

ISSUE: Certificate of Appropriateness for alterations

APPLICANT: Elizabeth Reno

LOCATION: Old and Historic Alexandria District
408 North Union Street

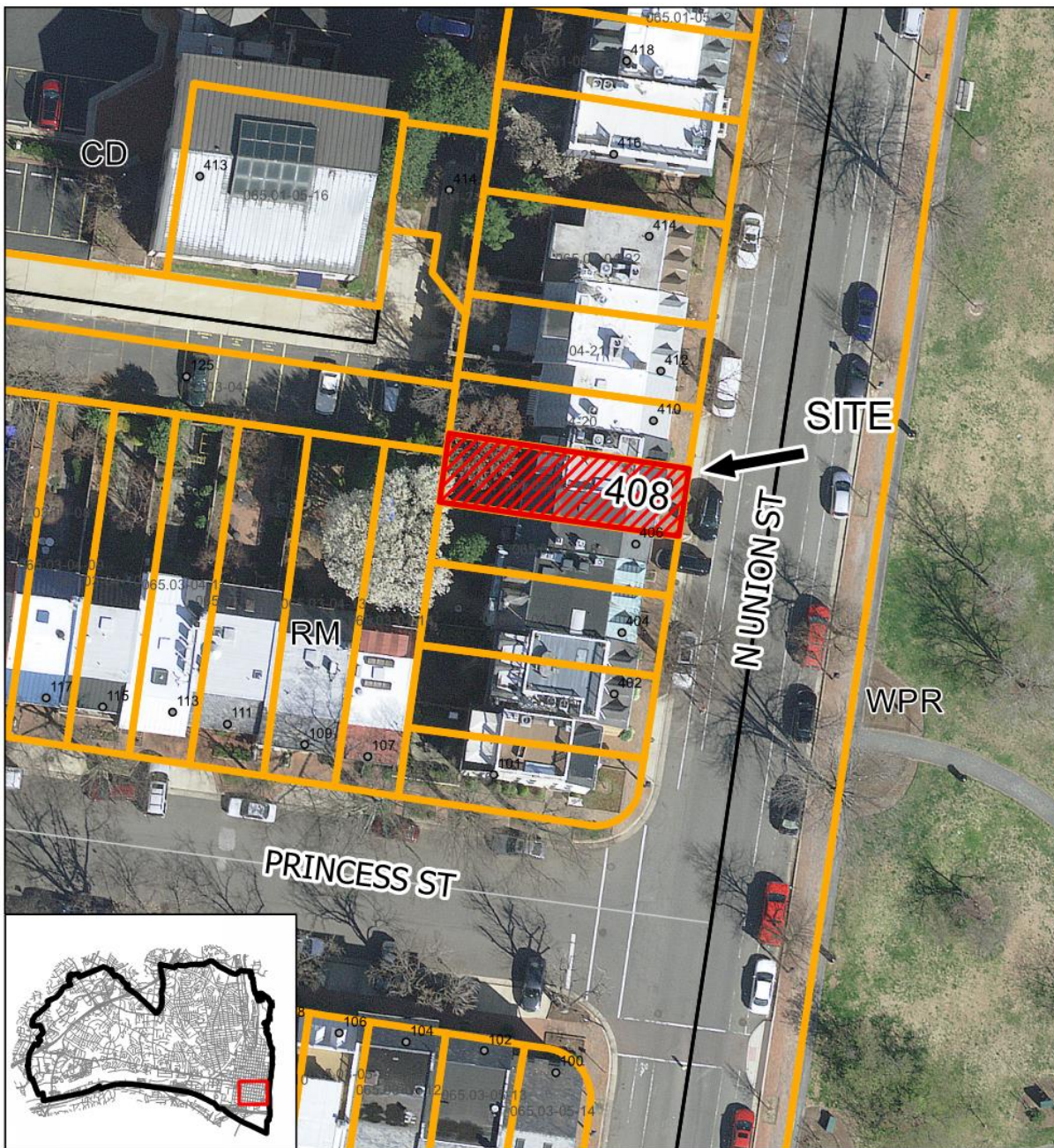
ZONE: RM/Residential Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approval, with the condition that the applicant include updated window specifications that comply with the *Alexandria New and Replacement Window Performance Specifications in the Historic Districts* when applying for a building permit.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR #2020-00075
408 North Union Street



0 15 30 60 Feet

I. APPLICANT'S PROPOSAL

The applicant requests a Certificate of Appropriateness to convert two windows on the façade (east elevation) into a bay window, at 408 North Union Street. The proposal includes replacing two existing nine-over-nine windows with a new wood bay window in the same opening. The bay window will consist of two 28" wide nine-over-nine windows and one 34" wide nine-over-nine window. The roof of the bay will be a standing seam metal roof.

Site context

The property faces Founders Park. The proposed alterations will be visible from the park and North Union Street. The alley behind the property is public, but the proposed alterations will not be visible from the alley.

II. HISTORY

The three bay, three-and-one-half-story brick veneer Colonial Revival style townhouse at 430 North Union Street is one of a group of 86 three-story brick townhouses bounded by North Union, North Lee, Queen and Oronoco Streets which were approved by City Council in 1968 (Special Use Permit #1084). The subject property was constructed in 1974. At the time of construction, it was not within the boundaries of the Old and Historic Alexandria District, but it was added to the district in June of 1984 at the request of property owners.

Previous BAR Approvals

In 2011 (BAR2008-00342), staff administratively approved the replacement of existing windows.

III. ANALYSIS

The BAR's *Design Guidelines* state that windows are a principal character defining feature of buildings and serve both functional and aesthetic purposes. Changes to windows can have a dramatic impact on the style and aesthetic of a structure. Staff finds that the proposed bay window is appropriate and compatible with the size and scale of this late 20th-century dwelling. The proposed bay window will retain the nine-over-nine configurations of the existing windows, and the use of wood and a standing seam metal roof are appropriate material choices.

The submitted window specifications do not comply with the glazing requirements of the *Alexandria New and Replacement Window Performance Specifications in the Historic Districts*. The specifications state that the proposed glazing will be Low-E 366, and the performance specifications requires a glazing no greater than Low-E 272. The applicant must provide updated window specifications with the building permit application.

With the condition above, staff recommends approval of the project.

STAFF

Amirah Lane, Historic Preservation Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

F-1 Proposed bay window complies with zoning.

Code Administration

F-1 A building permit and plan review are required to replace existing windows with a Bay window.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec. 5-6-224) (T&ES)

C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)

C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)

C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons,

etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

F-2 No archaeological oversight is necessary for this project.

V. ATTACHMENTS

1 – Supplemental Materials

2 – Application for BAR 2020-00075: 408 N Union Street

ADDRESS OF PROJECT: 408 N Union Street Alexandria VA 22314
 DISTRICT: ☒ Old & Historic Alexandria ☐ Parker - Gray ☐ 100 Year Old Building
 065.03-04-19 Residential
 TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
 CLEARANCE AREA (Section 7-602, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
 (Section 6.403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: Elizabeth Reno

Address: 408 N Union Street

City: Alexandria State: VA Zip: 22314

Phone: 703 862 9092 E-mail: liz.reno@comcast.net

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ _____

Name: _____ Phone: _____

E-mail: _____

Legal Property Owner:

Name: Elizabeth Reno and Roy Wuchitech

Address: 408 N Union Street

City: Alexandria State: VA Zip: 22314

Phone: 703 836 0828 E-mail: Liz.reno@comcast

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☒ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--------------------------------------|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input checked="" type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☐ ADDITION
☐ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached)*
 Replace existing two front windows with one bay window.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☐ ☒ Description of the reason for demolition/encapsulation.
☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ☒ ☒ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☒ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ Linear feet of building: Front: _____ Secondary front (if corner lot): _____
- ☐ ☒ Square feet of existing signs to remain: _____
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet or bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☒ ☒ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: Please read and check that you have read and understand the following items:

- ☐ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Elizabeth Reno

Printed Name: Elizabeth Reno

Date: 2/18/20

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
¹ Elizabeth Reno &	408 N Union St.	100%
² Roy Wuchitech		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
¹ Elizabeth Reno &	408 N Union Street	100%
² Roy Wuchitech		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
¹ N/A		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

2/18/20

Elizabeth Reno

Date

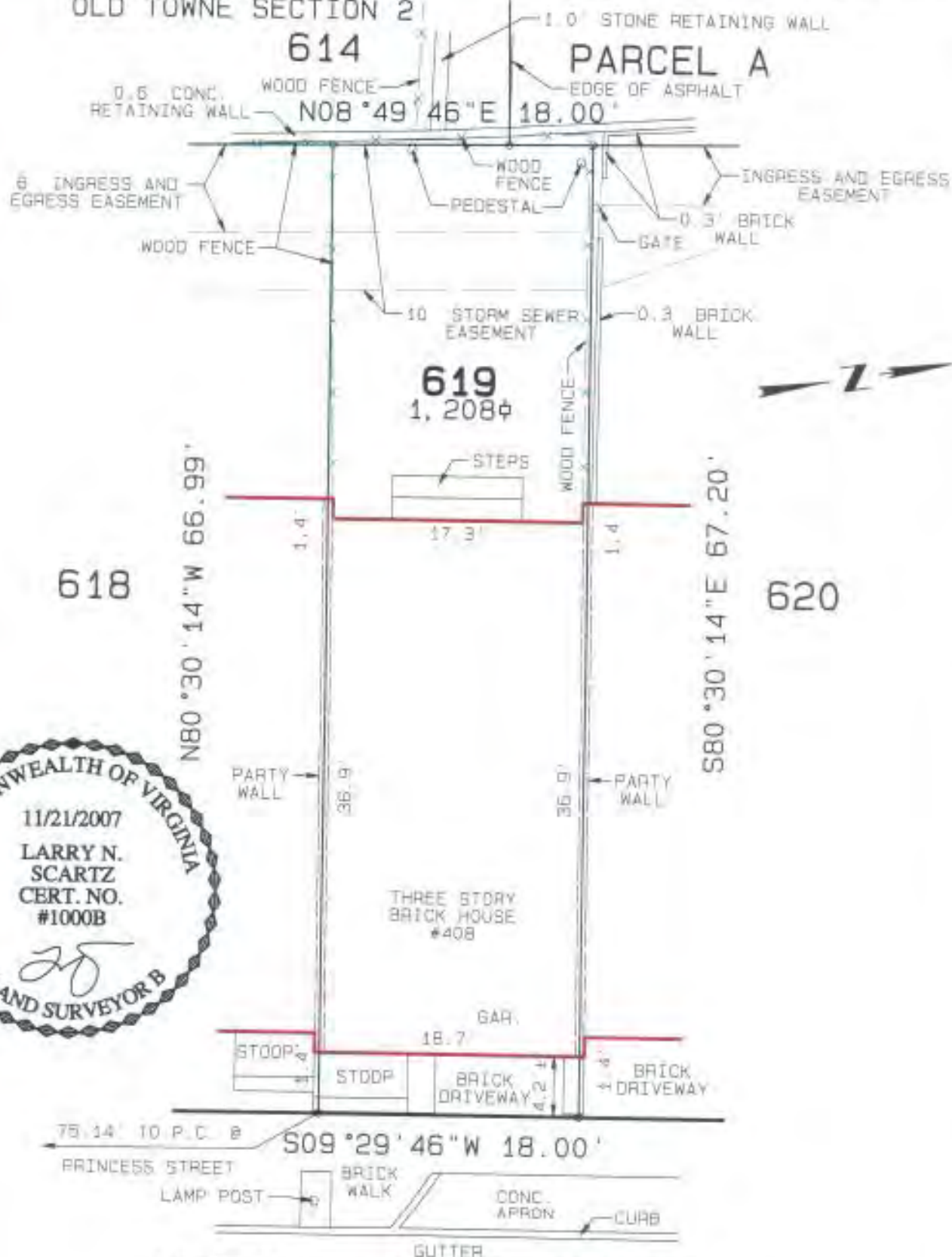
Printed Name

Signature

OLD TOWNE SECTION 2

614

PARCEL A



NORTH UNION STREET

50' R/W

HOUSE LOCATION SURVEY

LOT 619, SECTION 5

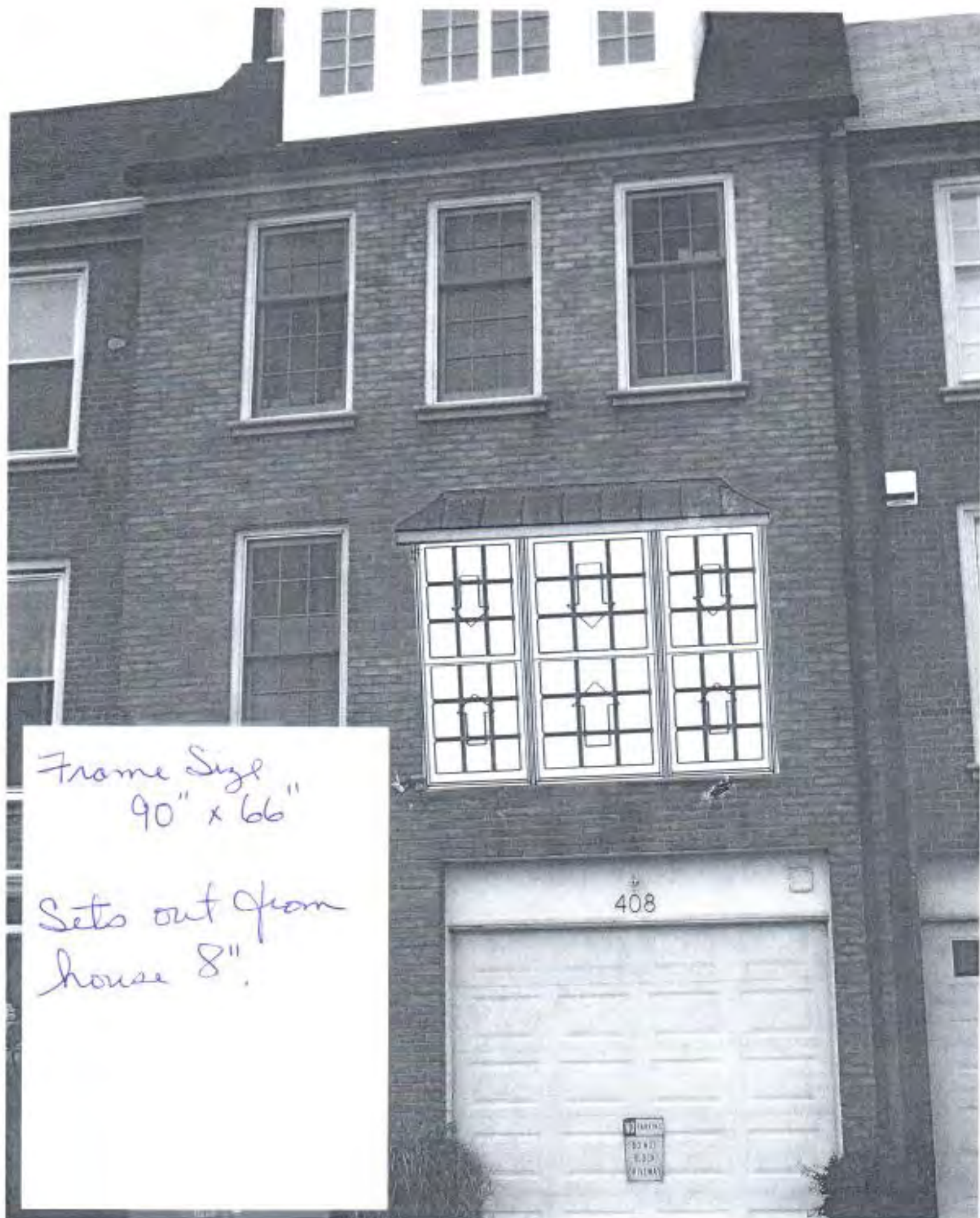
OLD TOWNE

CITY OF ALEXANDRIA, VIRGINIA

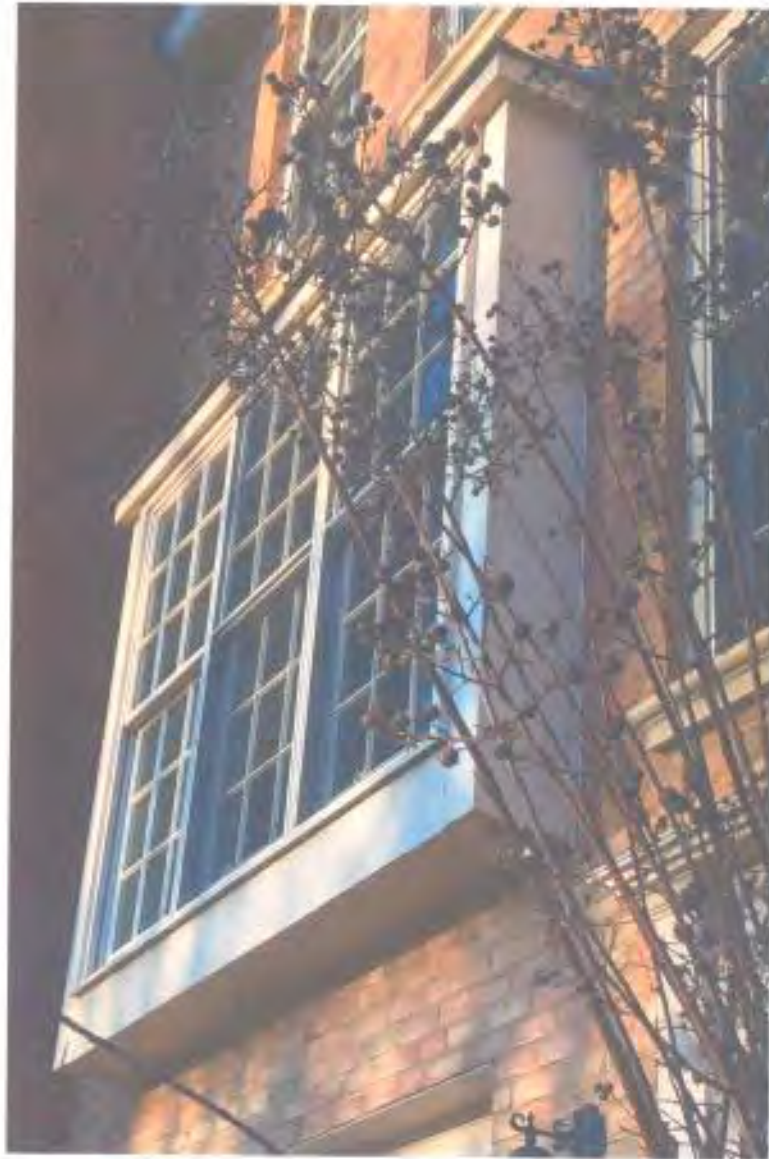
Existing house







Window will
set out 8 inches
like this picture



Luke Wence
11801 Balls Ford Rd.
Manassas, VA 20109

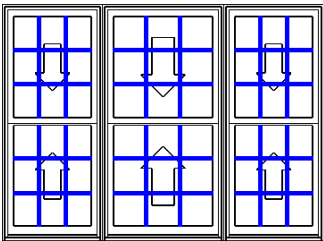


QUOTE BY : Luke Wence
SOLD TO : CREIGHTON CONSTRUCTION
PO# :
Ship Via : Ground

QUOTE # : JW200200S09 - Version 0
SHIP TO :
PROJECT NAME: 408 N. UNION ST,
REFERENCE :

U-Factor Weighted Average: 0.29

SHGC Weighted Average: 0.18

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 1		Frame Size : 90 X 66 (Outside Casing Size: 92 5/8 X 68 3/16), Siteline Wood Double Hung, Auralast Pine, 3 Wide Flanker= 28 , Primed Exterior, Primed Interior, Brickmould, Standard Sill Nosing, DripCap, Brilliant White Drip Cap, 4 9/16 Jamb, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, DP 35, Insulated Low-E 366 Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) BetterVue Mesh Brilliant White Screen, This mull configuration complies with AAMA 450 standards and is professional engineer-approved. PEV 2019.4.0.2787/PDV 6.286 (12/06/19)NW			
	Rough Opening : 90 3/4 X 66 3/4				
					
	Viewed from Exterior. Standard				
			\$3,296.48	1	\$3,296.48

Line 1-1(A1)	Frame Size : 28 X 66 Siteline Wood Double Hung, Auralast Pine, Primed Exterior, Primed Interior, No Exterior Trim, 4 9/16 Jamb, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, US National-WDMA/ASTM, PG 35, Insulated Low-E 366 Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, Primed Wood SDL, 7/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR, Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 3 High Top, 3 Wide 3 High Btm, BetterVue Mesh Brilliant White Screen, *Custom-Width*, *Custom-Height*, GlassThick=0.698, Clear Opening:24.2w, 29.4h, 4.9 sf U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00,
--------------	--

cust-51598

Page 1 of 3 (Prices are subject to change.) JW200200S09 (Ver:0) - 02/10/2020 7.29 AM

Quote Date: 02/06/2020

Drawings are for visual reference only and may not be to exact scale.
All orders are subject to review by JELD-WEN

Last Modified: 02/10/2020

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
------	-----------------------	--------------------------	-------------------	-----	-------------------

CPD: JEL-N-885-01836-00001
PEV 2019.4.0.2787/PDV 6.286 (12/06/19)NW


Line 1-2(A2)

Frame Size : 34 X 66
Siteline Wood Double Hung, Auralast Pine,
Primed Exterior,
Primed Interior,
No Exterior Trim,
4 9/16 Jamb,
Standard Double Hung, White Jambliner, Concealed Jambliner
White Hardware,
US National-WDMA/ASTM, PG 35,
Insulated Low-E 366 Annealed Glass, Protective Film, Black Spacer, Argon
Filled, Traditional Glz Bd,
Primed Wood SDL, 7/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR,
Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 3 High Top, 3 Wide 3
High Btm,
BetterVue Mesh Brilliant White Screen,
Custom-Width, *Custom-Height*, GlassThick=0.698, Clear
Opening:30.2w, 29.4h, 6.1 sf
U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00,
CPD: JEL-N-885-01836-00001
PEV 2019.4.0.2787/PDV 6.286 (12/06/19)NW

Line 1-3(A3)

Frame Size : 28 X 66
Siteline Wood Double Hung, Auralast Pine,
Primed Exterior,
Primed Interior,
No Exterior Trim,
4 9/16 Jamb,
Standard Double Hung, White Jambliner, Concealed Jambliner
White Hardware,
US National-WDMA/ASTM, PG 35,
Insulated Low-E 366 Annealed Glass, Protective Film, Black Spacer, Argon
Filled, Traditional Glz Bd,
Primed Wood SDL, 7/8" Bead SDL w/Perm Wood Trad'l. Bead Int BAR,
Light Bronze Shadow Bar, Colonial All Lite(s) 3 Wide 3 High Top, 3 Wide 3
High Btm,
BetterVue Mesh Brilliant White Screen,
Custom-Width, *Custom-Height*, GlassThick=0.698, Clear
Opening:24.2w, 29.4h, 4.9 sf
U-Factor: 0.29, SHGC: 0.18, VLT: 0.42, Energy Rating: 13.00, CR: 60.00,
CPD: JEL-N-885-01836-00001
PEV 2019.4.0.2787/PDV 6.286 (12/06/19)NW

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Total:					\$3,296.48
TAX (6.00%):					\$197.79
Net Total:					\$3,494.27
Total Units:					1

 Protect yourself when you choose JELD-WEN AuraLast pine products backed by a limited lifetime warranty against wood rot and termite damage.

For CA Title 24 applications, refer to weighted average U-Factor and SHGC, and discuss with California energy consultant to ensure compliance with code.



PROJECT: 408 N. Union St., Alexandria, VA 22314

MATERIALS:

Pre-finished Roofing Sheets: PAC-CLAD architectural panels for metal roofing systems are produced in factory formed lengths. The PAC-CLAD® Kynar 500® finish, covered by a non-prorated 30-year warranty, is available in 45 colors on steel and aluminum. Most colors meet LEED®, ENERGY STAR® and cool roof certification requirements.

Miscellaneous Materials: Provide materials and types of fasteners, protective coatings, separators, sealants and accessory items as recommended, except as otherwise indicated.



FABRICATION:

Fabricate pans to interlock standing seam with center to center seam spacing.

Fabricate interlocking seams to heights and patterns.

Form overlapping and interlocking transverse joints.

FINISHES:

PAC-CLAD® Kynar 500® finish

WARRANTY: