

ISSUE: Certificate of Appropriateness for signage and alterations and Waiver of Vision Clearance

APPLICANT: Consolidated Petroleum, LLC

LOCATION: Old and Historic Alexandria District
834 North Washington Street

ZONE: CDX/Commercial Downtown (Old Town North)

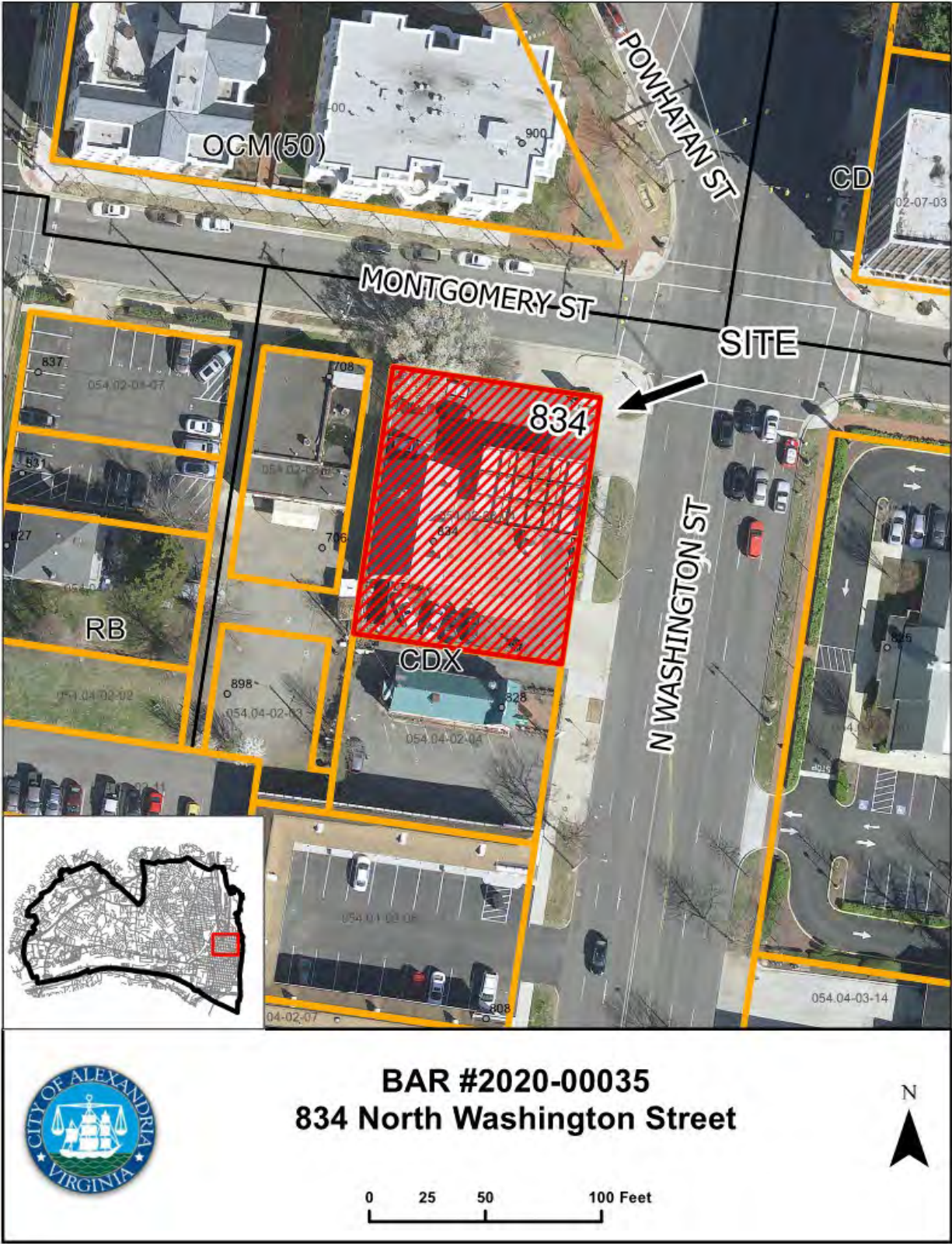
STAFF RECOMMENDATION

Staff recommends that the Certificate of Appropriateness for alterations and signage, and Waiver of Vision Clearance be approved with the following conditions:

1. No signs on the site may be internally illuminated except for the price numerals on the monument sign, whose intensity is to be reviewed by staff at night in the field to ensure the compatibility of the illumination with the surrounding streetscape.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



I. APPLICANT'S PROPOSAL

The applicant requests a Certificate of Appropriateness to install three blade signs and number wedges on the existing dispensers and columns, replace the dispensers' decals, replace two existing wall signs, reface the existing canopy fascia, replace the dormer windows and siding, and after-the-fact approval for the roof replacement. The applicant also proposes to replace the existing pole-mounted sign with a new monument sign, as well as a Waiver of Vision Clearance for the Mobil gasoline service station at 834 North Washington Street.

Certificate of Appropriateness

- Install three column-mounted 40 5/16" by 14 9/16" LDPE (Low Density Polyethylene) blade non-illuminated signs,
- Install three non-illuminated ABS (Acrylonitrile Butadiene Styrene) double-sided wedges with vinyl numbers on each gas dispenser column,
- Reface the existing non-illuminated red canopy fascia with a new non-illuminated blue fascia with no logo,
- Replace two existing wall signs with two new non-illuminated signs,
- Replace the existing fuel dispenser decals with the new Synergy/Mobil branding.
- Replace the existing pole mounted freestanding price sign with a 4' wide by 4' tall monument sign placed on a 5' long and 1' tall brick foundation (5' overall height). The proposed sign will be internally illuminated.
- Replace the three dormers' windows with Marvin Elevate fiberglass, double-hung, SDL, six-over-six light configuration to match the existing
- Replace the dormers' siding with fiber cement Allura smooth 8 1/4 lap siding to match the existing, and
- After-the-fact roof replacement with Landmark Integrity asphalt shingles in the Moire Black color

Waiver of Vision Clearance

The applicant requests a vision clearance waiver for the new monument sign to replace the existing pole-mounted fuel price sign on the southwest corner of the intersection of North Washington and Montgomery streets.

Site context

This gasoline station is located on Washington Street, which is part of the George Washington Memorial Parkway (Parkway) as it passes through Alexandria on its way from Washington, DC to the shrine at Mount Vernon. The gas station is located at the southwest corner of the intersection of North Washington and Montgomery streets.

II. HISTORY

The Colonial Revival style gasoline station was built **ca. 1967**. It is constructed of red brick with a side gable, asphalt single roof with three dormers. As there are no precedents for a Colonial

Revival style canopy over the fuel pumps, the BAR reluctantly accepted the functional need for this modern structure and asked that it be as visually minimal as possible when it was approved.

Previous BAR Approvals

BAR Case #1995-00103 – signage, lights and pump islands (12/4/1995)
BAR Case #1997-00202 – fence (9/15/1997)
BAR Case #2000-00264 – canopy alterations (11/6/2000)
BAR Case #2001-00275 – satellite antenna installation (10/24/2001)
BAR Case #2006-00249 – signage (10/30/2006)
BAR Case #2007-00221 – signage (10/12/2007)
BAR Case #2013-00223 – signage (6/26/2013)

III. ANALYSIS

Certificate of Appropriateness

The BAR and the National Park Service (NPS) are jointly concerned with the maintenance of the memorial character of the Parkway within the City limits under a 1929 agreement between the City of Alexandria and the Federal government. Therefore, all requests for signs and new construction or alterations on Washington Street are routed to the NPS for advisory comment, as are all cases on the waterfront. The NPS submitted comments appreciating the use of a brick base on the monument sign which would provide continuity with the Parkway's historical character, but still has concerns about its illumination that, according to NPS, "is not appropriate." NPS recommends that the applicant reconsider the illumination.

Title 9, Chapter 7 of the Code of the City of Alexandria, Virginia regulates gas station signs, in accordance with the Code of Virginia., Secs. 59-41 to 59-60. The requirement for and the size of the price numerals portion of the monument sign are set by these codes, as is the requirement that each pump be branded by the fuel company. Regarding size for a gasoline station price ID sign, the City Code states: "The sign shall be no less than three feet in width and no less than four feet in height, shall be no greater than four feet in width and five feet in height, and shall be only square or rectangular in shape."

Staff notes the zoning staff comments alerting the applicant that freestanding signs must comply with the new sign requirements of the zoning ordinance within seven years of notification of all businesses in the city with these signs. The proposed monument sign complies with the new zoning ordinance provision except for front yard setback. The revised ordinance requires that freestanding signs to be set back 10' from the front lot lines. This is not possible in many locations throughout the City without reconstructing curb cuts that provide access to the business, and may conflict with fuel deliveries at gasoline stations. It is therefore possible that this portion of the ordinance will be amended by the City before the seven-year deadline. Staff supports reconstruction of this freestanding monument style sign in the same location as the previous sign, with the applicant's acknowledgement that they must comply with whatever the freestanding sign regulations are in place at the end of the seven-year sunset provision. BAR approval of this sign does not grandfather any noncompliance with regard to setback.

The applicant proposes LED price numbers, which is now the industry standard. These have been installed at stations throughout Alexandria, including the Shell station at 442 North Henry Street approved several years ago by the PG BAR (Figure 1). Staff has not received any objections from the community about these lights.



Figure 1: LED price sign at 442 N Henry

According to the BAR's 1993 *Design Guidelines*, "The Board is particularly concerned about the extensive proliferation of exterior signs at gasoline service stations. The Zoning Ordinance provides specific limitations on the number of exterior signs permitted for any building depending on its size. In addition, the Zoning Ordinance specifically prohibits a number of sign types that are commonly associated with gasoline service stations." The BAR's rationale was that 20th century gasoline service stations with freestanding canopies were an iconic building type that included highly visible fuel dispensing pumps that did not need excessive signs to inform the public of their purpose. Even though the proposed number of signs is above the allowable in the historic district, staff finds that the applicant has diligently worked with staff to reduce the number of signs and finds the proposed signage acceptable with the condition that no signs on the site may be internally illuminated except for the price numerals on the monument sign, whose intensity is to be reviewed by staff at night in the field to ensure the compatibility of the illumination with the surrounding streetscape.

The *Design Guidelines* state that "Windows are a principal character defining feature of a building and serve both functional and aesthetic purposes. Windows allow the interior of a building to receive natural light, provide a means to see from the inside of a building to the inside of a building to the outside and allow ventilation of a building interior." Staff has no objection to the proposed dormers' windows since they comply with the *Alexandria New and Replacement Window Performance Specifications in the Historic Districts*. Similarly, staff has no objection to the

proposed siding and roof replacement since the material, color, and design comply with the Guidelines and are appropriate to the building's age and its Colonial Revival style.

Waiver of Vision Clearance

Section 7-800 of the Zoning Ordinance states that corner lots must provide vision clearance for safety of travel on streets that precludes "structure, fences, shrubbery or other obstruction to vision more than three and one-half feet above the curb level." Section 7-802 of the Zoning Ordinance gives the BAR the authority to waive the vision clearance requirement "where to do so would be consistent with the historic character of the district." Staff supports the proposed Vision Clearance Waiver and the maximum size permitted by the City Code for a price ID sign, on a one-foot tall masonry base.

Therefore, with the condition discussed above, staff recommends approval of the Certificate of Appropriateness for signage and alterations and Waiver of Vision Clearance.

STAFF

Marina Novaes, Historic Preservation Planner, Planning & Zoning
Tony LaColla, AICP, Land Use Services Division Chief, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

- C-1 Clarify the locations of the proposed blade signs- are they located above the gas pumps or on the columns of the awning?
- C-2 Provide the lengths of the awning facing both streets? Signs under canopy must comply with a one to one ratio for each frontage facing.
- C-3 Wall signs can only use the wall where the sign is located not, both walls that face streets. Signs A & B total 30 sq ft and are located on a 50ft wall facing N Washington Street and will comply. Recalculate "building signage table" on page 6.
- C-4 Proposed freestanding monument sign is located in the vision clearance triangle and within the required 10' setback from the front property line. Applicant must request a waiver of vision clearance from the Board and the Board may waive the 10' setback requirement per section 7-802.
- F-1 The existing freestanding pole sign is nonconforming per section 9-402(C) and must be removed within 7 years.

Code Administration

- C-1 A building permit and Plan review are required for illuminated monument signs.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)
- C-7 A sign may be erected or displayed flat against a building wall or at an angle thereto, so

long as the sign does not project more than four feet from the building wall or within one foot of an established curb line and the bottom of the sign is at least eight feet above a sidewalk or parking area and at least 14.5 feet above any alley. (Sec. 5-2-29(c)) (T&ES)

- C-8 If any portion of the signage encroaches in the right of way, the owner shall obtain and maintain a policy of general liability insurance in the amount of \$1,000,000 which will indemnify the owner (and all successors in interest); and the city as an additional named insured. (Sec. 5-29 (h)(1)) (T&ES)
- C-9 The owner shall obtain and maintain a policy of general liability insurance in the amount of \$1,000,000 which will indemnify the owner (and all successors in interest); and the City as an Additional Insured, against claims, demands, suits and related costs, including attorneys' fees, arising from any bodily injury or property damage which may occur as a result of the encroachment. (Sec. 5-29 (h)(1)) (T&ES)

Please submit Insurance Certificate:
City of Alexandria
T&ES
Attn: Development Services
301 King Street, Room 4130
Alexandria, VA 22314

Alexandria Archaeology

F-1 This undertaking will not require archaeological oversight.

V. ATTACHMENTS

1 – Supplemental Materials

2 – Application for BAR 2020-00035: 834 North Washington Street

BAR Case # _____

ADDRESS OF PROJECT: 834 N WASHINGTON STREET, ALEXANDRIA, VA 22314

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 054.02-08-04

ZONING: CDX

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☒ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☒ Business *(Please provide business name & contact person)*

Name: CONSOLIDATED PETROLEUM, LLC

Address: 6820 B COMMERCIAL DRIVE

City: SPRINGFIELD

State: VA Zip: 22151

Phone: (703) 750-6810

E-mail: MONTY@CAPITOLPETRO.COM

Authorized Agent *(if applicable)*: ☒ Attorney ☐ Architect ☐ _____

Name: DAVID S. HOUSTON

Phone: (703) 284-7245

E-mail: DHOUSTON@BEANKINNEY.COM

Legal Property Owner:

Name: NORTH WASHINGTON STREET PROPERTIES LLC

Address: 834 N WASHINGTON STREET

City: ALEXANDRIA

State: VA Zip: 22314

Phone: _____

E-mail: _____

- | | | |
|------------------------------|--|--|
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | Is there an historic preservation easement on this property? |
| <input type="checkbox"/> Yes | <input type="checkbox"/> No | If yes, has the easement holder agreed to the proposed alterations? |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | Is there a homeowner's association for this property? |
| <input type="checkbox"/> Yes | <input type="checkbox"/> No | If yes, has the homeowner's association approved the proposed alterations? |

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☐ EXTERIOR ALTERATION: *Please check all that apply.*
 ☐ awning ☐ fence, gate or garden wall ☐ HVAC equipment ☐ shutters
 ☐ doors ☐ windows ☐ siding ☐ shed
 ☐ lighting ☐ pergola/trellis ☐ painting unpainted masonry
 ☐ other _____
☐ ADDITION
☐ DEMOLITION/ENCAPSULATION
☒ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

THE PLANS PROPOSE TO:

1. ADD BLADE SIGNS AND NUMBER WEDGES TO COLUMNS;
2. REPLACE EXISTING FUEL PUMPS AND DISPENSER DECALS WITH NEW PUMPS AND DECALS;
3. REFACE THE EXISTING CANOPY FASCIA WITH NEW CANOPY FASCIA;
4. REPLACE EXISTING BUILDING-MOUNTED SIGNAGE; AND
5. REMOVE EXISTING POLE MOUNTED SIGN AND INSTALL NEW MONUMENT SIGN.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the minimum supporting materials for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- ☐ ^{N/A} ☒ Survey plat showing the extent of the proposed demolition/encapsulation.
☐ ☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☐ ☒ Description of the reason for demolition/encapsulation.
☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ☐ ☒ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☒ FAR & Open Space calculation form.
- ☐ ☒ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☒ Existing elevations must be scaled and include dimensions.
- ☐ ☒ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☒ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ ^{N/A} Linear feet of building: Front: 50 FT Secondary front (if corner lot): 33 FT
- ☒ ☐ Square feet of existing signs to remain: 0 SF
- ☒ ☐ Photograph of building showing existing conditions.
- ☒ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☒ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☒ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☒ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☐ ☒ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☒ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: 

Printed Name: DAVID S. HOUSTON

Date: January 22, 2020

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
¹ CONSOLIDATED PETROLEUM, LLC	6820 B COMMERCIAL DR, SPRINGFIELD, VA 22151	100%
² EYOB MAMO	7312 BRADDOCK RD, ANNANDALE, VA 22003	85.15%
³ GERALD SCHAEFFER	1928 24TH ST NW, WASHINGTON, DC 20008	14.85%

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 834 N WASHINGTON STREET, ALEXANDRIA, VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
¹ . NORTH WASHINGTON STREET PROPERTIES LLC	834 N WASHINGTON ST., ALEXANDRIA, VA 22314	100%
² . Abdullelah Al-Keliddar	1604 BROOKSIDE RD, MCLEAN, VA 22101	50%
³ . Taysser Hijazi	6529 BRADDOCK RD, ALEXANDRIA, VA 22312	50%

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
¹ . N/A	N/A	N/A
² .		
³ .		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

January 22, 2020

Date

DAVID S. HOUSTON

Printed Name

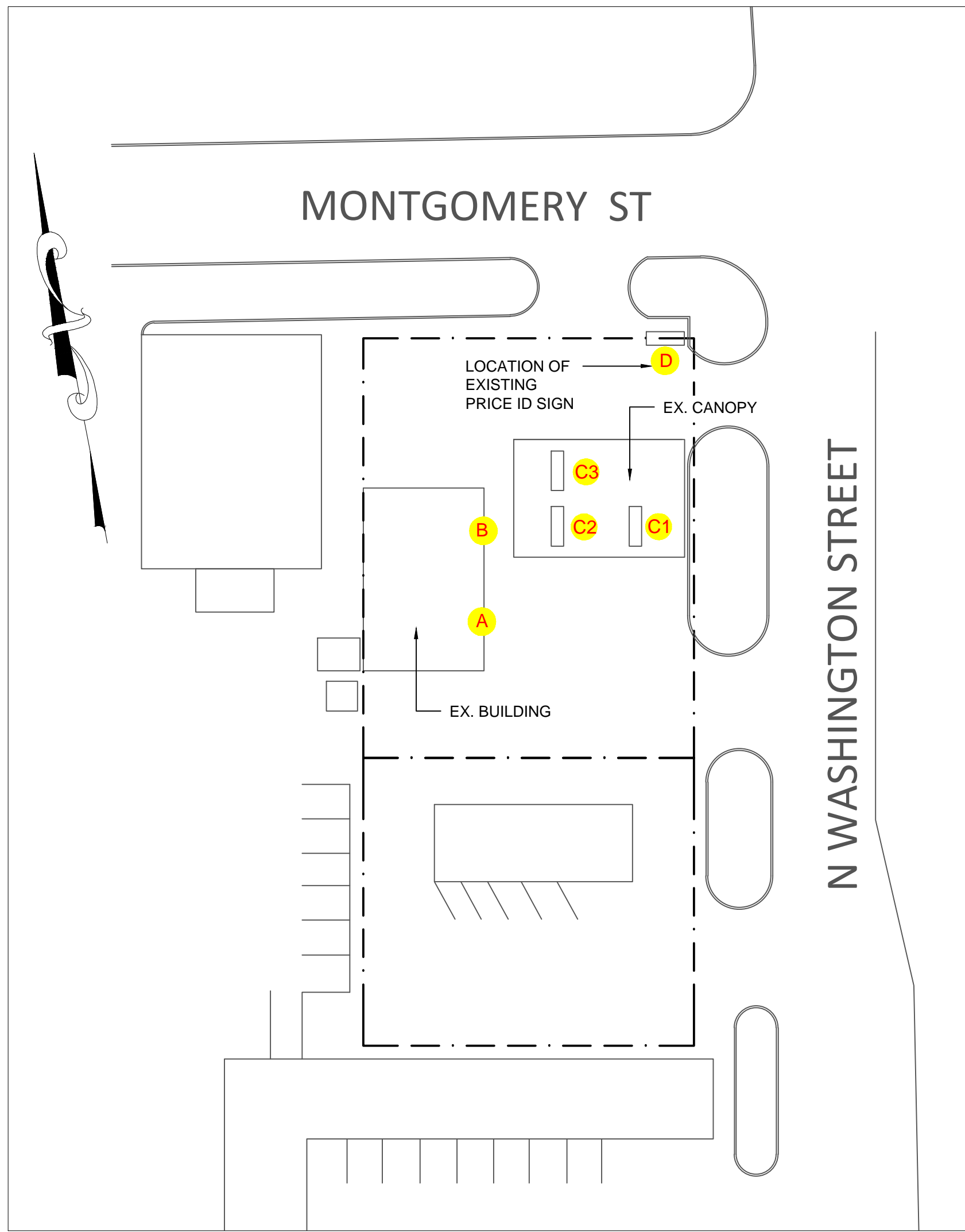

Signature



EXISTING



PROPOSED

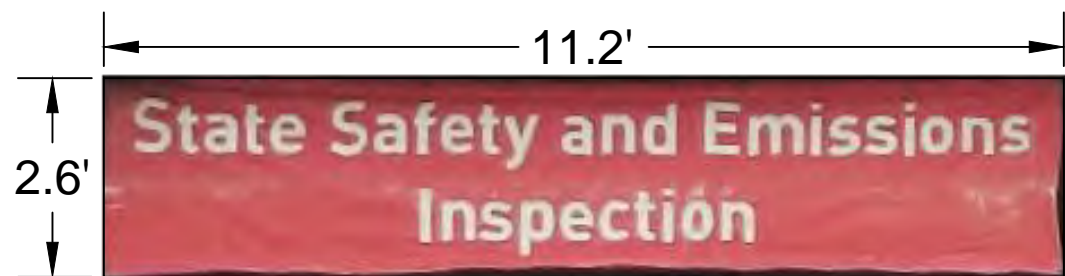


EXISTING SITE PLAN

SCALE - 1:30

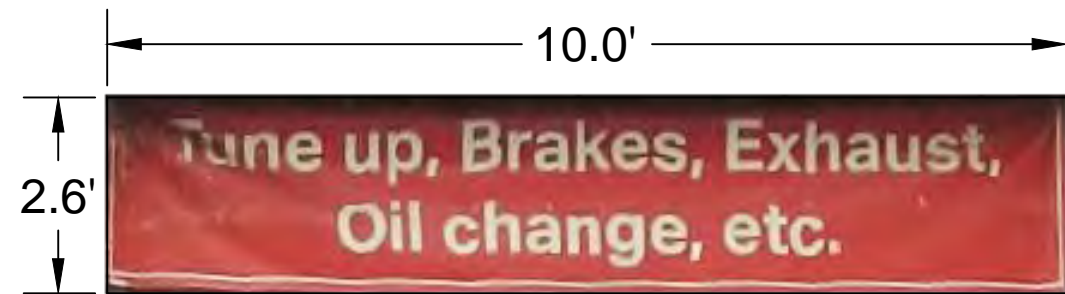
PROJECT SCOPE:

1. THE PLAN PROPOSES TO ADD A BLADE SIGNS AND NUMBER WEDGES TO COLUMNS.
2. THE PLAN PROPOSES TO ADD NEW SNACK SHOP SIGN AND CHANGE THE COLOR OF EXISTING OLD TOWN AUTO CARE SIGN ON THE BUILDING. .
3. FUEL DISPENSER DECALS TO BE REPLACED WITH NEW ONES.
4. THE EXISTING CANOPY FASCIA TO BE REFACED WITH NEW MOBIL CANOPY FASCIA.
5. THE PLAN PROPOSES TO REMOVE EXISTING POLE MOUNTED SIGN AND INSTALL NEW MONUMENT SIGN.



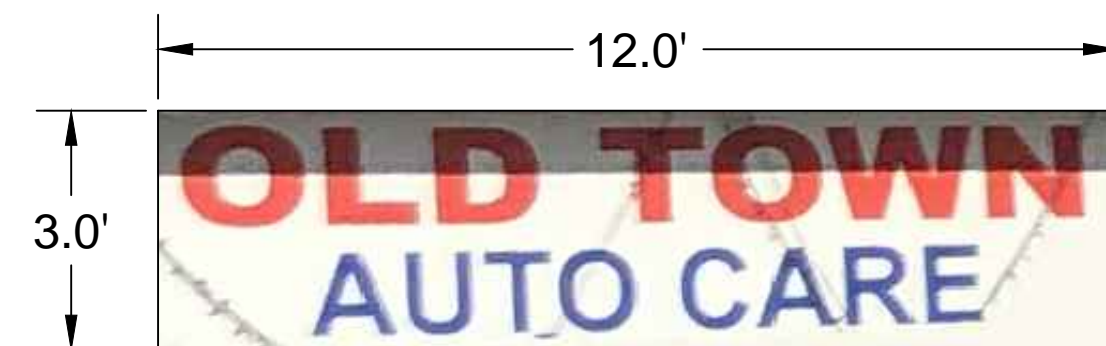
EXISTING BUILDING SIGN 3

STATE SAFETY AND EMISSION INSPECTION
= (11.2' X 2.6')
(SIGN AREA = 29.12 SQ FT.)
EXISTING SIGN TO BE REMOVED.



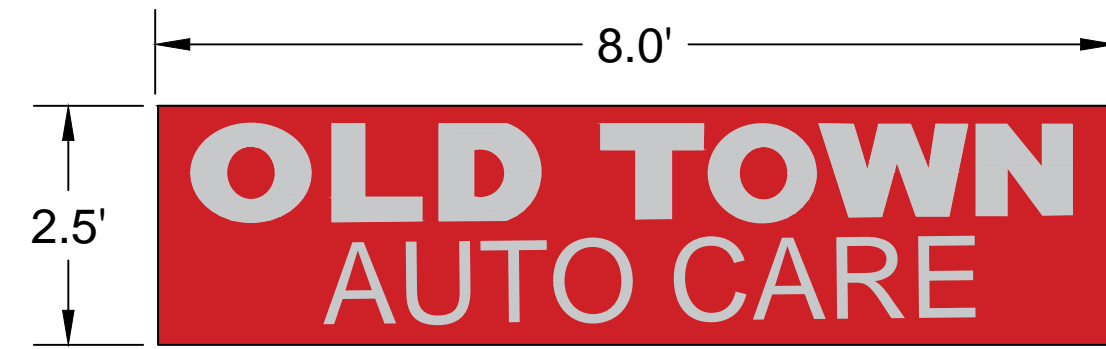
EXISTING BUILDING SIGN 4

TUNE UP, BRAKES, EXHAUST OIL CHANGE, ETC
= (10.0' X 2.6')
(SIGN AREA = 26.0 SQ FT.)
EXISTING SIGN TO BE REMOVED.



EXISTING BUILDING SIGN 1

OLD TOWN = (12.0' x 3.0')
(SIGN AREA = 36.0 SQ FT.)



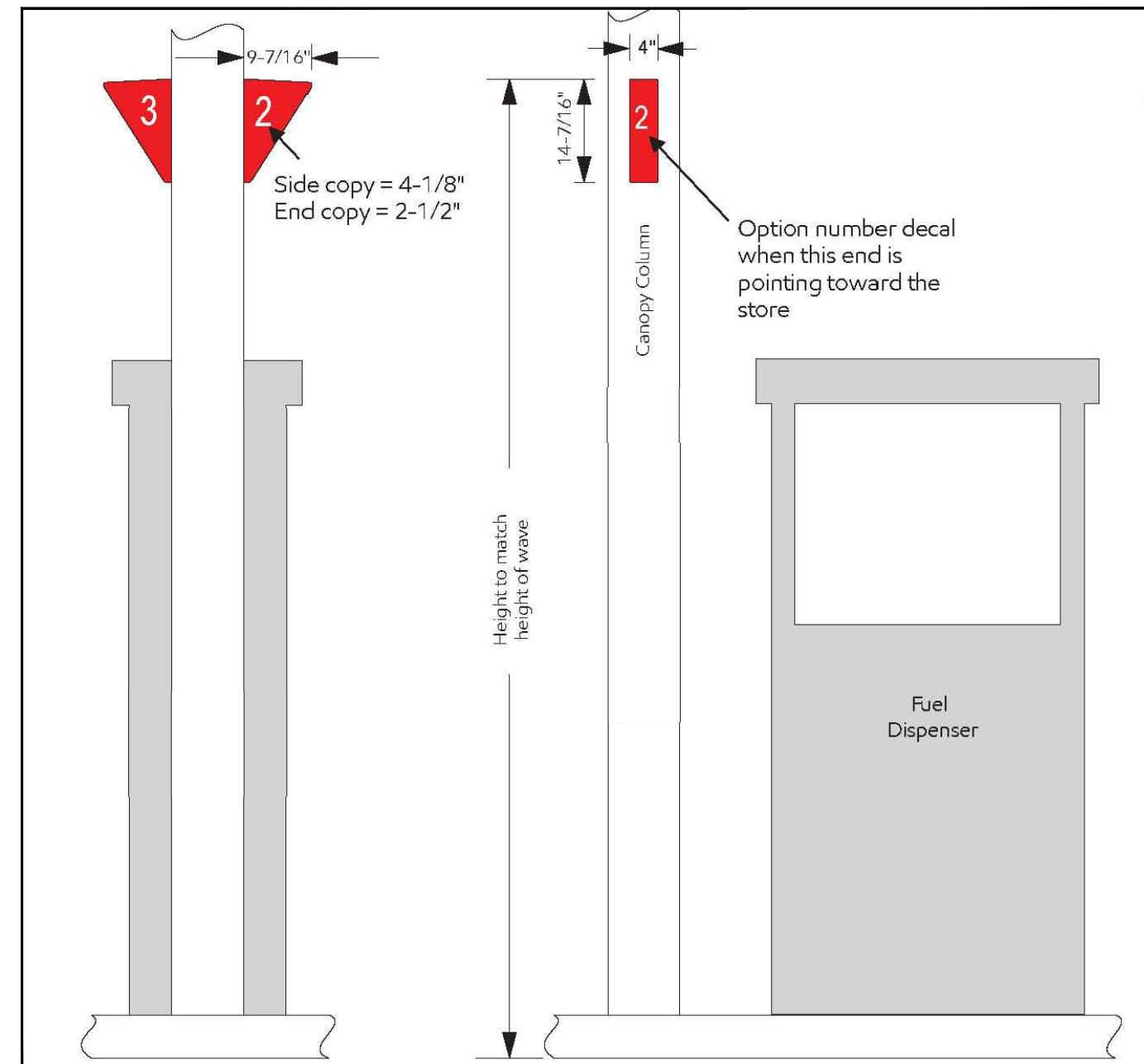
PROPOSED BUILDING SIGN 1

OLD TOWN = (8.0' x 2.5')
(SIGN AREA = 20 SQ FT.)



EXISTING SIGN 5

AUTOMOTIVE SERVICES
= (2.3' X 3.2')
(SIGN AREA = 7.36 SQ FT.)

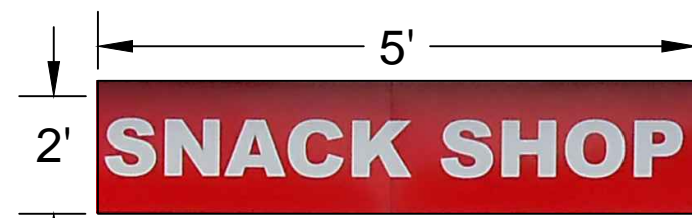


DETAIL 1

NUMBER WEDGE

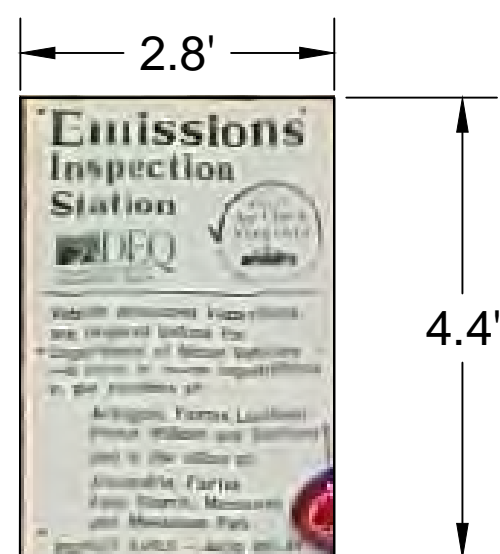
Structural Spec:

- Wedges are 2 sided, non-illuminated, with white vinyl graphics.
- Acrylonitrile butadiene styrene (ABS) skin with aluminum mounting plate.
- 2 lbs total weight.
- Structure rated at 120mph wind load.



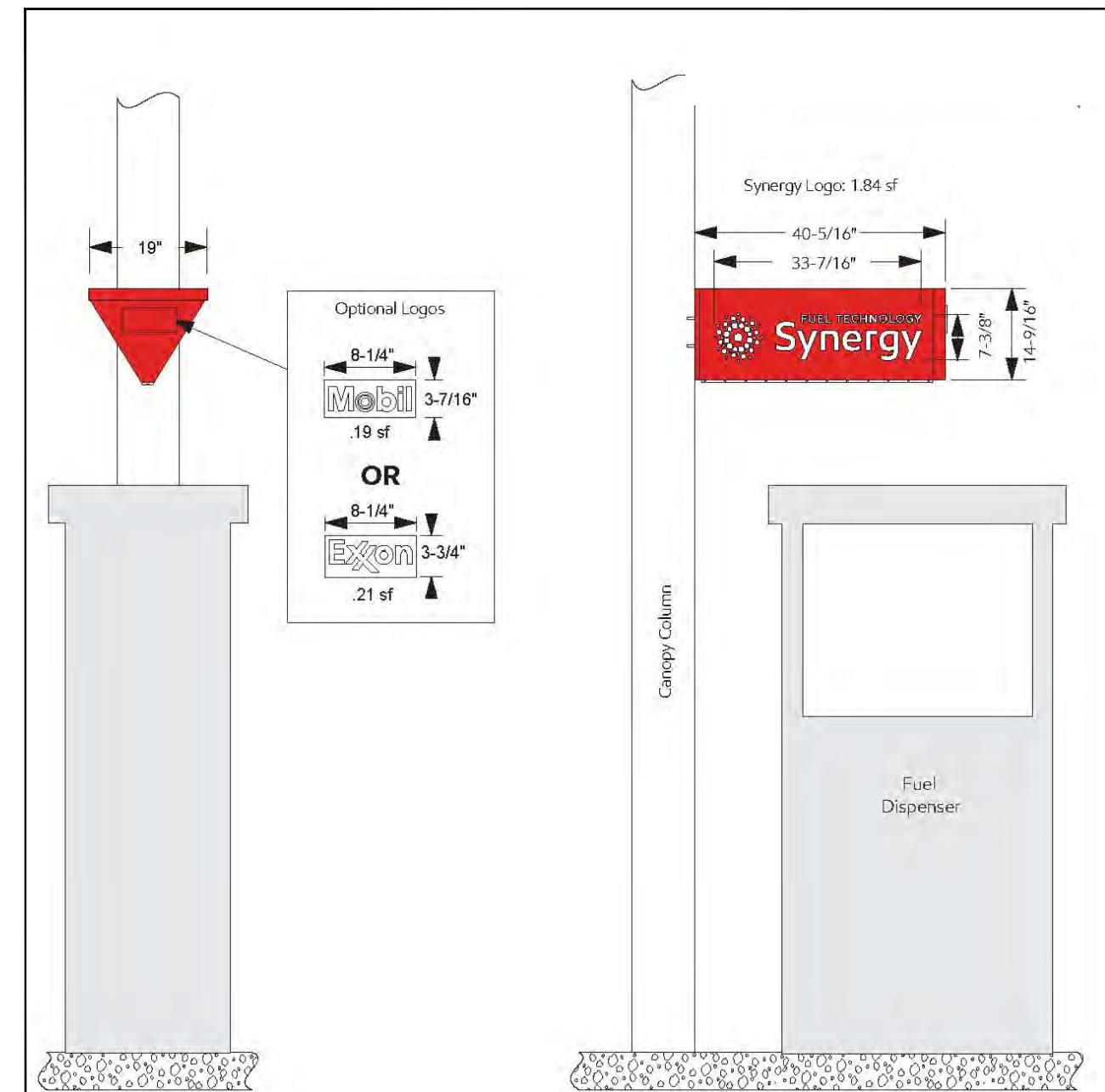
PROPOSED BUILDING SIGN 2

SNACK SHOP SIGN = (2' x 5')
(SIGN AREA = 10 SQ FT.)



EXISTING STATE MANDATED SIGN 6

EMISSION INSPECTION SECTION
= (2.8' X 4.4')
(SIGN AREA = 12.32 SQ FT.)



DETAIL 2

C1 C2 & C3

STANDARD BLADE SIGN AREA (TYP.) = 4.08 SF

BLADE

Structural Spec:

- Low density polyethylene (LDPE) frame around steel tube.
- Acrylonitrile butadiene styrene (ABS) outer skin.
- 50 lbs total weight.
- Structure rated at 120mph wind load.

BUILDING SIGNAGE AREA:

ALLOWABLE SIGNAGE AREA:

ALLOWABLE SIGNAGE AREA = 1 SF/ LF OF THE
BUILDING FRONTAGE(FRONTAGE ALONG BOTH THE ROADS)

ALONG N WASHINGTON ST = 50 FT
ALONG MONTGOMERY ST = 33 FT

EXISTING SIGNAGE AREA:

1. OLD TOWN AUTO CARE SIGN = 12.0' x 3.0' = 36.00 SF
2. STATE SAFETY AND EMISSION SIGN = 11.2' x 2.6' = 29.12 SF (TO BE REMOVED)
3. TUNE UP, BRAKE, EXHAUST ETC SIGN = 10.0' x 2.6' = 26.00 SF (TO BE REMOVED)
4. AUTOMOTIVE SERVICE EXCELLENCE = 2.3' x 3.2' = 7.36 SF
5. EMISSION INSPECTION SECTION = 2.8' x 4.4' = 12.32 SF

PROPOSED SIGNAGE AREA:

1. BLADE SIGN AREA (C1, C2 & C3) = 3.5' x 1.21' = 4.08 SF
NUMBER OF SIGN = 3 NOS = 12.24 SF
2. SNACK SHOP SIGN = 5.0' x 2.0' = 10.00 SF
3. OLD TOWN AUTO CARE SIGN = 8.0' x 2.5' = 20.00 SF

TOTAL BUILDING SIGNAGE = 7.36 + 12.24 + 10 + 20 = 49.6 SF

SHEET INDEX	
PAGE	TITLE
1	SIGN PLAN I
2	SIGN PLAN II
3	SIGN DETAILS
4	LED SIGN PLAN
S0001	FOUNDATION DETAIL

CIVIL ENGINEERS:



Revised 2.27.2020

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Fax : (703) 940-2280
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bprakash@plan-source.com



No.	DATE:	REVISIONS

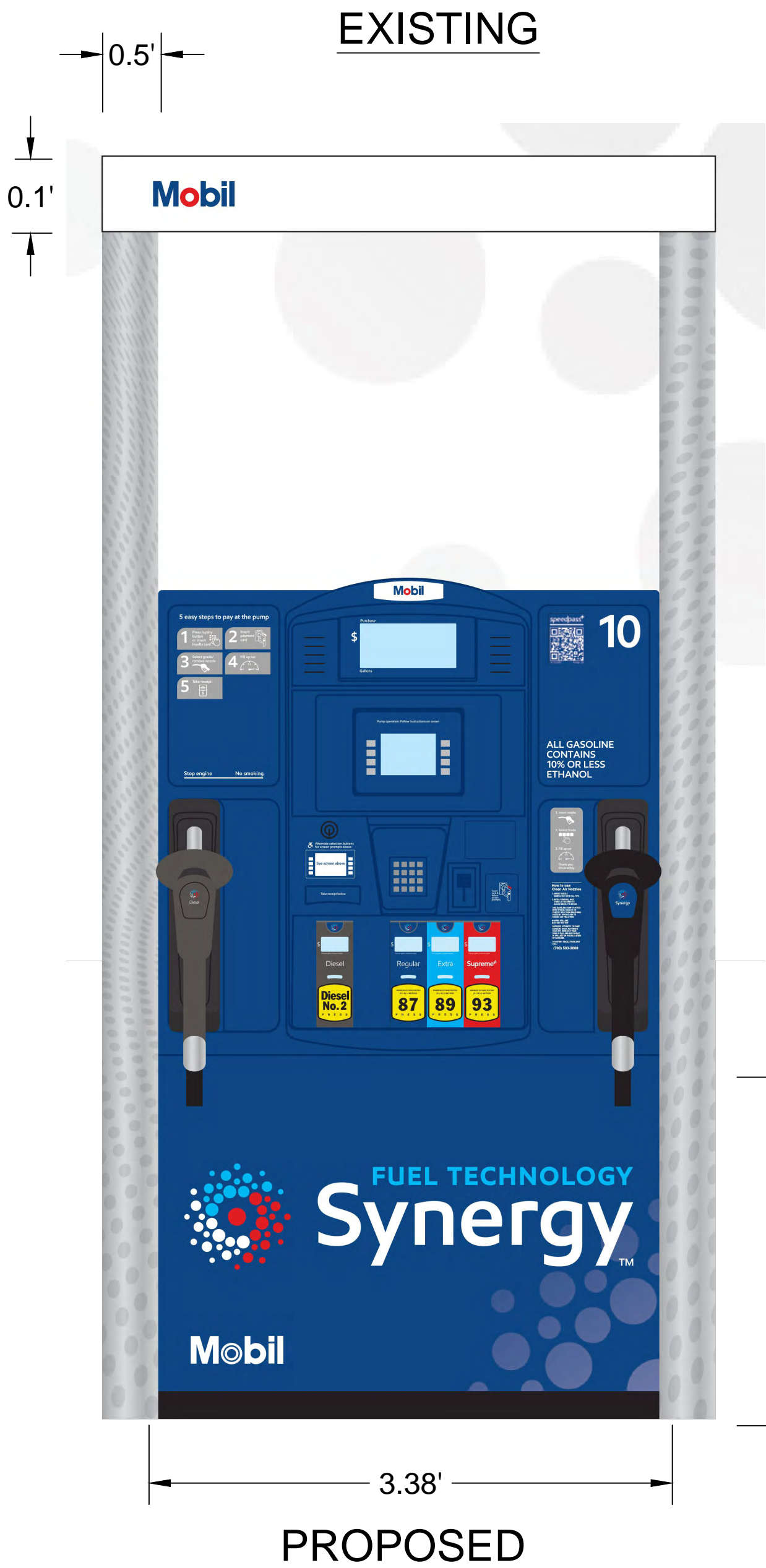
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PROJECT INFORMATION:		
834 N WASHINGTON ST ALEXANDRIA, VA 22314		

OWNER'S NAME:	
NORTH WASHINGTON STREET PROPERTIES LLC	
834 N WASHINGTON ST ALEXANDRIA VA 22314	
DRAWING TITLE:	
SIGN PLAN I	
AREA:	10,267SF 0.235 AC
SCALE:	NA
PROJECT MANAGER:	
BP	
DRAWN BY:	DATE:
BSA	DEC 2019
CHECKED BY:	Map-Block- Lot Number:
PR	054.02-08-04
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1 OF 4	



Gilbarco | Encore 500/700 S with EPP 3 Product
Ancillary decals placement

- Note:** Please make sure the dispenser surface is cleaned prior to applying any of the adhesive backed or sponge tape decals.
- A. Pump number (dispenser mounted)
 - B. Nozzle instruction
 - C. Pay at the pump instruction
 - D. Card reader graphic
 - E. Pump operation message - defined as needed
 - F. Optional miscellaneous payment message - defined as needed (within dotted area at right)
 - G. Receipt decal, if applicable
 - H. Customer assistance decal, if applicable
 - I. Safety/caution message - as defined per legal requirements
 - J. Product content - ethanol %, bio %, sulfur ppm, if applicable
 - K. ExxonMobil-related only marketing program, e.g. Speedpass and related, instructions (within dotted area at right)
 - L. Marketing/loyalty stickers, e.g. Plenti (within dotted area at right; L2 is for the Smart card program)
 - M. Speedpass+ QR code
 - N. Clean air nozzle decal, Temperature notice decal, Oxygenated gas decal, etc. (within dotted area at right; Motor fuel decal goes here, if required; N2 is additional space, if required)
 - O. Cetane decal where required (within dotted area at right if diesel is sold on dispenser)
 - P. Local regulatory decals, e.g. Weights and Measures (within dotted area at right)
 - Q. Dispenser manufacturing decals (within dotted area at right)
 - R. Applicable octane or product grade decals, e.g. 85 and related, for products sold on dispenser
 - S. Valance logo - as defined by brand (positioned per graphic below)
 - T. "Gasoline" decal, California only



LATEST SITE PHOTOS



LATEST SITE PHOTOS

CIVIL ENGINEERS:



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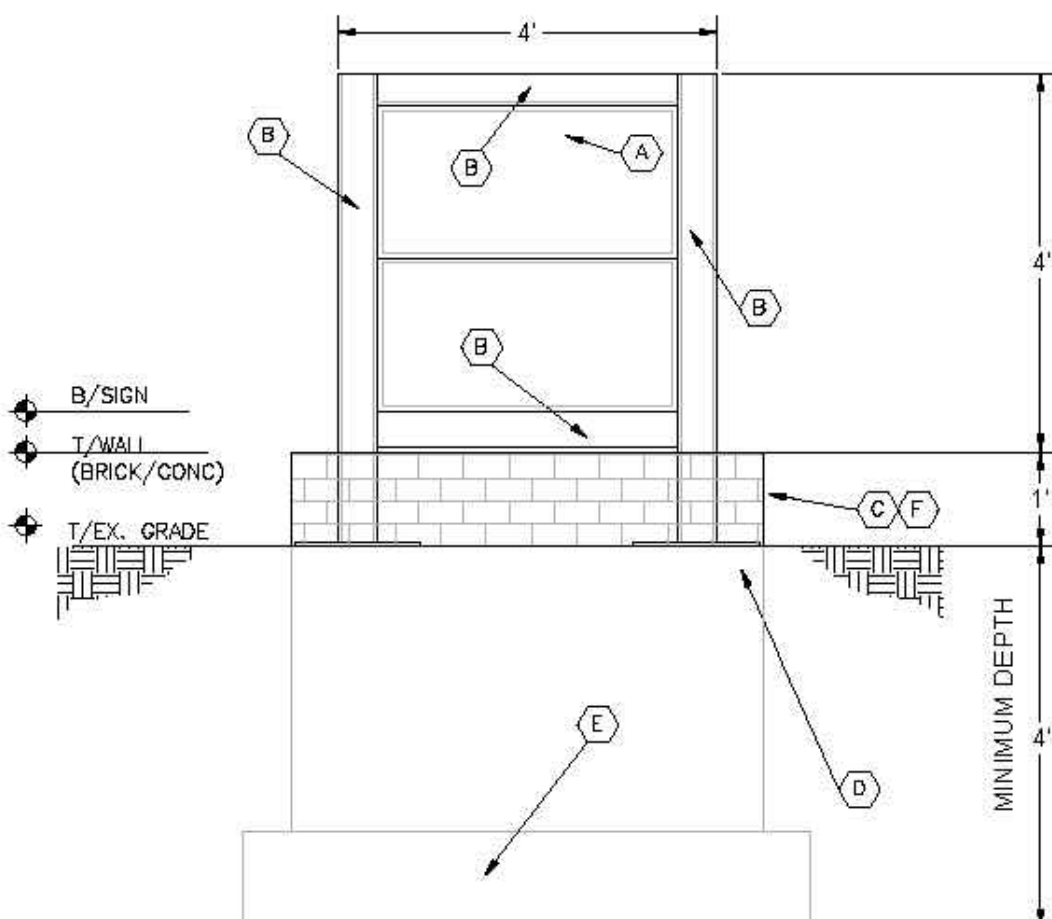


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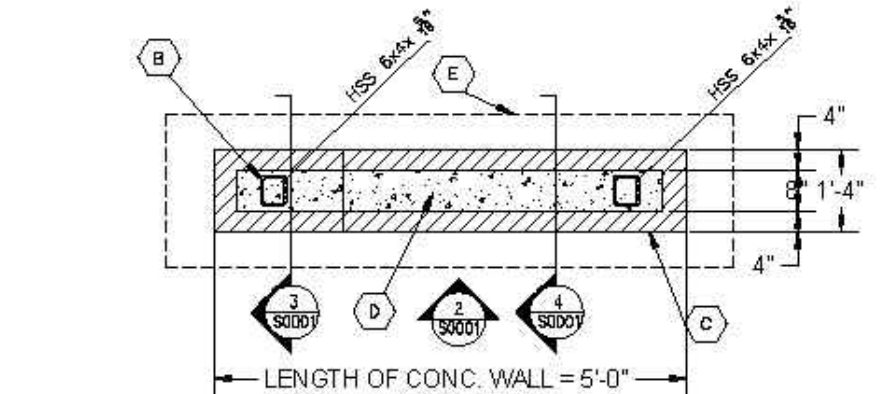
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PROJECT INFORMATION:		
834 N WASHINGTON ST ALEXANDRIA, VA 22314		
OWNER'S NAME:		
NORTH WASHINGTON STREET PROPERTIES LLC 834 N WASHINGTON ST ALEXANDRIA VA 22314		

DRAWING TITLE:	
SIGN PLAN II	
AREA:	10,267SF 0.235 AC
SCALE:	NA
PROJECT MANAGER:	
BP	
DRAWN BY:	DATE:
BSA	DEC 2019
CHECKED BY:	Map-Block- Lot Number:
PR	054.02-08-04
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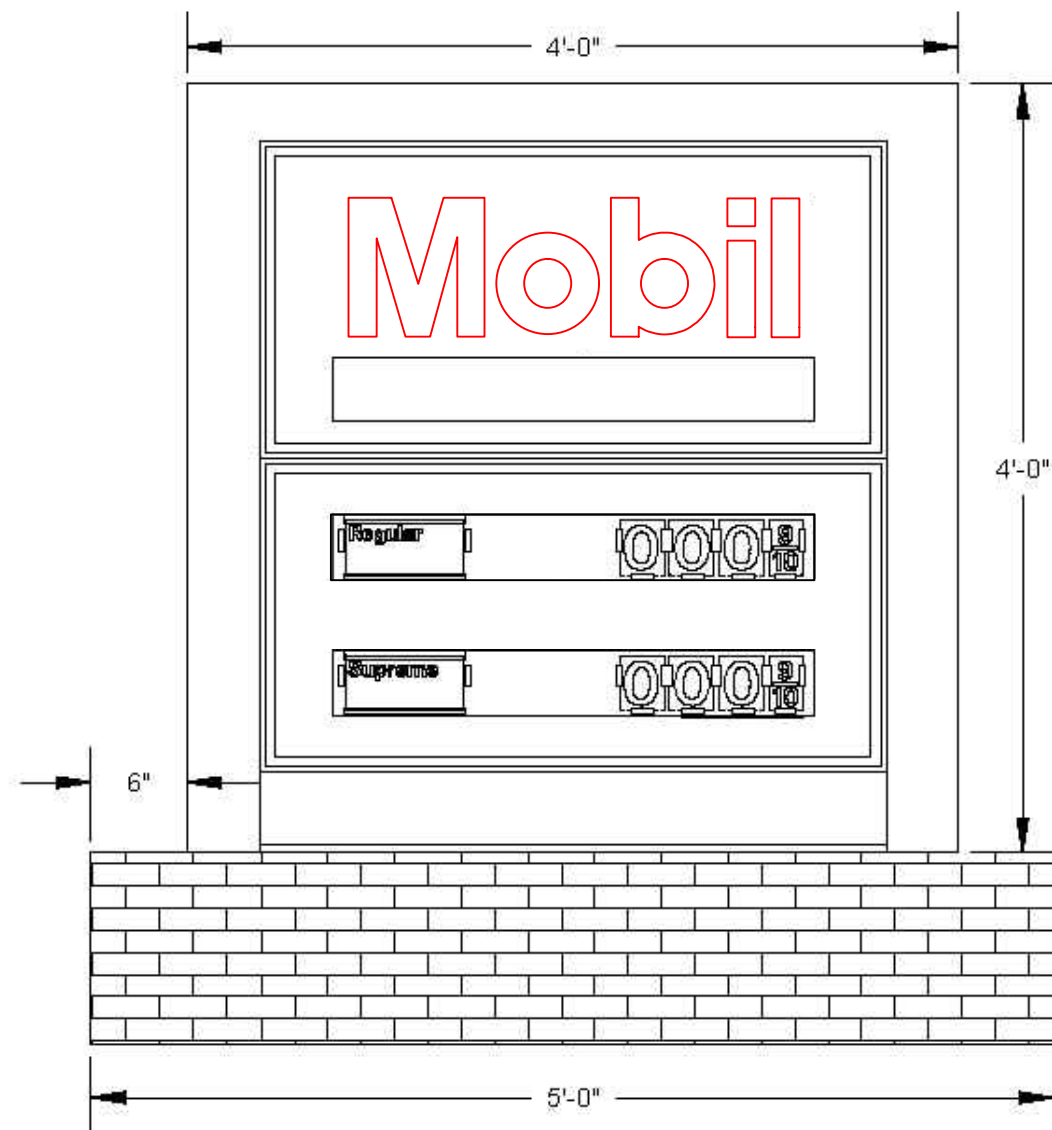
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<div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></div></div></div></div><div><div><div><div><div><div></div><div></div><div></div></div><div><div><div></div><div></div><div></div></div></div><div><div><div></div><div></div><div></div></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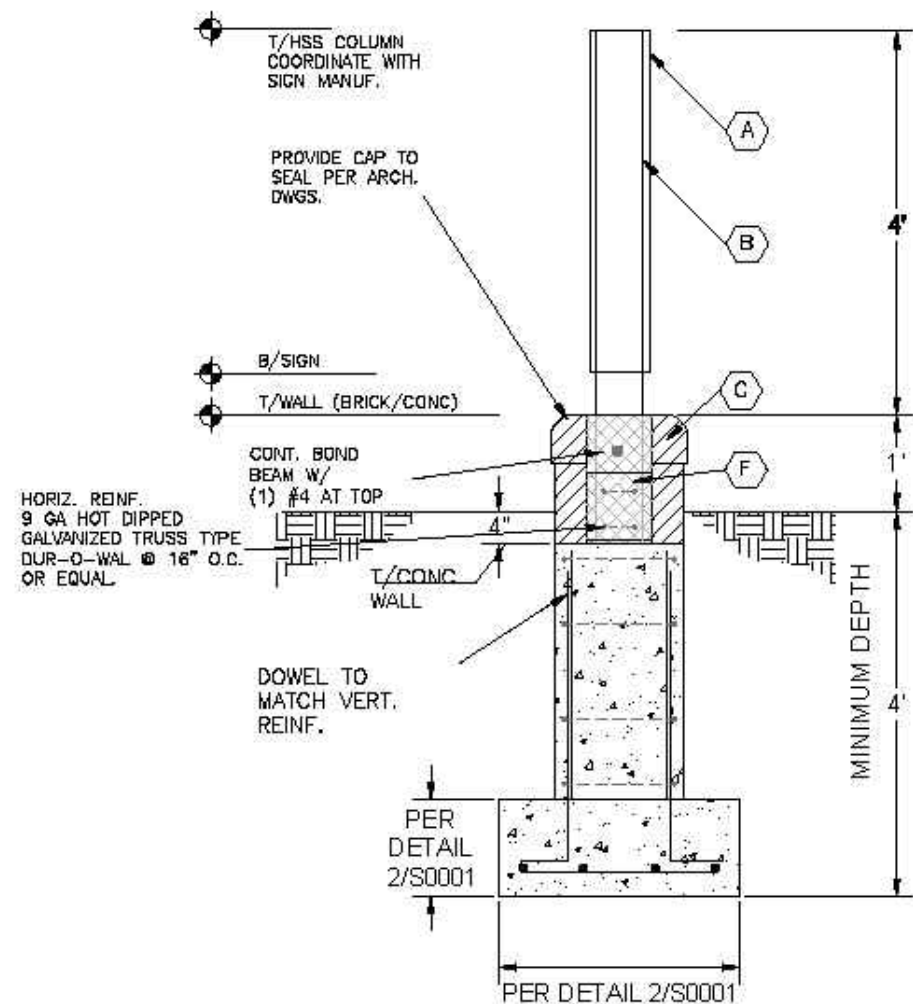
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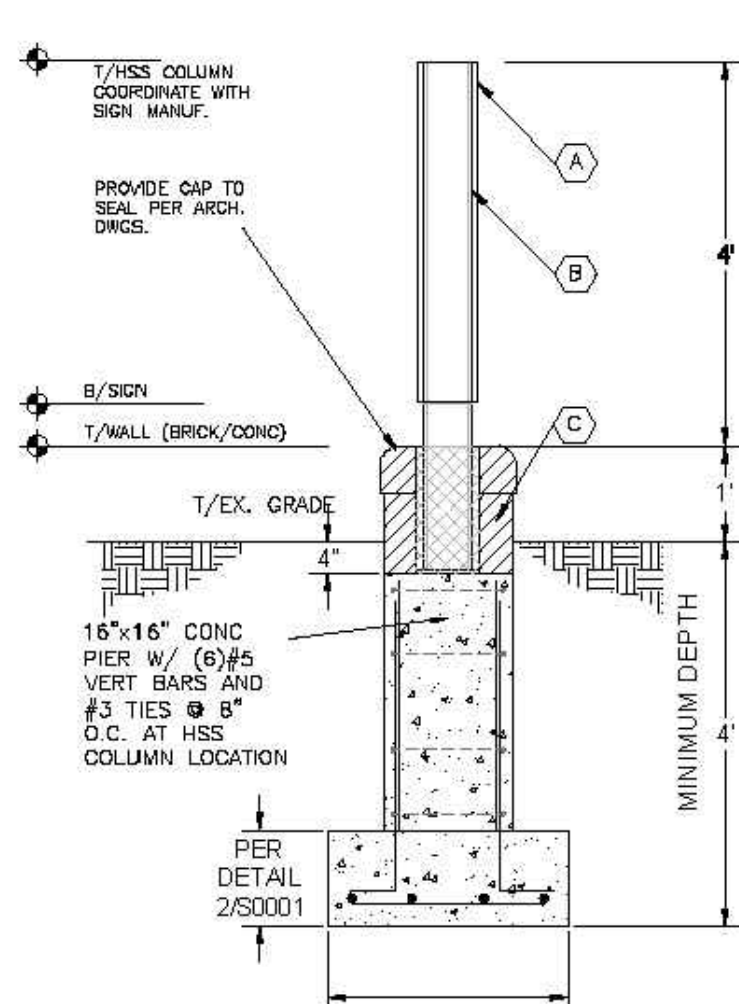
SIGN SUPPORT FOUNDATION PLAN



ELEVATION



SECTION



SECTION

GENERAL STRUCTURAL NOTES:

CODE ANALYSIS:

- 2015 VIRGINIA PLUMBING CODE.
- 2015 VIRGINIA MAINTENANCE CODE.
- 2015 VIRGINIA MECHANICAL CODE.
- 2015 VIRGINIA FUEL GAS CODE.
- 2015 VIRGINIA CONSTRUCTION CODE.
- 2015 VIRGINIA EXISTING BUILDING CODE.
- 2015 VIRGINIA RESIDENTIAL CODE.
- 2015 VIRGINIA BUILDING AND FIRE CODE RELATED REGULATIONS.
- 2015 INTERNATIONAL FIRE CODE.
- 2015 VIRGINIA ENERGY CONSERVATION CODE.

1. DESIGN LOADS:

- IBC 2015/ ASCE 7-10 AND ALL OTHER APPLICABLE CODES.
- DESIGN ULTIMATE WIND SPEED = 115 MPH (90 MPH ASD)
- EXPOSURE C
- LATERAL SOIL BEARING PER IBC CLASS 4 = 150 PCF

2. SOIL BEARING CAPACITY:

THE SOIL BEARING CAPACITY IS ASSUMED TO BE 2000 PSF. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE ACTUAL SOIL BEARING CAPACITY DURING THE CONSTRUCTION. THE FOOTING SHALL BEAR ON NATURAL UNDISTURBED SOIL UNLESS NOTED OTHERWISE.

3. FOUNDATION:

- ALL FOOTING SHALL BEAR ON UNDISTURBED VIRGIN SOIL U.N.O. ON PLAN.
- THE BOTTOM OF FOOTING SHALL EXTEND A MINIMUM OF FROST DEPTH 2'-6" TYPICAL BELOW THE FINISHED GRADE LEVEL UNLESS NOTED OTHERWISE ON PLAN.
- BOTTOM OF FOOTING ELEVATIONS SHOWN ON THE DRAWINGS ARE FOR ESTIMATION PURPOSES ONLY. FOOTING ELEVATIONS SHALL BE ADJUSTED AS REQUIRED BASED ON THE ACTUAL FIELD CONDITIONS.
- MAXIMUM SLOPE OF STEPPED WALL FOOTINGS SHALL BE ONE VERTICAL TO TWO HORIZONTAL.
- CONTRACTOR SHALL PROVIDE ADEQUATE SHORING FOR BASEMENT AND PIT WALLS AS REQUIRED.
- BACKFILL AGAINST BASEMENT WALLS SHALL NOT BE PLACED UNTIL SLAB ON GRADE AND THE FINISHED FLOOR SLAB ABOVE HAVE BEEN CAST AND THE CONCRETE HAS ATTAINED THE DESIGN STRENGTH. OTHERWISE BRACE THE WALLS AND SUBMIT DESIGN AND CALCULATIONS SIGNED BY A REGISTERED PROFESSIONAL ENGINEER FOR REVIEW.

G) WHERE BACKFILL IS REQUIRED ON BOTH SIDES OF A WALL, BACKFILL BOTH SIDES SIMULTANEOUSLY WITH THE GRADE DIFFERENCE NOT TO EXCEED 2'-0" MAXIMUM AT ANY TIME.

4. CONCRETE CAST IN PLACE:

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301, ACI 318 AND ACI 302.
- REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60.
- REINFORCEMENT SPICES SHALL BE LAP SPICES WITH A MINIMUM LAP OF 40 BAR DIAMETERS UNLESS NOTED OTHERWISE.
- CONCRETE COMPRESSIVE STRENGTHS AT 28 DAY CURE, F'C (PSI) SHALL BE AS FOLLOWS:
A) FOOTING AND FOUNDATION WALLS = 3000 PSI
B) CONCRETE WORK EXPOSED TO WEATHER = 3500 PSI
C) CONCRETE ON SLAB ON GRADE = 3500 PSI
D) CONCRETE WORKS EXPOSED TO FREEZE AND THAW CYCLE = 4500 PSI.

F) SLABS ON GRADE SHALL BE 6" THICK CONCRETE AND REINFORCED WITH 6X6 W14X14 WWF CONFORMING TO ASTM A185 U.N.O. LAP MESH 8" IN EACH DIRECTION. PLACE CONCRETE OVER 6 MIL POLYETHYLENE VAPOR BARRIERS WITH MIN 12" OVERLAP AND 4" MIN. INCHES MIN OF COARSE AGGREGATE OR AS RECOMMENDED BY THE SOILS ENGINEER. THE AGGREGATE LAYER SHALL BE PLACED OVER FIRM NATURAL SUBGRADE OR ON COMPACTED AND CONTROLLED FILL. USE AIR ENTRAINMENT AT ALL EXTERIOR SLABS. PROVIDE CONTROL AND CONSTRUCTION JOINTS AT BREAKTHROUGHS AS REQUIRED TO PREVENT UNCONTROLLED CRACKING PER ACI REQUIREMENTS.

F) SLUMP: 4 INCHES PLUS OR MINUS 1 INCH AT THE POINT OF DISCHARGE INTO THE FORMS.

- CAST-IN-PLACE CONCRETE SHALL BE READY-MIX PER ASTM C94. THE MIX SHALL BE PROPORTIONED WITH:
a) PORTLAND CEMENT, ASTM C150
b) AGGREGATES, ASTM C33 WITH 0.75 INCH MAXIMUM DIAMETER
c) NO CALCIUM CHLORIDE SHALL BE PERMITTED
d) AIR ENTRAINMENT, ASTM C260
e) WATER REDUCING ADMIXTURE, ASTM C494
f) FLYASH, ASTM C618-78 CLASS F, 15% MAXIMUM BY WEIGHT
g) WATER, CLEAN AND POTABLE

H) CONCRETE COVER BETWEEN FACE OF REINFORCING BAR AND FACE OF CONCRETE SHALL BE PLACED ACCORDING TO THE FOLLOWING MINIMUM DIMENSIONS UNLESS NOTED OTHERWISE:
a) 3 INCHES FOR CONCRETE CAST AGAINST EARTH
b) 2 INCHES FOR CONCRETE FORMED AND EXPOSED TO WEATHER OR EARTH
c) 1.5 INCHES FOR CONCRETE FORMED AND NOT EXPOSED TO WEATHER OR EARTH

I) ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE A MINIMUM AIR ENTRAINMENT OF 6% + 1.5% PER ACI, 318 4.1.1.

J) PROVIDE CORNER BARS 2' X 2' AT ALL WALL AND FOOTING INTERSECTIONS TO MATCH CONTINUOUS REINFORCING. ALL LAPS SHALL BE A MINIMUM OF 30 BAR DIAMETER.

K) PROVIDE PROPERLY TIED SPACERS, CHAIRS, BOLSTERS, ETC. AS REQUIRED AND NECESSARY TO ASSEMBLE, PLACE AND SUPPORT ALL REINFORCING IN PLACE. USE WIRE BAR TYPE SUPPORTS COMPLYING WITH CRSI RECOMMENDATIONS. USE PLASTIC TIP LEGS ON ALL EXPOSED SURFACES.

L) CONTRACTOR SHALL VERIFY EMBEDDED ITEMS, INCLUDING BUT NOT LIMITED TO ANCHOR BOLTS, BOLT CLUSTERS, WELD PLATES, ETC., BEFORE PLACING CONCRETE. NOTIFY ENGINEER OF ANY CONFLICTS WITH REBAR.

- STEP AND SLOPE ALL BALCONIES, WALKWAYS, AND PATIOS AWAY FROM THE BUILDING.
- RESTRICT THE ADDITION OF MIX WATER AT THE JOB SITE. DO NOT ADD WATER WITHOUT THE APPROVAL OF THE GENERAL CONTRACTOR AND DO NOT EXCEED SLUMP LIMITATIONS. USE COLD WATER FROM THE TRUCK TANK AND MIX TO ACHIEVE CONSISTENCY. THE REPORTS SHALL INDICATE HOW MUCH WATER WAS ADDED AT THE JOB SITE.
- CONCRETE SHALL BE PLACED WITHIN 90 MINUTES OF BATCH TIME.

THE BOTTOM OF ALL FOOTINGS SHALL EXTEND A MINIMUM OF FROST DEPTH (2'-6") BELOW THE FINISHED GRADE LINE, TYPICAL.

5. REINFORCING STEEL:

(A) REINFORCING BARS SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A-615, GRADE 60. STANDARD SUPPORTING ACCESSORIES SHALL BE FABRICATED IN ACCORDANCE WITH THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES ACI-315 AND CRSI STANDARDS. ALL REINFORCING ACCESSORIES SHALL BE PROVIDED IN ACCORDANCE WITH ACI RECOMMENDATIONS.

(B) WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 AND SHALL BE LAPPED AT LEAST 8" AND CONTAIN AT LEAST ONE CROSS WIRE WITHIN THE 8".

(6) MASONRY CONSTRUCTION

(A) HOLLOW LOAD BEARING UNITS SHALL BE NORMAL WEIGHT, TYPE 1 OR TYPE 2 CONFORMING TO ASTM C90 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI (f'm = 1500 psi).

(B) ALL MASONRY UNITS SHALL BE SOLID OR GROUTED SOLID BELOW GRADE U.N.O. ALL MASONRY UNITS FOR ELEVATOR AND OR STAIR SHAFTS SHALL BE MINIMUM 75% SOLID BLOCK.

(C) ALL MORTAR SHALL BE ASTM C270 TYPE S WITH A MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI AT 28 DAYS OR TYPE M WITH A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS. ALL CMU SHALL BE LAID IN A FULL BED OF MORTAR.

(D) COARSE GROUT SHALL CONFORM TO ASTM C476 WITH A MAXIMUM AGGREGATE SIZE OF 3/8" AND A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI VERIFIED FROM FIELD OBTAINED TEST CYLINDERS.

(E) VERTICAL REINFORCEMENTS SHALL BE AS NOTED ON THE DRAWINGS WITH CELLS FILLED SOLID WITH CONCRETE GROUT.

(F) VERTICAL REINFORCEMENT SHALL BE HELD IN POSITION AT THE TOP AND BOTTOM AND AT A MAXIMUM SPACING OF 8'-0". REINFORCEMENT SHALL BE PLACED AT THE CENTER OF THE MASONRY CELL TYPICAL U.N.O.

(G) REINFORCING STEEL SHALL BE LAPPED A MINIMUM OF 48 BAR DIAMETERS.

(H) HORIZONTAL WALL JOINT REINFORCEMENT SHALL BE MINIMUM 9 GA HOT DIPPED GALVANIZED TRUSS TYPE "DUR-O-WALL" OR EQUAL AT 16" ON CENTER, U.N.O. ON DRAWINGS. USE SHOP FABRICATED "L" AND "T" PIECES AT ALL CORNERS AND TEES.

(I) PROVIDE A MINIMUM OF 3 COURSES HIGH BY 2 COURSES WIDE GROUTED SOLID MASONRY AT BEAM BEARING POINTS, TYPICAL.

(J) PROVIDE PRECAST CONCRETE LINTELS OVER ALL OPENINGS U.N.O. LINTELS SHALL BE OF ADEQUATE SIZE AND REINFORCING FOR A GIVEN SPAN AND LOADING CNDITION. ALL LINTELS SHALL HAVE THE SAME FIRE RATINGS AS THE WALL.

(K) LINTELS FOR BRICK VENEER WALLS: PROVIDE ONE STEEL ANGLE FOR EACH 4 INCHES OF MASONRY WALL THICKNESS ACCORDING TO THE FOLLOWING:

FOR OPENING 4'-0" OR LESS STEEL ANGLE 1 1/2 x 3/8 x 5/16" (LLV)
FOR OPENING 4'-1" TO 6'-0" STEEL ANGLE 1 1/2 x 3/8 x 5/16" (LLV)
FOR OPENING 6'-1" TO 8'-0" STEEL ANGLE 1 1/2 x 3/8 x 5/16" (LLV)

(7) STRUCTURAL STEEL

A) STRUCTURAL STEEL SHALL CONFORM TO THE AISC "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", LATEST EDITION.

B) WELDED CONNECTIONS SHALL CONFORM TO THE LATEST REVISED CODE OF THE AMERICAN WELDING SOCIETY, AWS. ALL WELDING RODS SHALL BE E70XX, UNLESS NOTED OTHERWISE.

C) ALL WIDE FLANGE STEEL SHAPES AND TEES SHALL CONFORM TO ASTM A992, GRADE 50.

D) ALL BASE PLATES AND RIGID FRAMES SHALL CONFORM TO THE REQUIREMENTS OF ASTM A572, GRADE 50.

E) ALL OTHER STRUCTURAL PLATES AND SHAPES SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-36, U.N.O.

F) ALL PIPE SECTIONS SHALL CONFORM TO THE ASTM A53, GRADE B, STANDARD PIPE TO BE USED UNLESS NOTED OTHERWISE.

G) ALL STRUCTURAL TUBE SECTIONS SHALL BE ASTM A500, GRADE B.

H) ALL ANCHOR BOLTS SHALL BE ASTM A307, U.N.O.

I) ALL LINTELS AND SHELF ANGLES SHALL BE PAINTED, TYP. U.N.O.

J) PROVIDE STEEL ANGLE LINTELS OVER ALL BRICK VENEER OPENINGS AND RECESSES U.N.O.

(8) FASTENERS AND ANCHORING DEVICES:

A) FOR ANCHORAGE INTO CRACKED AND UNCRACKED PRODUCTS: (I) MECHANICAL ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH AC308.2 AND/OR ICC-ES AC108 FOR CRACKED CONCRETE AND SEISMIC APPLICATIONS. (II) ADHESIVE ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH AC308.4 AND/OR ICC-ES AC308 FOR CRACKED CONCRETE AND SEISMIC APPLICATIONS. ADHESIVE ANCHORS SHALL BE INSTALLED BY A CERTIFIED ADHESIVE INSTALLER.

B) FOR ANCHORING INTO UNCRACKED CONCRETE: MECHANICAL ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH FACTOR MUTUAL AND UNDERWRITERS LABORATORIES STANDARDS AND MEET THE APPROPRIATE FEDERAL SPECIFICATIONS REQUIREMENTS.

C) FOR ANCHORING INTO HOLLOW CONCRETE MASONRY: (I) MECHANICAL ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC106 FOR PERFORMANCE IN HOLLOW CONCRETE MASONRY. (II) ADHESIVE ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC08 FOR PERFORMANCE IN HOLLOW CONCRETE MASONRY USING MANUFACTURER'S RECOMMENDED SCREEN TUBES.

D) FOR ANCHORING INTO UNREINFORCED MASONRY: ADHESIVE ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC06 FOR PERFORMANCE IN UNREINFORCED MASONRY USING MANUFACTURER'S RECOMMENDED SCREEN TUBES.

- FOR ANCHORING INTO GROUT FILLED CONCRETE MASONRY UNITS: (I) MECHANICAL ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC01 OR ICC-ES AC106. (II) ADHESIVE ANCHORS SHALL HAVE BEEN TESTED IN ACCORDANCE WITH ICC-ES AC08.

(9) SIGN REGULATIONS

A) EACH SIGN OR PART OF SIGN ERECTED SHALL CONFORM TO COUNTY ORDINANCES, MUNICIPAL CODE AND ALL LOCAL AND STATE APPLICABLE BUILDING CODES. SIGNS SHALL NOT BE INSTALLED WITHOUT OBTAINING AN APPROVAL FROM THE CONCERNED AUTHORITIES.

B) THE SIGN INSTALLED SHALL HAVE AREA, HEIGHT AND ILLUMINATION AS ALLOWED BY THE CODE AND SHALL BE INSTALLED CONFORMING TO CODE REQUIREMENTS.

C) NO SIGN SHALL BE ERECTED, PLACED, MAINTAINED, CONVERTED, ENLARGED, RE-CONSTRUCTED OR STRUCTURALLY ALTERED WHICH DOES NOT COMPLY WITH THE APPLICABLE CODES.

D) NO SIGN SHALL BE ILLUMINATED IN SUCH A MANNER AS TO CAST A GLARE ON NEIGHBORING SITES OR IN SUCH A MANNER AS TO IMPEDE THE SAFE MOVEMENT OF TRAFFIC.

E) ALL SIGNS SHALL BE MAINTAINED IN A GOOD STATE OF REPAIR, INCLUDING BUT NOT LIMITED TO, THE STRUCTURAL COMPONENTS, THE LIGHTING, IF ANY, THE PORTION ATTACHING THE SIGN TO THE GROUND OR STRUCTURE, AND THE SURFACE FEATURES.

(10) NOTES TO GENERAL CONTRACTOR:

(A) THE STRUCTURAL DRAWINGS SHALL BE UTILIZED IN CONJUNCTION WITH OTHER DESIGN CONSULTANTS DRAWINGS (ARCHITECTURAL, MECHANICAL, CIVIL, ETC.) AS APPLICABLE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE REQUIREMENTS OF THE DRAWINGS INTO THEIR SHOP DRAWING AND CONSTRUCTION.

(B) THE GENERAL STRUCTURAL NOTES ARE INTENDED FOR USE IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS. IN THE EVENT OF A CONFLICT BETWEEN THE TWO, THE GENERAL NOTES SHALL SUPERSEDE THE PROJECT SPECIFICATIONS. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER.

(C) THE STRUCTURAL DRAWINGS ARE INTENDED FOR THE STRUCTURE TO ACT AS A WHOLE ONCE CONSTRUCTION IS COMPLETE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE SAFETY AND STABILITY (I.E. TEMPORARY BRACING IF REQUIRED) DURING CONSTRUCTION AS A RESULT OF CONSTRUCTION METHODS AND SEQUENCES.

(D) THE CONTRACTOR SHALL TAKE INTO ACCOUNT COLD WEATHER CONSTRUCTION AND EFFECTS OF THERMAL MOVEMENT DURING THE CONSTRUCTION SCHEDULE.

(E) NON-CANTILEVERED OR RESTRAINED RETAINING WALLS SHALL NOT BE BACKFILLED UNTIL THE WALL HAS BEEN TIED INTO THE LOWER AND UPPER SLAB SUPPORTS UNLESS ADEQUATE ENGINEERED BRACING HAS BEEN PROVIDED.

(F) THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. THE THE ARCHITECT/AND OR ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY BETWEEN THE EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS.

(G) DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE ASSUMED.

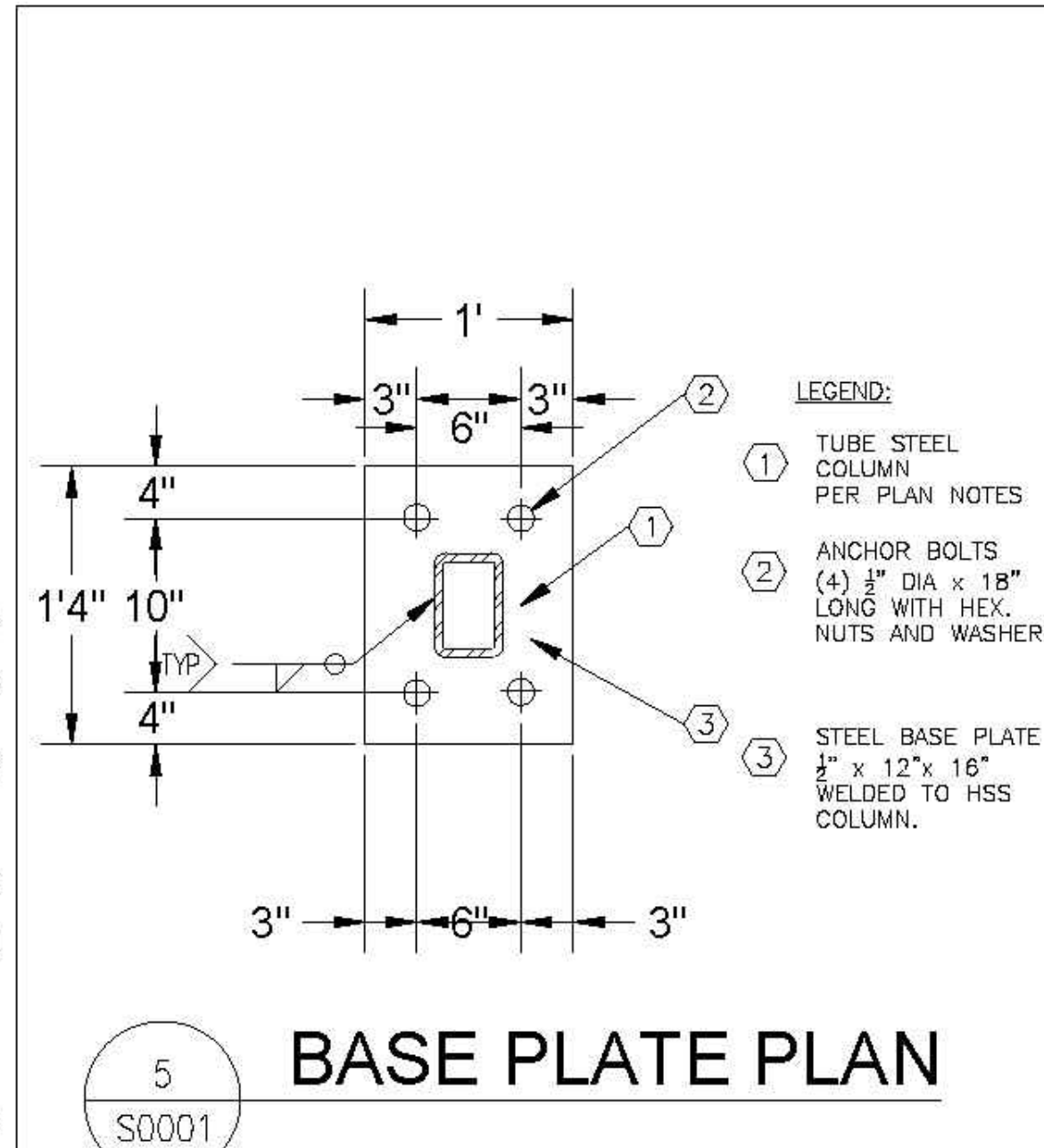
(11) DEMOLITION NOTES:

A. ALL WORK PERTAINING TO DEMOLITION SHALL BE COORDINATED WITH THE OWNER. THE CONTRACTOR SHALL PRESENT THE BUILDING PERMIT AND INSURANCE CERTIFICATES TO THE OWNER PRIOR TO START OF THE CONSTRUCTION WORK.

B. CONTRACTOR SHALL KEEP THE PROJECT SITE FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS FROM PROJECT SITE AND SHALL PROVIDE DUMPSTERS ETC. AS REQUIRED. ALL DEBRIS SHALL BE REMOVED ON A DAILY BASIS.

C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING BUILDING AND OTHER INSTALLATIONS THAT ARE TO REMAIN INTACT WHILE PERFORMING THE SPECIFIED WORK.

D. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY EXISTING CONDITIONS. INFORMATION PROVIDED ON EXISTING CONCEALED CONDITIONS AND CONNECTIONS ARE BASED UPON LIMITED FIELD OBSERVATIONS.



BASE PLATE PLAN

CIVIL ENGINEERS:



Revised 2.27.2020

9506B LEE HWY.
FAIRFAX, VA 22031
Phone: (571) 249-3448
Fax : (703) 940-2280
www.plan-source.com
bprakash@plan-source.com



No.	DATE:	REVISIONS
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No.	DATE:	SUBMISSIONS
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PROJECT INFORMATION:

834 N WASHINGTON ST
ALEXANDRIA, VA 22314

OWNER'S NAME:

NORTH WASHINGTON STREET
PROPERTIES LLC

834 N WASHINGTON ST
ALEXANDRIA VA 22314

DRAWING TITLE:

FOUNDATION DETAIL

AREA: **10,267SF**
0.235 AC

SCALE: **NA**

PROJECT MANAGER:

BP

DRAWN BY:

BSA

DATE:

DEC 2019

CHECKED BY:

PR

Map-Block-

Lof Number:

054.02-08-04

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S0001

LANDMARK[®] SERIES

Luxury and Designer Roofing Shingles



CertainTeed
SAINT-GOBAIN





Trust Your Home to Landmark®

Few things in this world are as precious as the place that you call home. It is much more than just a house. It's the foundation from which you build your life. That's why having a roof that gives your home long-lasting curb appeal and protection from the elements is so important. At CertainTeed, our benchmark for success is our customers' total peace of mind. And we wouldn't have it any other way.

Our dedication to making the highest-quality roofing systems continues to earn the respect of top building professionals. And our product portfolio offers the widest variety of design and color options in the industry. It's no wonder that more than a million homeowners across North America choose CertainTeed each year.

And the job doesn't stop once the roof goes on. Every CertainTeed product is backed by our industry-leading manufacturer's warranty, allowing you to rest confidently and comfortably for years to come.

$$\begin{array}{ccccccc} \text{Q} & + & \text{Shield with checkmark} & + & \text{SINCE 1904} & = & \text{PEACE OF MIND} \\ \text{High-Quality,} & & \text{Industry-Best} & & \text{Century of} & & \\ \text{Reliable} & & \text{Warranty} & & \text{Trusted} & & \\ \text{Choice} & & & & \text{Performance} & & \end{array}$$

Technology that protects
the beauty of your roof and
strengthens its performance.



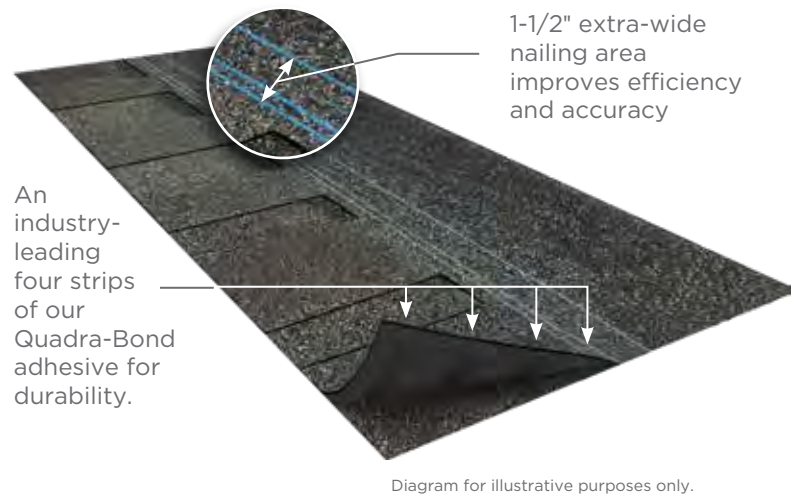


Landmark, shown in Moire Black

NAILTrak[®] Shingle Technology

The bond that holds it together.

For more than a decade, NailTrak has improved shingle installation by providing a nailing area three times wider than that of a typical laminate shingle. This increases efficiency and accuracy in installation, providing homeowners greater peace of mind. Landmark[®] shingles also feature our specially-formulated Quadra-Bond[®] adhesive, providing industry-leading resistance to delamination. Together, our NailTrak and Quadra-Bond technologies deliver the strength and durability that allow your roof to stand the test of time.



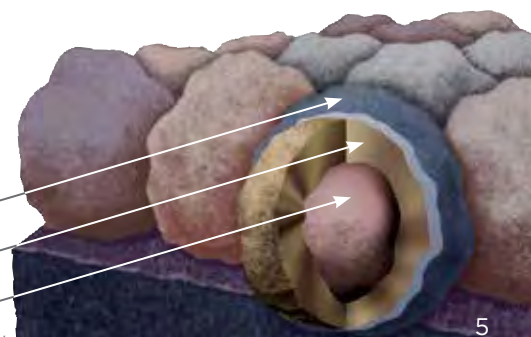
STREAKFighter[®] Algae-Resistant Shingle Technology

The ultimate in stain protection.

Those streaks you see on other roofs in your neighborhood? That's algae, and it's a common eyesore on roofing throughout North America. CertainTeed's StreakFighter technology uses the power of science to repel algae before it can take hold and spread. StreakFighter's granular blend includes naturally algae-resistant copper, helping your roof maintain its curb appeal and look beautiful for years to come.

Granule with StreakFighter Technology

- Ceramic coating
- Copper layer
- Mineral core







The Trusted Classic

LANDMARK®

Owning a Landmark roof brings peace of mind. Landmark's dual-layered construction and exceptional durability provide long-lasting protection for your home.

- Dual-layered for extra dimensionality and protection from the elements
- Offers the widest array of colors in the industry
- Independently certified as meeting the highest quality standards for roofing



Silver Birch

LANDMARK® COLOR PALETTE



Silver Birch
CRRP Product ID 0668-0072



Granite Gray



Driftwood



Moire Black



Mountain Timber



Burnt Sienna



Georgetown Gray



Weathered Wood



Cinder Black



Black Walnut



Heather Blend



Resawn Shake





The Expert's Choice

LANDMARK® PRO Architect 80

A refined union of vision and value, our PRO line leads its class in optimal performance and variety of color.

- Engineered to meet professional contractors' exacting specifications
- Available in a wide selection of eye-catching **Max Def** colors
- Outweighs standard laminates to provide greater protection from the elements



Max Def Moire Black

LANDMARK® PRO/Architect 80 COLOR PALETTE



Max Def Granite Gray



Max Def Georgetown Gray



Cinder Black



Max Def Black Walnut



Max Def Weathered Wood



Max Def Moire Black



Max Def Heather Blend

MAX DEF COLORS

Look deeper. With Max Def, a new dimension is added to shingles with a richer mixture of surface granules. You get a brighter, more vibrant, more dramatic appearance and depth of color. And the natural beauty of your roof shines through.



Top Shelf

LANDMARK[®] PREMIUM

A sophisticated look, brilliantly executed. Our Premium line is engineered to protect, enhance and endure.

- Outclasses ordinary roofing in both appearance and performance
- Tough two-piece laminated fiberglass-based construction
- Features **Max Def** colors for a deeper, richer mixture of surface granules



Max Def Weathered Wood

LANDMARK® PREMIUM COLOR PALETTE



Max Def Weathered Wood



Max Def Moire Black



Max Def Heather Blend

MAX DEF COLORS

Look deeper. With Max Def, a new dimension is added to shingles with a richer mixture of surface granules. You get a brighter, more vibrant, more dramatic appearance and depth of color. And the natural beauty of your roof shines through.





Depth of Character

LANDMARK® TL

Dramatically thick. Classically elegant. These wood-inspired shakes offer triple lamination for rugged wear with real charisma.

- Look of hand-split cedar
- Patented 3-layer laminate
- Random tab design and unique natural shadows
- A luxury-class shingle produced at a fraction of the cost of wood shake



Shenandoah

LANDMARK® TL COLOR PALETTE



Country Gray



Moire Black



Max Def Black Walnut



Shenandoah

Strength with Style

LANDMARK®

- Dual-layer durability
- Industry-best lifetime limited warranty
- 10-year StreakFighter® algae-resistance warranty



LANDMARK® PRO

Architect 80

- Dual-layer, high performance
- Max Def color palette
- Industry-best lifetime limited warranty
- 15-year StreakFighter® algae-resistance warranty



LANDMARK® PREMIUM

- Dual-layer, high performance
- Max Def color palette
- Industry-best lifetime limited warranty
- 15-year StreakFighter® algae-resistance warranty



LANDMARK® TL

- Triple-layer, high performance
- Rustic appearance of hand-split wood shakes
- Industry-best lifetime limited warranty
- 15-year StreakFighter® algae-resistance warranty



LANDMARK SERIES

SPECIFICATIONS

- Two-piece (Landmark, Landmark Pro and Landmark Premium) and three-piece (Landmark TL) laminated fiberglass-based construction
- Classic shades and dimensional appearance of natural wood or slate

For U.S. building code compliance, see product specification sheets.

CertainTeed products are tested to ensure the highest quality and comply with the following industry standards:

Fire Resistance:

- UL Class A
- UL certified to meet ASTM D3018 Type 1

Wind Resistance:

- UL certified to meet ASTM D3018 Type 1
- ASTM D3161 Class F

Tear Resistance:

- UL certified to meet ASTM D3462
- CSA standard A123.5

Wind Driven Rain Resistance:

- Miami-Dade Product Control Acceptance: Please reference www.certainteed.com to determine approved products by manufacturing location.

Quality Standards:

- ICC-ES-ESR-1389 & ESR-3537

WARRANTY

- Lifetime limited transferable warranty against manufacturing defects on residential applications
- 50-year limited transferable warranty against manufacturing defects on group-owned or commercial applications (Landmark PRO, Landmark Premium and Landmark TL)
- StreakFighter® algae-resistance warranty (10-year – Landmark, 15-year – Landmark PRO, Landmark Premium and Landmark TL)
- 10-year SureStart™ protection
- 15-year 110 mph wind-resistance warranty
- Wind warranty upgrade to 130 mph available. CertainTeed starter and CertainTeed hip and ridge required

See actual warranty for specific details and limitations.

The ColorView® Visualizer: Design your Dream Home with the Click of a Mouse

CertainTeed created the ColorView tool to help homeowners bring their creative vision to reality.

Just look through a photo library of homes to choose one that looks most like your own. Then click on the roof to easily switch designs and see what CertainTeed product looks best. You can choose from hundreds of different roofing design and color combinations, and even add roof accents in different colors. All before anyone raises a hammer.

Want to visualize different roofing styles on your own home? You can upload photos to ColorView and have them digitally masked by one of our design professionals, or use DIY mode to upload and mask your own photos.

Plus, you can print or share your ColorView photos with family and friends to get their feedback. Visit colorview.certainteed.com and get started.



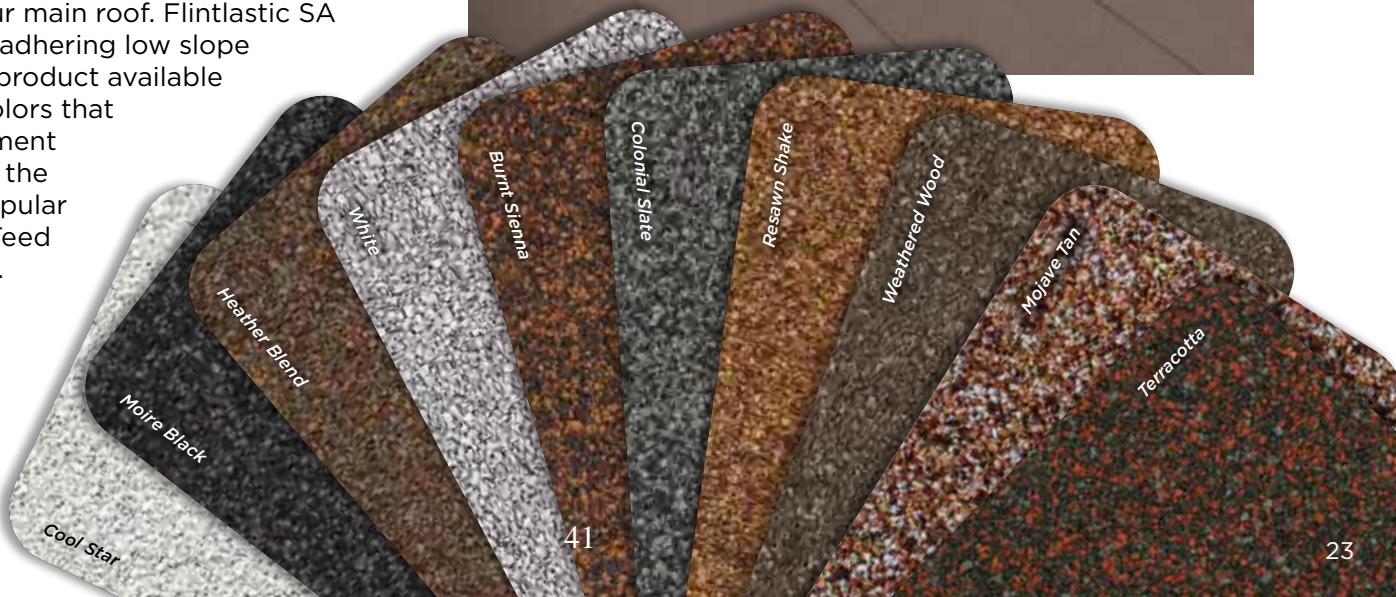


Add a Little Accent to Your Roof

CertainTeed offers Mountain Ridge®, an accessory product used for capping hips and ridges. It is the perfect finishing touch for your roof, offering blended color and high-profile design. CertainTeed also offers Shadow Ridge®, a low-profile design for capping hip and ridges.

Color Companion Products for Flat Roof Areas

With CertainTeed Flintlastic® SA, you can coordinate flat roof areas like carports, canopies and porches with your main roof. Flintlastic SA is a self-adhering low slope roofing product available in ten colors that complement some of the most popular CertainTeed shingles.





Integrity Roof System™

A COMPLETE APPROACH TO LONG LASTING BEAUTY AND PERFORMANCE



With as much care as you take in selecting the right contractor, choosing the right roof system is equally as important. A CertainTeed Integrity Roof System combines key elements that help ensure you have a well-built roof for long-lasting performance.

1. Waterproofing Underlayment

The first step in your defense against the elements. Self-adhering underlayment is installed at vulnerable areas of your roof to help prevent leaks from wind-driven rain and ice dams.

2. Water-Resistant Underlayment

Provides a protective layer over the roof deck and acts as a secondary barrier against leaks.

3. Starter Shingles

Starter Shingles are the first course of shingles that are installed and designed to work in tandem with the roof shingles above for optimal shingle sealing and performance.

4. Shingles

Choose from a variety of Good-Better-Best styles to complement any roof design and fit your budget.

5. Hip & Ridge Caps

Available in numerous profiles, these accessories are used on the roof's hip and ridge lines for a distinctive finishing touch to your new roof.

6. Ventilation

A roof that breathes is shown to perform better and last longer. Ridge Vents, in combination with Intake Vents, allow air to flow on the underside of your roof deck, keeping the attic cooler in the summer and drier in the winter.

learn more at:

certainteed.com/roofing

Landmark® Series
available in
areas shown



CertainTeed

CEILINGS • DECKING • FENCE • GYPSUM • INSULATION • RAILING • ROOFING • SIDING • TRIM

20 Moores Road Malvern, PA 19355 Professional: 800-233-8990 Consumer: 800-782-8777 certainteed.com