

Docket Item # 3  
BZA #2020-00002  
Board of Zoning Appeals  
June 8, 2020

**ADDRESS:** 107 EAST WINDSOR AVENUE  
**ZONE:** RB, TOWNHOUSE ZONE  
**APPLICANT:** CHRISTOPHER TUCKER, AGENT FOR JONATHAN RENARD  
AND KARI McNAIR

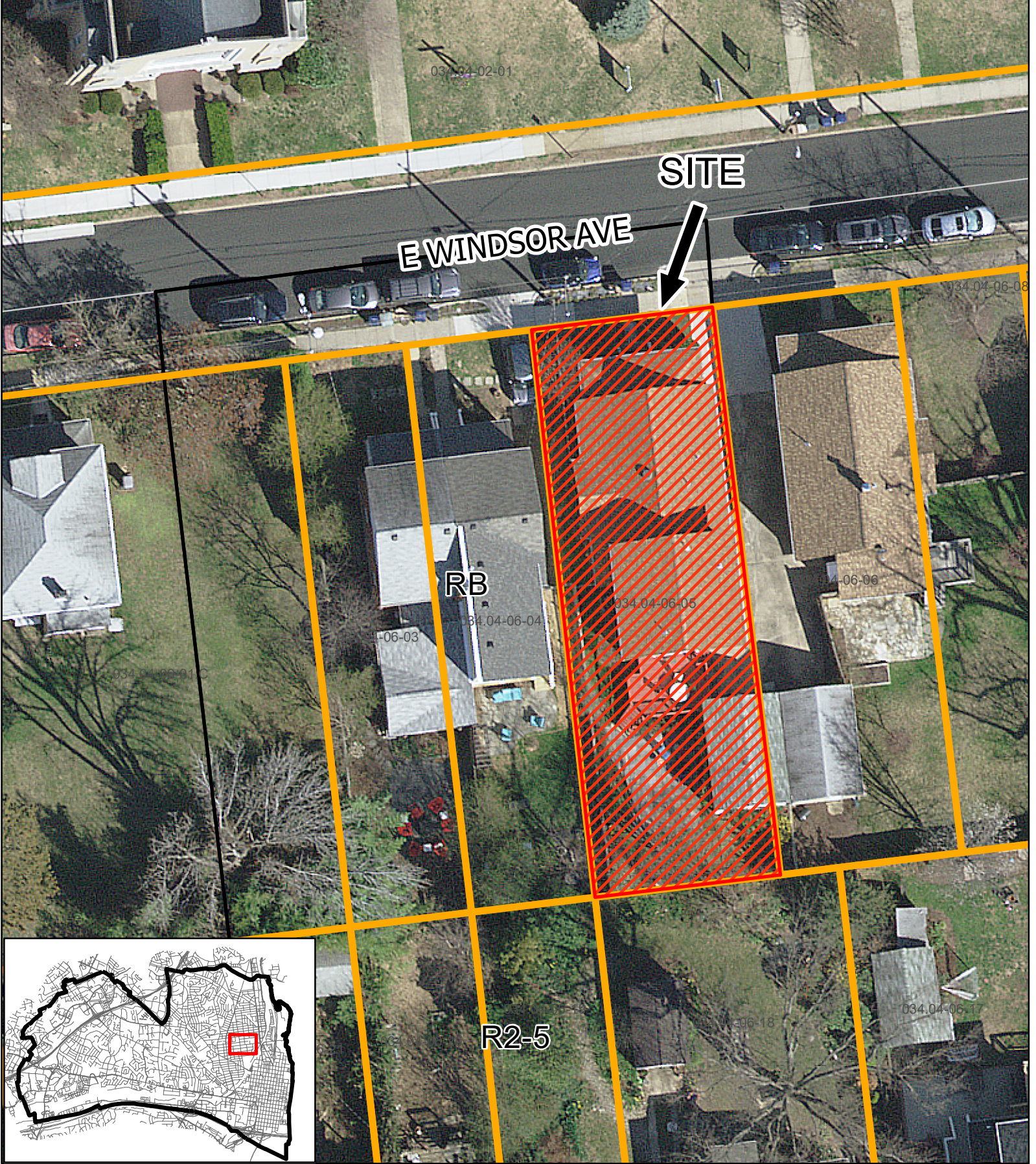
**ISSUE:** Special exceptions to construct a second-story addition over the existing first floor and to increase the height of an existing front porch in the required west side yard.

CODE SECTION	SUBJECT	CODE REQMT	APPLICANT PROPOSES	REQUESTED EXCEPTION
3-706(A)(3)(a)	Side Yard (Porch)	8.00 feet	6.20 feet	1.80 feet
3-706(A)(3)(a)	Side Yard (Addition)	8.00 feet	5.00 feet	3.00 feet

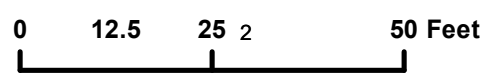
Planning and Zoning staff **recommends denial** of the requested special exceptions because the requests do not meet all the criteria for special exceptions, as the dwelling is a contributing structure in the Town of Potomac and the proposed addition would change the massing and character of the historic bungalow in the historic district.

If the Board grants the requested special exceptions, the applicant must have lots consolidated and comply with all requirements of this report's department comments. The applicant must also submit a survey plat prepared by a licensed surveyor confirming building footprint, setbacks and lot consolidation prior to all final inspections. The special exceptions must be recorded with the property's deed in the City's Land Records Office prior to the release of the building permit.





**BZA #2020-00002**  
**107 E Windsor Ave**





**I. Issue**

The applicant proposes to add a second-story front addition in line with the existing side wall in the required west side yard and reconstruct an existing non-complying porch with increased height due to a higher roof pitch in the required west side yard.



**II. Background**

The subject property is one and one-half lots of records containing 4,314 square feet of lot area, with a lot width and frontage of 37.50 feet facing East Windsor Avenue and a depth of 115.00 feet along the east and west side property line. The subject property is a substandard lot in the RB zone with respect to lot width and frontage.

The lot is currently developed with a single-family detached dwelling. The dwelling's front porch is located 9.80 feet from the north front property line; 8.50 feet from the east side property line, 47.00 feet from the south rear property line and 2.60 feet from the west side property line. The one-story front-gable brick-front bungalow with a front porch was constructed in ca. 1930 and is identified as a contributing structure within the Town of Potomac National Register Historic District.

The following table provide zoning analysis of the subject property.

<b>RB Zone</b>	<b>Required/Permitted</b>	<b>Existing</b>	<b>Proposed</b>
Lot Area	1,980 Sq. Ft.	4,313 Sq. Ft.	4,313 Sq. Ft.
Lot Width	50.00 Ft.	37.50 Ft.	37.50 Ft.
Lot Frontage	50.00 Ft.	37.50 Ft.	37.50 Ft.
Front Yard	9.7-20.00 Ft. *	10.00 Ft.	10.00 Ft.
Side Yard	8.00 Ft. (minimum) 1:3 height to setback ratio	8.50 Ft. (east) 2.60 Ft. (west)	8.50 Ft. (east) 2.60 Ft. (west)
Rear Yard	8.00 Ft.(minimum) 1:1 setback ratio	22.00 Ft.	22.00 Ft.
Open Space	800 Sq. Ft.	1134 Sq. Ft	1134 Sq. Ft
Floor Area Ratio (FAR)	(.75) 3,235.00	1,680.50	2,403.50



\* Based on the range of the contextual block face.

**III. Description**

The applicant proposes to construct a second-story addition that will be built in line with the existing one-story front portion of the dwelling unit. The rear two-story addition was built in 2007 and was built in compliance with the required side and rear yard setbacks. The new addition will measure 30.13 feet by 24.00 feet for a total area of 723.12 square feet. The second-story addition will measure 28.08 feet in height measured from the midpoint of the gable and 20.29 feet from the eaves facing the west side yard to average existing grade. Based on a height of 20.29 feet from the eaves facing the west side yard to average existing grade the minimum setback of 8.00 feet is required. The applicant requests a special exception of 3.00 feet from the required 8.00 feet to construct the addition 5.00 feet from the west side property line above a majority of the west side building wall.

The applicant is also proposing to reconstruct the front porch and change the roof form from a hipped roof to a taller gable roof. The footprint of the existing porch will remain unchanged. The porch would measure 21.63 feet in length and 7.88 feet in depth for a total of 170.44 square feet. The current roof measures 11.78 feet from average existing grade to the eaves of the hipped roof which requires a minimum 8.00 side yard setback. The new proposed roof would measure 13.79 feet from average existing grade in height when measured to the midpoint of the facing the west side yard and 11.78 feet from the average existing grade to the eaves. The applicants request a special exception of 1.80 feet from the required 8.00 feet to construct the front porch 6.20 feet from the west side property line.

The new porch and the second-story addition would have 1.60 feet overhangs which are permitted obstructions in a required yard per section 7-202 (A)(3) of the Zoning Ordinance.

Upon completion of the work, the proposed renovations will continue to comply with the floor area requirements. (Refer to floor area calculations.)

There have been no variances or special exceptions previously granted for the subject property.

**IV. Master Plan/Zoning**

The subject property has been zoned RB since adoption of the Third Revised Zoning Map in 1951 and is identified in the Potomac West Small Area Plan for residential use.

**V. Requested Special Exception:**

**3-706(A)(3)(a) Side Yard (west)**

The applicants request a special exception of 3.00 feet from the required 8.00 foot side yard setback to construct a second-story addition that will measure 20.29 feet in height when measured from the eaves facing the side yard to average existing grade. The addition will



be located in line with the existing one-story west side wall, 5.00 feet from the west side property line.

The applicants request a second special exception of 1.80 feet from the required 8.00 foot side yard setback to increase the height of the front porch in the required side yard. The roof will measure 11.78 feet in height when measured from the eaves facing the side yard to average existing grade. The porch would continue to be located 6.20 feet from the west side property line.

**VI. Noncomplying Structure/ Substandard Lot**

The existing lot is substandard and contains a noncomplying structure with respect to the following:

<b><u>Regulation</u></b>	<b><u>Required</u></b>	<b><u>Existing</u></b>	<b><u>Noncompliance</u></b>
Lot Width	50.00 Feet	37.50 Feet	12.50 Feet
Lot Frontage	50.00 Feet	37.50 Feet	12.50 Feet
Side Yard (West)	8.00 Feet	2.60 Feet	5.40 Feet (house)
Side Yard (West)	8.00 Feet	1.80 Feet	6.20 Feet (porch)

**VII. Special Exceptions Standards**

To grant a special exception, the Board of Zoning Appeals must find that the strict application of the zoning ordinance creates an unreasonable burden on the use and enjoyment of the property. Section 11-1304 of the zoning ordinance lists standards that an applicant must address and that the Board believes exists and thus warrants granting a special exception of the zoning regulations.

- 1) Whether approval of the special exception will be detrimental to the public welfare, to the neighborhood or to the adjacent properties.

**The second-story addition and changes to the front porch will not be detrimental to the public welfare, to the neighborhood, or to the adjacent properties. The proposed second-story expansion of the existing noncomplying wall will be no closer to the west side property line than the majority of the existing one-story building wall of the house. There are other homes in the area that have similar second-story additions. The eaves will be facing the most affected neighbor. This is less impactful as opposed to having the gable end face the neighbor because as proposed the height and mass of the structure increases as the distance from the property line increases.**

- 2) Whether approval of the special exception will impair an adequate supply of light and air to the adjacent property, or cause or substantially increase traffic congestion or increase the danger of fire or the spread of fire or endanger the public safety.



**The proposed second-story addition may have some impact to light and air to the adjacent property to the west because the proposal is going from a one-story to a two-story addition, but will be no closer to the property line than the side wall of the existing dwelling that currently sits 5.00 feet from the west side property line.**

**The proposal on the subject property will not be constructed further back than what currently is there leaving the rear yard open and not hindering additional light and air to the adjacent neighbor's rear yard.**

**The proposed porch will remain open and will not negatively impact light or air. The porch is not changing its size or footprint but a change in the porch is the roof.**

- 3) Whether approval of the special exception will alter the essential character of the area or zone.

**The one-story front-gable brick-front bungalow with a front porch was constructed in ca. 1930 and is identified as a contributing resource within the Town of Potomac National Register Historic District National Register. The fenestration on the existing front/north elevation will be relocated, necessitating the demolition of much of the historic fabric. The addition will change the massing and character of the historic bungalow. The historic integrity of the bungalow will be compromised by the proposed addition and alterations.**

**While the footprint of the porch will not change, the roof pitch of the porch will. The change in the porch is one aspect where the defining features of the bungalow will compromise the defining character features and the historic integrity.**

**The loss of the contributing status not only affects the subject property, but also the district as a whole. Incremental losses over the years could lead to the removal of the district from the State and National Registers.**

- 4) Whether the proposal will be compatible with the development in the surrounding neighborhood.

**This proposal would be different from most of the houses on the block. On the east side of the property is another bungalow. To the west of the property there are two-story semi-detached units and further down the block there is a set of more modern townhouses built in the 1970s.**



**While the proposal would be taller in height of the most affected adjacent neighbors. The new second-floor master bedroom has a portion that has a taller ceiling height almost creating a third story. The fact that this property is zoned RB allows for significantly more floor area ratio (.75) than most of the surrounding properties that are zoned R-2-5 which have a floor area ratio of only .45. While the zone for the subject property allows more FAR, the placement of the FAR on the lot will make it less compatible than the current houses sitting on the block because the FAR is going up vertically. Because the lot is substandard in width, the placement of the existing house on the lot, the existence of the detached garage and the requirement to maintain a minimum 800 square feet of open space, the applicant's ability to add the square footage on the lot is limited.**

- 5) Whether the proposed development represents the only reasonable means and location on the lot to accommodate the proposed structure given the natural constraints of the lot or the existing development of the lot.

**The location of the proposed addition represents the only location of the lot to construct a second story addition above the existing dwelling. However, there are options to construct a smaller second story addition towards the rear of the building in front of the existing rear addition while preserving the front portion of the original bungalow. Due to the existing detached garage at the rear and the requirement to maintain 800 square feet of open space, the applicant would not be able to go back far without the impediment of the garage structure.**

**The changes to the pitch of the front porch roof will require demolition of much of the historic fabric and is purely a design choice. The existing front porch can be renovated or repaired without changes to the roof form.**

## **VIII. Staff Analysis and Conclusion**

### **Neighborhood Impact**

The architecture of the neighborhood is varied and contains both a mix of one, two and two and a half story dwellings along the block. The addition will change the massing and character of the historic bungalow and much of the character defining features of the bungalow will be modified or demolished. The historic integrity of the bungalow will be significantly compromised by the proposed addition and alterations and will establish a new architectural character for the property. According to Historic Preservation staff, the project could nullify the building's contributing status to the Town of Potomac National Register Historic District National Register. The loss of the contributing status not only affects the subject property, but also the district as a whole. Incremental losses over the years could lead to the removal of the district from the State and National Registers.



#### Light and Air

The proposed second-story addition may have some impact to the adjacent property to the west because the proposal is going from a one-story to a two-story addition. The proposed addition may have negligible impact on light and air as it will be constructed in line with the side wall of the existing dwelling that currently sits 5.00 feet from the west side property line.

The proposal on the subject property will not be constructed further back than what is there currently so there will be no new footprint being added to the rear of the house that would impair light or air at the rear. The proposal will be adding height to the existing bungalow forward of the existing rear two-story addition. By adding the new second-story addition and attic over the existing bungalow, the height will exceed that of the most affected neighbor on the west side of the property. On the east side of the property, a Grading Plan has been submitted to the City for the tear down of an existing bungalow (which has also been identified as a contributing structure in the Town of Potomac) to construct a new two-story dwelling unit.

Because the applicants are proposing to construct above the existing one-story front portion of the dwelling, the existing rear yard will not be reduced; therefore, no additional light and air to the adjacent neighbor's rear yard will be affected.

The proposed porch will remain open and will not negatively impact light or air.

#### Lot Constraints

The current lot is substandard in width making the lot narrower and it compliance with two 8.00 foot side yards more challenging. The placement of the existing dwelling currently located in the required west side yard setback necessitates applying for a special exception to construct a second story addition above the building footprint. In addition, the applicants are limited as to how far back an addition would be allowed due to the location of the existing detached garage and the requirement to maintain 800 square feet of open space on the lot.

#### Conclusion

In conclusion, staff **recommends denial** of the requested special exceptions to construct a second-story addition and the change the roof pitch of the front porch in the required side yard because the requests do not meet all the standards for a special exception. The proposed addition would change the massing and character of the historic bungalow within the Town of Potomac National Register District, thus altering the essential character of the area.



Staff:

Marlo J.W. Ford, AICP, Urban Planner, [marlo.ford@alexandriava.gov](mailto:marlo.ford@alexandriava.gov)

Mary Christesen, Zoning Manager, [mary.christesen@alexandriava.gov](mailto:mary.christesen@alexandriava.gov)

Tony LaColla, AICP, Land Use, Division Chief, [anthony.lacolla@alexandriava.gov](mailto:anthony.lacolla@alexandriava.gov)

**DEPARTMENTAL COMMENTS**

Legend: C - code requirement R - recommendation S - suggestion F - finding

\* The applicant is advised that if the variance is approved the following additional comments apply.

Transportation and Environmental Services:

- R1. The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R2. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R3. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F1. The applicant should provide a determination of disturbed area per City Guidelines to T&ES prior to submitting for permits. If the land disturbance meets or exceeds 2500 square feet, a released grading plan will be required prior to submitting for permits. (T&ES)
- F2. If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:  
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.  
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)



C-2The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C-3Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

C-4All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)

C-5Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

C-6All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Code Administration:

F-1 A building permit and plan review are required prior to the start of construction.

Recreation (Arborist):

No comments received by this Department

Historic Alexandria (Archaeology):

No archaeological oversight will be necessary for this undertaking.

Historic Preservation

The Historic Preservation Staff comments on special use permits, special exceptions, variances and other proposed projects within the Town of Potomac National Register Historic District (as well as the other National Register Districts in the City of Alexandria). We consider the project's impact on the affected historic resource(s) and evaluate the compatibility of the project within the district.

The one-story front-gable brick-front bungalow with a front porch was constructed in ca. 1930 and is identified as a contributing resource within the Town of Potomac National Register Historic District National Register.

The submitted drawings show the replacement of the front porch of the bungalow and the addition of a second story. The fenestration on the existing front/north elevation will be relocated, necessitating the demolition of much of the historic fabric.



Staff notes that plan sheet A2.0 mislabels the rear elevation as the front elevation.

Historic Preservation Staff provides the following comments:

- The addition will change the massing and character of the historic bungalow.
- The majority of the character defining features of the bungalow will be modified or demolished.
- The historic integrity of the bungalow will be significantly compromised by the proposed addition and alterations.
- The proposed project will establish a new architectural character for the property.
- In the opinion of Historic Preservation staff, the project will nullify the building's contributing status.

The loss of the contributing status not only affects the subject property, but also the district as a whole. Incremental losses over the years could lead to the removal of the district from the State and National Registers.

Other Requirements Brought to the Applicant's Attention:

- C-1 The special exceptions must be recorded with the property's deed in the City's Land Records Office prior to the release of the building permit.
- C-2 Lots will need to be consolidated prior to final inspection should the Board of Zoning Appeals grant the requested special exceptions.



BZA Case # \_\_\_\_\_



## APPLICATION BOARD OF ZONING APPEALS

### SPECIAL EXCEPTION FOR PORCHES

Section of zoning ordinance from which request for special exception is made:

1.   **Applicant:**       **Owner**       **Contract Purchaser**       **Agent**

**Name** \_\_\_\_\_

**Address** \_\_\_\_\_

\_\_\_\_\_

**Daytime Phone** \_\_\_\_\_

**Email Address** \_\_\_\_\_

2.   **Property Location** \_\_\_\_\_

3.   **Assessment Map #** \_\_\_\_\_ **Block** \_\_\_\_\_ **Lot** \_\_\_\_\_ **Zone** \_\_\_\_\_

4.   **Legal Property Owner Name** \_\_\_\_\_

**Address** \_\_\_\_\_

\_\_\_\_\_



# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Jonathan Renard	107 E Windsor Ave, Alexandria, VA 22301	50
2. Kari McNair	107 E Windsor Ave, Alexandria, VA 22301	50
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 107 E Windsor Ave Alexandria, VA 22301 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

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2. Kari McNair	107 E Windsor Ave, Alexandria, VA 22301	50
3.		

**3. Business or Financial Relationships.** Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).


Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Jonathan Renard	None	None
2. Kari McNair	None	None
3.		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

01/28/2020  
Date

Jonathan Renard  
Printed Name

  
Signature



BZA Case # \_\_\_\_\_

**5. Describe request briefly :**

The owner would like to change the pitch and style of the roof on the existing front porch.

**6. If property owner or applicant is being represented by an authorized agent,** such as an attorney, realtor or other person for which there is a form of compensation, does this agent or the business in which they are employed have a business license to operate in the City of Alexandria, Virginia?

☒ Yes — Provide proof of current City business license. Lic. #132682

☐ No — Said agent shall be required to obtain a business prior to filing application.

**The undersigned hereby attests** that all of the information herein provided including the site plan, building elevations, prospective drawings of the projects, etc., are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**Applicant or Authorized Agent:**

Christopher Tucker, AIA

**Print Name**

703-474-0321

**Telephone**



**Signature**

01.30.20

**Date**

Pursuant to Section 13-3-2 of the City Code, the use of a document containing false information may constitute a Class 1 misdemeanor and may result in a punishment of a year in jail or \$2,500 or both. It may also constitute grounds to revoke the permit applied for with such information.

**Note to Applicant: Only one special exception per dwelling shall be approved under the provisions of Section 11-1302(B)(4).**



**PART B** (SECTIONS 11-1302(C) and 11-1304)

**APPLICANT MUST COMPLETE THE FOLLOWING:**

(Please use additional sheets where necessary.)

1. **Please provide the following details of the proposed porch:**
  - a. Porch projection from front building wall to deck edge \_\_\_\_\_
  - b. Length of building wall where porch is to be built \_\_\_\_\_
  - c. Length of porch deck \_\_\_\_\_
  - d. Depth of overhang \_\_\_\_\_
  - e. Distance of furthest projecting porch element from the front property line \_\_\_\_\_
  - f. Overall height of porch from finished or existing grade \_\_\_\_\_
  - g. Height of porch deck from finished or existing grade \_\_\_\_\_
2. **Explain the conditions of the subject property which prevent locating the proposed porch in compliance with the zoning ordinance.**
3. **Explain if the proposed porch will be detrimental to the adjacent properties or the neighborhood in general.**
4. **Explain how the proposed porch will affect the light and air to any adjacent property.**
5. **Has the applicant shown the plans to the most affected property owners? Have any neighbors objected to the proposed special exception, or have any neighbors written letters of support? If so, please attach the letter.**



BZA Case # \_\_\_\_\_

6. The applicant shall demonstrate by clear and convincing evidence that the proposed porch is compatible with the existing building architecture, neighboring properties and neighborhood character. Provide information such as style and number of similar porches in the immediate neighborhood (provide dimensions and roof height as well as distance from curblines). Photographs should be included as part of the evidence supporting this request.



BZA Case # \_\_\_\_\_



**APPLICATION  
BOARD OF ZONING APPEALS**

**SPECIAL EXCEPTION FOR ADDITIONS**

Section of zoning ordinance from which request for special exception is made:

**PART A**

1. Applicant:      Owner      Contract Purchaser      ~~Agent~~

Name \_\_\_\_\_

Address \_\_\_\_\_

\_\_\_\_\_

Daytime Phone \_\_\_\_\_

Email Address \_\_\_\_\_

2. Property Location \_\_\_\_\_

3. Assessment Map # \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_ Zone \_\_\_\_\_

4. Legal Property Owner Name \_\_\_\_\_

Address \_\_\_\_\_

\_\_\_\_\_



# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

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For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).


Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
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**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

01/28/2020  
Date

Jonathan Renard  
Printed Name

  
Signature



**5. Describe request briefly:**

The owners would like to add a second floor addition over the existing first floor.

**6. If the property owner or applicant is being represented by an authorized agent, such as an attorney, realtor or other person for which there is a form of compensation, does this agent or the business in which they are employed have a business license to operate in the City of Alexandria, Virginia?**

☒ Yes — Provide proof of current City business license. Lic. #132682

☐ No — Said agent shall be required to obtain a business prior to filing application.

**THE UNDERSIGNED HEREBY ATTESTS** that all of the information herein provided including the site plan, building elevations, prospective drawings of the projects, etc., are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

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**Print Name**

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**Signature**

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**Date**

Pursuant to Section 13-3-2 of the City Code, the use of a document containing false information may constitute a Class 1 misdemeanor and may result in a punishment of a year in jail or \$2,500 or both. It may also constitute grounds to revoke the permit applied for with such information.



**NOTE TO APPLICANT:** Only one special exception per dwelling shall be approved under the provisions of Section 11-1302(B)(4).

**PART B** (SECTION 11-1304)

**APPLICANT MUST EXPLAIN THE FOLLOWING:**

(Please use additional pages where necessary.)

- 1. Explain how the special exception for the proposed addition, if granted, meets the applicant's needs.**
- 2. Explain if the special exception, if granted, will harm adjoining properties or impact the neighborhood in any way.**
- 3. Explain how the proposed addition will affect the light and air to any**



**BZA Case # \_\_\_\_\_**

- 4. Explain how the proposed addition is compatible with other properties in the neighborhood and the character of the neighborhood as a whole.**
  
  
  
  
  
  
  
  
  
  
- 5. How is the proposed construction similar to other buildings in the immediate area?**
  
  
  
  
  
  
  
  
  
  
- 6. Explain how this plan represents the only reasonable location on the lot to**
  
  
  
  
  
  
  
  
  
  
- 7. Has the applicant shown the plans to the most affected property owners? Have any neighbors objected to the proposed special exception, or have any neighbors written letters of support? If so, please attach the letter.**





# Department of Planning & Zoning

## Floor Area Ratio and Open Space Calculations for

### Single and Two-Family Residential Outside Historic Districts

**A**

#### A. Property Information

A1. 107 E Windsor Ave  
Street Address

RB  
Zone

A2. 4,313.00 x 0.75 = 3,235.00  
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

#### B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	849.00	Basement**	849.00	B1. 4,063.00 Sq. Ft.
First Floor	1,138.00	Stairways**	155.50	Existing Gross Floor Area*
Second Floor	390.00	Mechanical**	0.00	B2. 2,382.00 Sq. Ft.
Third Floor	0.00	Attic less than 7'***	1,138.00	Allowable Floor Exclusions**
Attic	1,138.00	Porches**	170.00	B3. 1,680.50 Sq. Ft.
Porches	170.00	Balcony/Deck**	70.00	Existing Floor Area Minus Exclusions (subtract B2 from B1)
Balcony/Deck	70.00	Garage**	0.00	
Garage	308.00	Other***		
Other***		Other***		
B1. <u>Total Gross</u>	4,063.00	B2. <u>Total Exclusions</u>	2,382.50	

#### Comments for Existing Gross Floor Area

demolish rear stoop

748 sf of attic to be demolished

front porch to remain-demo roof

#### C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	0.00	Basement**	0.00	C1. 823.00 Sq. Ft.
First Floor	0.00	Stairways**	0.00	Proposed Gross Floor Area*
Second Floor	723.00	Mechanical**	0.00	C2. 100.00 Sq. Ft.
Third Floor		Attic less than 7'***	100.00	Allowable Floor Exclusions**
Attic	100.00	Porches**		C3. 723.00 Sq. Ft.
Porches		Balcony/Deck**		Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Balcony/Deck		Garage**		
Garage		Other***		
Other***		Other***		
C1. <u>Total Gross</u>	823.00	C2. <u>Total Exclusions</u>	100.00	

#### Notes

\*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

\*\* Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

\*\*\* Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

#### D. Total Floor Area

D1. 2,403.50 Sq. Ft.  
Total Floor Area (add B3 and C3)

D2. 3,235.00 Sq. Ft.  
Total Floor Area Allowed by Zone (A2)

#### E. Open Space (RA & RB Zones)

E1. Existing Open Space Sq. Ft.

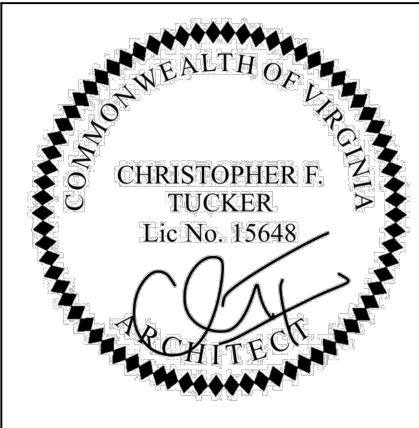
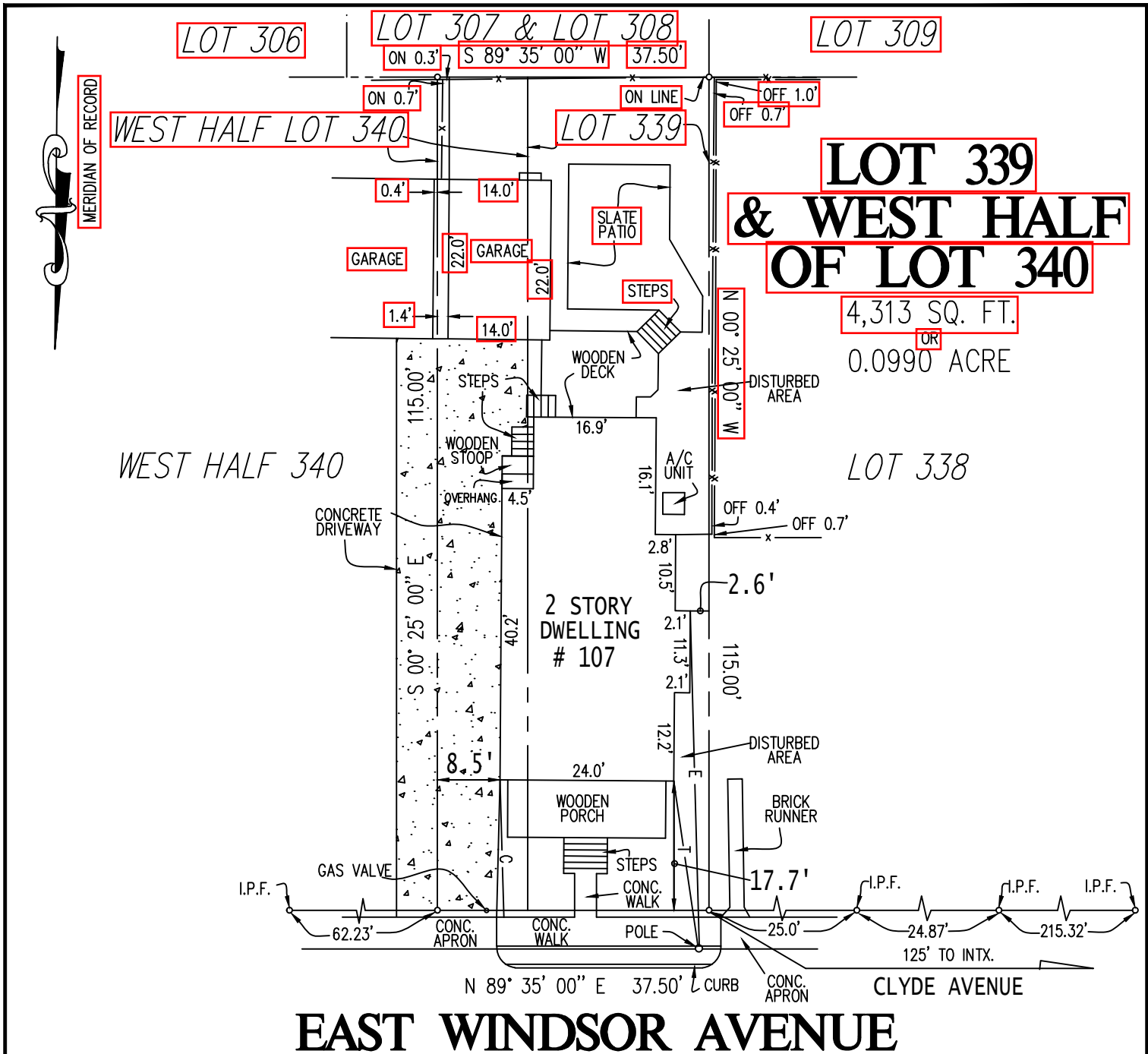
E2. Required Open Space Sq. Ft.

E3. Proposed Open Space Sq. Ft.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:





CENTERLINE

(40' WIDE)

LEGEND:

I.P.F. DENOTES IRON PIPE FOUND  
-X- DENOTES FENCE LINE



HOUSE LOCATION SURVEY

**LOT 339 & THE WEST HALF**

**DEL RAY SUBDIVISION**

CITY OF ALEXANDRIA, VIRGINIA

NOTES:

- 1) THIS PLAT HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT THEREFORE NECESSARILY INDICATE ALL ENCUMBRANCES ON THE PROPERTY.
- 2) THE LOT SHOWN HEREON APPEARS TO PLOT IN FLOOD ZONE "X" AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON F.E.M.A. MAP# 5155190033E EFFECTIVE DATE: JUNE 16, 2011
- 3) THIS SURVEY WAS NOT PREPARED FOR CONSTRUCTION PURPOSES. (INCLUDING FENCES)
- 4) LOCATION OF FENCES (IF ANY) ARE APPROXIMATE AND DO NOT CERTIFY TO OWNERSHIP.
- 5) THE PROPERTY SHOWN ON THIS PLAT IS LOCATED ON TAX ASSESSMENT MAP # 034.04-06-05
- 6) PROPERTY CORNERS NOT SET PER WAIVER REQUEST.
- 7) EASEMENTS, B.R.L.'S & MERIDIAN, IF SHOWN HEREON, ARE AS DELINEATED ON PLAT RECORDED IN DEED BOOK O, PAGES 404 & 440 (UNLESS NOTED OTHERWISE).

UNIVERSAL TITLE #5-9842-19

RENARD / CHADDERDON

**B.W. SMITH AND ASSOCIATES, INC.**

PROFESSIONAL LAND SURVEYING  
MANASSAS, VIRGINIA (703) 368-5866 www.bwsmithassoc.com

23

FIELD CREW: D. CONRAD

JOB# 20190402

DFT: D.B.T.

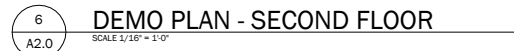
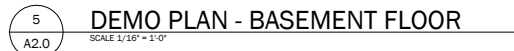
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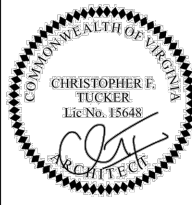
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DATE: 4/30/2019





**MODEL**  
**ARCHITECTURE**

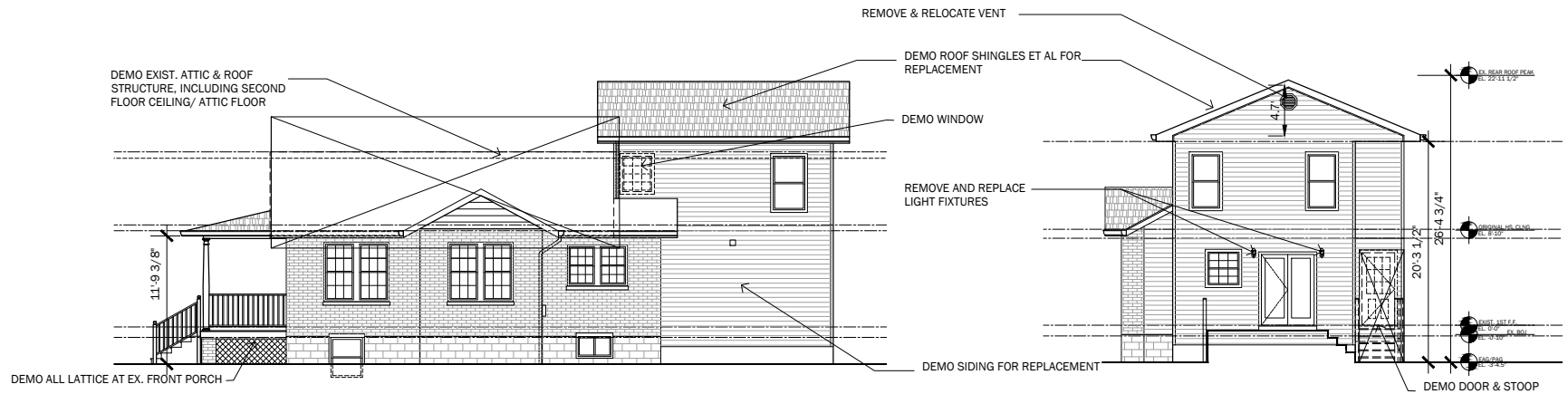


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Yes. Review						06.06.11
Yes. Review						06.13.11
Yes. Review						06.21.11
Yes. Review						07.18.11
GFE						08.14.11
Yes. Review						10.03.11
Yes. Review	x		x			10.11.11
Yes. Mtg.	x	x	x			11.01.11
Rev. Elec	x	x				12.03.11
Permit Rev	x	x				12.12.11
Permit Rev	x	x				12.20.11
Permit	x	x		x		12.23.11
IA APP	x				x	01.24.12

## Demo Plans & Elevations

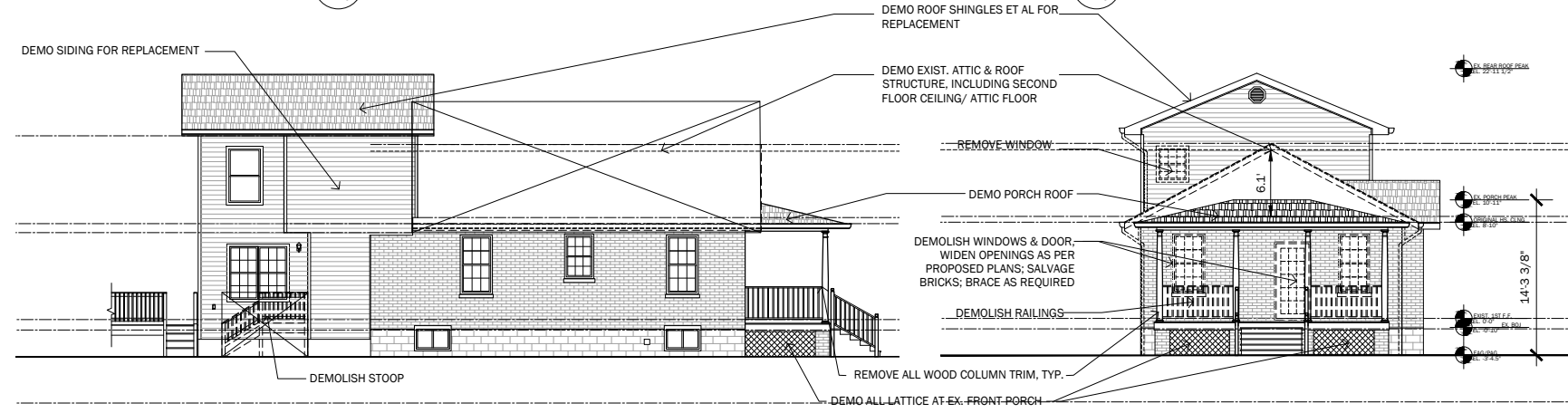
**MCNAIR  
- RENARD  
RESIDENCE**  
ADDITION/ RENOVATION  
107 East Windsor Avenue  
Alexandria, VA 22301





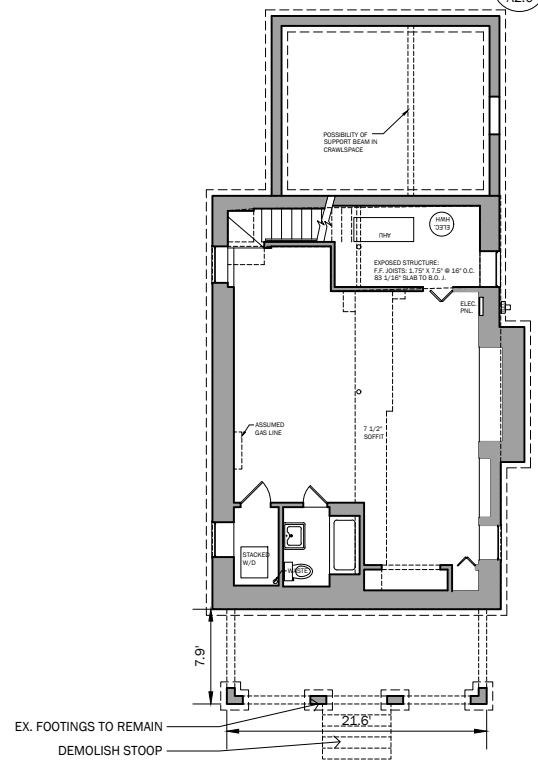
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SCALE 1/16" = 1'-0"

2 DEMO REAR ELEVATION  
SCALE 1/16" = 1'-0"

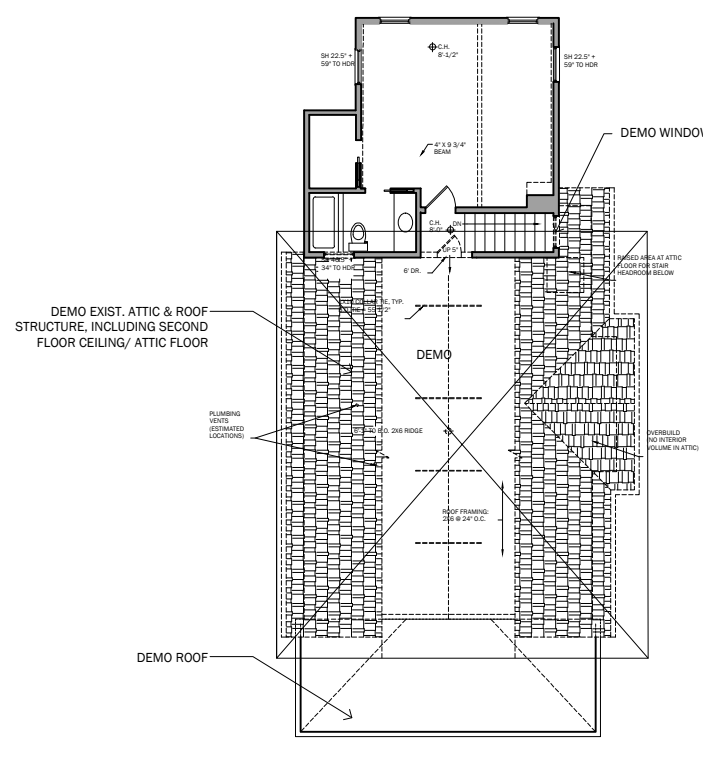


3 DEMO LEFT SIDE ELEVATION  
SCALE 1/16" = 1'-0"

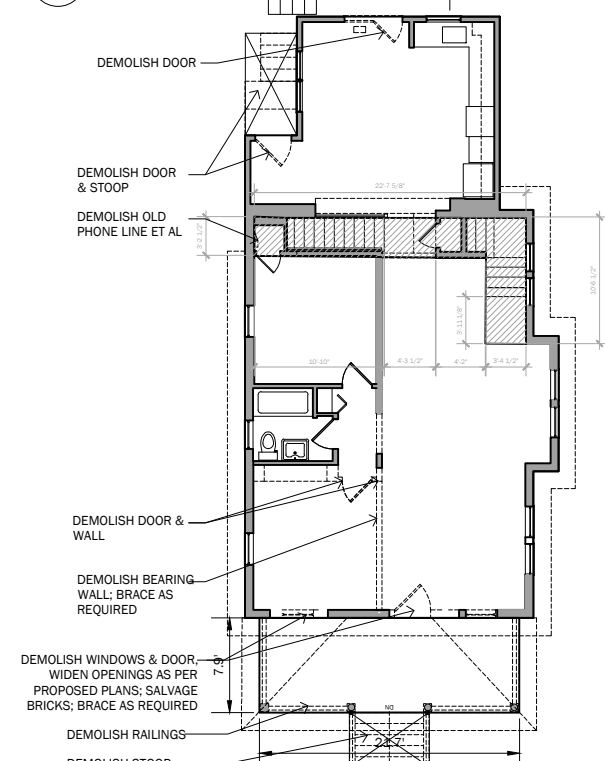
4 DEMO FRONT ELEVATION  
SCALE 1/16" = 1'-0"



5 DEMO PLAN - BASEMENT FLOOR  
SCALE 1/16" = 1'-0"



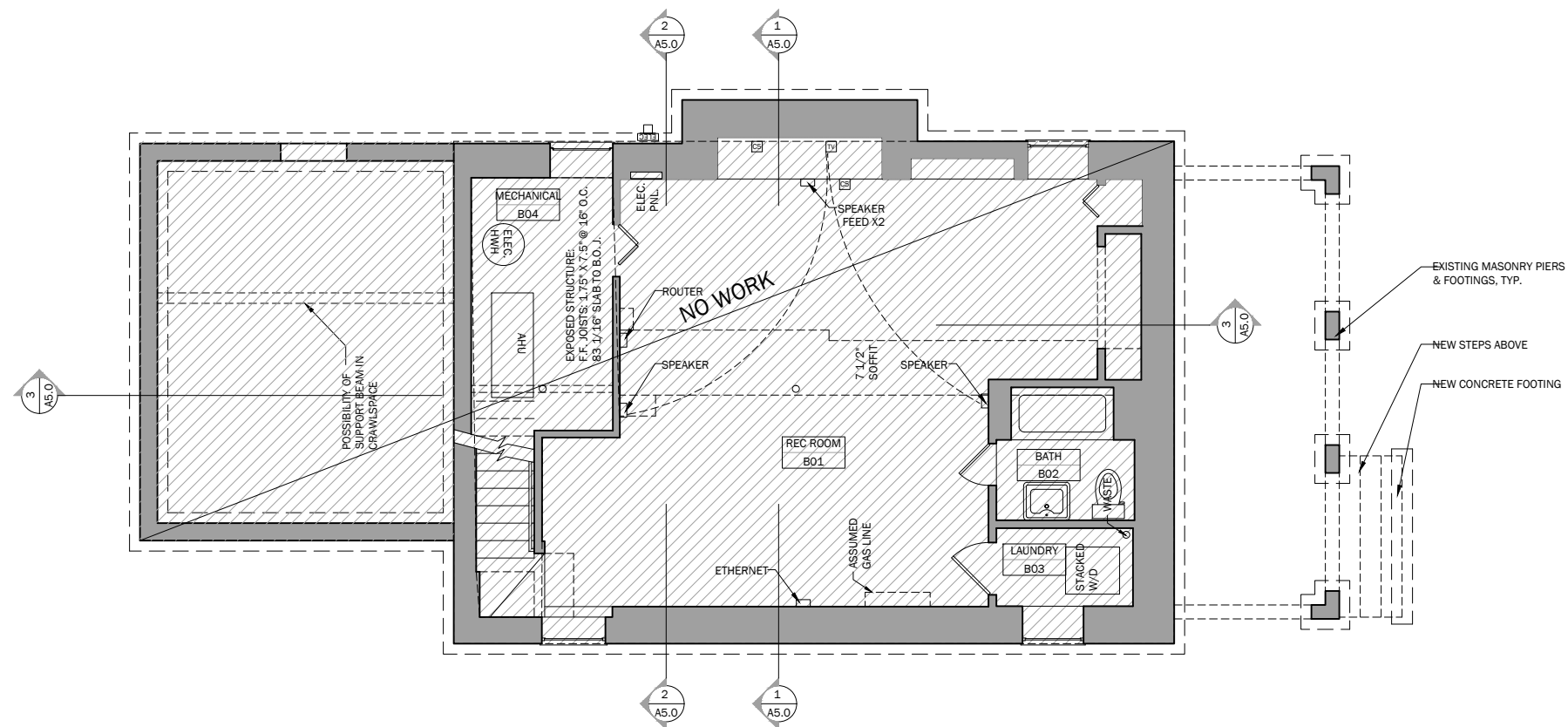
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7 DEMO PLAN - FIRST FLOOR  
SCALE 1/16" = 1'-0"





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Des. Review						06.06.1
Des. Review						06.13.1
Des. Review						06.21.1
Des. Review						07.18.1
GFE						08.14.1
Des. Review						10.03.1
Des. Review	X	X	X	X	X	10.11.1
Des. Mtg.	X	X	X	X	X	11.01.1
Rev. Elec.	X	X	X	X	X	12.03.1
Permit Rev	X	X	X	X	X	12.12.1
Permit Rev	X	X	X	X	X	12.20.1
Permit	X	X	X	X	X	12.23.1
BZA APP	X	X	X	X	X	01.24.2
BZA APP	X	X	X	X	X	02.19.2





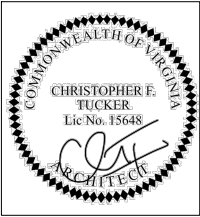
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	New wood stud wall
	New Concrete wall
	Existing wall to remain

WALL TYPES	
	<p>TYPICAL PARTITION</p> <p>-2X4 STUDS @ 16" O.C.</p> <p>-1/2" GWB BOTH SIDES</p>
	<p>-2X4 STUDS @ 16" O.C.</p> <p>-CEMENTBOARD WET WALL</p> <p>-1/2" GWB ONE SIDE</p>
	<p>EXTERIOR WALL</p> <p>-1/2" GWB (INT.) PTD., TYP.</p> <p>-2X6 STUDS @ 16" O.C.</p> <p>- INSULATION</p> <p>-1/2" EXT. GRADE SHEATHING</p> <p>-BUILDING WRAP</p> <p>-FINISH SHEATHING</p> <p>-SIDING</p> <p>REFER WALL DETAIL</p>
	<p>EXTERIOR WALL- INFILL</p> <p>-1/2" GWB (INT.) PTD., TYP.</p> <p>-2X STUDS</p> <p>- INSULATION</p> <p>-BRICK TO MATCH EX. FROM SALVAGE</p>

GENERAL NOTES	
1.	ALL EXTERIOR DIMENSIONS ARE TO STUD.
2.	ALL INTERIOR DIMENSIONS ARE TO FINISH.
3.	SEE SCHEDULES FOR ALL WINDOW/DOOR/SKYLIGHT SIZES.
4.	SEE WINDOW KEY FOR WINDOW SPECIFICATION



ISSUED	Studio	Client	Consultant	Buider	Other	DATE
Des_Review						05.31.19
Des_Review						06.06.19
Des_Review						06.13.19
Des_Review						06.21.19
Des_Review						07.18.19
GFE						08.14.19
Des_Review						10.03.19
Des_Review	x		x			10.11.19
Des_Mtg.	x	x	x			11.01.19
Rev_Elec.	x					12.03.19
Permit Rev	x	x				12.12.19
Permit Rev	x	x				12.20.19
Permit	x	x		x		12.23.19
AZA APP	x				x	01.24.20

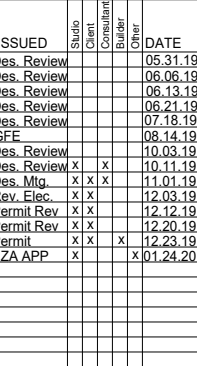
## Drawings

### Proposed Plan

**MCNAIR  
- RENARD  
RESIDENCE**  
ADDITION/ RENOVATION  
107 East Windsor Avenue  
Alexandria, VA 22301

## A3.0





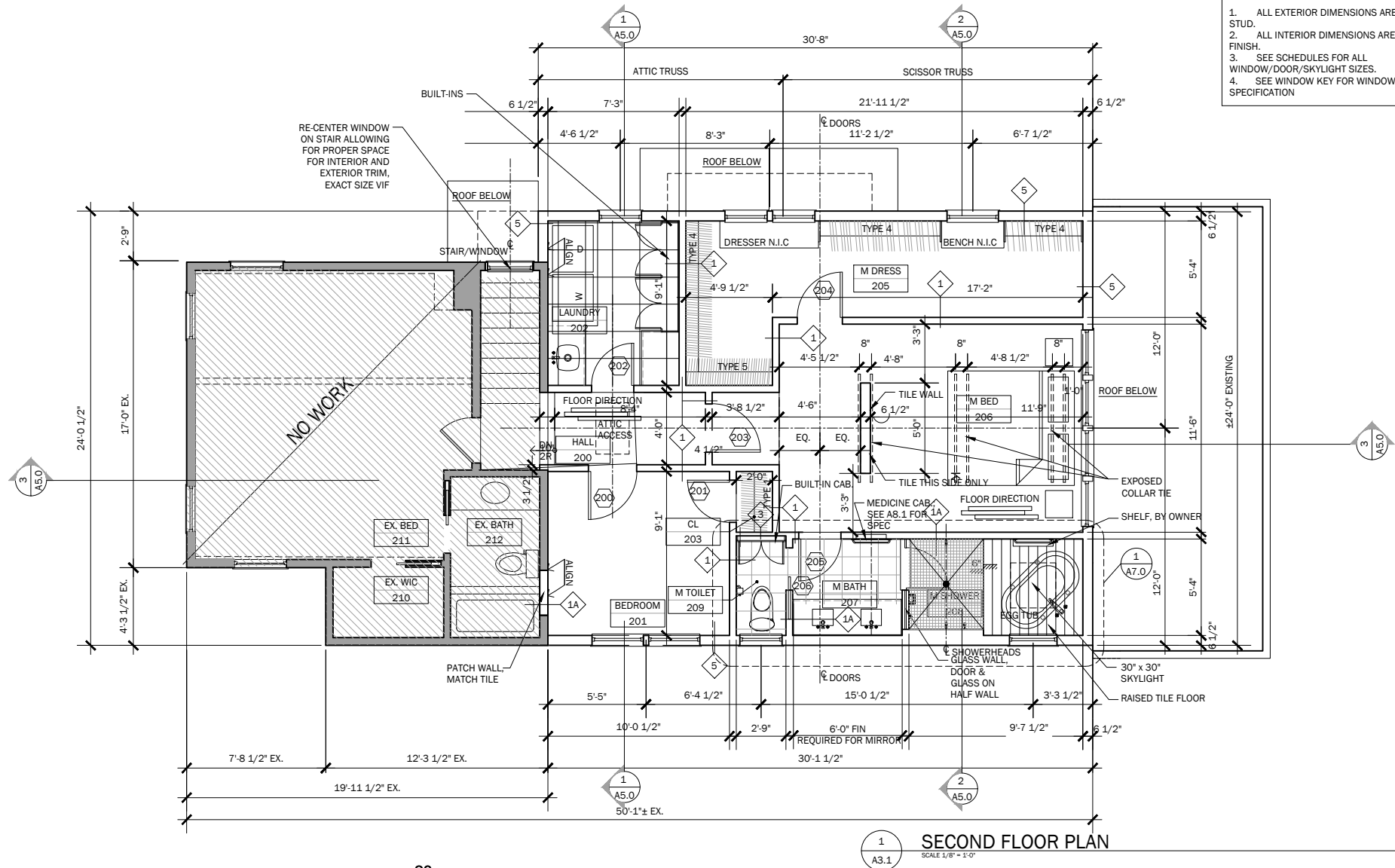
**MCNAIR  
- RENARD  
RESIDENCE**  
ADDITION/ RENOVATION  
107 East Windsor Avenue  
Alexandria, VA 22301

2019 © MODE4 Architecture, PLLC

FOR PERMIT --- FOR PERMIT --- FOR PERMIT --- FOR PERMIT --- FOR PERMIT ---







WALL LEGEND

New wood stud wall

New Concrete wall

Existing wall to remain

WALL TYPES

1

TYPICAL PARTITION  
-2X4 STUDS @ 16" O.C.  
-1/2" GWB BOTH SIDES

1A

-2X4 STUDS @ 16" O.C.  
-CEMENTBOARD WET WALL  
-1/2" GWB ONE SIDE

3

PARTITION  
-2X4 STUDS @ 16" O.C. FLAT  
FRAMED  
-1/2" GWB BOTH SIDES

5

EXTERIOR WALL  
-1/2" GWB (INT.) PTD., TYP.  
-2X6 STUDS @ 16" O.C.  
- INSULATION  
-1/2" EXT. GRADE SHEATHING  
-BUILDING WRAP  
-FINISH SHEATHING  
-SIDING  
REFER WALL DETAIL

6

EXTERIOR WALL- INFILL  
-1/2" GWB (INT.) PTD., TYP.  
-2X STUDS  
- INSULATION  
-BRICK TO MATCH EX. FROM  
SALVAGE

GENERAL NOTES

1.

ALL EXTERIOR DIMENSIONS ARE TO  
STUD.

2.

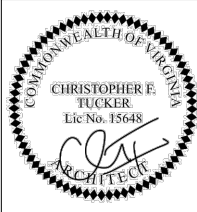
ALL INTERIOR DIMENSIONS ARE TO  
FINISH.

3.

SEE SCHEDULES FOR ALL  
WINDOW/DOOR/SKYLIGHT SIZES.

4.

SEE WINDOW KEY FOR WINDOW  
SPECIFICATION

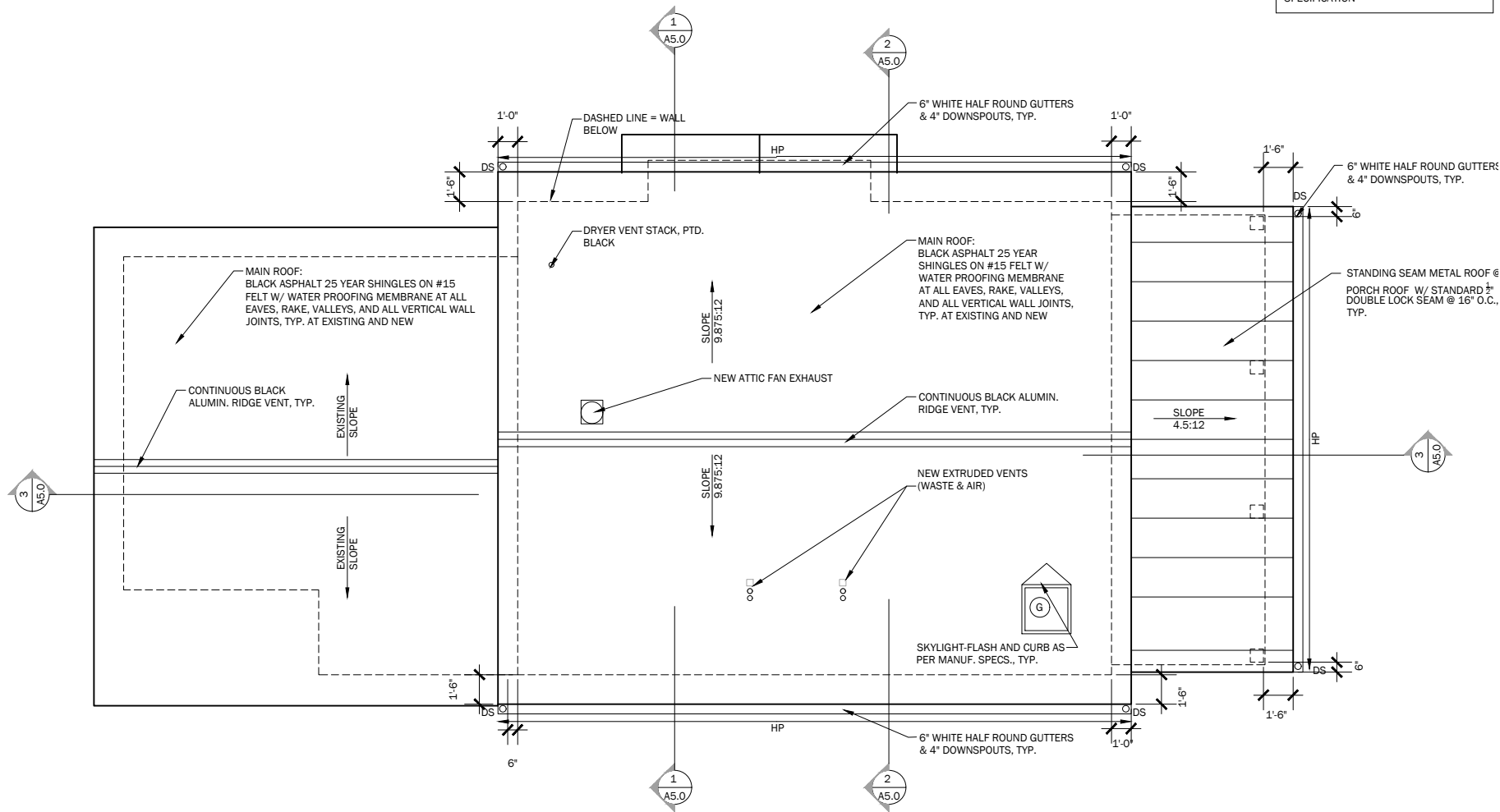


ISSUED	Studio	Client	Consultant	Builder	Owner	DATE
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Des. Review						06.13.19
Des. Review						06.21.19
Des. Review						07.18.19
GFE						08.14.19
Des. Review						10.03.19
Des. Review	x	x	x			10.11.19
Des. Mtg.	x	x	x			11.01.19
Rev. Elec.	x	x	x			12.03.19
Permit Rev	x	x	x			12.12.19
Permit Rev	x	x	x			12.20.19
Permit	x	x	x			12.23.19
BZA APP	x			x		01.24.20

Drawings  
Proposed Plans

MCNAIR  
- RENARD  
RESIDENCE  
ADDITION/ RENOVATION  
107 East Windsor Avenue  
Alexandria, VA 22301





1  
A3.1

ROOF PLAN

SCALE 1/8" = 1'-0"

WALL LEGEND

New wood stud wall

New Concrete wall

Existing wall to remain

WALL TYPES

1

TYPICAL PARTITION

-2X4 STUDS @ 16" O.C.

-1/2" GWB BOTH SIDES

1A

-2X4 STUDS @ 16" O.C.

-CEMENTBOARD WET WALL

-1/2" GWB ONE SIDE

5

EXTERIOR WALL

-1/2" GWB (INT.) PTD., TYP.

-2X6 STUDS @ 16" O.C.

-INSULATION

-1/2" EXT. GRADE SHEATHING

-BUILDING WRAP

-FINISH SHEATHING

-SIDING

REFER WALL DETAIL

6

EXTERIOR WALL- INFILL

-1/2" GWB (INT.) PTD., TYP.

-2X STUDS

-INSULATION

-BRICK TO MATCH EX. FROM SALVAGE

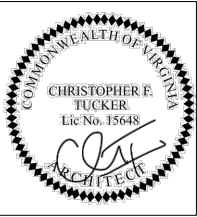
GENERAL NOTES

1. ALL EXTERIOR DIMENSIONS ARE TO STUD.

2. ALL INTERIOR DIMENSIONS ARE TO FINISH.

3. SEE SCHEDULES FOR ALL WINDOW/DOOR/SKYLIGHT SIZES.

4. SEE WINDOW KEY FOR WINDOW SPECIFICATION



ISSUED	Studio	Client	Consultant	Builder	Owner	DATE
Des. Review						05.31.19
Des. Review						06.06.19
Des. Review						06.13.19
Des. Review						06.21.19
Des. Review						07.18.19
GFE						08.14.19
Des. Review						10.03.19
Des. Review	x	x	x			10.11.19
Des. Mtg.	x	x	x			11.01.19
Rev. Elec.	x	x	x			12.03.19
Permit Rev	x	x	x			12.12.19
Permit Rev	x	x	x			12.20.19
Permit	x	x	x	x		12.23.19
BZA APP	x				x	01.24.20

Drawings

Proposed Plans

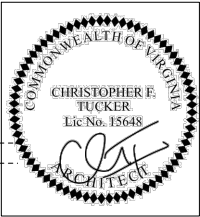
MCNAIR  
- RENARD  
RESIDENCE

ADDITION/ RENOVATION

107 East Windsor Avenue  
Alexandria, VA 22301

A3.3



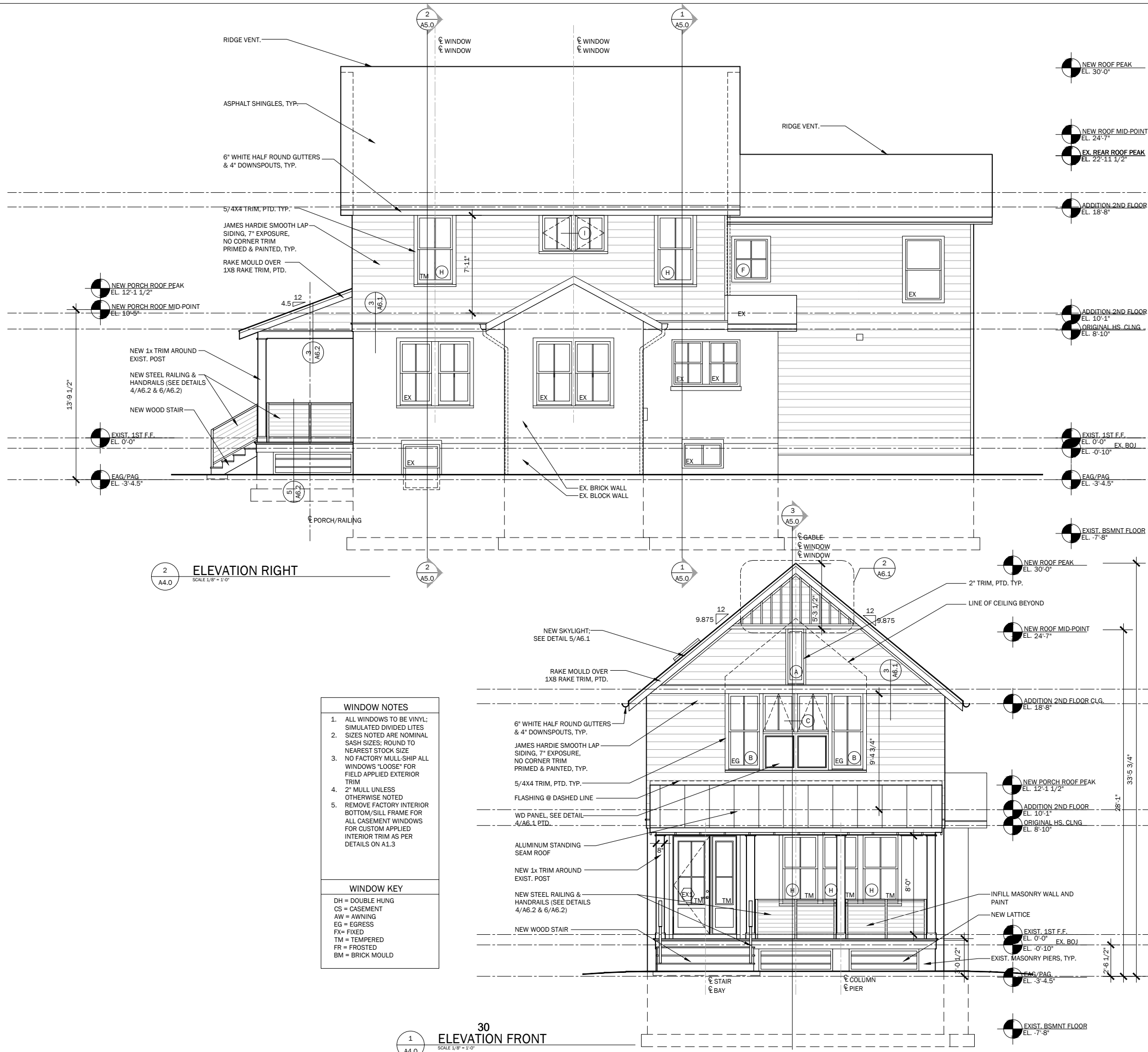


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Des. Review						06.13.19
Des. Review						06.21.19
Des. Review						07.18.19
GFE						08.14.19
Des. Review						10.03.19
Des. Review	X	X	X			10.11.19
Des. Mtg.	X	X	X			11.01.19
Rev. Elec.	X	X	X			12.03.19
Permit Rev	X	X	X			12.12.19
Permit Rev	X	X	X			12.20.19
Permit	X	X	X			12.23.19
BZA APP	X	X	X			X 01.24.20

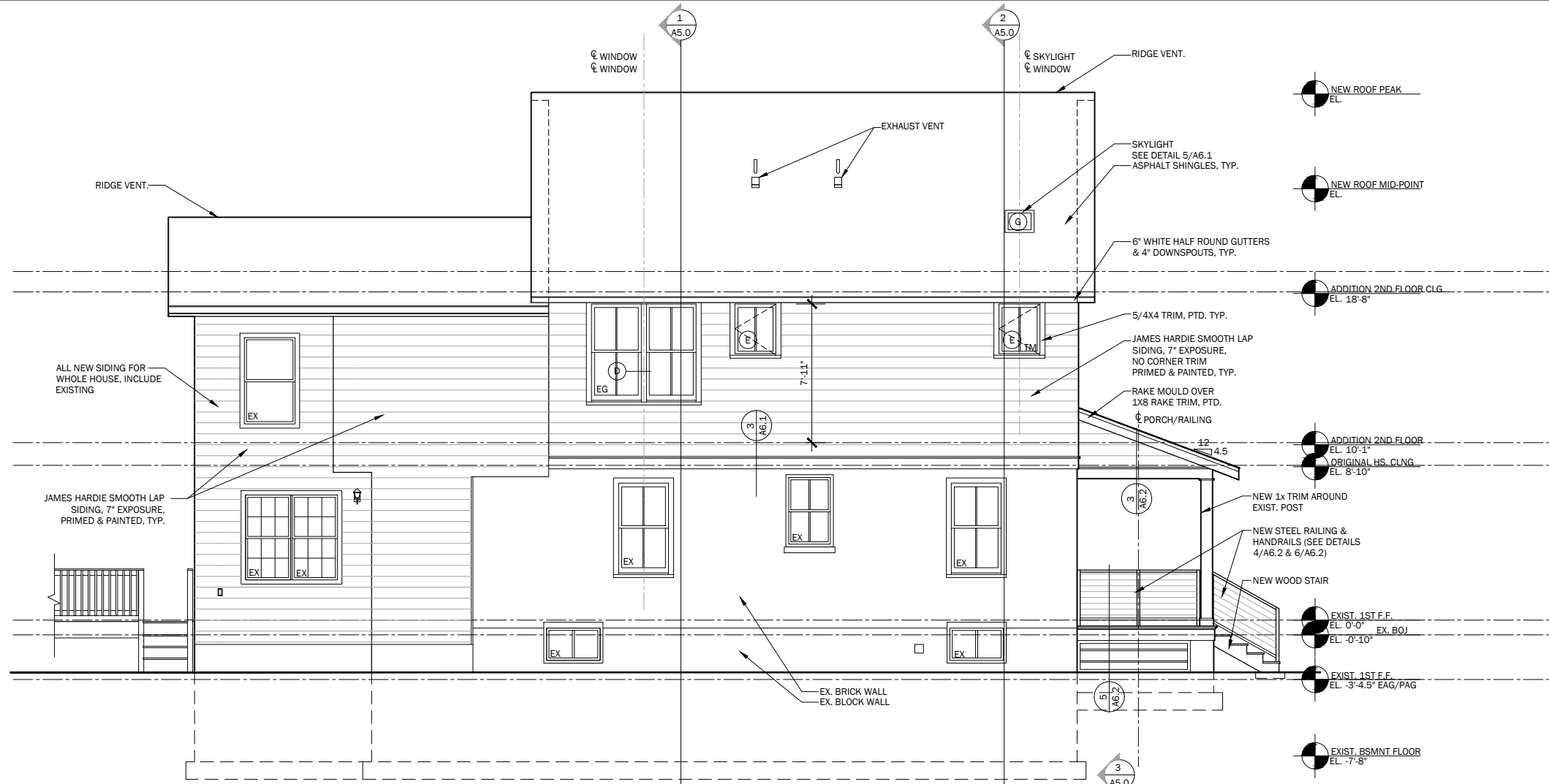
Drawings  
Proposed Elevations

**MCNAIR  
- RENARD  
RESIDENCE**  
ADDITION/ RENOVATION  
107 East Windsor Avenue  
Alexandria, VA 22301

A4.0



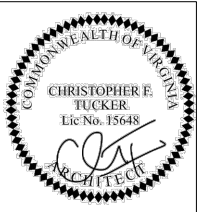
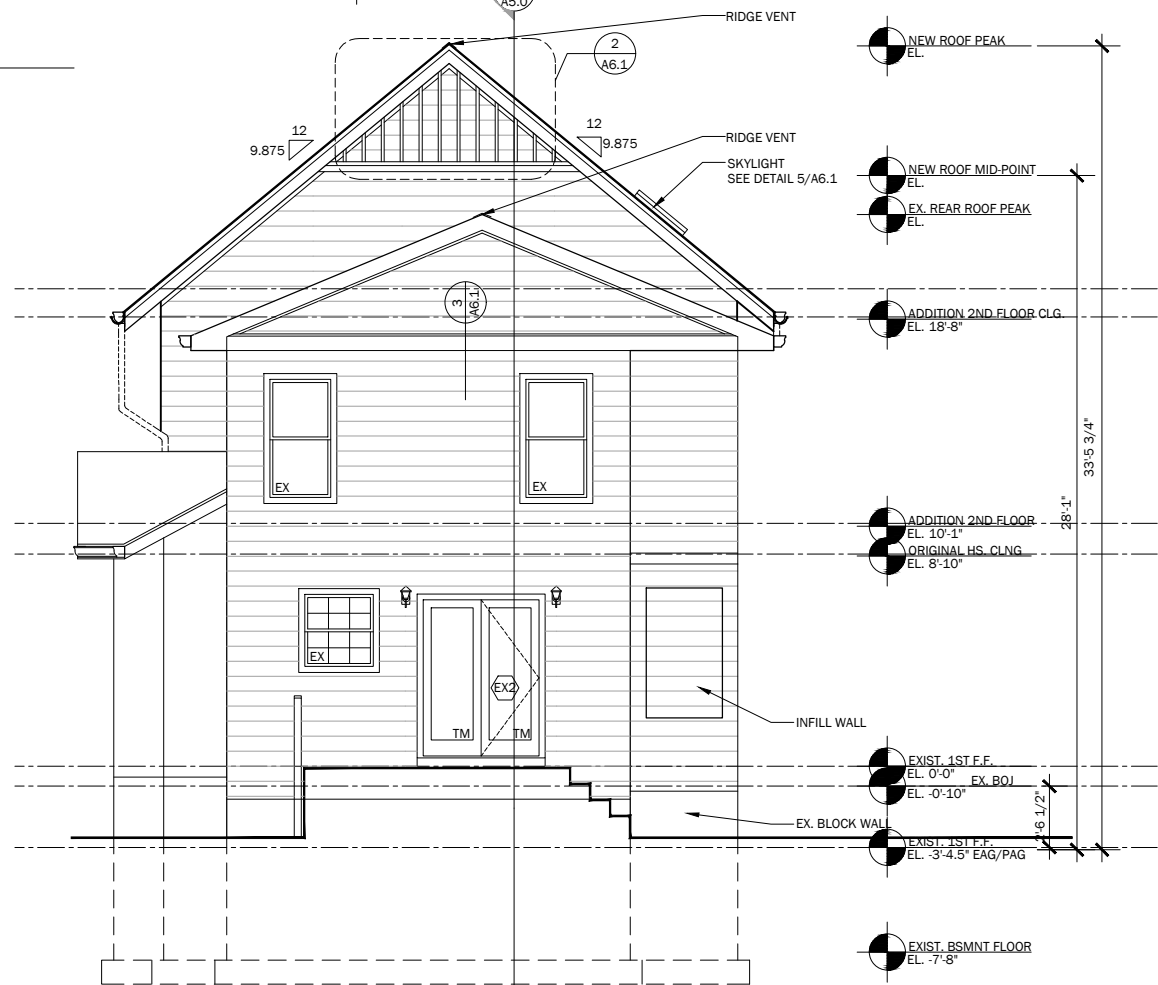




2 LEFT SIDE ELEVATION  
SCALE 1/8" = 1'-0"

WINDOW NOTES	
1.	ALL WINDOWS TO BE VINYL; SIMULATED DIVIDED LITES
2.	SIZES NOTED ARE NOMINAL SASH SIZES; ROUND TO NEAREST STOCK SIZE
3.	NO FACTORY MULL-SHIP ALL WINDOWS "LOOSE" FOR FIELD APPLIED EXTERIOR TRIM
4.	2" MULL UNLESS OTHERWISE NOTED
5.	REMOVE FACTORY INTERIOR BOTTOM/SILL FRAME FOR ALL CASEMENT WINDOWS FOR CUSTOM APPLIED INTERIOR TRIM AS PER DETAILS ON A1.3
WINDOW KEY	
DH	= DOUBLE HUNG
CS	= CASEMENT
AW	= AWNING
EG	= EGRESS
FX	= FIXED
TM	= TEMPERED
FR	= FROSTED
BM	= BRICK MOULD

1 REAR ELEVATION  
SCALE 1/8" = 1'-0"



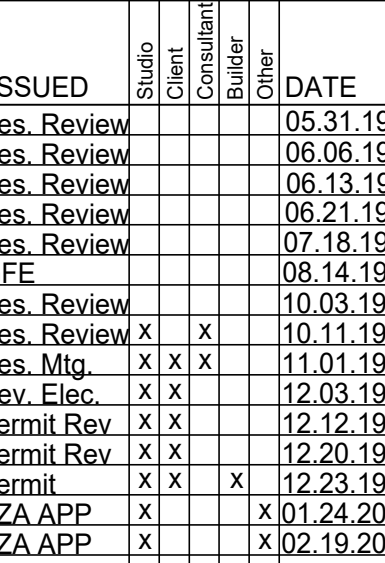
ISSUED	Studio	Client	Consultant	Builder	Other	DATE
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Des. Review						06.06.19
Des. Review						06.13.19
Des. Review						06.21.19
Des. Review						07.18.19
GFE						08.14.19
Des. Review	x	x	x			10.03.19
Des. Review	x	x	x			10.11.19
Des. Mtg	x	x	x			11.01.19
Rev. Elec	x	x				12.03.19
Permit Rev	x	x				12.12.19
Permit Rev	x	x				12.20.19
Permit	x	x	x			12.23.19
BZA APP	x			x		01.24.20

Drawings  
Proposed  
Elevations

**MCNAIR  
- RENARD  
RESIDENCE**  
ADDITION/ RENOVATION  
107 East Windsor Avenue  
Alexandria, VA 22301

A4.1





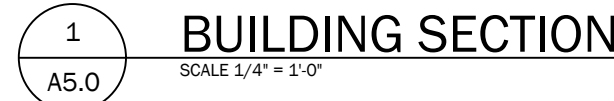
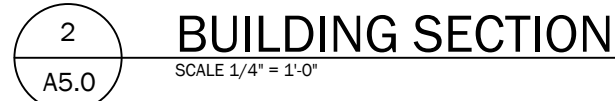
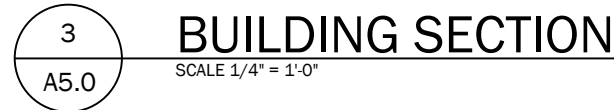
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Des. Review						06.21.19
Des. Review						07.18.19
RFI						08.14.19
Des. Review						10.03.19
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Rev. Elec.	X	X	X			12.03.19
Permit Rev	X	X	X			12.12.19
Permit Rev	X	X	X			12.20.19
Permit	X	X		X		12.23.19
3D APP	X	X			X	01.24.20
3D APP	X					02.19.20

## Proposed Sections

**MCNAIR  
- RENARD  
RESIDENCE**  
ADDITION/ RENOVATION  
107 East Windsor Avenue  
Alexandria, VA 22301

## A5.0

FOR PERMIT --- FOR PERMIT --- FOR PERMIT --- FOR PERMIT --- FOR PERMIT ---



























CITY OF ALEXANDRIA, VA  
703-746-4410  
alexandriava.gov/TES









Ursula Koenig Burgess  
Joseph D. Burgess  
3051 Mt. Vernon Avenue, #S-327  
Alexandria, VA 22305

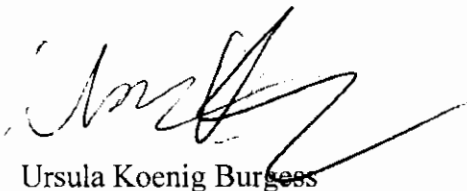
March 9, 2020

To whom it may concern:

We are the owners of the lot located at 109 E. Windsor Avenue, immediately adjacent to the property owned by Jonathan Renard and Kari McNair. We met with them a month or so ago to review their house plans and to discuss our building plans and it is our understanding that they are planning a second story addition to the existing 1928 bungalow on the lot to add more living space to the home.

We believe that the project is in line with and consistent with Del Ray architecture and we believe the addition would have a positive impact on the neighborhood if approved, including the overall increase in property values for the area. We fully support their application for the work and hope that the City approves it.

If you have questions, we would be happy to speak with you.



Ursula Koenig Burgess  
[Ursula.burgess@yahoo.com](mailto:Ursula.burgess@yahoo.com)  
703-861-8392



Joseph D. Burgess  
[joeyburgess@yahoo.com](mailto:joeyburgess@yahoo.com)  
(703) 622-7039



March 16, 2020

To Whom It May Concern:

Our names are Elaina and Stephen Palincsar and we own the property at 106 E Howell Ave. We understand that Jonathan Renard and Kari McNair are planning a second-story addition on top of the existing structure in order to add usable space to their 1928 bungalow.

After reviewing the project plans, we feel that the proposed addition successfully addresses the insensitive tower addition that had been previously added (which is clearly visible from our backyard) while making thoughtful design choices that are keeping with the spirit of the architecture found within the neighborhood.

Sincerely,



Elaina Palincsar

Elaina and Stephen Palincsar  
(703) 548-1585



January 31, 2020

To Whom It May Concern:

My name is Sue Bernstein and I am the owner of the property at 105 E Windsor Ave, adjacent to 107 E Windsor Ave. I understand that Jonathan Renard and Kari McNair are planning a second-story addition on top of the existing structure in order to add usable space to their 1928 bungalow.

While I am the closest neighbor to the existing structure at 107 E Windsor Ave, I have no issues with the proposed addition nor concerns of negative impact to my property.

Sincerely,

A handwritten signature in black ink, appearing to read 'Sue Bernstein', with a long horizontal flourish extending to the right.

Sue Bernstein

703.399.6167