	0	4	108	18,148	4	0	4	116	18,378	4	0	4	118
				LCCO	12,032	2	0	3	77	12,961	2	0	3	83	13,125	2	0	3	84
				RCCO	12,016	4	0	4	77	12,944	4	0	4	83	13,108	4	0	4	84
90	700	P11	207W	T1S	25,518	4	0	4	123	27,490	4	0	4	133	27,837	4	0	4	134
				T2S	25,371	5	0	5	123	27,331	5	0	5	132	27,677	5	0	5	134
				T2M	25,829	4	0	4	125	27,825	4	0	4	134	28,177	4	0	4	136
				T3S	24,977	5	0	5	121	26,907	5	0	5	130	27,248	5	0	5	132
				T3M	25,814	5	0	5	125	27,809	5	0	5	134	28,161	5	0	5	136
				T4M	25,327	5	0	5	122	27,284	5	0	5	132	27,629	5	0	5	133
				TFTM	25,981	5	0	5	126	27,989	5	0	5	135	28,343	5	0	5	137
				TSVS	26,164	5	0	1	126	28,185	5	0	1	136	28,542	5	0	1	138
				T5S	25,943	4	0	2	125	27,948	5	0	2	135	28,302	5	0	2	137
				T5M	25,937	5	0	3	125	27,941	5	0	3	135	28,295	5	0	3	137
				TSW	25,704	5	0	4	124	27,691	5	0	4	134	28,041	5	0	4	135
				BLC	21,339	4	0	4	103	22,988	4	0	4	111	23,279	4	0	4	112
				LCCO	15,240	2	0	4	74	16,418	2	0	4	79	16,626	2	0	4	80
				RCCO	15,220	5	0	5	74	16,396	5	0	5	79	16,604	5	0	5	80
90	850	P12	254W	T1S	29,912	4	0	4	118	32,223	4	0	4	127	32,631	5	0	4	128
				T2S	29,740	5	0	5	117	32,038	5	0	5	126	32,443	5	0	5	128
				T2M	30,277	4	0	4	119	32,616	5	0	5	128	33,029	5	0	5	130
				T3S	29,278	5	0	5	115	31,540	5	0	5	124	31,940	5	0	5	126
				T3M	30,259	5	0	5	119	32,597	5	0	5	128	33,010	5	0	5	130
				T4M	29,688	5	0	5	117	31,982	5	0	5	126	32,387	5	0	5	128
				TFTM	30,455	5	0	5	120	32,808	5	0	5	129	33,224	5	0	5	131
				TSVS	30,669	5	0	1	121	33,039	5	0	1	130	33,457	5	0	1	132
				T5S	30,411	5	0	2	120	32,761	5	0	2	129	33,176	5	0	2	131
				T5M	30,404	5	0	3	120	32,753	5	0	4	129	33,168	5	0	4	131
				TSW	30,131	5	0	4	119	32,459	5	0	4	128	32,870	5	0	4	129
				BLC	25,013	4	0	4	98	26,946	4	0	4	106	27,287	4	0	4	107
				LCCO	17,865	2	0	4	70	19,245	2	0	4	76	19,489	2	0	4	77
				RCCO	17,841	5	0	5	70	19,220	5	0	5	76	19,463	5	0	5	77
90	1200	P13	344W	T1S	38,768	5	0	5	113	41,764	5	0	5	121	42,292	5	0	5	123
				T2S	38,545	5	0	5	112	41,523	5	0	5	121	42,049	5	0	5	122
				T2M	39,241	5	0	5	114	42,273	5	0	5	123	42,808	5	0	5	124
				T3S	37,947	5	0	5	110	40,879	5	0	5	119	41,396	5	0	5	120
				T3M	39,218	5	0	5	114	42,249	5	0	5	123	42,783	5	0	5	124
				T4M	38,478	5	0	5	112	41,451	5	0	5	120	41,976	5	0	5	122
				TFTM	39,472	5	0	5	115	42,522	5	0	5	124	43,060	5	0	5	125
				TSVS	39,749	5	0	1	116	42,821	5	0	1	124	43,363	5	0	1	126
				T5S	39,415	5	0	2	115	42,461	5	0	2	123	42,998	5	0	2	125
				T5M	39,405	5	0	4	115	42,450	5	0	4	123	42,988	5	0	4	125
				TSW	39,052	5	0	5	114	42,069	5	0	5	122	42,602	5	0	5	124
				BLC	32,419	5	0	5	94	34,925	5	0	5	102	35,367	5	0	5	103
				LCCO	23,154	3	0	5	67	24,943	3	0	5	73	25,259	3	0	5	73
				RCCO	23,124	5	0	5	67	24,910	5	0	5	72	25,226	5	0	5	73
90	1400	P14	405W	T1S	42,867	5	0	5	106	46,180	5	0	5	114	46,764	5	0	5	115
				T2S	42,621	5	0	5	105	45,914	5	0	5	113	46,495	5	0	5	115
				T2M	43,390	5	0	5	107	46,743	5	0	5	115	47,335	5	0	5	117
				T3S	41,959	5	0	5	104	45,201	5	0	5	112	45,773	5	0	5	113
				T3M	43,365	5	0	5	107	46,716	5	0	5	115	47,307	5	0	5	117
				T4M	42,547	5	0	5	105	45,834	5	0	5	113	46,414	5	0	5	115
				TFTM	43,646	5	0	5	108	47,018	5	0	5	116	47,614	5	0	5	118
				TSVS	43,952	5	0	1	109	47,349	5	0	1	117	47,948	5	0	1	118
				T5S	43,583	5	0	2	108	46,950	5	0	2	116	47,545	5	0	3	117
				T5M	43,572	5	0	4	108	46,939	5	0	4	116	47,533	5	0	4	117
				TSW	43,181	5	0	5	107	46,518	5	0	5	115	47,107	5	0	5	116
				BLC	35,847	5	0	5	89	38,617	5	0	5	95	39,106	5	0	5	97
				LCCO	25,602	3	0	5	63	27,580	3	0	5	68	27,930	3	0	5	69
				RCCO	25,569	5	0	5	63	27,544	5	0	5	68	27,893	5	0	5	69

A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a [shaded background](#). DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability¹
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a [shaded background](#)¹

To learn more about A+, visit www.acuitybrands.com/aplus.

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire.
Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Area Size 2 reflects the embedded high performance LED technology. It is ideal for applications like car dealerships and large parking lots adjacent to malls, transit stations, grocery stores, home centers, and other big-box retailers.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.1 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K, or 5000 K (70 CRI) configurations. The D-Series Size 2 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L85/100,000 hrs at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily-serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 2 to withstand up to a 2.0 G vibration load rating per ANSI C136.31. The D-Series Size 2 utilizes the AERIS™ series pole drilling pattern (Template #8). NEMA photocontrol receptacle is available.

STANDARD CONTROLS

The DSX2 LED area luminaire has a number of control options. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. Integrated motion sensors with on-board photocells feature field-adjustable programming and are suitable for mounting heights up to 30 feet.

nLIGHT AIR CONTROLS

The DSX2 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor override can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D670,857 S. International patent pending.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.

All values are design or typical values, measured under laboratory conditions at 25 °C.

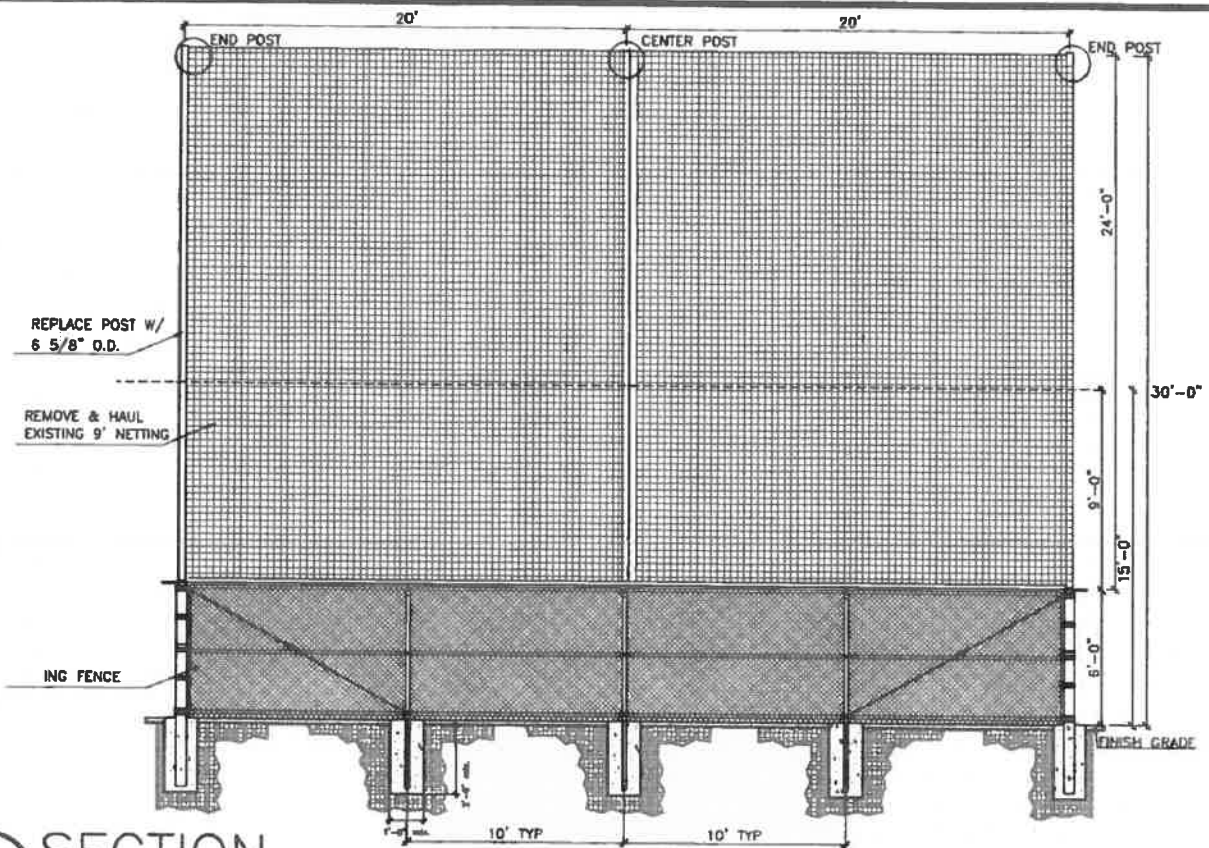
Specifications subject to change without notice.



COMMERCIAL OUTDOOR

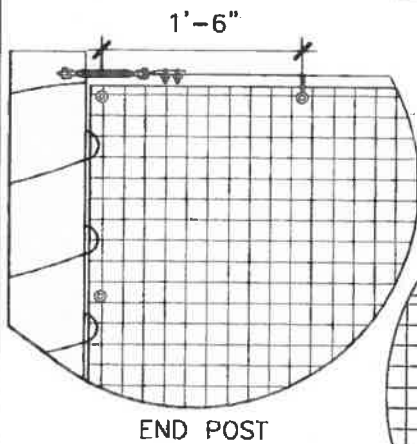
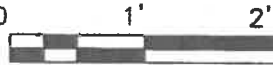
One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
© 2011-2019 Acuity Brands Lighting, Inc. All rights reserved.

DSX2-LED
Rev. 12/09/19
Page 8 of 8



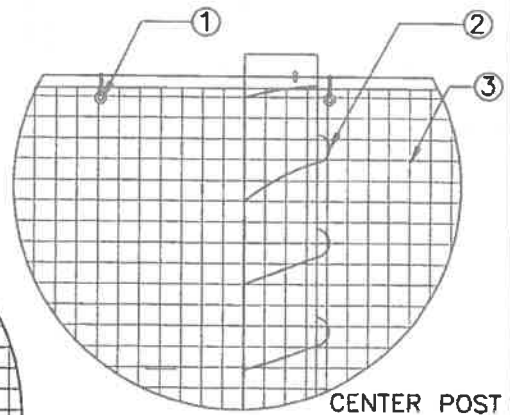
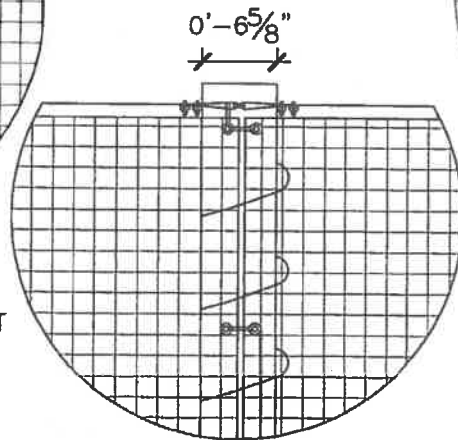
A SECTION

1/8" : 1'0"



END POST

END POST



CENTER POST

① GROMMETS ATTACHED TO CABLE W/ METAL CLIPS

② NYLON LACING TWINE

③ #36 KNOTTED BLACK NYLON FIELD NETTING

B DETAILS

3/4" : 1'0"



OF UPDATES: 01 LAST UPDATED: 07-16-2014: SW

RPCA
DETAILS LIBRARY
CITY OF ALEXANDRIA, VA
DEPARTMENT OF RECREATION, PARKS
AND CULTURAL ACTIVITIES



NOTE:
THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES. ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.

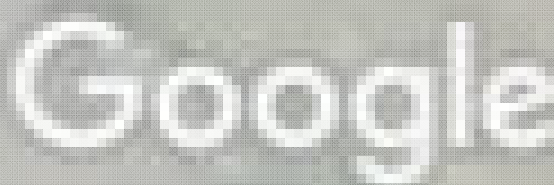
Source:
BALLFABRICS
Approved by:
I.N.


FENCE
NETTING SYSTEM

1 OF 1

Date drawn:
07/10/12

03-FE-NS




Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	7	Lithonia Lighting	DSX2 LED P8 40K T4M MVOLT	DSX2 LED P8 40K T4M MVOLT	LED	1	DSX2_LED_P8_40K_T4M_MVOLT.ies	48144	0.85	431

Designer
Date
12/13/2019
Scale
Not to Scale
Drawing No.
Summary



Plan View
Scale - 1" = 12ft

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	B	5	Lithonia Lighting	RADPT P1 40K PATH HS	RADEAN Post-Top with P1 4000K Pathway distribution with house-side shield at 14' above grade.		1	RADPT_P1_40K_PATH_HS.ies	2380	0.85	25.4134

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SKATE PARK PATH		0.7 fc	1.1 fc	0.3 fc	3.7:1	2.3:1