

**ISSUE:** Certificate of Appropriateness for alterations (5G small cell facility)

**APPLICANT:** Cellco Partnership dba Verizon Wireless

**LOCATION:** Parker-Gray District  
Dominion Energy utility pole near 421 North Fayette Street

**ZONE:** RB/Residential Townhouse zone

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**STAFF RECOMMENDATION**

Staff recommends approval of the Certificate of Appropriateness, as submitted.

**DRAFT BAR ACTION, MARCH 18, 2020:** The Board deferred the case on March 18, 2020 so the applicant could return to the BAR to explain the criteria they used for choosing the pole location.

**GENERAL NOTES TO THE APPLICANT**

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



## **UPDATE**

The Board deferred the item on March 18, 2020 to allow the applicant to return and explain the criteria for choosing the proposed pole location. The Board requested additional information from the applicant indicating why the selected pole was chosen and the applicant has provided the attached document to address the Board's concerns.

## **I. APPLICANT'S PROPOSAL**

The applicant is requesting a Certificate of Appropriateness to replace the existing wood utility pole in the right-of-way in front of the parcel at 421 North Fayette Street.

- The existing 37'6" high pole will be replaced with a new 41'-3" high pole located approximately two feet from the existing pole.
- Install a 5G small cell facility measuring approximately 3'-0" high on top of the pole.
- The 5G Nokia facility will have an array of three antennas pointing in different direction with a cubic volume of 5 CF.
- The volume of the equipment is .5 CF.
- The Verizon equipment panel box and a meter box will be installed on the pole approximately 5' feet above grade.
- All features of the wireless facility will be color matched to the pole.
- All existing utilities on the pole will be relocated to the new pole.
- The existing pole will be removed after the new pole has been installed.

### **Site context**

The utility pole to be replaced sits on the east side of the northern half of the 400 block of North Fayette Street. This block consists of mostly two-story residential buildings with an average 15' setback on both sides of the street. Only the east side of the street has poles, three in use and three remaining from a previous replacement.

## **II. HISTORY**

The proposed antenna will be installed in front of a **1955** two-story, brick vernacular single-family house with a side gable roof. The house is set back approximately 15' from the street and features a wraparound covered porch.

## **III. ANALYSIS**

To address the growing demand for wireless services across the United States, telecommunication providers are increasing the capacity of their networks by deploying small cell wireless facilities within the public right-of-way to reduce the data traffic load on roof-mounted equipment and larger cell towers. Small cell facilities are low-powered antennas that provide wireless service coverage to a limited geographic area (often with ranges of a few hundred feet) and are used to supplement and expand the coverage provided by the traditional, larger-scale network. The next generation of small cell wireless facilities, known as 5G, is currently being installed across the city. The new 5G networks will not just serve cellphones, but also be used as general internet service providers for

laptops, desktop computers, smart home digital devices, urban infrastructure monitoring, smart traffic control, remote health monitoring, emergency monitoring and notification systems, connected and autonomous vehicles, and many more applications.

In the past several years, Federal and State legislation has been enacted to further streamline the local approval process for cellular facilities, shortening the approval time and limiting jurisdictions' authority. In 2017, and again in March 2020, City Council approved amendments to the zoning ordinance to ensure compliance with these laws.

In June 2019, the BAR approved the first small cell facilities in the historic district and shortly after adopted a BAR administrative policy for approval of certain small cell facilities (4G) in the historic districts. To date, a total of 12 small cell facilities have been approved in the historic districts, either by the BAR at public hearing or administratively by staff. City Council has recently approved license agreements for some of the wireless carriers and the City has seen a sharp increase in the number of applications for small cell facilities. Because the design of the antennas has evolved since the BAR administrative policy was adopted in June 2019, BAR staff proposed amendments to the policy to allow for more administrative approvals at the Board's April 22, 2020 electronic hearing (conducted electronically due to the Covid-19 emergency) at which time the Board tabled proposed amendments and rescinded the administrative policy. As a result, at this time all small cell facilities must now be approved by the BAR at public hearing.

A Certificate of Appropriateness is required in the historic districts under Section 10-103 (A) and 203(A) of the zoning ordinance, which state that "No building or structure shall be erected, reconstructed, altered or restored within the Parker-Gray District unless and until an application for a certificate of appropriateness shall have been approved..." BAR staff has no objection to the modestly taller pole or the installation of the small cell facility equipment in this location and finds that color matching the equipment and antennas the same color as the pole will help to camouflage them. The existence of utility poles and overhead wires, street signs, and light poles in the rights of way are part of the urban streetscape, and staff does not believe that the installation of the modestly taller pole with the small cell equipment and an overall height of 44'-11" will adversely impact the integrity of the historic district.

Staff recommends approval of the application, as submitted.

**STAFF**

Marina Novaes, Historic Preservation Planner, Planning & Zoning  
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

**IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

**Zoning**

F-1 Pole must be in the same general location as existing pole.

**In Compliance**



- F-2 The replacement pole is not located in a manner that requires the removal of an existing tree or impacts of root zone.  
**No trees or tree roots will be impacted.**
- F-3 Replacement people shall be located that meets ADA requirements that do not impede or hinder pedestrian or vehicular travel.  
**In Compliance**
- F-4 Wireless facility shall be painted to match similar infrastructure on the block or earth tone color.  
**Plans indicate facility to be painted brown.**

**Code Administration**

No Code comment.

**Transportation and Environmental Services**

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time, however, a minor amendment to the site plan will be required. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:  
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.  
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

- C-3 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-4 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-5 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)
- C-6 An encroachment request will be required for projections into the public right of way. (T&ES)
- C-7 The owner shall obtain and maintain a policy of general liability insurance in the amount of \$1,000,000 which will indemnify the owner (and all successors in interest); and the City as an Additional Insured, against claims, demands, suits and related costs, including attorneys' fees, arising from any bodily injury or property damage which may occur as a result of the encroachment. (Sec. 5-29 (h)(1)) (T&ES)

**Please submit Insurance Certificate:**  
**City of Alexandria**  
**T&ES**  
**Attn: Development Services**  
**301 King Street, Room 4130**  
**Alexandria, VA 22314**

**Alexandria Archaeology**

Archaeology has no comment on this undertaking.

**V. ATTACHMENTS**

*1 – Supplemental Materials*

*2 – Application for BAR 2020-00063: 421 North Fayette Street*

ADDRESS OF PROJECT: \_\_\_\_\_

DISTRICT: ☐ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: \_\_\_\_\_ ZONING: \_\_\_\_\_

APPLICATION FOR: *(Please check all that apply)*

☐ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
*(Required if more than 25 square feet of a structure is to be demolished/impacted)*

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
*(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)*

Applicant: ☐ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ E-mail : \_\_\_\_\_

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ \_\_\_\_\_

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

E-mail: \_\_\_\_\_

Legal Property Owner:

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

- ☐ Yes ☐ No Is there an historic preservation easement on this property?  
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?  
☐ Yes ☐ No Is there a homeowner's association for this property?  
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☐ NEW CONSTRUCTION

☐ EXTERIOR ALTERATION: *Please check all that apply.*

☐ awning

☐ fence, gate or garden wall

☐ HVAC equipment

☐ shutters

☐ doors

☐ windows

☐ siding

☐ shed

☐ lighting

☐ pergola/trellis

☐ painting unpainted masonry

☐ other \_\_\_\_\_

☐ ADDITION

☐ DEMOLITION/ENCAPSULATION

☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

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**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.

☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.

☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.

☐ ☐ Description of the reason for demolition/encapsulation.

☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.



**Additions & New Construction:** *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☐ <sup>N/A</sup> ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ <sup>N/A</sup> ☐ Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- ☐ ☐ Square feet of existing signs to remain: \_\_\_\_\_.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** *Check N/A if an item in this section does not apply to your project.*

- ☐ <sup>N/A</sup> ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☐ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☐ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☐ I, the applicant, or an authorized representative will be present at the public hearing.
- ☐ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

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The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: Joshua Schakola

Printed Name: \_\_\_\_\_

Date: \_\_\_\_\_

## OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at \_\_\_\_\_ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

_____	_____	<i>Joshua Schakola</i>
Date	Printed Name	Signature



1. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AUTHORITY, COMPANY SPECIFICATIONS AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
2. THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BIDDING THE JOB IS NEVERTHELESS RESPONSIBLE FOR THE IDENTIFICATION OF OMISSIONS, ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS. SUCH OMISSIONS OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK, IN THE EVENT OF DISCREPANCIES, THE CONTRACTOR SHALL PRICE THE WORK AND TAKE EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.
3. THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE VERIZON REPRESENTATIVE OF ANY OMISSIONS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES, THE CONTRACTOR SHALL PRICE THE WORK AND TAKE EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.
4. THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ALL OTHER MATERIALS AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
5. THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE COMPLETED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
7. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S/ VENDOR'S SPECIFICATIONS UNLESS OTHERWISE NOTED OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
8. THE CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS TO THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
9. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY, OR LOCAL GOVERNMENT AUTHORITY.
11. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT THE EXISTING CURBS, DRIVEWAYS, DRIVEWAYS, PAVEMENTS, CURBING ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
12. THE CONTRACTOR SHALL MAINTAIN THE GENERAL WORK AREA AS CLEAN AND HAZARD FREE DURING CONSTRUCTION. THE CONTRACTOR SHALL REMOVE TRASH, AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. DETAILS OF EQUIPMENT TO BE INCLUDED IN THE RFP PACKAGE, PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREED FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
13. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
14. THE CONTRACTOR SHALL NOTIFY THE VERIZON REPRESENTATIVE WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED BY THE VERIZON REPRESENTATIVE.
15. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.
16. ALL UNISTRUT, HARDWARE, AND OUTDOOR JUNCTION BOXES SHALL BE GALVANIZED STEEL. FOR FIELD CUTS OF GALVANIZED STEEL, THE CONTRACTOR SHALL GALVANIZE GALVANIZED AND SECOND COAT SHALL BE MARINE GRADE GALVANIZED.
17. RETURN ANY UNUSED MATERIALS WITH REQUIRED DOCUMENTATION TO THE VERIZON WAREHOUSE WITHIN 14 DAYS OF PROJECT COMPLETION. RETURNED MATERIAL NEEDS TO BE ACCOMPANIED WITH AN RMA FORM AND FULFILLING REQUIREMENTS STIPULATED BY THE VZN CONSTRUCTION ENGINEER.
18. CONTRACTOR IS RESPONSIBLE FOR STORAGE OF ALL MATERIALS PROVIDED BY VERIZON, AND IS LIABLE FOR THOSE MATERIALS ONCE PICKED UP FROM THE WAREHOUSE.
19. CONTRACTOR SHALL PERFORM A PUNCH WALK WITH VZN CONSTRUCTION & OPERATION REPRESENTATIVE PRIOR TO DECLARING CONSTRUCTION COMPLETE.
20. GENERAL CONTRACTOR SHALL PROVIDE A 10LB. DRY-CHEMICAL FIRE EXTINGUISHER ON SITE DURING CONSTRUCTION. UPON COMPLETION OF ALL WORK, CONTRACTOR SHALL REMOVE FIRE EXTINGUISHER FROM SITE.

C5-1	SITE LOCATION AND VICINITY PLAN, INDEX OF DRAWINGS, AND CODE ANALYSIS
C-1	SITE PLAN
C-2	SITE DETAILS
C-3	TRANSPORTATION MANAGEMENT PLAN
S-1	STRUCTURAL SECTIONS AND DETAILS
S-2	GENERAL NOTES
E-1	SPECIFICATIONS, SYMBOLS LIST, PANEL SCHEDULE AND DETAILS
E-2	POWER RISER DIAGRAM, EQUIPMENT PLAN, AND NOTES
E-3	GROUNDING DIAGRAM, DETAILS, AND NOTES
E-4	DIAGRAMS

APPLICABLE BUILDING CODE:	IBC 2015
USE GROUP:	UTILITY (U)
CONSTRUCTION TYPE:	IIB
UTILITY COMPANY:	DOMINION

THIS PROJECT CONSISTS OF THE INSTALLATION OF VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT ON A PROPOSED UTILITY POLE TO REPLACE EXISTING. THE ASSOCIATED ANTENNA WILL BE MOUNTED ON THE PROPOSED UTILITY POLE AT A RAD CENTER OF 43'-6".

FROM JUNCTION DRIVE:

- TURN LEFT ONTO HENKELS LANE
- TAKE RAMP ON LEFT FOR MD-32 EAST
- TAKE EXIT #10C RAMP ON RIGHT FOR BALTIMORE WASHINGTON PARKWAY SOUTH
- TAKE EXIT #1B-C RAMP ON RIGHT FOR I-695
- TAKE EXIT #8C RAMP ON LEFT FOR US-1 SOUTH
- TURN RIGHT ONTO ORONOCO STREET AND THEN IMMEDIATELY TURN LEFT ONTO NORTH FAYETTE STREET
- DESTINATION WILL BE ON THE LEFT

BUILDING OWNER	DATE
ENGINEERING	DATE
OPERATIONS	DATE
CONSTRUCTION	DATE





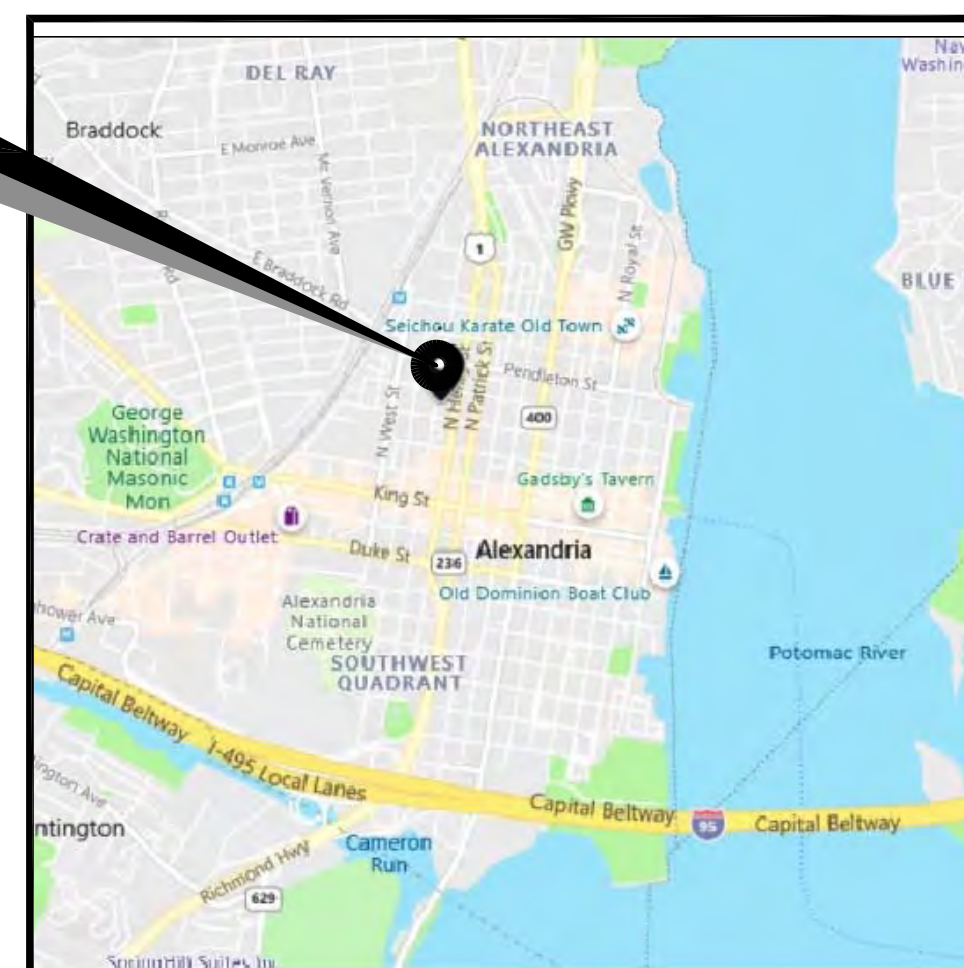


Know what's **below**.  
**Call** before you dig.

PROTECT YOURSELF, GIVE THREE  
WORKING DAYS NOTICE

THIS DRAWING DOES NOT INCLUDE NECESSARY  
COMPONENTS FOR CONSTRUCTION SAFETY. ALL  
CONSTRUCTION MUST BE DONE IN COMPLIANCE  
WITH THE OCCUPATIONAL SAFETY AND HEALTH  
ACT OF 1970 AND ALL RULES AND REGULATIONS  
THERE TO APPLICANT

**SITE PLAN**  
**SCALE: 1" = 30'-0"**



VICINITY MAP  
SCALE: 1" = 1000'

SITE NOTES:

1. APPLICANT: VERIZON WIRELESS  
10170 JUNCTION DRIVE, STE 300  
ANNAPOLIS JUNCTION, MD 20701  
TEL: (301) 812-2000  
FAX: (301) 812-2186
- APPLICANT'S ATTORNEY: FRANK W. STEARNS, ESQ.  
DONOHUE & STEARNS, P.L.C.  
201 LIBERTY STREET  
LEESBURG, VIRGINIA 20175  
(703) 544-1123
2. ADJACENT PROPERTY OWNER: MAHAR MARK S  
STOKES SONDRAL L  
421 N FAYETTE ST  
ALEXANDRIA VA 22314
- ADJACENT PROPERTY SITE DATA: MAP-BLOCK-LOT NUMBER: 064.01-06-31  
ACCOUNT NUMBER: 10812500  
TRACT AREA: 4149 SF  
ADDRESS: 421 N FAYETTE ST  
ALEXANDRIA VA 22314  
EXISTING USE: DETACHED HOUSE (100)
4. ZONING: RB
5. HORIZONTAL AND VERTICAL CONTROL: SHOWN HEREON IS BASED ON SATELLITE IMAGERY PROGRAMS AND INFORMATION PROVIDED BY VERIZON WIRELESS.  
LATITUDE: N89° 48' 39.172" (S8400117)      GROUND ELEVATION: 45'-0"± AMSL (AVG)  
LONGITUDE: W73° 03' 54" (-71.0518°)
6. TOTAL DISTURBED AREA = 8 SF
7. THE PROPOSED FACILITIES WILL CONSIST OF THREE (3) ANTENNAS WITH ASSOCIATED EQUIPMENT MOUNTED ON A REPLACEMENT UTILITY POLE, TO REPLACE EXISTING, WITH A RAD CENTER AT ELEVATION OF 49'-6"± ABOVE GRADE LEVEL FOR THE RECEPTION OF VERIZON WIRELESS TELECOMMUNICATIONS.
8. THE APPLICANT WILL PROVIDE A CERTIFICATION FROM A REGISTERED ENGINEER THAT THE STRUCTURE WILL MEET THE APPLICABLE DESIGN STANDARDS FOR WIND LOADS PER THE REQUIREMENTS OF THE TELECOMMUNICATIONS INDUSTRY ASSOCIATION.
9. IF THE ANTENNAS ARE NO LONGER USED FOR TELECOMMUNICATIONS PURPOSES FOR A CONTINUOUS PERIOD OF ONE (1) YEAR, THEY SHALL BE REMOVED BY THE ANTENNA OWNER AT OWNERS EXPENSE.
10. NO WATER OR SANITARY UTILITIES ARE REQUIRED FOR THE OPERATION OF THIS FACILITY.
11. STORMWATER MANAGEMENT NOTE: NO STORMWATER MANAGEMENT IS REQUIRED FOR THIS SITE.
12. BOUNDARY SHOWN PER COUNTY RECORDS.
13. THIS PLAN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. PLAN IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
14. ALL DETAILS SHOWN ARE "STANDARD" OR "TYPICAL" FOR REFERENCE ONLY. FOR ACTUAL DETAILS, SEE ARCHITECTURAL, STRUCTURAL, OR CONSTRUCTION PLANS BY OTHERS.
15. STRUCTURAL ANALYSIS/DESIGN TO BE PERFORMED BY OTHERS AT CLIENT AND/OR OWNER'S DISCRETION PRIOR TO COMMENCEMENT OF ANY WORK.
16. THE COMMUNICATION EQUIPMENT SHALL BE UNMANNED, WITH INFREQUENT VISITS (FOUR OR FEWER PER YEAR) BY MAINTENANCE PERSONNEL, AND WITH ACCESS AND PARKING FOR NO MORE THAN ONE VEHICLE. THE PROPOSED FACILITY IS NOT FOR HUMAN HABITATION AND THEREFORE HADCAP ACCESS IS NOT REQUIRED.

### GENERAL NOTES

1. CONTRACTOR SHALL NOTIFY "MISS UTILITY" (811) 48 HOURS PRIOR TO DOING ANY EXCAVATION IN THIS AREA. CONTRACTOR SHALL CONTACT A SUBSURFACE UTILITY LOCATOR FOR LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS AND TESTS ARE NECESSARY. LOCATION OF UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND FOR PLANNING PURPOSES ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES TO ANY HIGH OR LOW VOLTAGE LINES, GAS LINES, WATER LINES, SEWER LINES, AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. DAMAGE TO UTILITIES OR PROPERTY OF OTHER BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRECONSTRUCTION CONDITIONS BY THE CONTRACTOR.
2. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND ORDINANCES, THE LATEST EDITION THEREOF.
3. ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM ALL APPLICABLE GOVERNMENTAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
4. CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH APPROPRIATE UTILITY OWNERS.
5. THESE PLANS ARE NOT FOR RECORDED OR CONVEYANCE.
6. EXISTING PAVEMENT AND OTHER SURFACES DISTURBED BY CONTRACTOR (WHICH ARE NOT TO BE REMOVED) SHALL BE REPAIRED TO PRECONSTRUCTION CONDITIONS BY THE CONTRACTOR.



**MORRIS & RITCHIE  
ASSOCIATES, INC.**  
*Civil / Structural Engineers*  
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410-821-1680  
410-821-1748 Fax



**verizon**  
OLD TOWN N3 - SMALL CELL  
ROW ADJACENT TO 421 NORTH FAYETTE STREET  
ALEXANDRIA VIRGINIA 22314 (CITY OF ALEXANDRIA)

[illegible]

DESIGNED BY: RJD

DRAWN BY: FJ

PROJECT NO: 10427.2943

DATE: 12/10/2019

SCALE: AS NOTED

TITLE:

624

## Site Plan

## Flail

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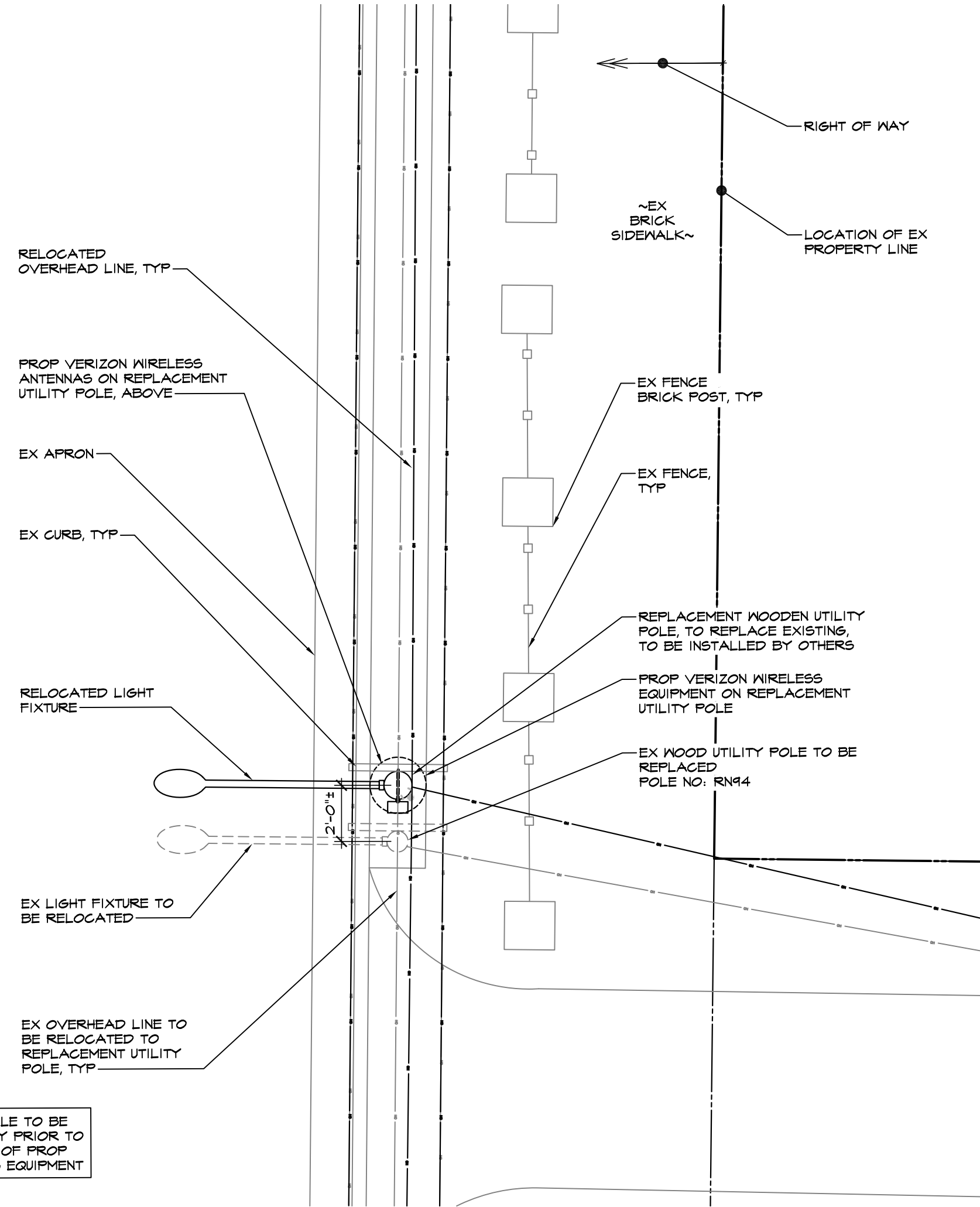
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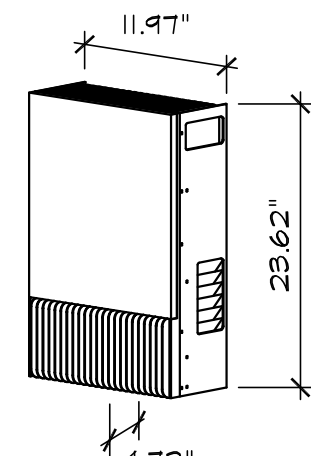
C-1



N FAYETTE ST

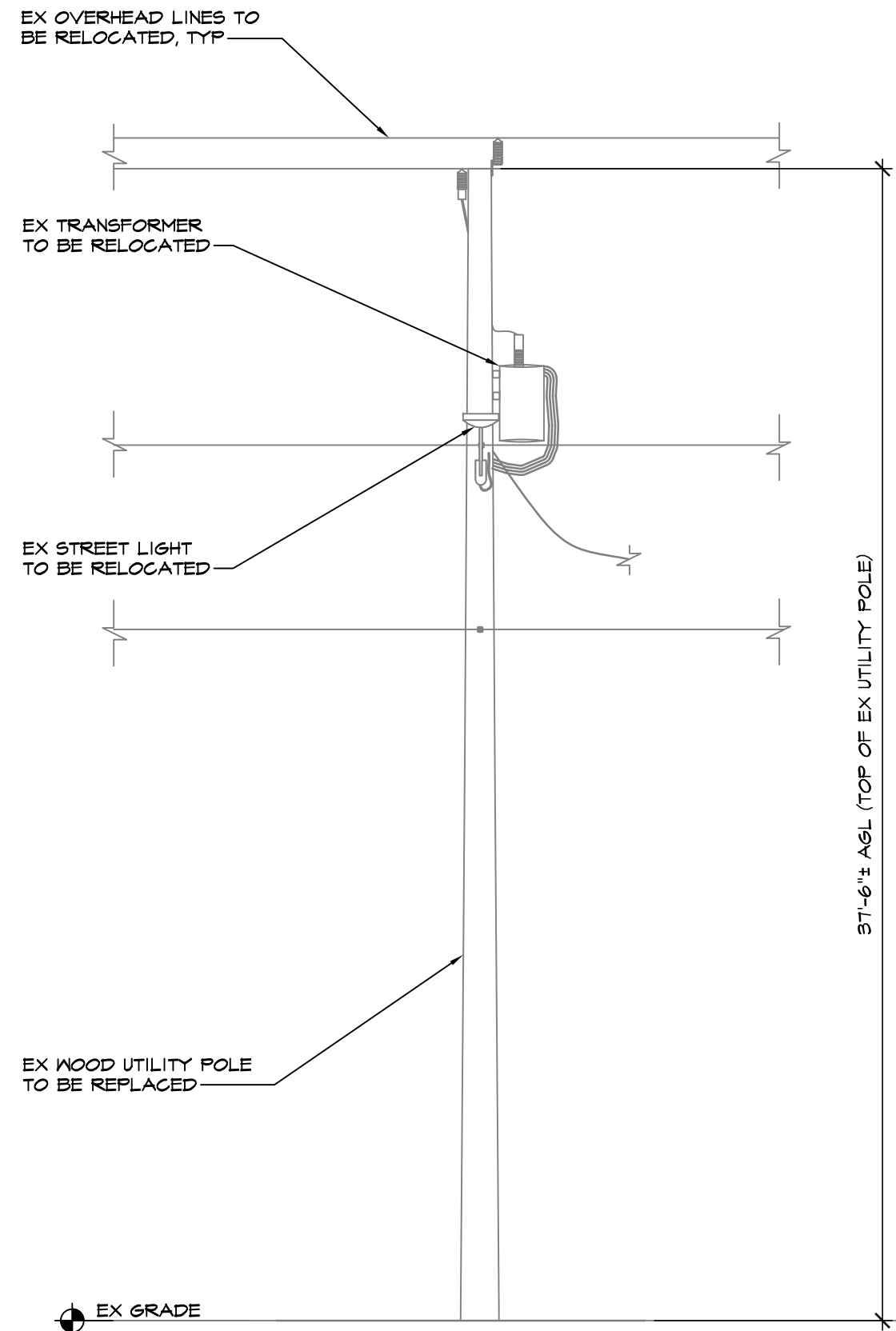


ENLARGED EQUIPMENT LAYOUT  
SCALE: 1/4" = 1'-0"

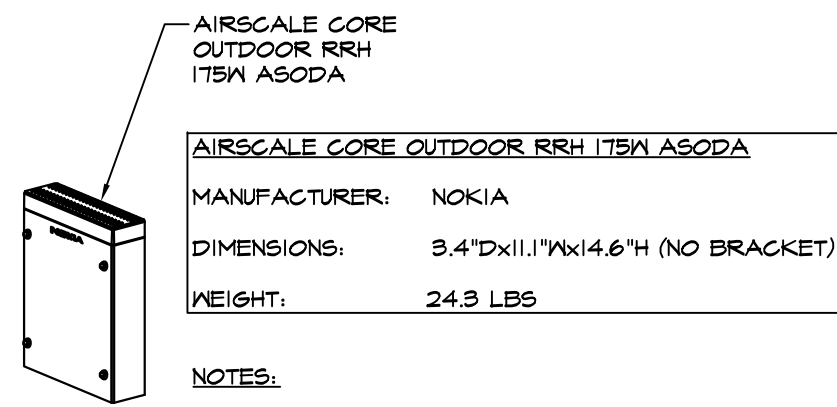


NOKIA  
AEBB AIRSCALE

VERIZON WIRELESS ANTENNA DETAILS  
NOT TO SCALE

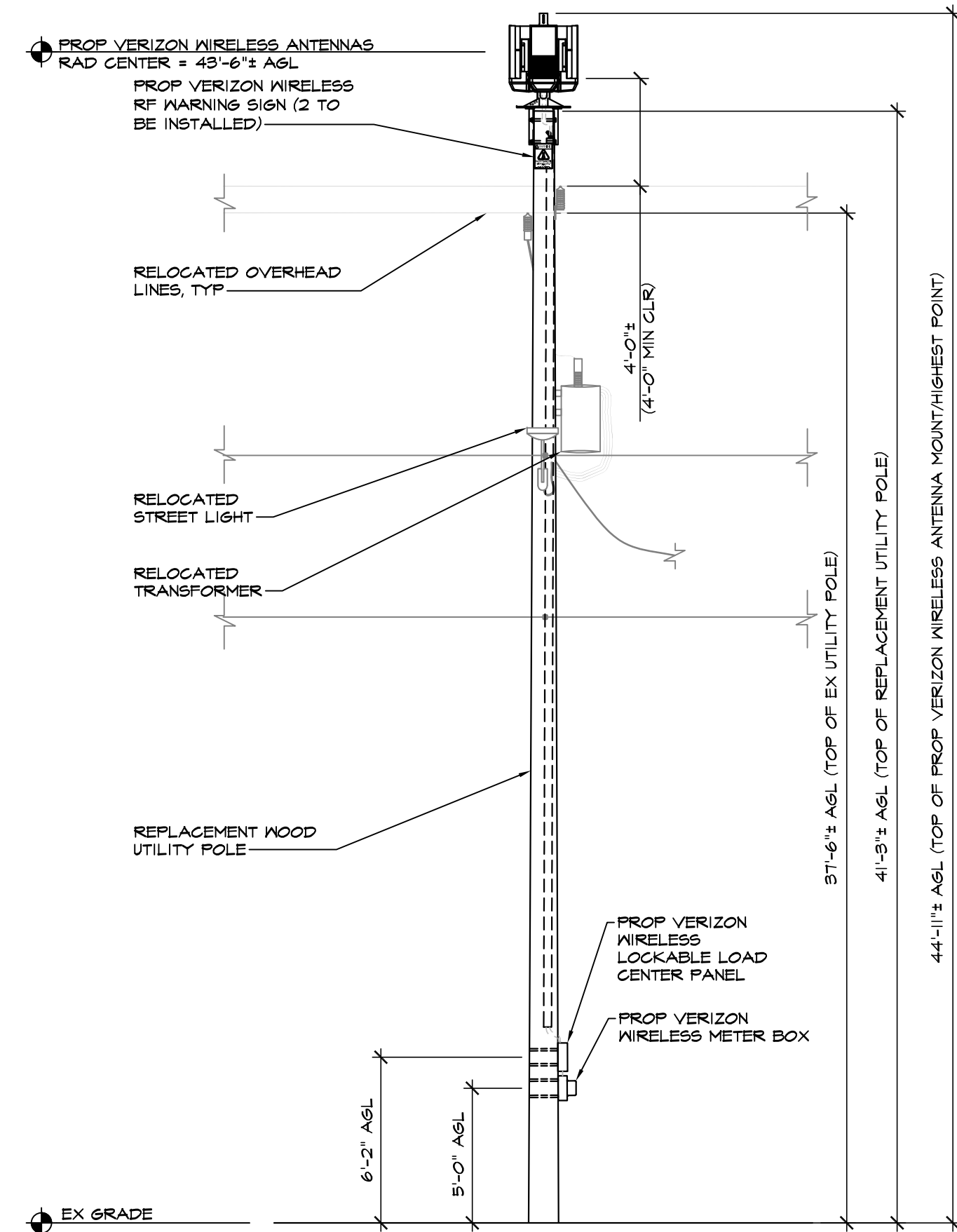


EXISTING UTILITY POLE ELEVATION  
SCALE: 1" = 5'-0"



- NOTES:
1. INSTALL RRH PER MANUFACTURER'S RECOMMENDATIONS.
  2. FIBER, DC POWER & GROUND CONNECTIONS NOT SHOWN.

NOKIA AIRSCALE CORE OUTDOOR RRH 175 W ASODA DETAIL  
NOT TO SCALE



VOLUME CALCULATIONS	
PROPOSED	
ANTENNAS:	5.00 ± CF
EQUIPMENT:	0.5 ± CF

REPLACEMENT UTILITY POLE ELEVATION  
SCALE: 1" = 5'-0"

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ALEXANDRIA, VIRGINIA 22314 (CITY OF ALEXANDRIA)

REVISIONS:		
NO.	DESCRIPTION	DATE
1	PERMIT DWGS	01/06/20

DESIGNED BY: RJD  
DRAWN BY: FJ  
PROJECT NO: 10427.2443  
DATE: 12/10/2019  
SCALE: AS NOTED

TITLE:  
**Site Details**

SHEET:  
**C-2**



Know what's below.  
Call before you dig.

PROTECT YOURSELF. GIVE THREE WORKING DAYS NOTICE.  
THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.



# TRANSPORTATION MANAGEMENT PLAN

## TEMPORARY TRAFFIC CONTROL PLAN NOTES & WORK AREA PROTECTION MANUAL TTC'S



### PROJECT INFORMATION

1. THE PROJECT'S TMP PLAN HAS BEEN DESIGNED IN CONFORMANCE WITH TMP TYPE A.
2. WORK ZONE AREAS SHALL BE SETUP AS SHOWN ON TTC'S ON THIS PLAN SHEET. THE WORK ZONE LENGTHS AND WIDTHS MAY VARY BY LOCATION IN ACCORDANCE WITH APPLICABLE TTC.
3. CONSTRUCTION HOURS: 9AM-3:30PM MONDAY-THURSDAY, 9AM-2PM FRIDAY, NO WORK ON NIGHTS, WEEKENDS OR HOLIDAYS. NO LANE CLOSURES WILL BE ALLOWED FROM NOON ON THE DAY BEFORE A HOLIDAY UNTIL NOON ON THE WORKDAY FOLLOWING THE HOLIDAY. HOLIDAYS INCLUDE ALL STATE AND FEDERAL HOLIDAYS.
4. EXISTING INTERSECTIONS: THE NEAREST INTERSECTION IS N FAYETTE ST AND ORONOCO ST.
5. EXISTING PEDESTRIAN ACCESS POINTS: THERE ARE IS EXISTING SIDEWALK LOCATED WITHIN THE PROJECT LIMITS.
- EXISTING BUS STOPS: THERE ARE NO BUS STOPS NEAR THE PROJECT LIMITS.
- EXISTING ENTRANCES: THERE IS AN EXISTING RESIDENTIAL DRIVEWAY LOCATED WITHIN THE CONSTRUCTION LIMITS.
6. THE TRAFFIC ON THE ROADWAY CONSIST PRIMARILY OF PASSENGER VEHICLES AND PEDESTRIANS. THE SURROUNDING AREA IS RESIDENTIAL.
7. THE CONTRACTOR SHALL:

DESIGNATE A PERSON ASSIGNED TO THE PROJECT WHO WILL HAVE THE PRIMARY RESPONSIBILITY, WITH SUFFICIENT AUTHORITY, FOR IMPLEMENTING THE TMP/SOC AND OTHER SAFETY AND MOBILITY ASPECTS OF THE PERMITTED WORK. THIS PERSON SHALL COORDINATE WITH THE INSPECTOR FOR THE DURATION OF CONSTRUCTION.

ENSURE THAT PERSONNEL IMPLEMENTING THE MOT ARE TRAINED IN TRAFFIC CONTROL TO A LEVEL COMMENSURATE WITH THEIR RESPONSIBILITY IN ACCORDANCE WITH VIRGINIA WORK ZONE TRAFFIC CONTROL TRAINING GUIDELINES.

INFORM COUNTY OF ANY WORK REQUIRING LANE SHIFTS, LANE CLOSURES, AND/OR PHASE CHANGES A MINIMUM OF TWO WORKING DAYS PRIOR TO IMPLEMENTING THIS ACTIVITY

PERFORM REVIEWS OF THE CONSTRUCTION AREA TO ENSURE COMPLIANCE WITH CONTRACT DOCUMENTS AT REGULARLY SCHEDULED INTERVALS AT THE DIRECTION OF COUNTY ENGINEERS. CONTRACTOR SHALL MAINTAIN A COPY OF THE TEMPORARY TRAFFIC CONTROL PLAN AT THE WORK SITE AT ALL TIMES.

COORDINATE WITH CITY OF ALEXANDRIA POLICE DEPARTMENT AND CITY OF ALEXANDRIA FIRE/RESCUE DEPARTMENT FOR ANY LANE CLOSURES AND ANY DETOURS OF ANY NATURE, AT NO ADDITIONAL COST TO THE PROJECT.

SCHEDULE ALL PHASES OF CONSTRUCTION IN SUCH A MANNER THAT WATER, SANITARY SEWER, CABLE, FIBER CABLE/OPTIC CABLE, ANY OVERHANGING UTILITIES, AND ANY UNDERGROUND UTILITIES SERVICES WILL NOT BE INTERRUPTED.

8. THIS TMP PLAN IS INTENDED AS A GUIDE. IF THE CONTRACTOR IS TO DEViate FROM THE APPROVED TMP, A NEW OR REVISED TMP MUST BE SUBMITTED TO COUNTY FOR REVIEW AND APPROVAL.
9. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FOR THE DURATION OF THE PROJECT. CONTRACTOR SHALL ADD ANY ADDITIONAL TEMPORARY MEASURES NECESSARY TO FACILITATE PROPER, POSITIVE DRAINAGE FOR THE DURATION OF CONSTRUCTION.
10. WHERE GROUP 2 CHANNELIZING DEVICES ARE USED TO SEPARATE THE CONSTRUCTION AREA AND TRAFFIC, A MINIMUM CLEAR ZONE AREA SUCH AS DEFINED IN THE VWPM IS TO BE MAINTAINED.
11. CONTRACTOR IS TO COORDINATE WITH CITY FOR LOCATION(S) OF THE CONSTRUCTION STAGING AREA. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND/OR EASEMENTS AS NECESSARY.
12. IMPLEMENTING THE TRANSPORTATION MANAGEMENT PLAN  
DURING THE FIRST DAY OF THE NEW WORK ZONE TRAFFIC PATTERN, THE PROJECT'S MANAGER AND CITY'S INSPECTOR SHALL INSPECT THE WORK ZONE TO ENSURE COMPLIANCE WITH THE TMP. ON THE THIRD TO FIFTH DAY OF IMPLEMENTATION OF THE TMP'S NEW WORK ZONE TRAFFIC PATTERN THE CONSTRUCTION INSPECTOR SHALL CONDUCT AN ON-SITE REVIEW OF THE WORK ZONE'S PERFORMANCE IN COORDINATION WITH COUNTY AND RECOMMEND TO THE CONTRACTOR ANY REQUIRED CHANGES TO THE TMP TO ENHANCE THE WORK ZONE'S SAFETY AND MOBILITY. ALL SUCH CHANGES SHALL BE DOCUMENTED. AN ON-SITE REVIEW OF THE PROJECT'S WORK ZONE TRAFFIC CONTROL BY THE PROJECT MANAGER AND CONTRACTOR SHALL BE CONDUCTED (WITH COORDINATION FROM COUNTY) WITHIN 48 HOURS OF ANY FATAL INCIDENT/CRASH WITHIN THE WORK ZONE.
13. PUBLIC COMMUNICATIONS PLAN  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
  - A. NOTIFYING THE PROJECT MANAGER AND CITY INSPECTOR TWO WEEKS IN ADVANCE OF ANY SCHEDULED WORK PLANS AND TRAFFIC DELAYS.
  - B. NOTIFYING THE PROJECT MANAGER, CITY INSPECTOR, AND CORRESPONDING COUNTY ENGINEER OF ANY UNSCHEDULED TRAFFIC DELAYS.
16. TRANSPORTATION OPERATIONS  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND PROVIDING THE FOLLOWING:
  - A. NOTIFY THE REGIONAL TRANSPORTATION OPERATIONS CENTER (TOC) 1 WEEK IN ADVANCE IN ORDER TO PLAN LANE CLOSURE INFORMATION ON THE 511 SYSTEM AND VA-TRAFFIC.
  - B. IMMEDIATELY REPORT ANY TRAFFIC INCIDENTS THAT MAY OCCUR IN THE WORK ZONE.
  - C. NOTIFY THE PROJECT'S CONSTRUCTION INSPECTOR AND COUNTY ENGINEER OF ANY INCIDENTS AND EXPECTED TRAFFIC DELAYS.
  - D. WITHIN 24 HOURS OF ANY INCIDENTS WITHIN THE CONSTRUCTION WORK ZONE, A REVIEW OF THE TRAFFIC CONTROLS SHALL BE COMPLETED AND NECESSARY ADJUSTMENT MADE TO REDUCE THE FREQUENCY AND SEVERITY OF ANY FUTURE INCIDENTS.

### 17. CONTACT NUMBERS

PROJECT MANAGER: TBD  
CITY INSPECTOR: TBD  
EMERGENCY CALL: 911

NON-EMERGENCY NUMBERS:  
CITY OF ALEXANDRIA POLICE: 703-746-4444  
CITY OF ALEXANDRIA FIRE & RESCUE: 703-746-4357

### GENERAL CONSTRUCTION NOTES

NOTE: VWPM VIRGINIA WORK AREA PROTECTION MANUAL (2011) INCLUDING REVISION 1 DATED 2015.

1. THE CONTRACTOR SHALL MAKE ANY NECESSARY ADJUSTMENTS DURING BOTH WORK AND NON-WORK HOURS TO ENSURE THE PROTECTION AND SAFETY OF PEDESTRIANS, VEHICULAR TRAFFIC, AND THE GENERAL PUBLIC FROM ANY CONSTRUCTION RELATED ACTIVITY, CONSTRUCTION EQUIPMENT, AND THE CONSTRUCTION SITE ITSELF.

Page 6H-14 April 2015

### Typical Traffic Control Stationary Operation on a Shoulder (Figure TTC-4.1)

#### NOTES

**Standard**

1. For long-term stationary work (more than 3 days) on divided highways having a median wider than 8', sign assemblies on both sides of the roadway shall be required as shown (ROAD WORK AHEAD (W20-1), RIGHT SHOULDER CLOSED AHEAD (W21-5bR), **RIGHT SHOULDER CLOSED (W21-5aR)**), even though only one shoulder is being closed. For operations less than 3 days in duration, sign assemblies will only be required on the side where the shoulder is being closed and a **RIGHT SHOULDER CLOSED (W21-5aR)** sign shall be added to that side.

**Guidance**

2. Sign spacing should be 1300'-1500' for Limited Access highways. For all other roadways, the sign spacing should be 500'-800' where the posted speed limit is greater than 45 mph, and 350'-500' where the posted speed limit is 45 mph or less.

**Option:**

3. The **SHOULDER WORK (W21-5)** sign on an intersecting roadway may be omitted where drivers emerging from that roadway will encounter another advance warning sign prior to this activity area.
4. For short duration operations of 60 minutes or less, all signs and channelizing devices may be eliminated if a vehicle with activated high-intensity amber rotating, flashing, ~~or~~ oscillating lights is used.

**Standard:**

5. Vehicle hazard warning signals shall not be used instead of the vehicle's high-intensity amber rotating, flashing, ~~or~~ oscillating lights. Vehicle hazard warning signals can be used to supplement high-intensity amber rotating, flashing, ~~or~~ oscillating lights.
6. Taper length (L) and channelizing device spacing shall be at the following:

Speed Limit (mph)	Taper Length (L)			
	Lane Width (Feet)			
	9	10	11	12
25	95	105	115	125
30	135	150	165	180
35	185	205	225	245
40	240	270	295	330
45	405	450	495	540
50	450	500	550	600
55	495	550	605	660
60	540	600	660	720
65	585	650	715	780
70	630	700	770	840

Minimum taper lengths for Limited Access highways shall be 1000' feet.  
Shoulder Taper = 1/2 L Minimum

Location	Channelizing Device Spacing	
	Speed Limit (mph)	
	0 - 35	36 +
Transition Spacing	20'	40'
Travelway Spacing	40'	80'
Construction Access*	80'	120'

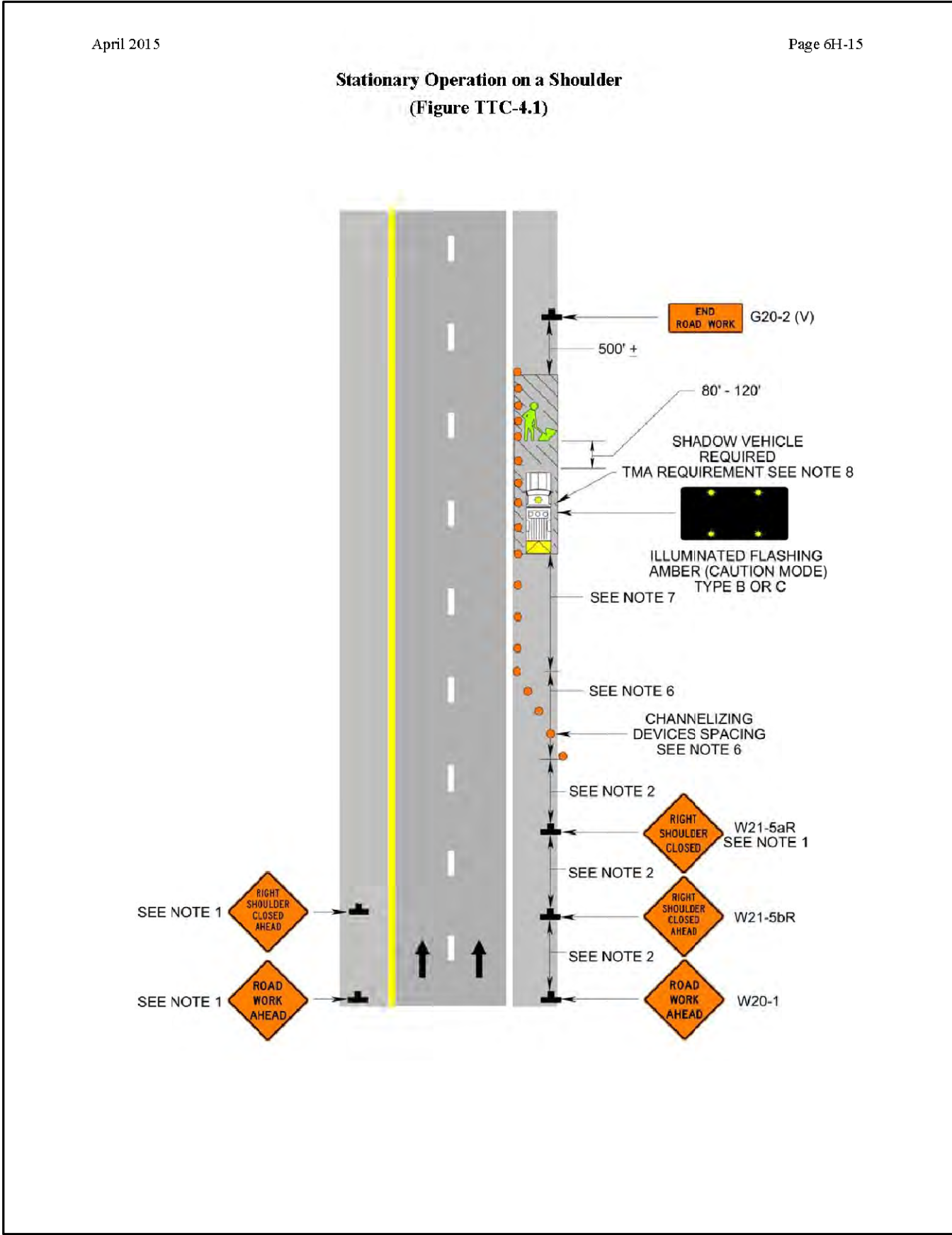
\* Spacing may be increased to this distance, but shall not exceed one access per 1/4 mile.

On roadways with paved shoulders having a width of 8 feet or more, channelizing devices shall be used to close the shoulder in advance of the merging taper to direct vehicular traffic to remain within the traveled way.

7. The buffer space length shall be as shown in Table 6H-3 on Page 6H-5 for the posted speed limit.

8. A truck-mounted attenuator (TMA) shall be used on the shadow vehicle on Limited Access highways and multi-lane roadways with posted speed limit equal to or greater than 45 mph for operations with a duration greater than 60 minutes.
9. When a side road intersects the highway within the temporary traffic control zone, additional traffic control devices shall be placed as needed.

1: Revision 1 - 4/1/2015



Page 6H-76 August 2011

### Typical Traffic Control Sidewalk Closure and Bypass Sidewalk Operation (Figure TTC-35.0)

#### NOTES

**Standard:**

1. When crosswalks or other pedestrian facilities are closed or relocated, temporary facilities shall be detectable and shall include accessibility features consistent with the features present in the existing pedestrian facility.

**Guidance:**

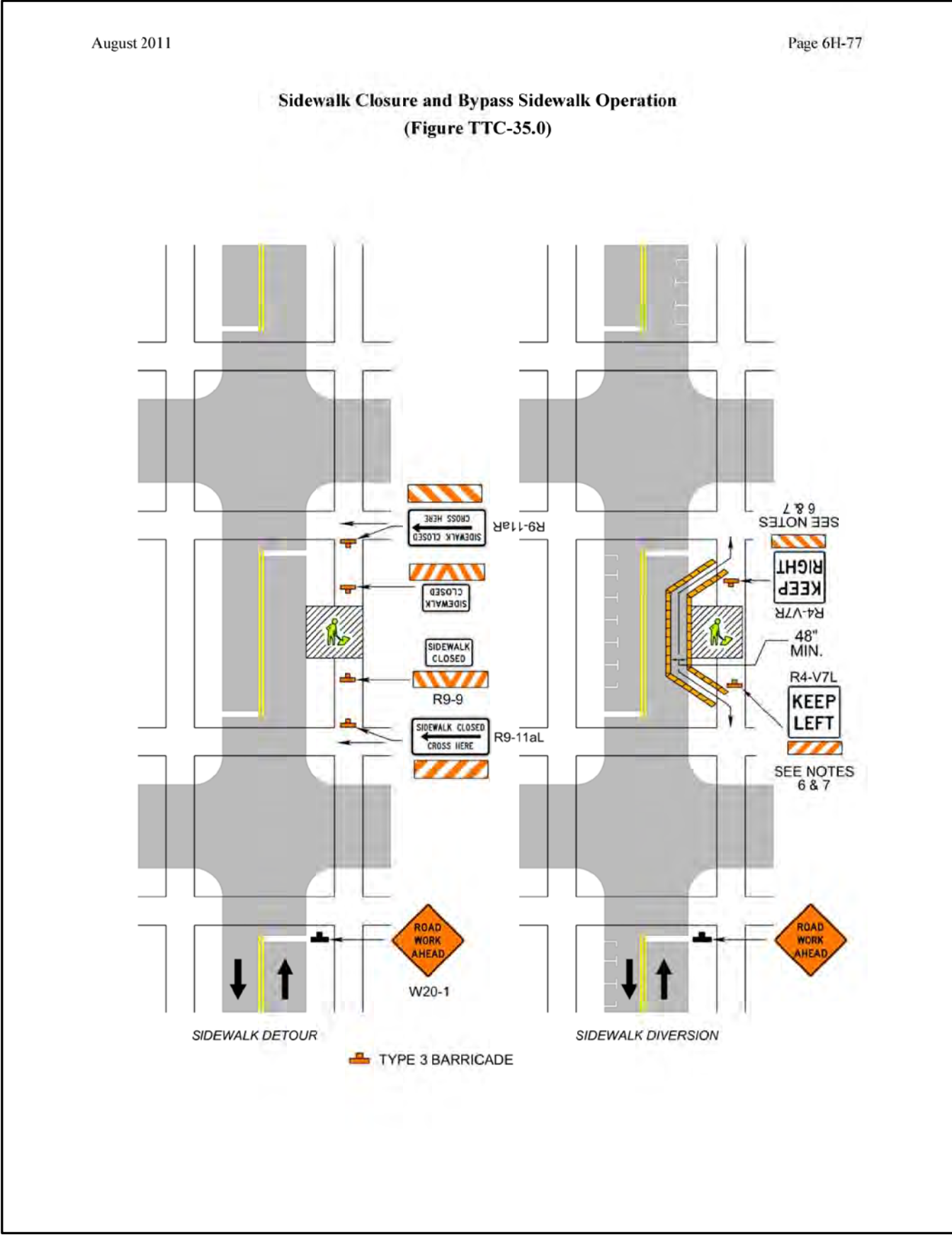
2. Where high speeds are anticipated, a temporary traffic barrier and, if necessary, a crash cushion should be used to separate the temporary sidewalks from vehicular traffic.
3. Audible information devices should be considered where midblock closings and changed crosswalk areas cause inadequate communication to be provided to pedestrians who have visual disabilities.
4. Temporary markings should be considered for operations exceeding three days in duration.

**Option:**

5. Only the TTC devices related to pedestrians are shown. Other devices, such as lane closure signing or ROAD NARROWS (W5-1) signs, may be used to control vehicular traffic.
6. For nighttime closures, Type A Flashing warning lights may be used on barricades that support signs and close sidewalks.
7. Signs, such as KEEP RIGHT (R4-V7R) and KEEP LEFT (R4-V7L), may be placed along a temporary sidewalk to guide or direct pedestrians.

**Standard:**

8. All sidewalk closures shall be closed with Type 3 Barricades.



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### REVISIONS:

NO.	DESCRIPTION	DATE
1	PERMIT DWGS	01/06/20

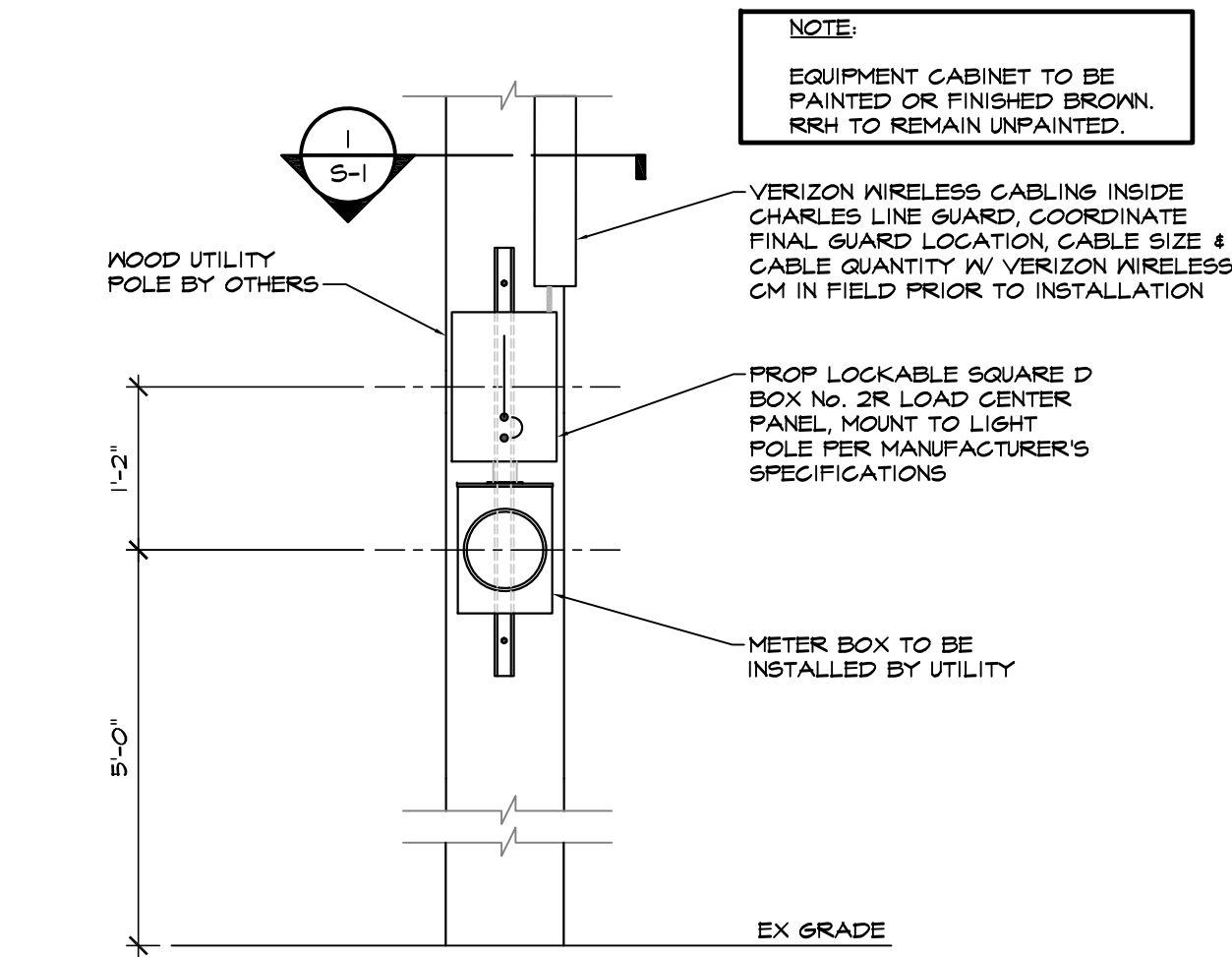
DESIGNED BY: RJD  
DRAWN BY: FJ  
PROJECT NO: 10427.2443  
DATE: 12/10/2019  
SCALE: AS NOTED  
TITLE:  
TRANSPORTATION  
MANAGEMENT  
PLAN

### SHEET:

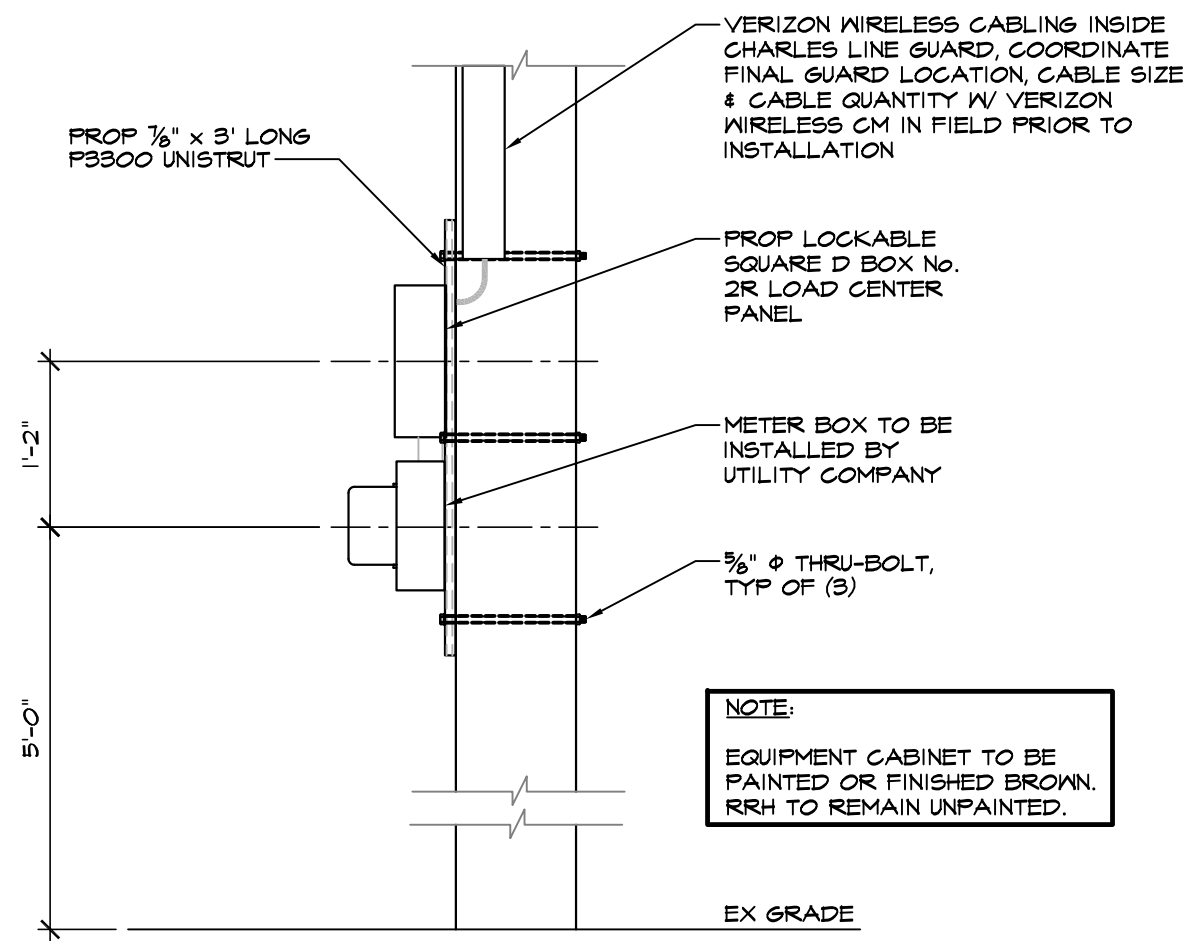
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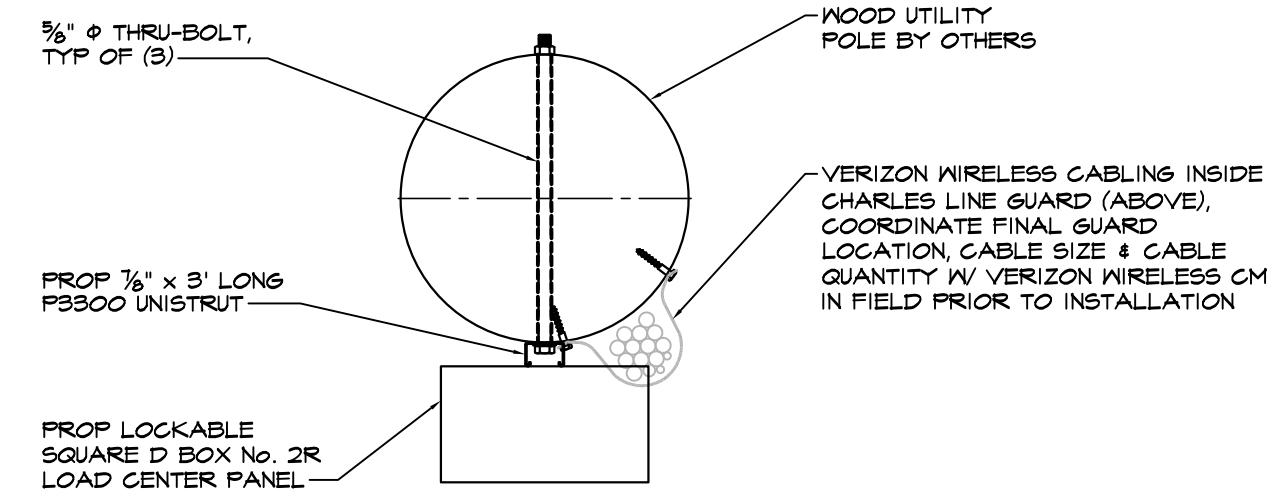
A B C D E F G H J K L M N P Q R



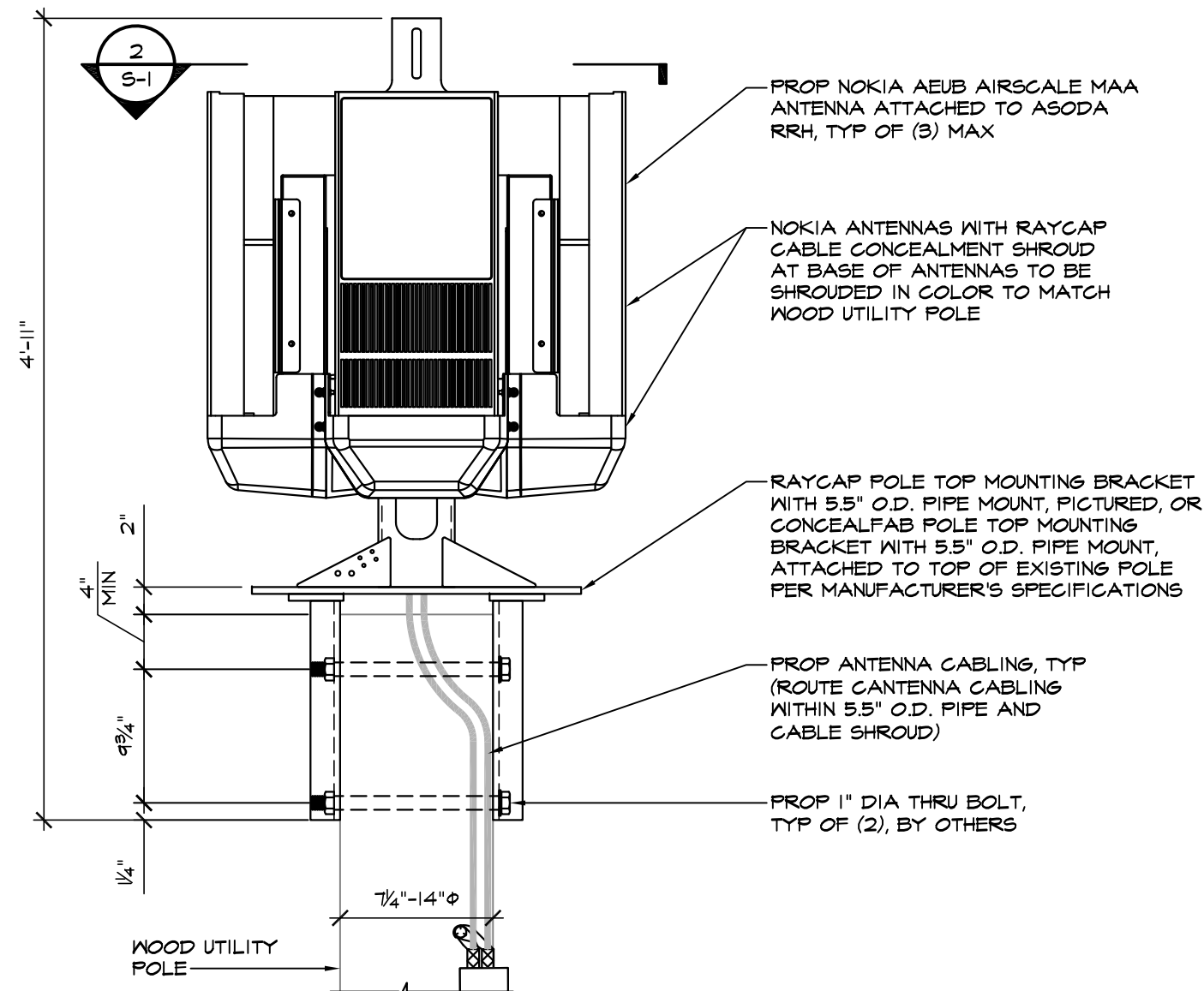
A POLE EQUIPMENT FRONT ELEVATION  
SCALE: 3/4" = 1'-0"



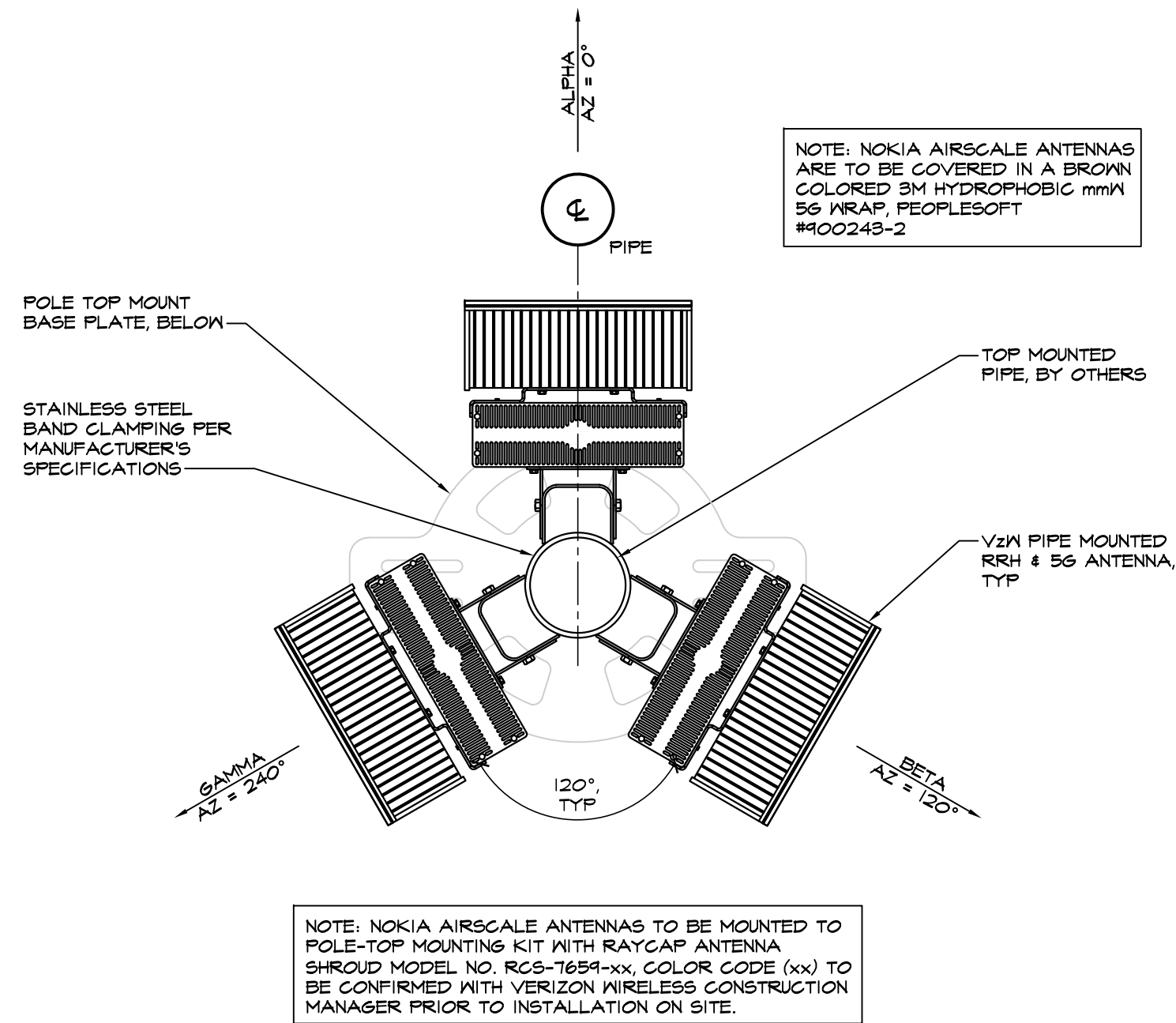
B POLE EQUIPMENT SIDE ELEVATION  
SCALE: 3/4" = 1'-0"



I EQUIPMENT MOUNT  
SCALE: 1 1/2" = 1'-0"



C ANTENNA & 5G PANEL ANTENNA MOUNT  
SCALE: 1" = 1'-0"



2 5G PANEL ANTENNA SECTION  
SCALE: 1-1/2" = 1'-0"



Know what's below.  
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REVISIONS:		
NO.	DESCRIPTION	DATE
1	PERMIT DWGS	01/06/20

DESIGNED BY: RJD  
DRAWN BY: FJ  
PROJECT NO: 10427.2443  
DATE: 12/10/2019  
SCALE: AS NOTED

TITLE:  
**Structural  
Sections &  
Details**

SHEET:

**S-1**



GENERAL STRUCTURAL NOTES

BUILDING CODES

- A. ALL CONSTRUCTION SHALL CONFORM WITH THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE 2015 CONSTRUCTION CODE, THE TIA STANDARD (TIA-222-S) AND ALL SUBSEQUENT SUPPLEMENTS, THE INTERNATIONAL BUILDING CODE (IBC 2015) AND ALL SUBSEQUENT SUPPLEMENTS & DOCUMENTS.
- B. IN ADDITION, ALL CONSTRUCTION SHALL CONFORM WITH ANY LOCAL CODES AND REQUIREMENTS.

DESIGN LOADS

- A. THE DESIGN DEAD LOADING FOR ALL FRAMING IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWINGS. ALL FRAMING IS DESIGNED FOR THE HEIGHT OF THE EQUIPMENT INDICATED ON THE DRAWINGS.
- B. WIND LOAD DESIGN DATA
  - BASIC WIND SPEED (ULTIMATE 3-SECOND GUST): 116 MPH
  - BASIC WIND SPEED (NOMINAL 3-SECOND GUST): 90 MPH
  - RISK CATEGORY: II
  - WIND EXPOSURE CATEGORY: C
- C. SEISMIC LOAD DESIGN DATA
  - NOT APPLICABLE: Ss < 1.0

MISCELLANEOUS

- A. SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE CONTRACT DOCUMENTS MUST BE SUBMITTED BY THE CONTRACTOR OR OWNER FOR REVIEW BY THE ENGINEER. IF THE CONTRACTOR OR OWNER FAILS TO SUBMIT THE SHOP DRAWINGS, THE ENGINEER WILL NOT BE RESPONSIBLE FOR STRUCTURAL CERTIFICATION AND DESIGN OF THE PROJECT. THE SHOP DRAWINGS SHALL INDICATE ANY DEVIATIONS OR OMISSIONS FROM THE CONTRACT DOCUMENTS. THE GENERAL CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMISSION AND MAKE ALL CORRECTIONS DEEMED NECESSARY.
- B. SEE CIVIL AND MEP CONTRACT DOCUMENTS FOR ADDITIONAL INFORMATION RELATING TO THE COORDINATION OF STRUCTURAL COMPONENTS.
- C. THE CONTRACTOR SHALL NOT SUBMIT REPRODUCTIONS OF THE STRUCTURAL CONTRACT DOCUMENTS AS SHOP DRAWINGS.
- D. SCALES SHOWN ON THE STRUCTURAL CONTRACT DRAWINGS ARE FOR GENERAL INFORMATION ONLY. DIMENSIONAL INFORMATION SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
- E. APPLY DETAILS, SECTIONS AND NOTES ON THE DRAWINGS WHERE CONDITIONS ARE SIMILAR TO THOSE INDICATED BY DETAIL, DETAIL TITLE OR NOTE.

STRUCTURAL AND MISCELLANEOUS STEEL

- A. ALL STEEL CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE AISC STEEL CONSTRUCTION MANUAL "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS" (ANSI/AISC 360) AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".
- B. ALL MISCELLANEOUS STEEL (CHANNELS AND PLATES) SHALL CONFORM TO ASTM A36 (Fy = 36 KSI).
- C. ALL HSS SQUARE OR RECTANGULAR SHAPES SHALL CONFORM TO ASTM A500, GRADE B (Fy = 46 KSI).
- D. ALL PIPES SHALL CONFORM TO ASTM A53, GRADE B (Fy = 35KSI)
- E. ALL THRU BOLTS SHALL CONFORM TO ASTM A307 (Fu = 60 KSI).
- F. ALL NUTS SHALL CONFORM TO ASTM A563. ALL WASHERS SHALL CONFORM TO ASTM F436.
- G. ALL SHOP WELDS SHALL BE PERFORMED BY CERTIFIED WELDERS AND CONFORM TO THE AMERICAN WELDING SOCIETY CODE FOR BUILDINGS AWS D1.1. WELDS SHALL DEVELOP THE FULL STRENGTH OF MATERIALS BEING WELDED UNLESS OTHERWISE INDICATED.
- H. AN INDEPENDENT INSPECTION AGENCY SHALL INSPECT ALL STRUCTURAL STEEL AND VERIFY THAT IT CONFORMS TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. FIELD INSPECTION REPORTS SHALL BE SUBMITTED TO THE ENGINEER WITHIN 5 DAYS OF THE INSPECTION. THE CONTRACTOR SHALL NOTIFY THE INSPECTION AGENCY OF ALL PHASES OF STEEL CONSTRUCTION AND WELDINGS.
- I. STEEL MEMBERS, FABRICATIONS AND ASSEMBLIES EXPOSED TO WEATHER OR INDICATED TO BE GALVANIZED SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A123 AFTER FABRICATION. ALL BOLTS, SCREWS, WASHERS & NUTS SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM F2324.
- J. PROVIDE HOLES IN STEEL AS REQUIRED TO PREVENT ANY ACCUMULATION OF WATER. ALL PENETRATIONS THROUGH MAIN MEMBERS SHALL NOT EXCEED 1-1/8" DIA. AND SHALL BE GROUND SMOOTH. THESE DRAINS MUST BE KEPT CLEAN AND OPEN.
- K. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INDICATING THE SIZES, EXTENT, AND LOCATION OF ALL STRUCTURAL AND MISCELLANEOUS STEEL FRAMING INCLUDING ALL CONNECTIONS, FASTENERS, AND BEARINGS.
- L. SHOW ALL COFES, HOLES, OPENINGS AND MODIFICATIONS REQUIRED IN STRUCTURAL STEEL MEMBERS FOR ERECTION OR THE WORK OF OTHER TRADES ON THE SHOP DRAWINGS FOR APPROVAL BY THE STRUCTURAL ENGINEER.

DOMINION NOTES:

- A. A 9"x11" RF NOTICE SIGN MUST BE INSTALLED ON BOTH SIDES OF THE POLE A MINIMUM OF ONE FOOT ABOVE THE UPPERMOST ELECTRIC SUPPLY FACILITIES. THIS SIGN MARKS THE POINT WHERE RF EXPOSURE LEVELS MAY EXCEED FCC OET-68 APPENDIX A1 LIMITS FOR UNCONTROLLED GENERAL POPULATION EXPOSURE. WORKING ABOVE THIS POINT REQUIRES DE-ENERGIZING THE ANTENNA. THIS SIGN MUST INCLUDE THE STANDARD RF SYMBOL AND STATE "NON RF WORKERS MUST POWER DOWN DEVICE WHEN WORKING ABOVE THIS POINT." THE SIGN SHALL BE 60 MIL LEXAN WITH U.V. INHIBITORS AND SIGNS SHALL ADHERE TO IEEE C49.2 STANDARDS.
- B. A POWER DISCONNECT MUST BE INSTALLED. THIS DEVICE MUST PROVIDE DISCONNECTING MEANS FOR DE-ENERGIZING AC AND DC (BATTERY BACK UP) POWER TO THE ANTENNA. THE DISCONNECT SHOULD BE A STANDARD NEMA TYPE HINGED ENCLOSURE AND IS SUBJECT TO COMPANY APPROVAL. THE DISCONNECT SHALL BE CLEARLY LABELED AS THE ANTENNA POWER DISCONNECT.
- C. AN ADDITIONAL RF LABEL ON THE EQUIPMENT MUST INCLUDE COMMUNICATION COMPANY NAME, AND A 24-HR CONTACT PHONE NUMBER. THE LABEL SHALL ADHERE TO IEEE C49.2 STANDARDS.
- D. THE ANTENNA SHALL BE MOUNTED THE GREATER VALUE OF NESC MINIMUM CLEARANCE OR THE MINIMUM CLEARANCE REQUIRED TO MEET OET UNCONTROLLED EXPOSURE GUIDELINES AT A POINT 1' ABOVE THE ELECTRIC FACILITIES. THE ANTENNA INCLUDING ATTACHING HARDWARE SHALL BE MOUNTED A MINIMUM OF 45' ABOVE PRIMARY INSTALLATIONS AND 40' ABOVE SECONDARY INSTALLATIONS. (NESC TABLE 238-1)
- E. ANTENNA EQUIPMENT IS PERMISSIBLE ON WOOD POLES ONLY.
- F. ONLY NON METALLIC ELECTRIC GRADE CONDUIT OR RISERS CAN BE USED FOR ROUTING THE COMMUNICATION CABLES THROUGH THE SUPPLY SPACE. THE CONDUIT INSTALLATION SHALL NOT OBSTRUCT THE CLIMBING SPACE OR WORKING SPACE ON THE POLE AND SHALL NOT OBSTRUCT SUPPLY EQUIPMENT. (NESC 238B, AND NESC 239H4).
- G. THE INSTALLATION MUST MEET ALL NESC REQUIREMENTS.
- H. A DOMINION DISTRIBUTION REPRESENTATIVE MUST APPROVE ALL ANTENNA ATTACHMENT POLES. ANTENNAS ARE NOT ALLOWED ON POLES FREQUENTLY VISITED BY OPERATIONS PERSONNEL. THESE INCLUDE EQUIPMENT POLES SUCH AS RECLOSERS, THREE PHASE TRANSFORMER BANKS, THREE PHASE TERMINALS, CAPACITORS, SWITCHES, ETC.
- I. INSTALLERS WORKING IN THE AREA OF THE POLE ABOVE THE NORMAL COMMUNICATIONS SPACE MUST MEET OSHA 1910.269 REQUIREMENTS.
- J. AN ANTENNA GROUND WIRE AND GROUNDING ELECTRODE IS REQUIRED. THIS GROUND SHALL BE BONDED TO THE COMPANY GROUND WIRE.
- K. VERIZON TO LEAVE MINIMUM 3' LEADS COILED AND SECURED TO PREVENT ACCIDENTAL CONTACT WITH SECONDARY CONDUCTORS.

- L. SERVICE WILL BE CONNECTED BY VERIZON IN COMPLIANCE WITH FILED RATE PLAN.
- M. LINE ARRESTER INSTALLATIONS ARE REQUIRED ON POLES WITH PRIMARY CONDUCTORS.
- N. VERIZON'S GROUND MAY NOT BE USED TO SATISFY NEC REQUIREMENTS FOR THE EQUIPMENT BRACKET AC SERVICE GROUND. THE EQUIPMENT AND ITS AC SERVICE GROUND ARE REQUIRED TO BE BONDED TO THE COMPANY GROUND CONDUCTOR ON THE POLE AT LEAST 6" ABOVE GROUND LEVEL USING A NO. 6 CU CONDUCTOR. CONNECTION TO THE COMPANY'S GROUND ROD OR CONNECTOR IS NOT APPROVED.
- O. BONDS SHALL BE MADE BETWEEN THE GROUND WIRE AND THE EQUIPMENT CABINET (NOT NEUTRAL BUS) OF THE POWER SUPPLY/SWITCH. THESE CONNECTIONS ARE TO AVOID POTENTIAL DIFFERENCES BETWEEN DEVICES ON THE POLES. BOND TO THE POWER SUPPLY/SWITCH SHALL BE EXTERNAL AND VISIBLE FROM THE GROUND. WHEN A COMPANY DRIVEN GROUND EXISTS ON THE POLE, THE EQUIPMENT CASE BONDING WIRE NEED EXTEND ONLY FROM THE SWITCH TO THE COMPANY GROUND WIRE.
- P. THE METER BASE, EQUIPMENT BRACKET, AND DISCONNECT SHOULD BE MOUNTED PROVIDING EIGHT FEET MINIMUM GROUND CLEARANCE. THEY MAY BE MOUNTED AT OPERATIONAL HEIGHT THAT:
  - 1. THE EQUIPMENT BRACKET DOES NOT OBSTRUCT A WALKWAY OR IS SUBJECT TO VEHICULAR TRAFFIC.
  - 2. THE EQUIPMENT BRACKET CAN NOT BE USED ALONE OR IN CONJUNCTION WITH A FENCE, PEDESTAL, ETC. AS A CLIMBING AID.
- Q. FOR SAFETY PURPOSES DEVICES WITH LEAD ACID BATTERIES SHALL NOT BE USED.
- R. DUE TO OPERATIONAL CONCERNS, SECONDARY POLES OR GUY STUB POLES ARE PREFERRED FOR ANTENNA ATTACHMENTS. PRIMARY POLES SHOULD ONLY BE CONSIDERED WHEN THERE IS NO OTHER SUITABLE POLE IN THE AREA.
- S. 60 WATT REMOTE RADIO HEAD (RRH) CAN BE SUBSTITUTED FOR THE 90 WATT RRH AS NEEDED.
- T. THE WEATHERHEAD WILL BE INSTALLED 4" ABOVE THE NEUTRAL.

POST-INSTALLATION INSPECTION

- A. A POST-INSTALLATION INSPECTION REPORT IS REQUIRED AND SHALL BE INCLUDED IN THE CONTRACTOR'S BID. A POST-INSTALLATION INSPECTION IS A VISUAL INSPECTION OF TOWER INSTALLATIONS AND A REVIEW OF CONSTRUCTION INSPECTIONS AND OTHER REPORTS TO ENSURE THE INSTALLATION WAS CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, NAMELY THE INSTALLATION DRAWINGS.
- B. THE POST-INSTALLATION INSPECTION REPORT SHALL BE COMPLETED BY A PROFESSIONAL ENGINEER LICENSED IN THE JURISDICTION IN WHICH THE PROJECT IS LOCATED.
- C. THE INTENT OF THE POST-INSTALLATION INSPECTION REPORT IS TO CONFIRM INSTALLATION AND CONFIGURATION AND WORKMANSHIP ONLY AND IS NOT A REVIEW OF THE INSTALLATION DESIGN ITSELF.
- D. TO ENSURE THAT THE REQUIREMENTS OF THE POST-INSTALLATION INSPECTION REPORT ARE MET, IT IS VITAL THAT THE CONTRACTOR AND POST-INSTALLATION INSPECTOR BEGIN COMMUNICATING AND COORDINATING AS SOON AS A PO IS RECEIVED.



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**verizon**  
OLD TOWN N 3 - SMALL CELL  
ROW ADJACENT TO 421 NORTH FAYETTE STREET  
ALEXANDRIA, VIRGINIA 22314 (CITY OF ALEXANDRIA)

REVISIONS:		
NO.	DESCRIPTION	DATE
	PERMIT DWGS	01/06/20

DESIGNED BY: RJD  
DRAWN BY: FJ  
PROJECT NO: 10427.2443  
DATE: 12/10/2019  
SCALE: AS NOTED

TITLE:  
**General Notes**

SHEET:  
**S-2**



**Know what's below.  
Call before you dig.**

PROTECT YOURSELF. GIVE THREE  
WORKING DAYS NOTICE.  
THIS DRAWING DOES NOT INCLUDE NECESSARY  
COMPONENTS FOR CONSTRUCTION SAFETY. ALL  
CONSTRUCTION MUST BE DONE IN COMPLIANCE  
WITH THE OCCUPATIONAL SAFETY AND HEALTH  
ACT OF 1970 AND ALL RULES AND REGULATIONS  
THERE TO APPURTENANT.



[illegible]

## 2. SECTION 16050 - BASIC ELECTRICAL MATERIALS & METHODS

- A. CONDUIT & BOXES:
1. ALL CONDUIT BELOW GRADE SHALL BE SCHEDULE 40 PVC. ALL CONDUIT ABOVE GRADE SHALL BE NON METALLIC ELECTRIC GRADE.
  2. JUNCTION AND PULL BOXES SHALL BE FURNISHED AND INSTALLED AS SHOWN OR WHERE REQUIRED TO FACILITATE PULLING OF WIRES OR CABLES. SUCH BOXES SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS. GASKETED COVER PLATES SHALL BE FURNISHED FOR OUTDOOR INSTALLATIONS.
  3. ALL BOXES, WHETHER OUTLET, JUNCTION, PULL, OR EQUIPMENT SHALL BE FURNISHED WITH APPROPRIATE COVERS.
  4. NO SECTIONALIZED BOXES SHALL BE USED.
  5. ALL EMT CONDUIT FITTINGS SHALL BE COMPRESSION TYPE.
  6. **ALL FIELD CUTS OF GALVANIZED ITEMS SHALL BE BRUSHED WITH MARINE GRADE GALVANIZING.**
  7. **ALL METALLIC OBJECTS EXPOSED TO WEATHER SHALL BE GALVANIZED.**
- B. WIRES & CABLE:
1. BUILDING WIRE, UNLESS OTHERWISE INDICATED, SHALL BE 600 VOLT, TYPE THWN INSULATION FOR INTERIOR AND EXTERIOR USE. CONDUCTORS SHALL BE SOFT DRAWN COPPER OF NOT LESS THAN 98% CONDUCTIVITY. NO ROMEX OR AC (BX) CABLE WILL BE ALLOWED ON THE PROJECT.
  2. NO WIRE SMALLER THAN NO. TWELVE (12) AWG SHALL BE USED UNLESS OTHERWISE INDICATED. CONDUCTORS SHALL BE CONTINUOUS FROM OUTLET TO OUTLET AND FROM TERMINAL BOARD TO POINT OF FINAL CONNECTION, AND NO SPICE SHALL BE MADE EXCEPT WITHIN OUTLET OR JUNCTION BOXES. ALL CONDUCTORS SHALL BE OF THE SIZES AS INDICATED. ALL WIRES NO. EIGHT (8) AWG AND LARGER SHALL BE STRANDED. THE CONTRACTOR SHALL MAKE WIRING CONNECTIONS OF ALL ELECTRICAL EQUIPMENT REQUIRING ELECTRICAL SERVICE. WIRES AND CABLES SHALL BE AS MANUFACTURED BY PIRELLI, ROTAL AND TRIANGLE OR EQUIVALENT.
  3. ALL WIRING SHALL BE COLOR CODED. MATCH EXISTING SYSTEM COLOR CODING WHERE APPLICABLE.
- C. DISCONNECTS:
1. FURNISH AND INSTALL SAFETY SWITCHES WHERE INDICATED AND AS REQUIRED FOR MOTOR OUTLETS OR OTHER EQUIPMENT. SWITCHES SHALL BE OF SIZE, NUMBER OF POLES AND FUSED OR NON-FUSED, AS REQUIRED FOR JOB CONDITIONS AND THE NATIONAL ELECTRICAL CODE.
- D. GROUNDING:

A. ELECTRICAL SERVICE:

1. ELECTRICAL POWER TO THE NEW EQUIPMENT SHALL BE EXTENDED FROM THE PROPOSED SERVICE ENTERANCE RATED LOWER EQUIPMENT PANEL MOUNTED ON NEW POLE. LABEL METER WITH PHENOLIC NAMEPLATE READING "VERIZON WIRELESS". LABEL PANEL WITH PHENOLIC NAMEPLATE READING "VERIZON WIRELESS SERVICE DISCONNECT".

B. COMMUNICATIONS SERVICE:

1. TELEPHONE SERVICE SHALL BE EXTENDED BY THE TELEPHONE COMPANY. PROVIDE SERVICE ENTRANCE, SERVICE SLEEVE AND LOWER EQUIPMENT SHOWN ON THE DRAWINGS FOR USE BY THE TELEPHONE COMPANY. ALL CHARGES BY THE UTILITY COMPANY SHALL BE PAID BY THE OWNER.
2. ALL ELBOWS IN CONDUIT RUNS SHALL BE WIDE SWEEP FIELD BENDS. INSTALL PULL BOXES AS REQUIRED AND WHERE DIRECTED BY THE TELEPHONE COMPANY AND/OR AS REQUIRED BY THE NATIONAL ELECTRICAL CODE.

NOTE: ALL MOUNTING HEIGHTS ARE TO CENTER LINE OF THE OUTLET BOX UNLESS OTHERWISE INDICATED.

- 
- Technical drawing of the metal enclosure showing dimensions: 12.64" height, 8.90" width, and 4.21" depth. The enclosure is shown with its door open, revealing internal components and labels.


**DETAIL - SQUARE-D QO816L OORB**  
NOT TO SCALE (OR APPROVED EQUAL)



DETAIL - LOAD  
CENTER PLACARD  
NO SCALE

- PANEL SHALL BE LOCKABLE.
- PANEL SHALL BE SERVICE ENTRANCE RATED
- PANELBOARD SHALL BE EQUIPPED WITH A TYPEWRITTEN DIRECTORY, INDICATING PLAINLY WHAT EACH CIRCUIT OF THE PANEL CONTROLS. THIS SCHEDULE SHALL BE PLACED ON FRONT COVER OF PANEL.
- CONTRACTOR SHALL PROVIDE AND INSTALL 15AMP TANDEM BREAKERS IN SPACE #3, #4 AND #5 AS SHOWN.

1. AN ANTENNA GROUND WIRE AND GROUNDING ELECTRODE IS REQUIRED. THIS GROUND SHALL BE BONDED TO THE COMPANY GROUND WIRE.
- II. VERIZON TO LEAVE MINIMUM 3' LEADS COILED AND SECURED TO PREVENT ACCIDENTAL CONTACT WITH SECONDARY CONDUCTORS.
12. SERVICE WILL BE CONNECTED BY VERIZON IN COMPLIANCE WITH FILED RATE PLAN.
13. LINE ARRESTER INSTALLATIONS ARE REQUIRED ON POLES WITH PRIMARY CONDUCTORS.
14. VERIZON'S GROUND MAY NOT BE USED TO SATISFY NEC REQUIREMENTS FOR THE EQUIPMENT BRACKET AC SERVICE GROUND. THE EQUIPMENT AND ITS AC SERVICE GROUND ARE REQUIRED TO BE BONDED TO THE COMPANY GROUND CONDUCTOR ON THE POLE AT LEAST 6" ABOVE GROUND LEVEL USING A NO. 6 CU CONDUCTOR. CONNECTION TO THE COMPANY'S GROUND ROD OR CONNECTOR IS NOT APPROVED.
15. BONDS SHALL BE MADE BETWEEN THE GROUND WIRE AND THE EQUIPMENT CABINET (NOT NEUTRAL BUS) OF THE POWER SUPPLY/SWITCH. THESE CONNECTIONS ARE TO AVOID POTENTIAL DIFFERENCES BETWEEN DEVICES ON THE POLES. BOND TO THE POWER SUPPLY/SWITCH GROUND AND VISIBLE FROM THE GROUND. WHEN A COMPANY DRIVEN GROUND EXISTS ON THE POLE, THE EQUIPMENT CASE BONDING WIRE NEED EXTEND ONLY FROM THE SWITCH TO THE COMPANY GROUND WIRE.
16. THE METER BASE, EQUIPMENT BRACKET, AND DISCONNECT SHOULD BE MOUNTED PROVIDING EIGHT FEET MINIMUM GROUND CLEARANCE. THEY MAY BE MOUNTED AT OPERATIONAL HEIGHT THAT:
  - A. THE EQUIPMENT BRACKET DOES NOT OBSTRUCT A WALKWAY OR IS SUBJECT TO VEHICULAR TRAFFIC
  - B. THE EQUIPMENT BRACKET CAN NOT BE USED ALONE OR IN CONJUNCTION WITH A FENCE, PEDESTAL, ETC. AS A CLIMBING AID.
17. FOR SAFETY PURPOSES DEVICES WITH LEAD ACID BATTERIES SHALL NOT BE USED.
18. DUE TO OPERATIONAL CONCERNS, SECONDARY POLES OR GUY STUB POLES ARE PREFERRED FOR ANTENNA ATTACHMENTS. PRIMARY POLES SHOULD ONLY BE CONSIDERED WHEN THERE IS NO OTHER SUITABLE POLE IN THE AREA.
19. ONE RADIO CABINET, A SERVICE DISCONNECT AND THE METER BASE MAY BE POLE MOUNTED. ADDITIONAL EQUIPMENT, OR LARGE CABINETS SHALL BE PAD MOUNTED. PAD MOUNTED EQUIPMENT MUST BE LOCATED A MINIMUM OF 10' FROM THE BASE OF THE POLE.



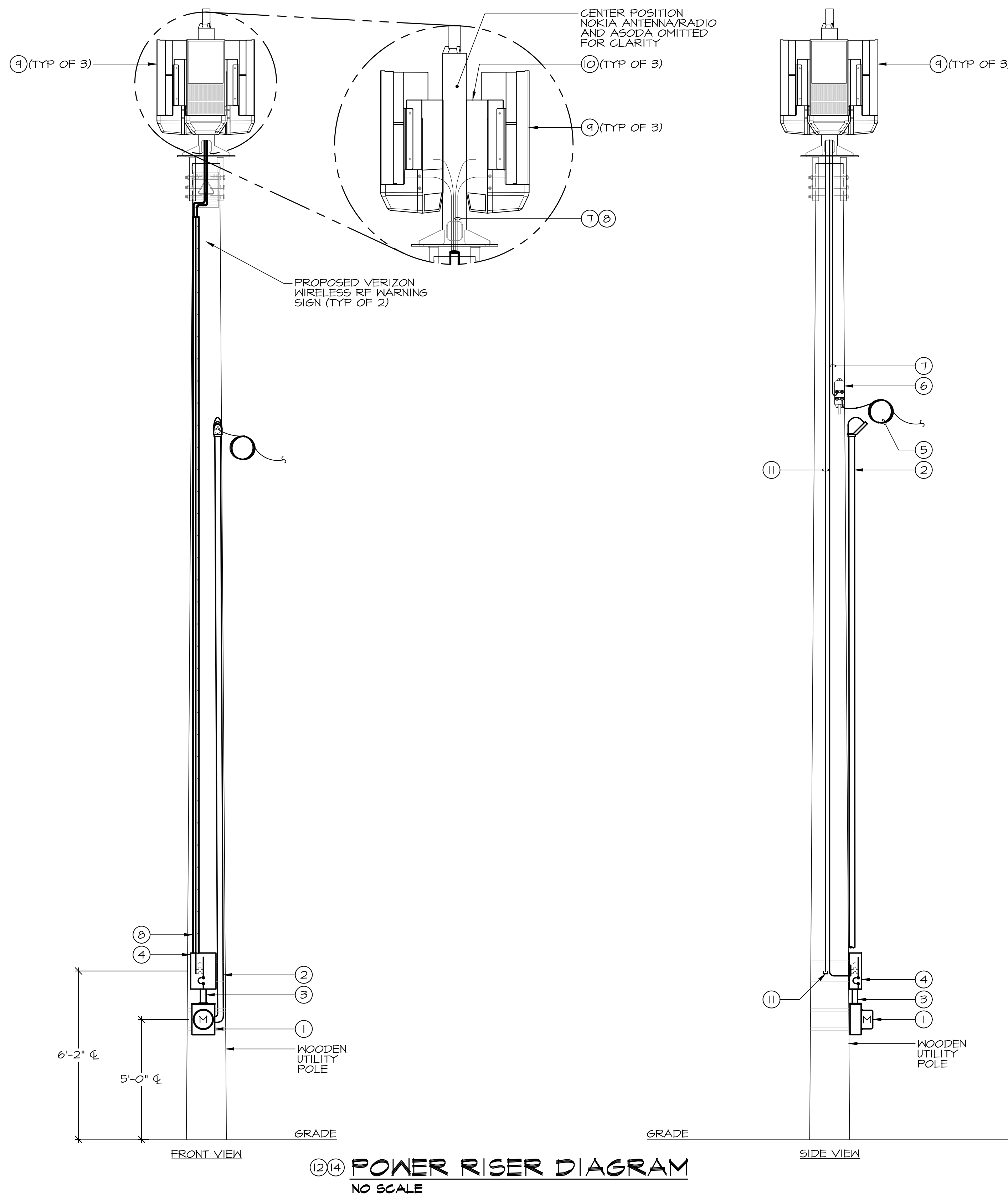
**verizon**  
OLD TOWN N 3 - SMALL CELL  
VERIZON ADJACENT TO 421 NORTH FAYETTE STREET, ALEXANDRIA, CITY OF ALEXANDRIA, VIRGINIA 22314

LAST REV.:  
PROJECT NO:19165Z  
DATE: JANUARY 6, 2020  
SCALE: AS NOTED  
TITLE:  
SPECIFICATIONS,  
SYMBOLS LIST,  
PANEL SCHEDULE  
AND DETAILS

III -

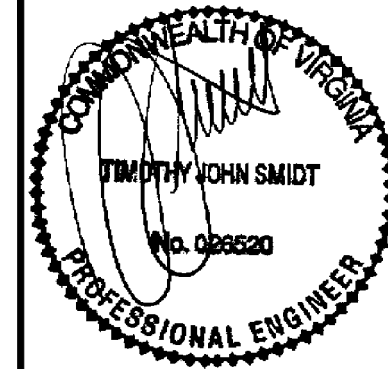
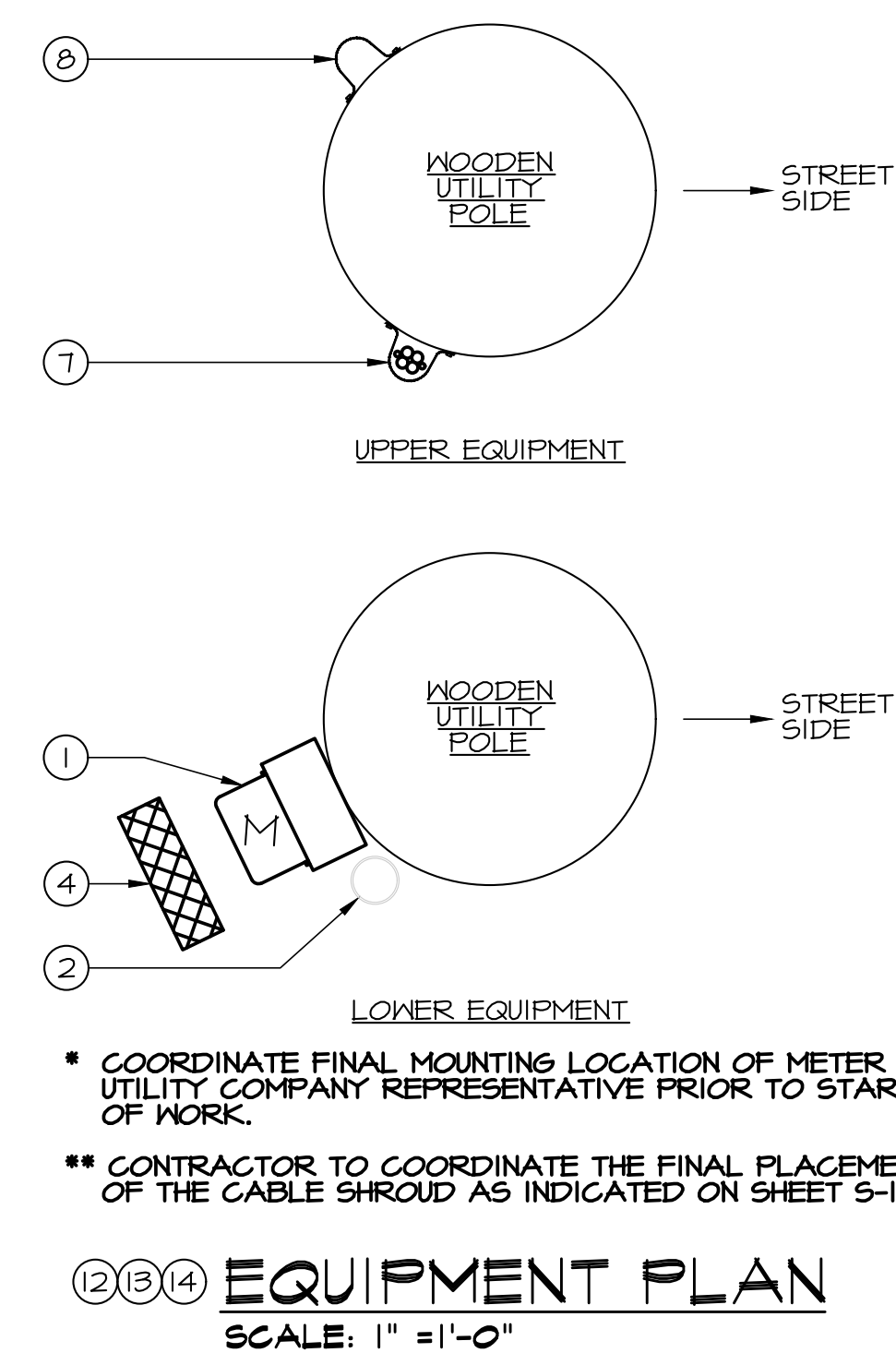


EQUIPMENT SCHEDULE					
MANUFACTURER	PART #	COMPONENT TYPE	QUANTITY	DIMENSIONS (HxWxD)	WEIGHT
NOKIA	AIRSCALE AEUB 4 ASODA RRH	ANTENNA/ REMOTE RADIO HEAD	3	23.62"x11.97"x8.11"	68.2 LBS.
SQUARE-D	Q0816L10ORB	LOAD CENTER PANEL	1	12.64"x8.90"x4.27"	9.68 LBS.
MILBANK MFG. CO.	U7487-O	ELECTRIC METER	1	11.5"x8.0"x3.3"	3.98 LBS.
		CONDUIT CABLING	3±	VARIABLE	20.0 LBS.
				TOTAL WEIGHT:	101.86 LBS.
				TOTAL VOLUME:	1.78 CU.FT.



## DRAWING NOTES

- (1) PROPOSED UTILITY COMPANY CABLE MOUNTED ON UTILITY POLE. NEW TOWER GLOBE PROVIDED AND INSTALLED BY UTILITY COMPANY. PROVIDE PHENOLIC NAMEPLATE READING "VERIZON WIRELESS".
- (2) EXTEND 3#10 AWG + #6 GRD IN ONE (1) - 2" PVC CONDUIT VERTICALLY UP UTILITY POLE FROM LINE SIDE OF METER CAN FOR EXTENSION OF OVERHEAD ELECTRIC SERVICE CABLES. COORDINATE FINAL CONDUIT TERMINATION POINT WITH UTILITY REPRESENTATIVE IN THE FIELD. PROVIDE WEATHER HEAD AT TOP END OF CONDUIT. CONTRACTOR SHALL TRANSITION TO FLEX PRIOR TO FINAL CONNECTION TO METER CAN. ELECTRICIAN SHALL ALLOW 3'-0" OF SLACK AT WEATHERHEAD AND METER FOR FINAL TERMINATIONS BY UTILITY COMPANY.
- (3) EXTEND 3#6 AWG + #8 GRD - 1" CONDUIT FROM METER UP TO PANEL.
- (4) PROVIDE AND INSTALL WEATHERPROOF SERVICE ENTRANCE RAISED, 120/240 VOLT, 1Ø, 3W, 100 AMP M.L.O. EIGHT (8) POSITION QO LOAD CENTER PANEL (MODEL #QO816G100B) WITH FIELD INSTALLED 2P40A MAIN CIRCUIT BREAKER MOUNTED ABOVE METER CAN ON UTILITY POLE. PROVIDE PHENOLIC NAMEPLATE READING, "VERIZON WIRELESS SERVICE DISCONNECT". REFER TO PANEL SCHEDULE, SHEET E-1 FOR ADDITIONAL INFORMATION.
- (5) PROPOSED ROUTE OF INCOMING OVERHEAD FIBER CABLE BY UTILITY COMPANY. EXCESS FIBER SHALL BE COILED AND SECURED TO UTILITY POLE ABOVE ALL EQUIPMENT. COORDINATE FINAL INCOMING FIBER ROUTE WITH UTILITY COMPANY.
- (6) UTILITY COMPANY PROVIDED AND INSTALLED OPTISHEATH MULTIPORT TERMINAL MOUNTED ON UTILITY POLE. EXACT MOUNTING LOCATION SHALL BE COORDINATED WITH VERIZON TELEPHONE IN FIELD.
- (7) EXTEND SIX (6) PAIR FIBER FROM PROPOSED OMNI-TAP TO SERVE ASODA RADIO UNITS MOUNTED ON UTILITY POLE.
- (8) EXTEND DAMP LOCATION RATED MC CABLE (4#12 AWG + #12 GRD) FROM EACH 15 AMP TANDEM BREAKER (TYP OF 3) VERTICALLY UP EXTERIOR OF UTILITY POLE IN RISER GUARD TO EACH NOKIA ANTENNA/ASODA UNIT MOUNTED ON UTILITY POLE (TYP OF 3). REFER TO PANEL SCHEDULE, SHEET E-1, FOR ADDITIONAL INFORMATION.
- (9) VERIZON WIRELESS PROVIDED, CONTRACTOR INSTALLED NOKIA ANTENNA/RADIO UNIT MOUNTED ON UTILITY POLE.
- (10) VERIZON WIRELESS PROVIDED AND CONTRACTOR INSTALLED NOKIA AIRSCALE CORE OUTDOOR 1TSW ASODA REMOTE RADIO HEAD MOUNTED BEHIND NOKIA ANTENNAS (TYP OF 3). REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL MOUNTING INFORMATION.
- (11) EXTEND ONE (1) WEATHERPROOF RAIDED CAT 5E CABLE FROM EACH ASODA AND COIL UP AT BASE OF LOAD CENTER. PROVIDE AND INSTALL RJ45 PLUG KIT WITH CAP TO KEEP CONNECTION WEATHERPROOF.
- (12) CONTRACTOR MUST REFER TO THE LATEST EDITION OF VERIZON WIRELESS FIBER DESIGN STANDARDS FOR FIBER QUANTITIES/ INTERCONNECTS.
- (13) REFER TO DRAWING PREPARED BY MRA FOR SITE PLAN.
- (14) VERIZON CONTRACTOR SHALL COORDINATE FINAL AVAILABLE SERVICE CHARACTERISTICS (VOLTAGE, PHASE, ETC.) WITH UTILITY COMPANY PRIOR TO START OF WORK. ACCEPTABLE VOLTAGES ARE: 120/208V, 1Ø OR 120/240V, 1Ø.



**verizon**<sup>✓</sup>  
OLD TOWN N 3 - SMALL CELL

<b>REVISIONS:</b>		
<b>NO.</b>	<b>DESCRIPTION</b>	<b>DATE</b>
	PERMIT DWGS.	1/6/20

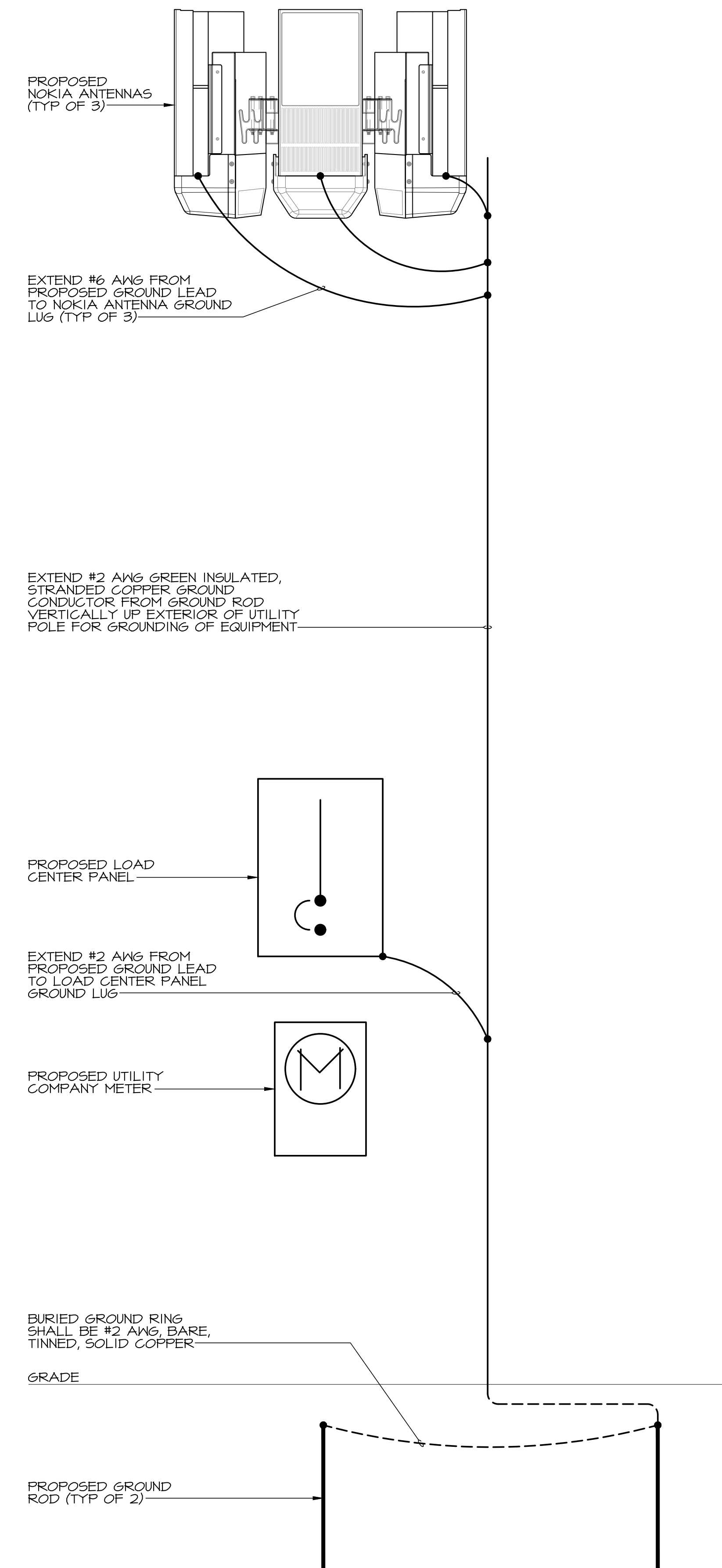
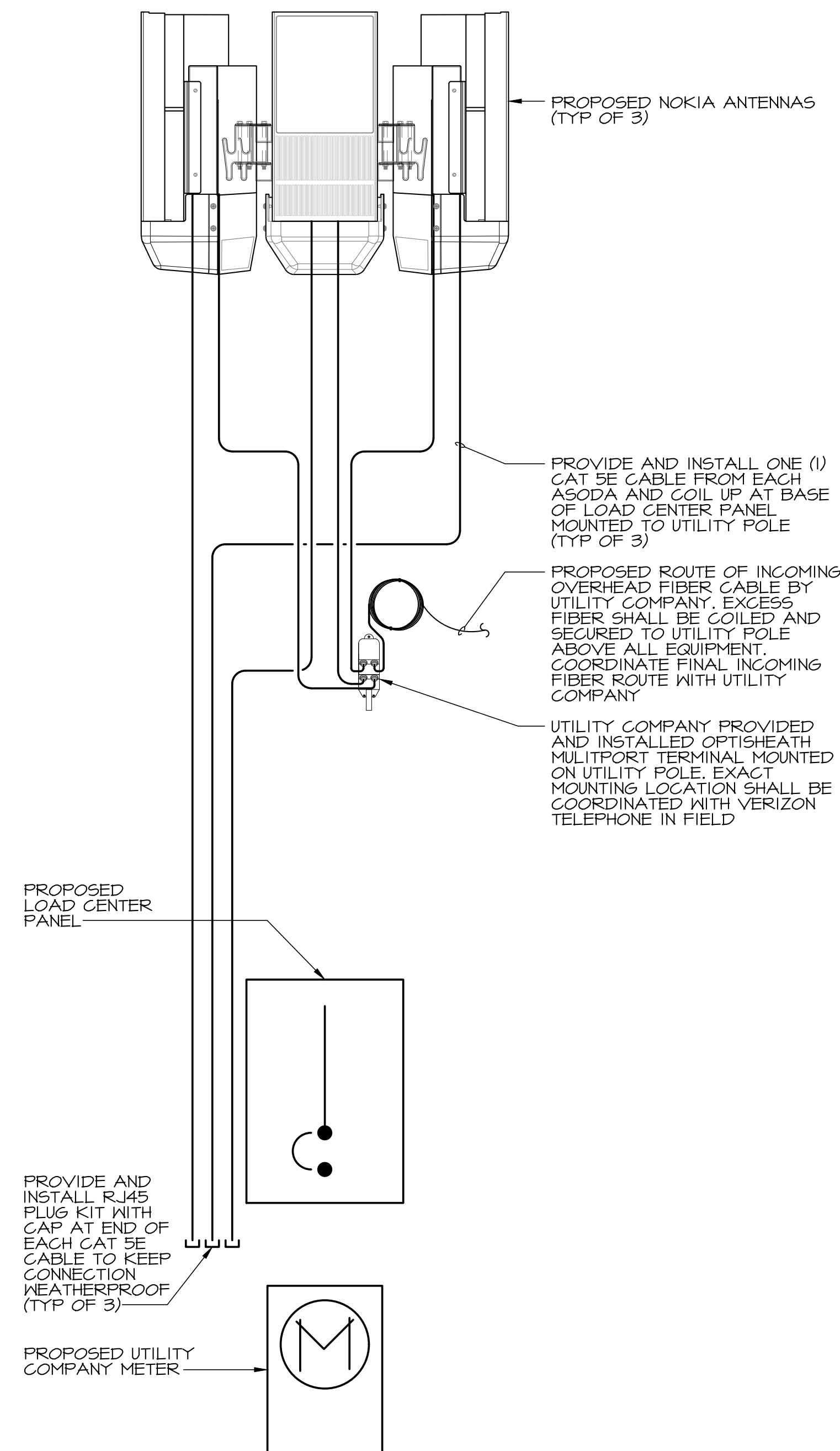
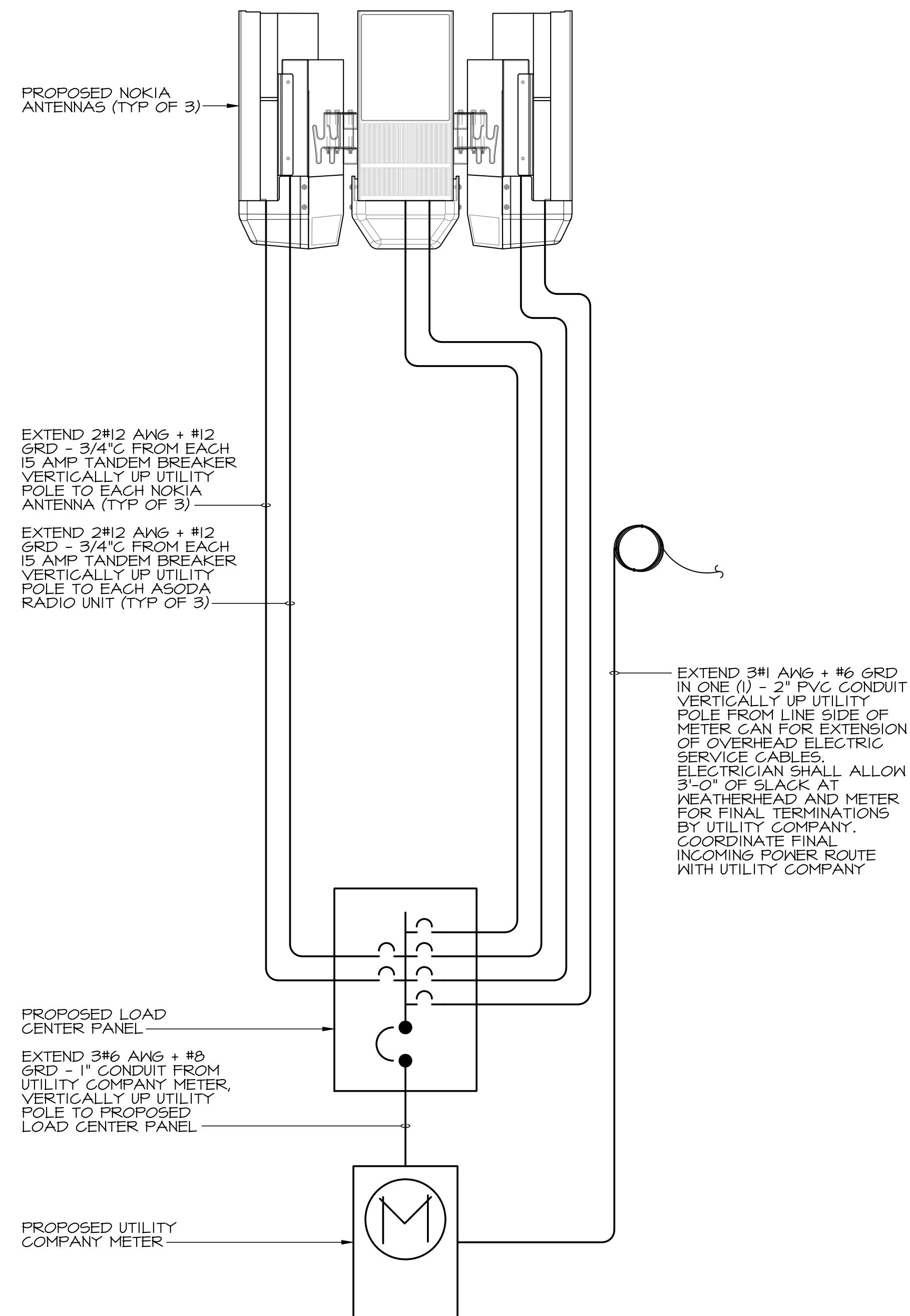
LAST REV.:
PROJECT NO: 19165Z
DATE: JANUARY 6, 2020
SCALE: AS NOTED
TITLE:
POWER RISER DIAGRAM, EQUIPMENT PLAN AND NOTES

SHEET:  
E-2

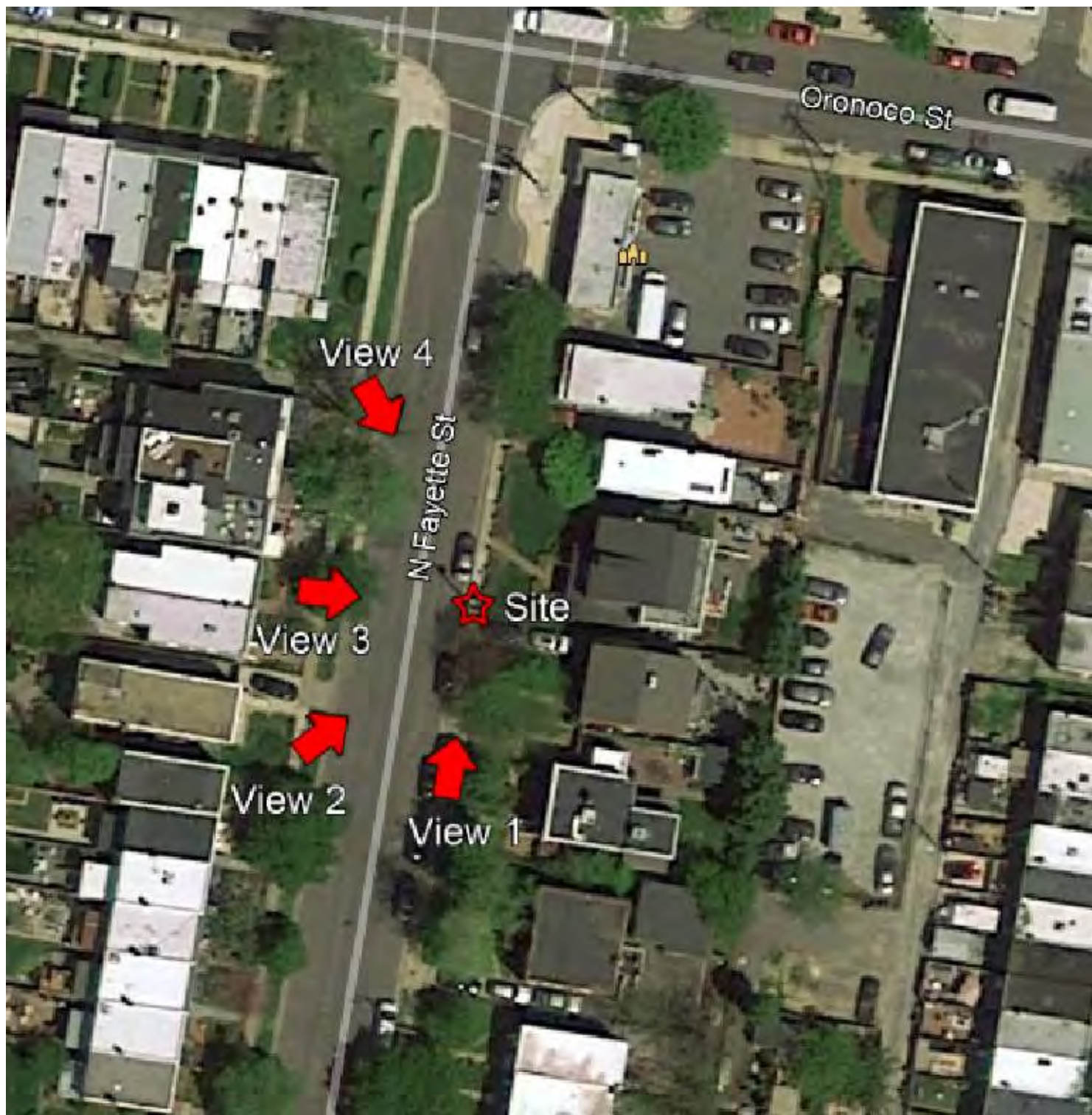








REVISIONS:		
NO.	DESCRIPTION	DATE
PERMIT DWG65.		1/6/20



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## Old Town N3 Overall Site Layout

07 January 2020







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## Old Town N3 Existing View 1

07 January 2020







PROPOSED VERIZON WIRELESS  
ANTENNAS COLORED BROWN  
BY 3M FILM

NEW WOODEN UTILITY  
POLE W/ RELOCATED  
UTILITY EQUIPMENT

PROPOSED VERIZON WIRELESS  
LOAD CENTER PANEL

PROPOSED VERIZON  
WIRELESS METER BOX

11/19/2019



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**Old Town N3**  
Proposed View 1

07 January 2020







EXISTING WOODEN UTILITY  
POLE TO BE REPLACED



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## Old Town N3 Existing View 2

07 January 2020





PROPOSED VERIZON WIRELESS  
ANTENNAS COLORED BROWN  
BY 3M FILM

NEW WOODEN UTILITY  
POLE W/ RELOCATED  
UTILITY EQUIPMENT

PROPOSED VERIZON WIRELESS  
LOAD CENTER PANEL

PROPOSED VERIZON  
WIRELESS METER BOX



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**Old Town N3**  
Proposed View 2

07 January 2020





EXISTING WOODEN UTILITY  
POLE TO BE REPLACED



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## Old Town N3 Existing View 3

07 January 2020





PROPOSED VERIZON WIRELESS  
ANTENNAS COLORED BROWN  
BY 3M FILM

NEW WOODEN UTILITY  
POLE W/ RELOCATED  
UTILITY EQUIPMENT

PROPOSED VERIZON WIRELESS  
LOAD CENTER PANEL

PROPOSED VERIZON  
WIRELESS METER BOX



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**Old Town N3**  
Proposed View 3

07 January 2020







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## Old Town N3 Existing View 4

07 January 2020







PROPOSED VERIZON WIRELESS  
ANTENNAS COLORED BROWN  
BY 3M FILM

NEW WOODEN UTILITY  
POLE W/ RELOCATED  
UTILITY EQUIPMENT

PROPOSED VERIZON WIRELESS  
LOAD CENTER PANEL

PROPOSED VERIZON  
WIRELESS METER BOX



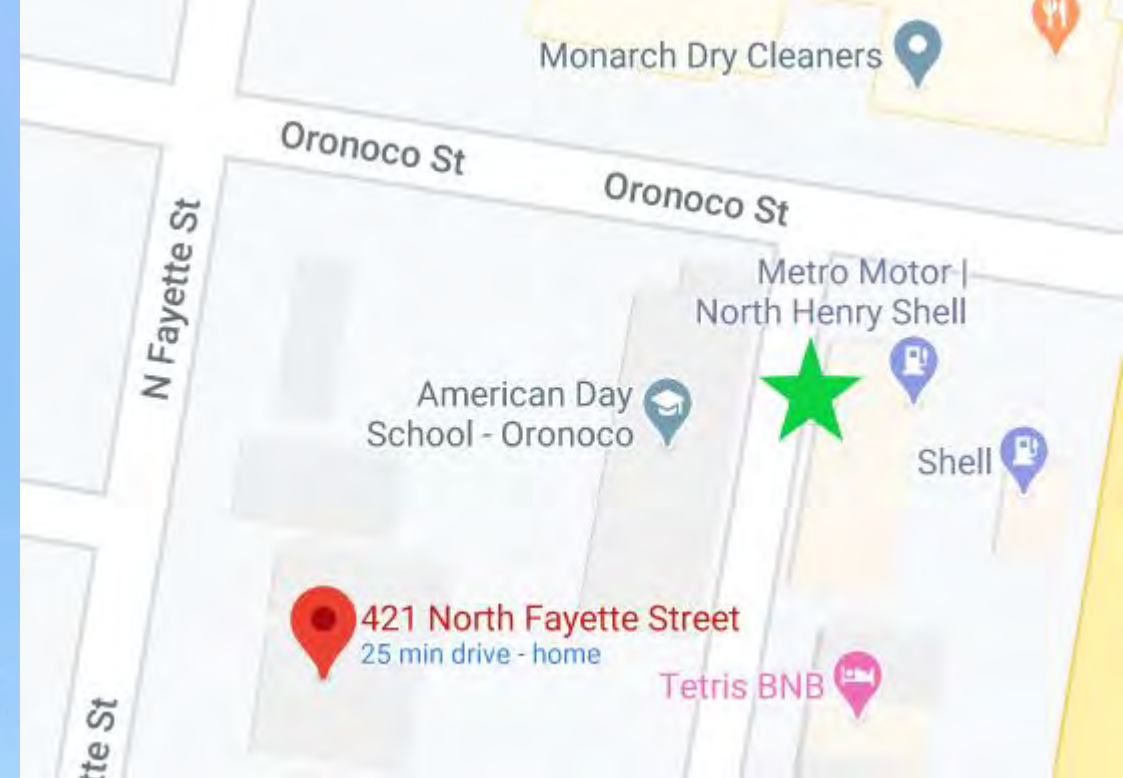
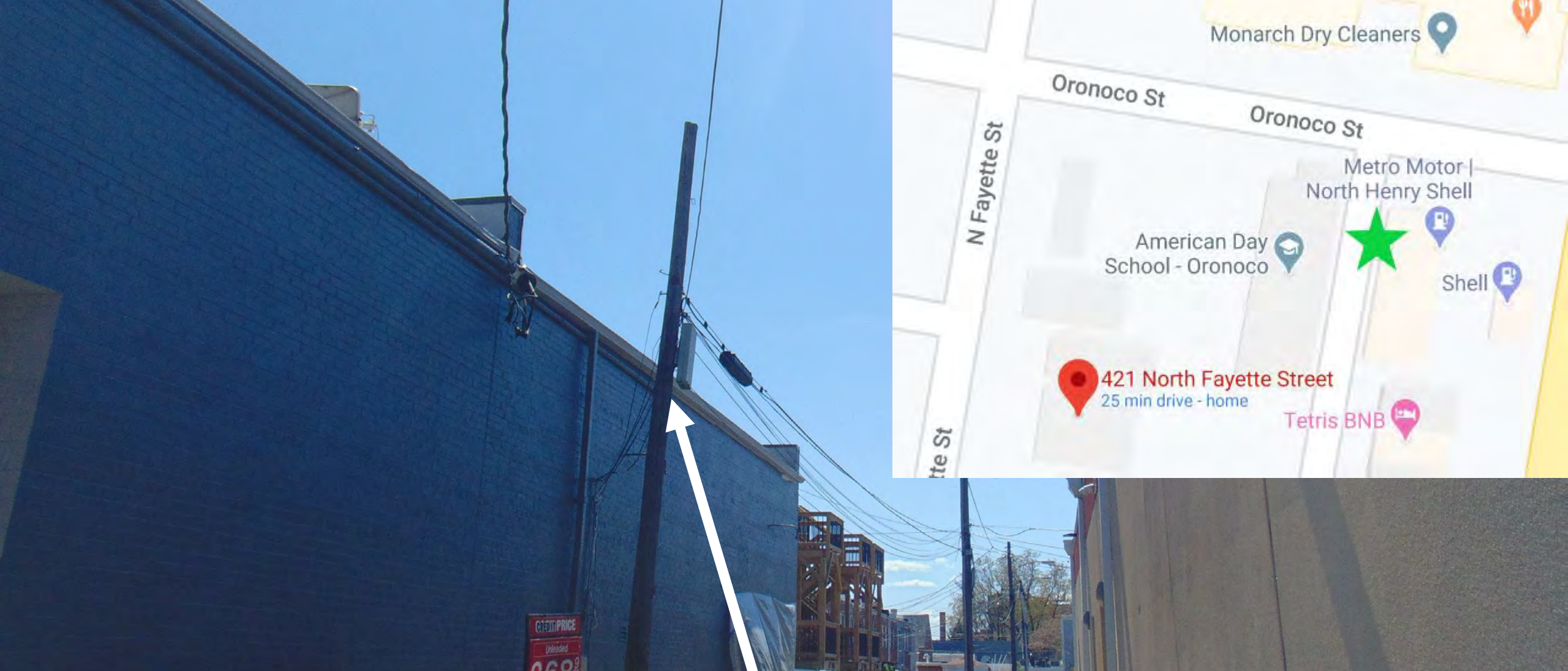
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ASSOCIATES, INC.**  
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Towson, Maryland 21286  
410-821-1690  
410-821-1748 Fax

**Old Town N3**  
Proposed View 4

07 January 2020



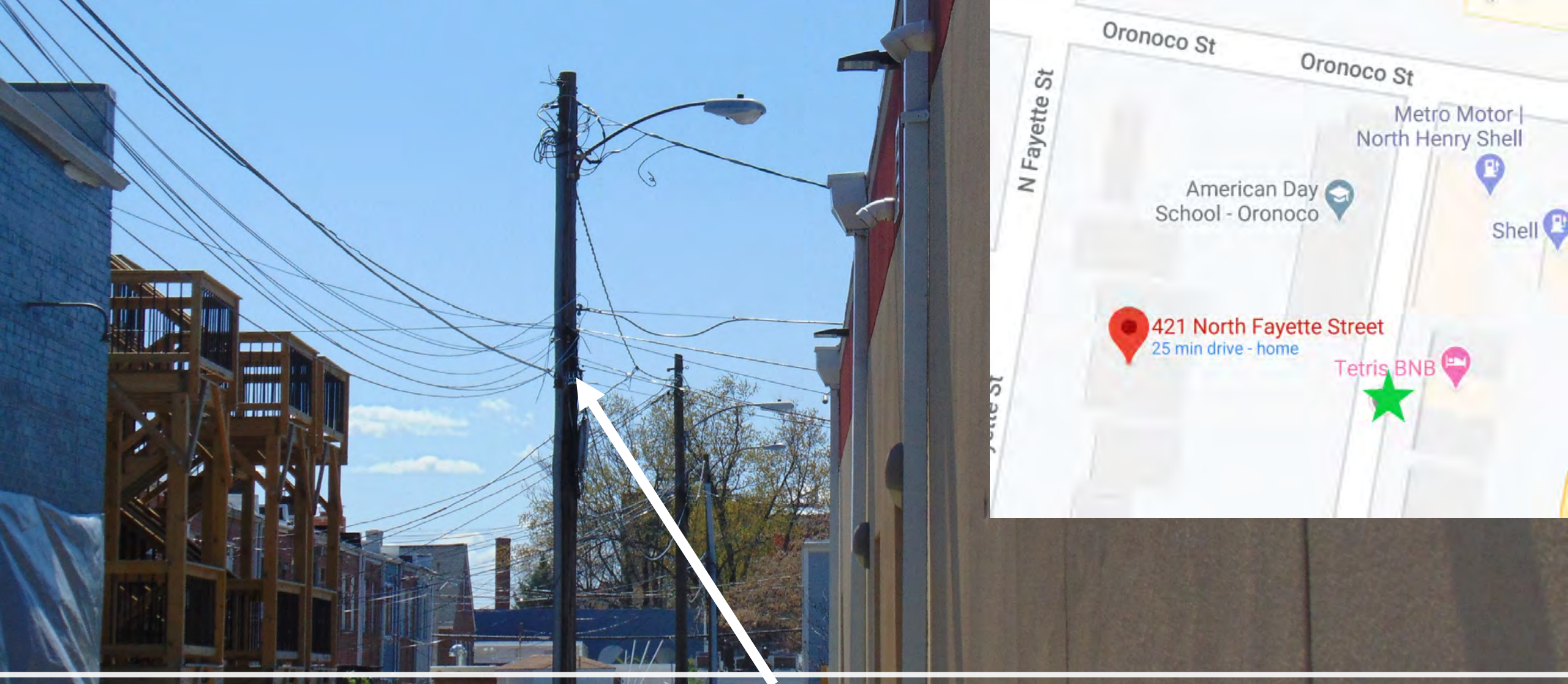




This pole in the alley has too many obstructions to the roadway where the signal is intended to target

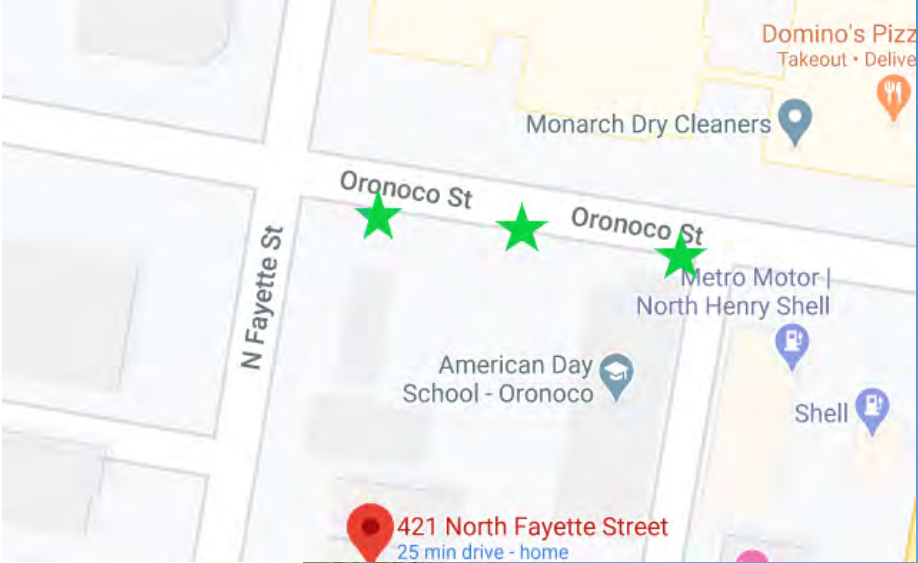




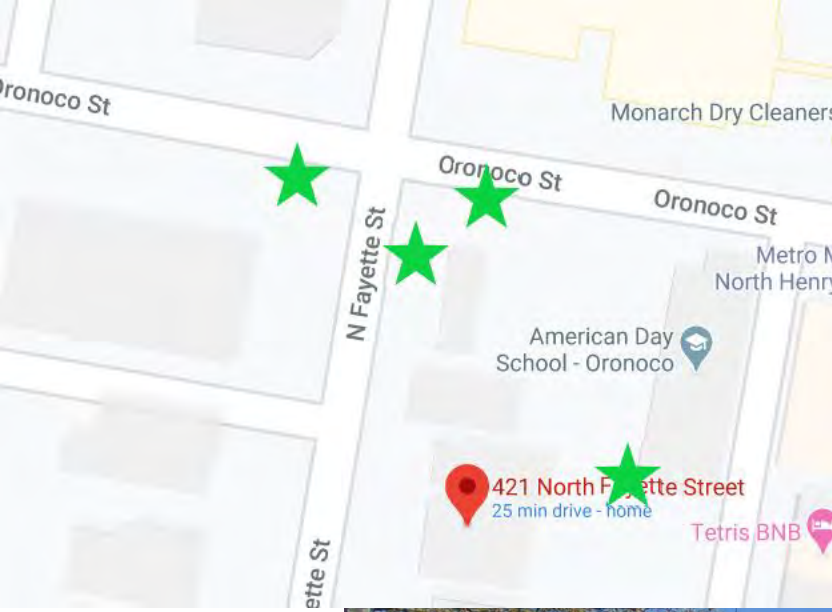


This pole in the Alley has a 4-way cable run, and is also too many obstructions to target the Street for signal







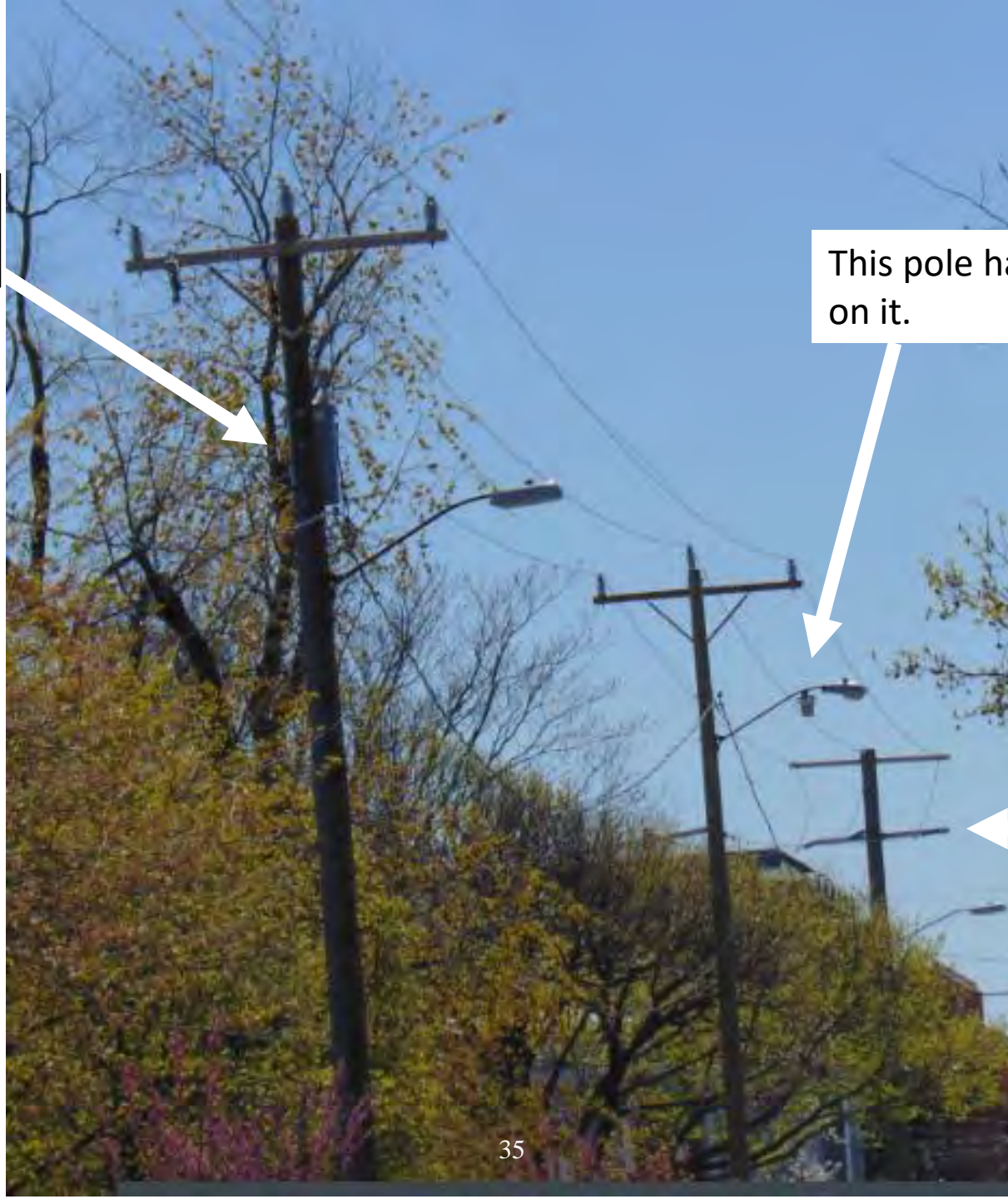
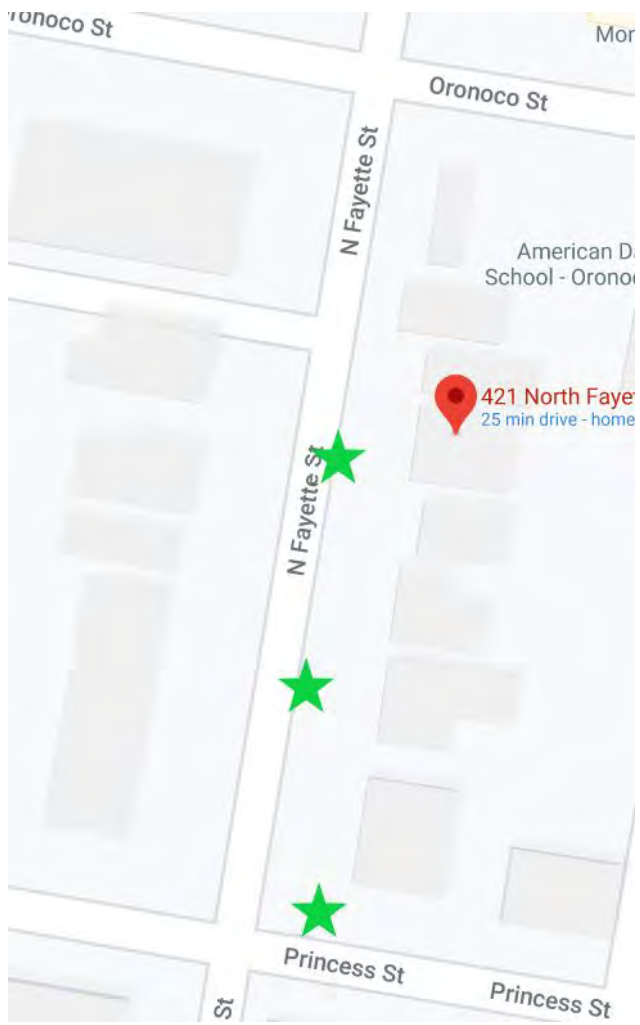


All poles have a double stack

This pole has a 3-way cable run with light and double bar stack



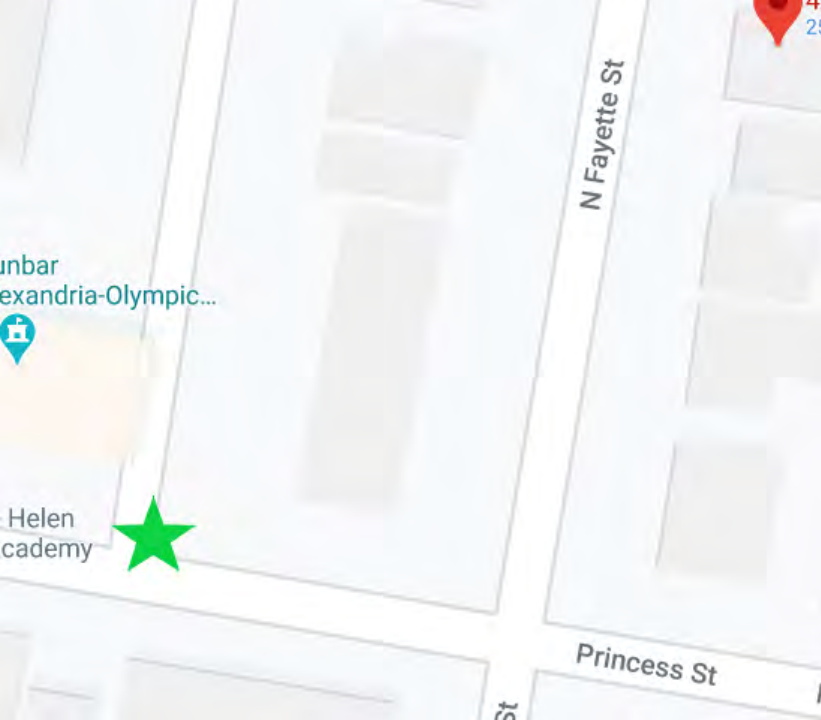
This is the subject pole that's available



This pole has a Camera on it.

This is the pole that's in the sidewalk





This pole has a 4-way cable run





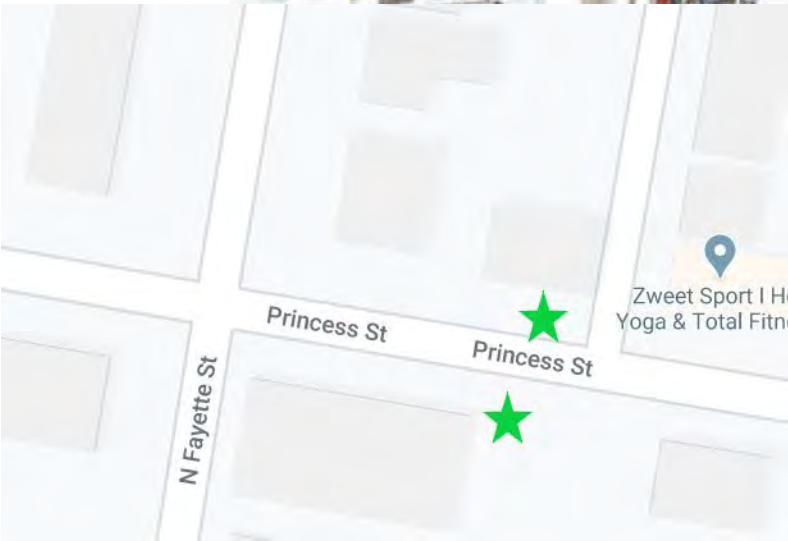


This pole has a 3-way cable run and a Fuse on the 4<sup>th</sup>, it also is in the alley and has too many obstructions to reach the street target



This has a 4-way cable run and guyed

This has a 4-way cable run and 3 phase transformer bank





This pole has a 4-way cable run

This pole is located in the Sidewalk.





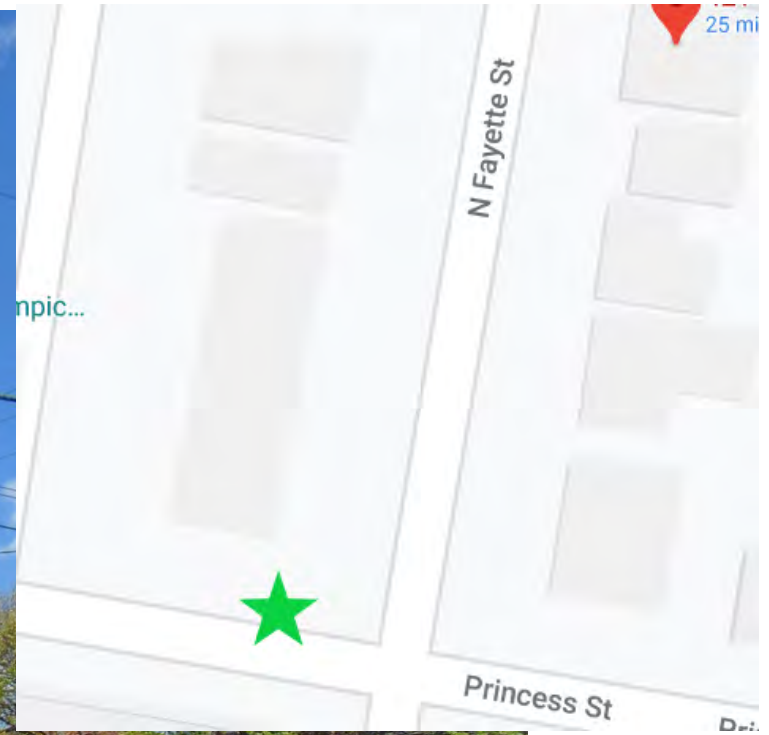


Both pole have a double stack





This pole has a  
4-way cable  
run





**From:** Doug Wright <douglaswright@gmail.com>  
**Sent:** Wednesday, March 11, 2020 11:24 PM  
**To:** Preservation <Preservation@alexandriava.gov>; Catherine Miliaras <Catherine.Miliaras@alexandriava.gov>; Stephanie Sample <Stephanie.Sample@alexandriava.gov>; Al Cox <Al.Cox@alexandriava.gov>  
**Cc:** Mark Mahar <mark.s.mahar@gmail.com>; Jennifer Procopio Wright <jennifer.procopio@gmail.com>  
**Subject:** [EXTERNAL]March 18 agenda item: cell phone antenna

Good evening,

I am writing to you in order to go on the record that I do **not** support the installation of cell phone antenna(s) on the power pole located immediately in front of 421 N. Fayette Street.

BAR #2020-00062 OHAD  
BAR #2020-00063 PG

At this time I am scheduled to be out of town when the March 18 meeting is scheduled to take place.

I am the owner and resident of 424 N. Fayette Street (immediately across from 421 and the subject power pole).

I believe that the the proposed antenna will be an eyesore to the many residents of the 400 block of N. Fayette Street. Also, the developer has made no effort to assuage any concerns of potential negative health repercussions of such equipment. A lot of young children live on the block including in several houses closest to the proposed antenna location.

When I built my house in 2016, as an urban infill project, I was under the watchful eye and extreme scrutiny of the Parker Gray BAR. Along with the construction of a brand new SFD I also was forced by the PG BAR to restore a unique garage on the lot that is believed to have been erected in the 1920's. I can cite numerous examples of where the BAR and/or staff disagreed with exterior design elements that my architect and I proposed.

My point is that the BAR wields a lot of decision making power within its jurisdiction and I would like to see you all make some alterations to the plan for the cell phone antenna being proposed. As an aside: the proposal is coming from a business entity that is from outside of the city.

My specific request is that the proposed location for the antenna be moved to the power pole immediately in front of 1122 Oronoco Street. The current use of the building is a church that, in my 3 + years of living near the intersection, seems to have very minimal use. There is a mature tree across Oronoco Street from this pole that should block the view of the antenna from many or most of the residents of the multi-family home across from the church building. The other buildings on the 1100 block of Oronoco are commercial.

I appreciate your attention to this matter.

Sincerely  
Doug Wright  
m: 703-309-5879



**From:** Mark Mahar <mark.s.mahar@gmail.com>

**Sent:** Thursday, March 12, 2020 2:17 PM

**To:** Preservation <Preservation@alexandriava.gov>; Catherine Miliaras <Catherine.Miliaras@alexandriava.gov>; Stephanie Sample <Stephanie.Sample@alexandriava.gov>; Al Cox <Al.Cox@alexandriava.gov>

**Cc:** sonda Stokes <stokessl139@gmail.com>; Doug Wright <douglaswright@gmail.com>; Jennifer Procopio Wright <jennifer.procopio@gmail.com>; Tind Shepper Ryen <tsryen@gmail.com>; Patrick Landis <patrick.landis3@gmail.com>; Edward Wilde <Edward@themidtowngroup.com>; Jessica Palmer Ryen <avarael@gmail.com>

**Subject:** [EXTERNAL]Small Cell application 421 N. Fayette Street.

Hello

I am writing to you in order to go on the record that I do **not** support the installation of cell phone antenna(s) on the power pole located immediately in front of 421 N. Fayette Street.

BAR #2020-00062 OHAD

BAR #2020-00063 PG

At this time I am intending on attending the meeting on March 18 however given the health and safety issues associated with the CODVID-19 virus, I appreciate that plans, and thus the meeting dates, could always be subject to change.

I am the owner and resident of 421 N. Fayette Street. I'll also reference the email from Doug Wright - the owner 424 N. Fayette Street from the evening of 11 March 2020.

As residents of a historic district we experience the benefits (and at times difficulties) of purchasing, living and maintaining homes in a historic district. Being protected from structures and modifications that are clearly out of place is without question an important benefit and one that helps make the look and feel of Old Town's historic districts attractive residential communities and tourist destinations. For that I thank the BAR for its efforts. I can appreciate there is likely often difficult judgments to be applied in the variety of applications that come before the BAR.

**With that said, I am OPPOSED** to this application on based on the following points

- Aesthetics – The design documents show an antenna that is clearly out of place with aesthetics and historical feel of the neighborhood. Utility poles are an unfortunate fact of life but utility poles with significant extensions make an unfortunate blight exponentially worse.

- Location – it is unclear why this particular pole in an historic district, near residential homes, is preferable to attaching the cell tower to other nearby structures such as:

- Taller commercial structures less than a block away – OUTSIDE the historic district

- Other poles outside the historic district less than one block away – OUTSIDE the historic district.

- lastly, on a utility pole on the same block but removed from residential structures (i.e., on the North corner of the street).

- o I won't claim to understand all the physics behind the cell web that may be contemplated here but existing cell coverage by Verizon is already very strong.



- It is apparent from BAR guidelines and past experiences that residents on the block would most likely not be permitted to construct similar decorative, functional or similar commercial equipment so it is not clear why a commercial NON-RESIDENT's request is something the BAR would entertain/consider.
- Residents have not been given photos of existing similar structures in residential areas in Old Town to compare to
  - o Are there other similar existing structures IN OLD TOWN's historic residential neighborhoods?
  - o If so, where are they so residents can quickly locate to observe? (If so, what was the basis for allowing the construction)?
- **LAST BUT NOT LEAST** - Health and safety. While I can gather from a very limited internet search such towers in general might pose limited risk to GROUND LEVEL health and safety. Although its not clear if what types of towers such information relates to as there is of course a variety towers in high and low density areas (e.g., large, small towers, urban, rural locations). This application, however, has no indication of any effects on health at ground level or more importantly above ground level where children and others live and sleep on 2<sup>nd</sup> and 3<sup>rd</sup> levels - vertical. Without that information I strongly oppose this proposal even after considering the factors I've earlier suggested.

Thank you for your consideration

Mark Mahar

[mark.s.mahar@gmail.com](mailto:mark.s.mahar@gmail.com)

**From:** Tind Shepper Ryen <tsryen@gmail.com>  
**Sent:** Tuesday, March 17, 2020 9:40 PM  
**To:** Preservation <Preservation@alexandriava.gov>  
**Cc:** mark.s.mahar@gmail.com; Jessica Palmer Ryen <avarael@gmail.com>  
**Subject:** [EXTERNAL]BAR #2020-00063

Dear Board of Architectural Review and Board Staff:

We are writing to express our opposition to Docket #10, BAR #2020-00063 to grant a Certificate of Appropriateness for alterations (5G small cell facility) at 421 N Fayette as currently structured.

We are the owners of 417 N. Fayette St. Our house has several windows and two decks directly facing the utility pole slated for replacement in the application. While we understand and support the need for 5G cellular equipment for commercial and public safety benefits, we have significant concerns regarding the site selection and errors in the Board's staff recommendation concerning this application.

First, publicly available documents provide no information on site selection or the consideration of alternatives. There appear to be numerous other options in close proximity that would have reduced impacts on residents and the right-of-way, including taller commercial properties outside of the Parker-Gray historic district or the adjacent utility poles at the corner of Fayette and Oronoco that have a larger space to accommodate further construction. More generally, the city (and Board where applicable) should work closely with providers to ensure that site selection for a 5G network meets technical, aesthetic, and social needs. We are concerned that utilities' interest in choosing the cheapest siting option are overwhelming resident and city interests.

Second, in recommending approval for this certificate, Board staff appear to have overlooked several key points. The review fails to disclose that the total increase in pole height from last year would be over the 10 foot limit that requires a special use permit. As part of the Fayette Streetscape project, taller poles were just installed within the past year. The proposed replacement would add another 8 feet to the new pole height. Also, since poles come in standard 10' increments, an even greater increase is possible should they not be buried sufficiently, a challenge given the limited space available in the current site proposal. Further, the review states that no tree or tree roots will be affected. Had staff visited the site instead of using outdated photos of the area, they would know that as part of the Streetscape project, the city paid for and planted a tree near the current pole. As the current pole, a residential water line, and the new tree are all within approximately 8-10 feet, it is difficult to see how a replacement pole could be installed as proposed without killing or maiming the new tree or moving water lines.

Finally, we also note that Board staff have not responded to our emailed request on March 6th asking for further information on the "Small Cell Policy" described in agenda versions for the March 18th meeting as either up for discussion, or alternately, for amendment.

Regards,  
Tind Shepper and Jessica Ryen



Aleksandr Shubin  
408 North Fayette Street  
Alexandria, Virginia 22314  
202-294-8332  
aleksshubin@gmail.com

March 17, 2020


**Board of Architectural Review  
City of Alexandria**

Re: BAR NO 2020-00063  
Cell Antenna Tower on 400 block of North Fayette Street

As a resident and an owner of 408 N. Fayette Street, Alexandria, VA 22314, a house located on the same block as the proposed tower, I OPPOSE the application as

- (1) The cellphone antenna is aesthetically out of place in the proposed area and will severely undermine the historic appearance of our block;
- (2) There are adjacent light industrial area that is adjacent to our block (west side of 500 block of North Fayette Street) which better suited for the antenna;
- (3) There are, to my knowledge, no similar structures in the other area of historic Alexandria;
- (4) There is no showing why such structure is necessary in our area.

Very Truly Yours,

  
\_\_\_\_\_  
Aleksandr Shubin

**From:** [Mark Mahar](#)  
**To:** [Lia Niebauer](#); [Preservation](#); [Stephanie Sample](#)  
**Cc:** [Justin Wilson](#); [Tind Shepper Ryan](#); [Aleksander Shubin](#)  
**Subject:** [EXTERNAL]Fwd: Cell antenna shroud?  
**Date:** Tuesday, April 28, 2020 8:49:36 AM

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As a follow up to my communication dated 12 March at the March BAR meeting (and similar to the email from Doug Wright below) - I am also following up on the proposed small cell antenna slated for May 6's BAR meeting referencing the location at 421 N. Fayette Street. I am the owner of the 421 N. Fayette and continue to have the same concerns Doug, myself and others expressed at the March meeting. It is not clear when the new BAR documents will be available but to reiterate I also continue to be opposed for all the reasons (location concerns, aesthetics, health/safety, etc.) included in the original submission/email dated 12 March 2020 would request to resubmit that letter to record with the following amendment.

I will add a couple additional points that I feel are important to be confirmed and considered and have included a picture to highlight the areas of addressed in the bullets:

- There is an existing water line about half way between the existing pole and the nearby tree that likely will need to be monitored to ensure any new pole does not disturb the existing water line/infrastructure.
- Likewise, there is an existing actively used drainage line connected to buried run-off lines. This was preserved during the recent landscaping project when the sidewalks replaced.

While it is important to understand and verify the that requestor has performed and the city has reasonably been satisfied the additional work to ensure no other nearby poles that have less impact on a residential homes are suitable substitutes. Nonetheless, if after that careful process was performed and considered by the city, following a good faith diligence, -- Any new location selection would need to ensure to ensure existing infrastructure (both the existing water lines and drainage line) are not disturbed, while considering the aesthetics of placing the pole as close to the end of the landscaped area as possible..

I will also note that the signage notifying the public of the meeting has been removed or lost. It is unclear if that was intentionally removed by the city or others, if its removal was weather driven (perhaps likely) or otherwise - nonetheless, there is no longer existing signage to alert the neighbors of upcoming BAR meeting.

Thank you for your attention  
Mark

----- Forwarded message -----

**From:** **Doug Wright** <[douglaswright@gmail.com](mailto:douglaswright@gmail.com)>  
**Date:** Sun, Apr 26, 2020 at 10:41 AM  
**Subject:** Fwd: Cell antenna shroud?  
**To:** <[lia.niebauer@alexandriava.gov](mailto:lia.niebauer@alexandriava.gov)>, [Preservation](#) <[Preservation@alexandriava.gov](mailto:Preservation@alexandriava.gov)>, [Stephanie Sample](#) <[Stephanie.Sample@alexandriava.gov](mailto:Stephanie.Sample@alexandriava.gov)>  
**Cc:** [Justin Wilson](#) <[justin.wilson@alexandriava.gov](mailto:justin.wilson@alexandriava.gov)>



Good morning,

I see that there is a public notice sign on the utility pole in front of 420 N Fayette Street regarding a meeting on May 6. As of Sunday, April 26 there is no agenda or other notes posted online about the May 6 BAR meeting. I assume that the 4G/5G cell antenna is coming back to you all, again, based on the outcome of the March 18, 2020 meeting.

Attached are four photos. This shroud is located on Richmond Highway, south of Old Town, adjacent to a SpringHill Suites Marriott. I'm not certain if it is a shroud around a 4G or 5G antenna or if there is something else under it. Regardless..... it doesn't "blend in". I'm appalled that we are going to be seeing hundreds of these located across the city.

If the applicant is coming back to the BAR to re-submit for "approval" to install the antenna in the same location (the utility pole at 420 N Fayette Street that was installed only a few months ago) vs. installing it on a pole in front of an adjacent commercial address and/or on a pole in an alleyway then I would like to submit the same comments that I made in both writing prior to and verbal comments made at the March 18 meeting: I oppose the installation of the antenna and shroud on the 420 N Fayette Street utility pole.

In addition to previous comments: please note that there is a newly planted tree approximately 10' from the subject utility pole. Due to a driveway that is immediately adjacent to the opposite side of the existing pole the only logical place to install a newer pole is to do so closer to the tree.

Regards  
Doug Wright  
424 N Fayette Street

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