

ADDRESS OF PROJECT: 214 S. Henry Street

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building
074.01-08-25

TAX MAP AND PARCEL: _____ ZONING: CL

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: Timothy DeKeyser and Ellen D'Angelo

Address: 1300 S. Miami Ave Unit 1106

City: Miami State: FL Zip: 33130

Phone: 571-228-6897 E-mail: tdekeyser2@gmail.com

Authorized Agent *(if applicable)*: ☐ Attorney ☒ Architect ☐ _____

Name: Brian Cutler Phone: 434-242-5440

E-mail: BrianCutler0717@gmail.com

Legal Property Owner:

Name: Timothy DeKeyser and Ellen D'Angelo

Address: 1300 S. Miami Ave Unit 1106

City: Miami State: FL Zip: 33130

Phone: 571-228-6897 E-mail: tdekeyser2@gmail

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☒ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☒ NEW CONSTRUCTION
☐ EXTERIOR ALTERATION: *Please check all that apply.*
 ☐ awning ☐ fence, gate or garden wall ☐ HVAC equipment ☐ shutters
 ☒ doors ☒ windows ☒ siding ☐ shed
 ☐ lighting ☒ pergola/trellis ☐ painting unpainted masonry
 ☐ other _____
☒ ADDITION
☒ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Please review the additional Supporting Material page attached.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☒ ☐ Description of the reason for demolition/encapsulation.
☒ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Modifications to BAR #2019-00418 and BAR #2019-00419

1. Proposing demolition of the entirety of the rear addition from 1970s and rebuilding with all new materials.
2. An addition of an egress window with window well in basement as required per Virginia Residential Code.
3. Proposing a realignment of new first floor French doors with porch, and second floor balcony.
4. Proposing a revision to enlarge the exterior stairwell to basement including a guardrail at grade.
5. Proposing a realignment of the first floor windows at southeast corner so the windows on the first and second floor will now align.
6. Proposing a modification to the first floor window to change to triple-ganged window (facing the kitchen).

Permit to Demolish/Capsulate

The following features will be demolished:

- angled portion of existing roof deck and the six-foot fence surrounding the deck
- one-story mechanical room/"shed"
- 1970s addition which includes the kitchen, adjacent brick chimney, bedroom, and rooftop greenhouse enclosure.

Description of the reason for demolition/encapsulation:

During the asbestos abatement process, we uncovered significant damage to the exterior framing and structural bearing walls. This addition to the home, built upon a patio slab, was most likely completed in the 1970s, and includes the kitchen, adjacent brick chimney, bedroom, and rooftop greenhouse enclosure.

Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible:

The current condition of the foundation and framing in the 1970s addition appear to be beyond basic and or partial repairs and would benefit greatly from being rebuilt with all new materials, therefore, we are proposing demolition for this portion of the home.

Project Description

- Rebuild existing rooftop deck and pergola over footprint of the existing rooftop deck. Angled portion of rooftop deck to be completely removed.
- New addition to the third floor to include new stair to access the third floor, rooftop deck, and new bathroom.
- Relocate existing and new window and door openings on side and rear facade.
- New interior alterations.
- Remove existing mechanical "shed" at rear of house and create a small porch with balcony at the rear of the property. Remove existing brick chimney.
- New stairwell to basement.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A
- ☒ ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
 - ☒ ☐ FAR & Open Space calculation form.
 - ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
 - ☒ ☐ Existing elevations must be scaled and include dimensions.
 - ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
 - ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
 - ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☒ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A
- ☐ ☐ Linear feet of building: Front: _____ Secondary front (if corner lot): _____
 - ☐ ☐ Square feet of existing signs to remain: _____
 - ☐ ☐ Photograph of building showing existing conditions.
 - ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
 - ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
 - ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
 - ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A
- ☐ ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
 - ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
 - ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
 - ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
 - ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☐ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☐ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☐ I, the applicant, or an authorized representative will be present at the public hearing.
- ☐ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Brian Cutler

Printed Name: Brian Cutler

Date: 03/02/2020

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Timothy DeKeyser and Ellen D'Angelo	214 S. Henry Street	100
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 214 S. Henry Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Timothy DeKeyser and Ellen D'Angelo	214 S. Henry Street	100
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Timothy DeKeyser Ellen D'Angelo	previous architect	Bud Adams
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

03/02/2020

Date

Brian Cutler

Printed Name

Brian Cutler

Signature



DRAWING LIST

COVER SHEET

G0.1 FAR CALCULATIONS & PRODUCT SPECS

G0.2 PLAT

G0.3 EXISTING PHOTOGRAPHS

A0.1 EXISTING FLOOR PLAN - BASEMENT

A0.2 EXISTING FLOOR PLAN - 1ST FLOOR

A0.3 EXISTING FLOOR PLAN - 2ND FLOOR

A0.4 EXISTING FLOOR PLAN - 3RD FLOOR

A0.5 EXISTING ELEVATION - SOUTH (SIDE)

A0.6 EXISTING ELEVATION - EAST (REAR)

A1.0 PROPOSED FLOOR PLAN - BASEMENT

A1.1 PROPOSED FLOOR PLAN - 1ST FLOOR

A1.2 PROPOSED FLOOR PLAN - 2ND FLOOR

A1.3 PROPOSED FLOOR PLAN - 3RD FLOOR

A2.1 PROPOSED ELEVATION - SOUTH (SIDE)

A2.2 PROPOSED ELEVATION - EAST (REAR)

214 S. HENRY STREET

CITY OF ALEXANDRIA

BOARD OF ARCHITECTURAL REVIEW

MARCH 2, 2020

REVISIONS TO PREVIOUSLY APPROVED CASE#2019-00418 & #2019-00419



Department of Planning and Zoning
Floor Area Ratio and Open Space Calculations
as of 12/20/18

B

A. Property Information

A1. 214 S. Henry Street CL
Street Address Zone
A2. 1,793.00 x 0.75 = 1,344.75
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**		
Basement	320.00	Basement**	320.00	B1. 2,484.25 Sq. Ft.
First Floor	876.00	Stairways**	107.00	Existing Gross Floor Area*
Second Floor	830.00	Mechanical**	12.00	B2. 845.25 Sq. Ft.
Third Floor	252.00	Attic less than 7***	50.00	Allowable Floor Exclusions**
Attic	0.00	Porches**	0.00	B3. 1,639.00 Sq. Ft.
Porches	0.00	Balcony/Deck**	0.00	Existing Floor Area Minus Exclusions
Balcony/Deck	206.25	Lavatory***	150.00	(subtract B2 from B1)
Lavatory***		Other**	206.25	Comments for Existing Gross Floor Area
Other**		Other**		
B1. Total Gross	2,484.25	B2. Total Exclusions	845.25	

C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**		
Basement	535.00	Basement**	535.00	C1. 711.00 Sq. Ft.
First Floor	0.00	Stairways**	47.00	Proposed Gross Floor Area*
Second Floor	0.00	Mechanical**		C2. 713.00 Sq. Ft.
Third Floor	150.00	Attic less than 7***	55.00	Allowable Floor Exclusions**
Attic		Porches**	26.00	C3. -2.00 Sq. Ft.
Porches	26.00	Balcony/Deck**		Proposed Floor Area Minus Exclusions
Balcony/Deck		Lavatory***	50.00	(subtract C2 from C1)
Lavatory***		Other**		
Other		Other**		
C1. Total Gross	711.00	C2. Total Exclusions	713.00	

D. Total Floor Area

D1. 1,637.00 Sq. Ft.
Total Floor Area (add B3 and C3)
D2. 1,344.75 Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space

E1. Sq. Ft.
Existing Open Space
E2. Sq. Ft.
Required Open Space
E3. Sq. Ft.
Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:

Brian Cutler

Date:

3/2/20

PRODUCT SPECIFICATIONS

FIBER CEMENT SIDING:

JAMES HARDIE, HARDIE PLANK SIDING
SMOOTH FINISH, 8.25" WIDTH (7" EXPOSURE)
COLOR: COBBLESTONE

WINDOWS:

PELLA ARCHITECT SERIES TRADITIONAL, DOUBLE HUNG
ALUMINUM CLAD WOOD
EXTERIOR FINISH: WHITE
SIZES VARY, REFER TO ELEVATIONS
GLAZING: ADVANCED LOW-E INSULATED

DOORS:

PELLA ARCHITECT SERIES TRADITIONAL
FIRST FLOOR: OUT-SWING, WITH WHITE CLAD EXTERIOR
SECOND FLOOR: SLIDING, WITH WHITE CLAD EXTERIOR
GLAZING: ADVANCED LOW-E INSULATED

PERGOLA, RAILINGS, DECKING:

TREX PERGOLA SYSTEM

FINISH: CLASSIC WHITE

DECKING: SYNTHETIC TREX DECKING

BRIAN CUTLER, AIA

2108 Lirio Court
Reston, VA 20191

434.242.5440

D'ANGELO DEKEYSER RESIDENCE

214 S. Henry Street
Alexandria, VA 22314

FAR
CALCULATIONS
AND PRODUCT
SPECS

CITY OF ALEXANDRIA
BOARD OF
ARCHITECTURAL REVIEW

03/02/2020

G0.1

THE GALLERY
LOT 1

[illegible]

FANNON #2
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 10' APRIL 19, 2012

GRAPHIC SCALE



THE POSITION OF THE EXISTING IMPROVEMENTS HAS BEEN

G0.2



VIEW FROM HENRY STREET



VIEW OF SIDE AND REAR ELEVATIONS



VIEW OF EXISTING PERGOLA



VIEW OF EXISTING ROOF FENCE



VIEW OF REAR ELEVATION

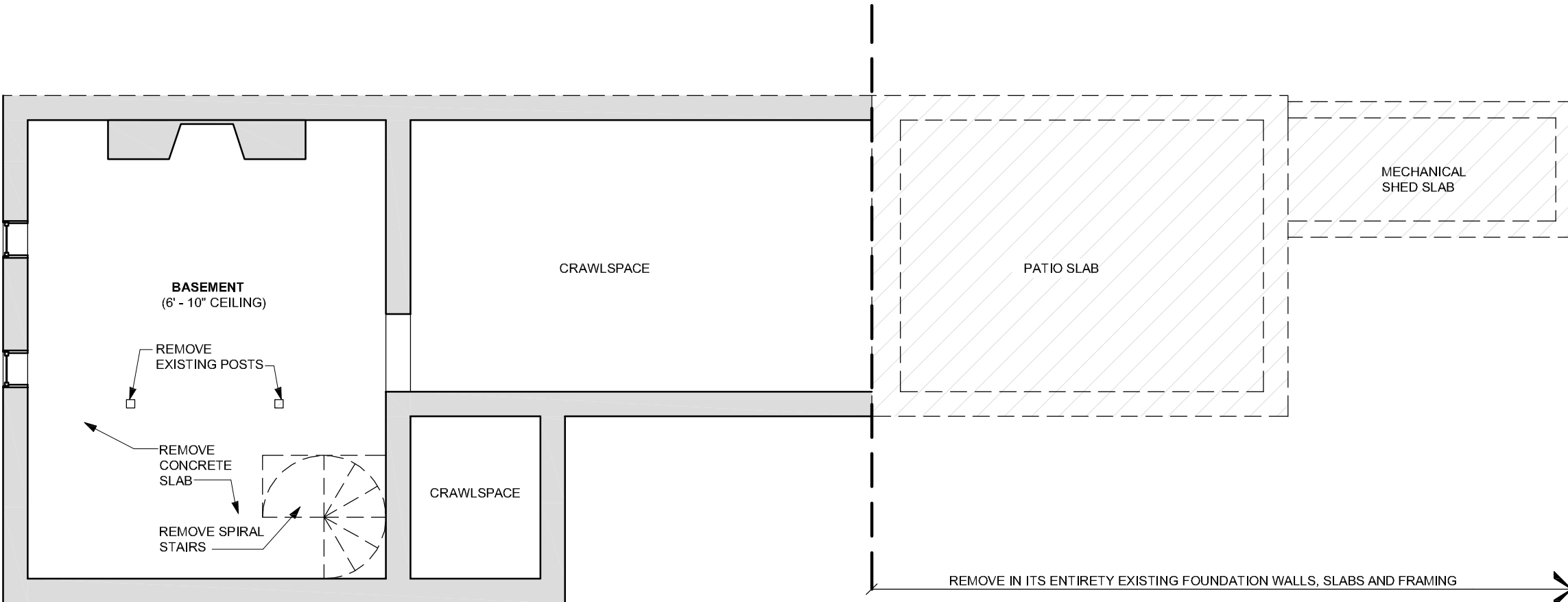
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Alexandria, VA 22314

**EXISTING
PHOTOGRAPHS**

CITY OF ALEXANDRIA
BOARD OF
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03/02/2020

G0.3



EXISTING TO REMAIN

EXISTING TO BE DEMOLISHED

1 EXISTING FLOOR PLAN - BASEMENT

3/16" = 1'-0"

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D'ANGELO DEKEYSER RESIDENCE
 214 S. Henry Street
 Alexandria, VA 22314

EXISTING FLOOR PLAN - BASEMENT

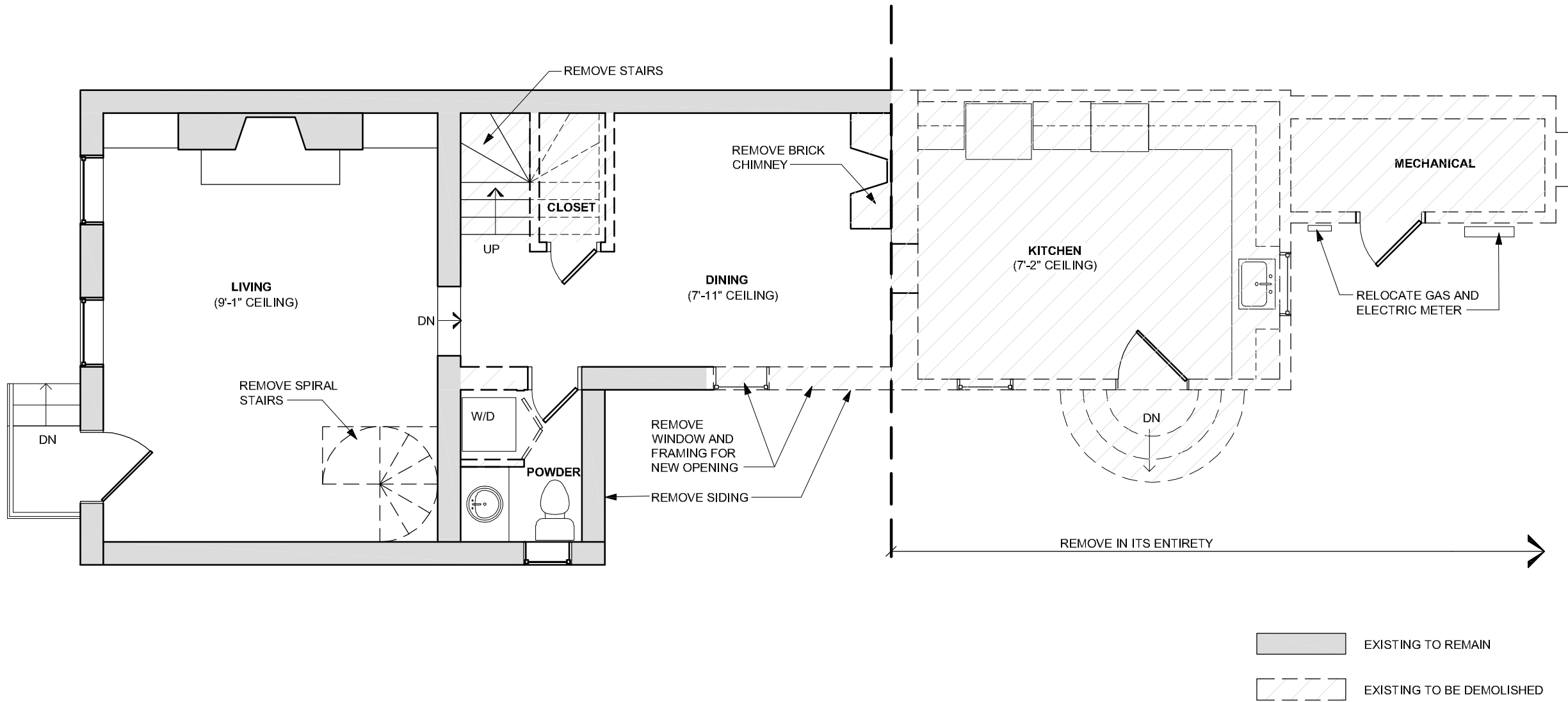
CITY OF ALEXANDRIA
 BOARD OF ARCHITECTURAL REVIEW
 03/02/2020

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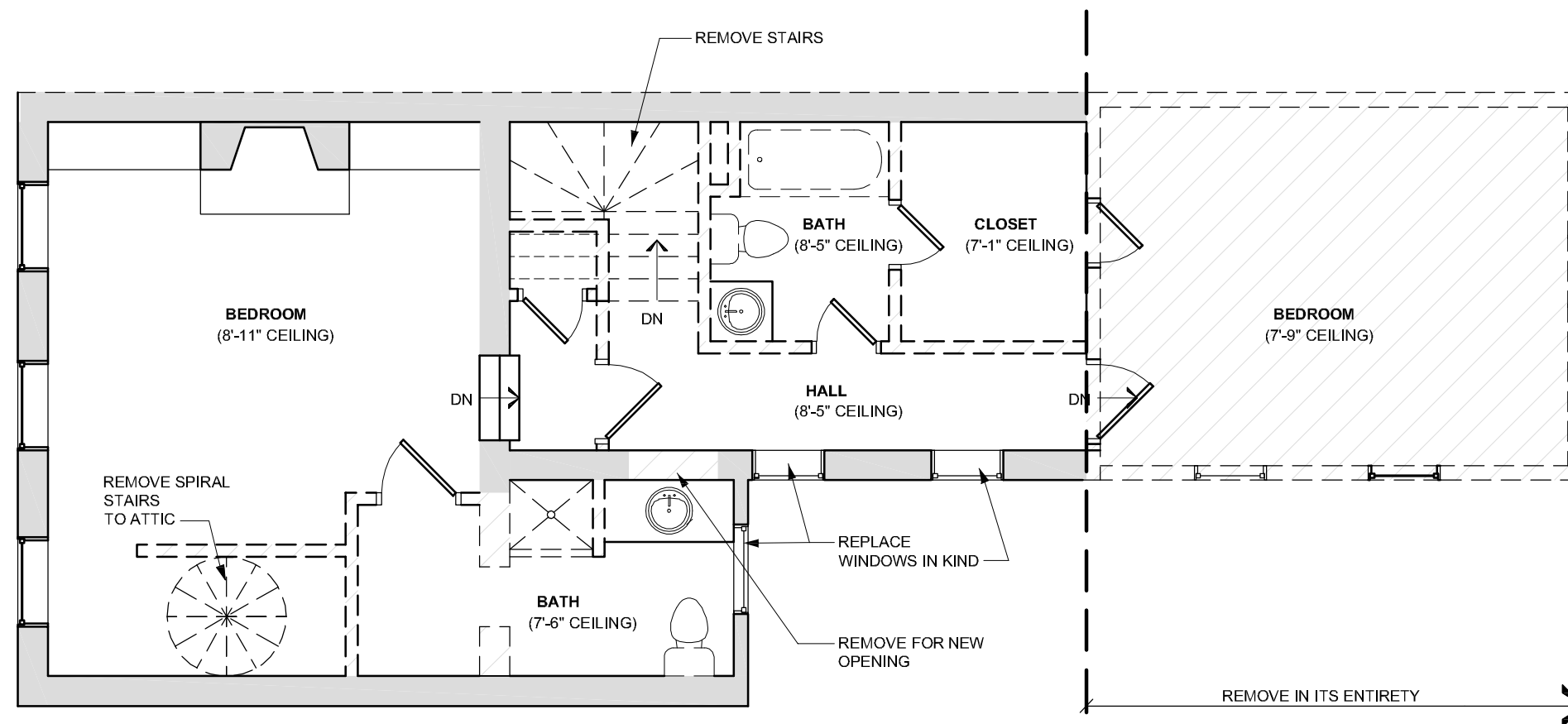
D'ANGELO DEKEYSER RESIDENCE
214 S. Henry Street
Alexandria, VA 22314

EXISTING
FLOOR PLAN -
FIRST FLOOR

CITY OF ALEXANDRIA
BOARD OF
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03/02/2020



1 EXISTING FLOOR PLAN - FIRST FLOOR
3/16" = 1'-0"



1 EXISTING FLOOR PLAN - SECOND FLOOR

3/16" = 1'-0"

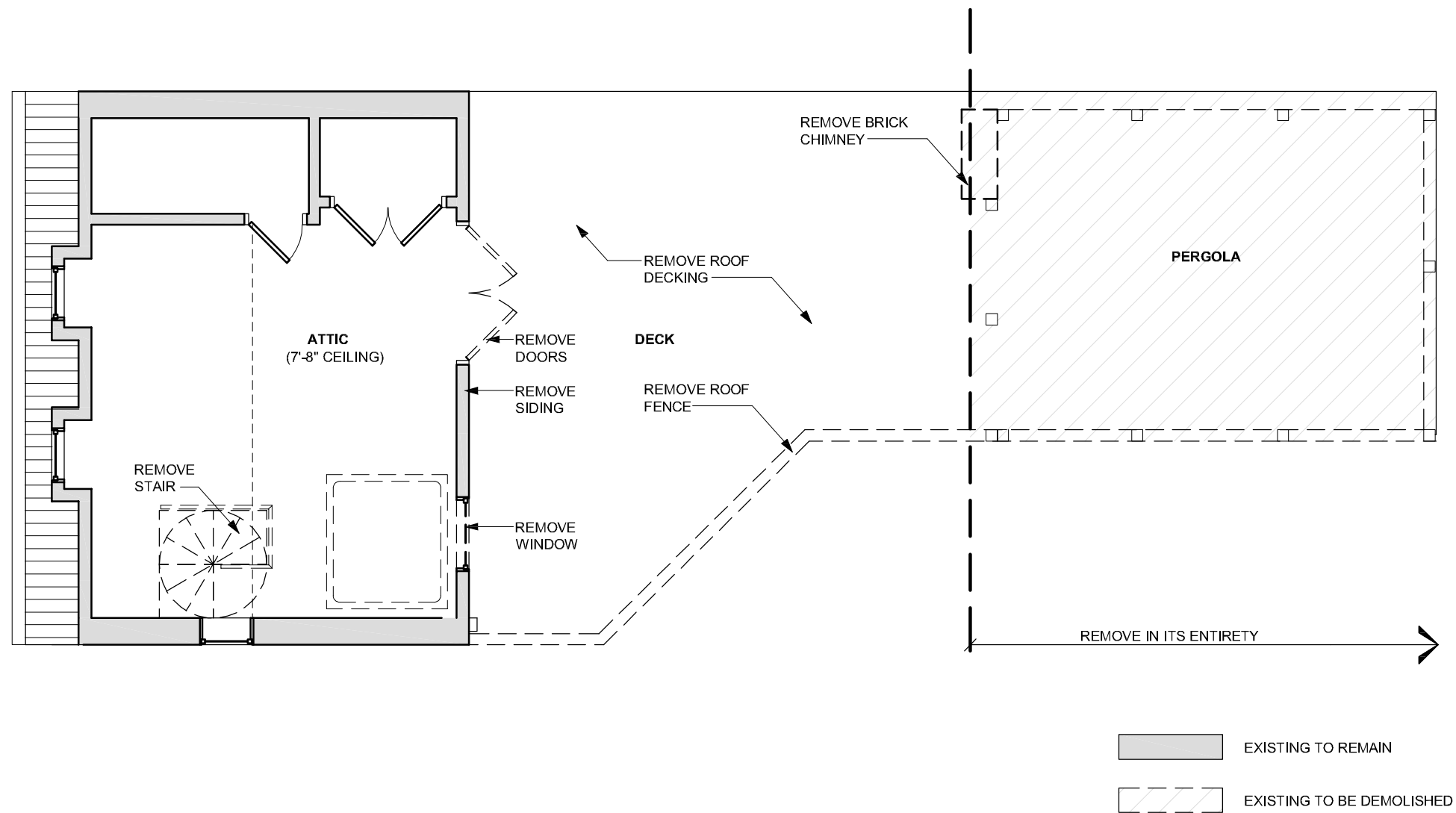
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**EXISTING
FLOOR PLAN -
SECOND
FLOOR**

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BOARD OF
ARCHITECTURAL REVIEW
03/02/2020

A0.3



1 EXISTING FLOOR PLAN - THIRD FLOOR
3/16" = 1'-0"

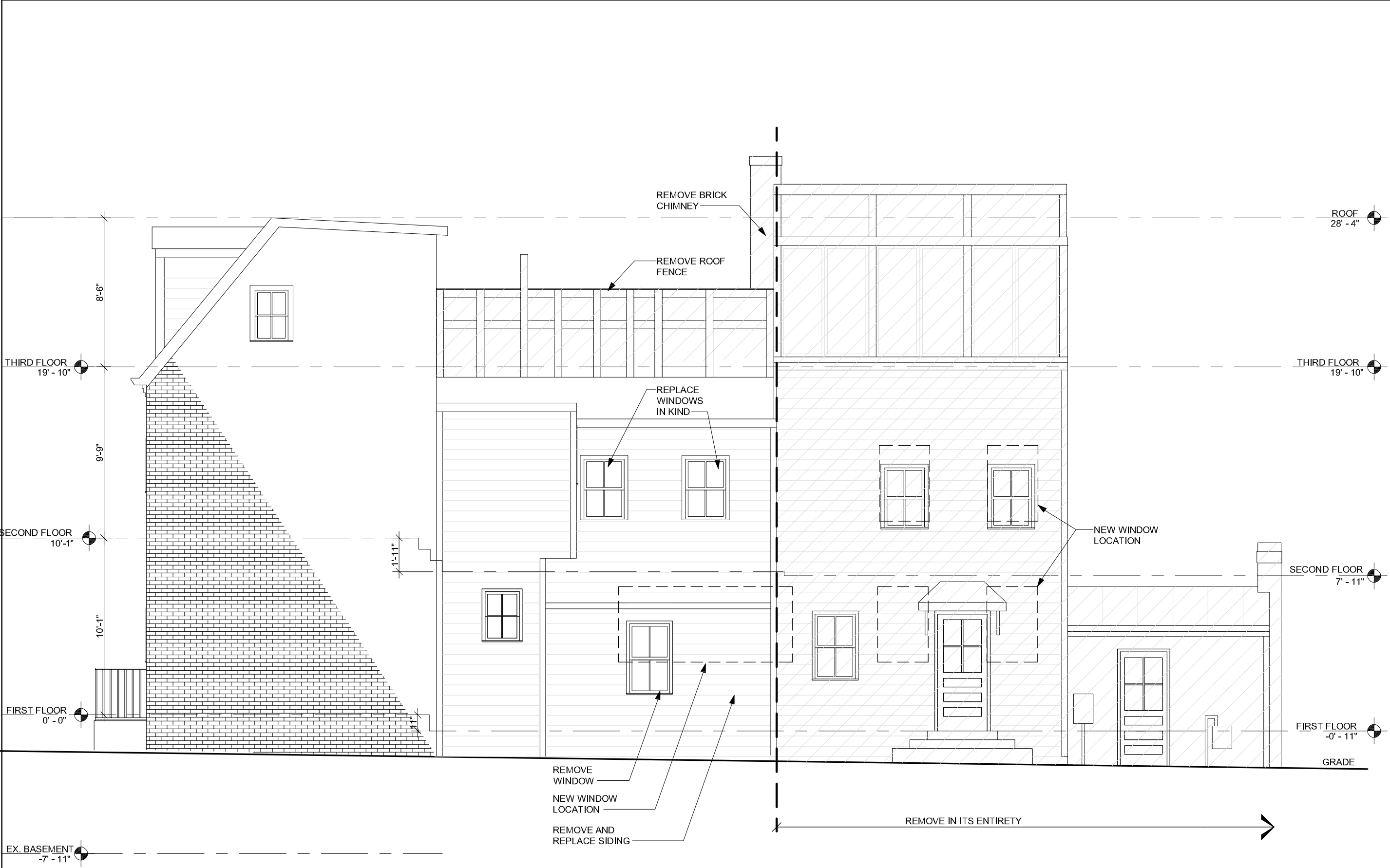
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**EXISTING
FLOOR PLAN -
THIRD FLOOR**

CITY OF ALEXANDRIA
BOARD OF
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03/02/2020

A0.4



1 EXISTING ELEVATION - SOUTH (SIDE)

3/16" = 1'-0"

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D'ANGELO DEKEYSER RESIDENCE
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Alexandria, VA 22314

**EXISTING
ELEVATION -
SOUTH (SIDE)**

CITY OF ALEXANDRIA
BOARD OF
ARCHITECTURAL REVIEW
03/02/2020

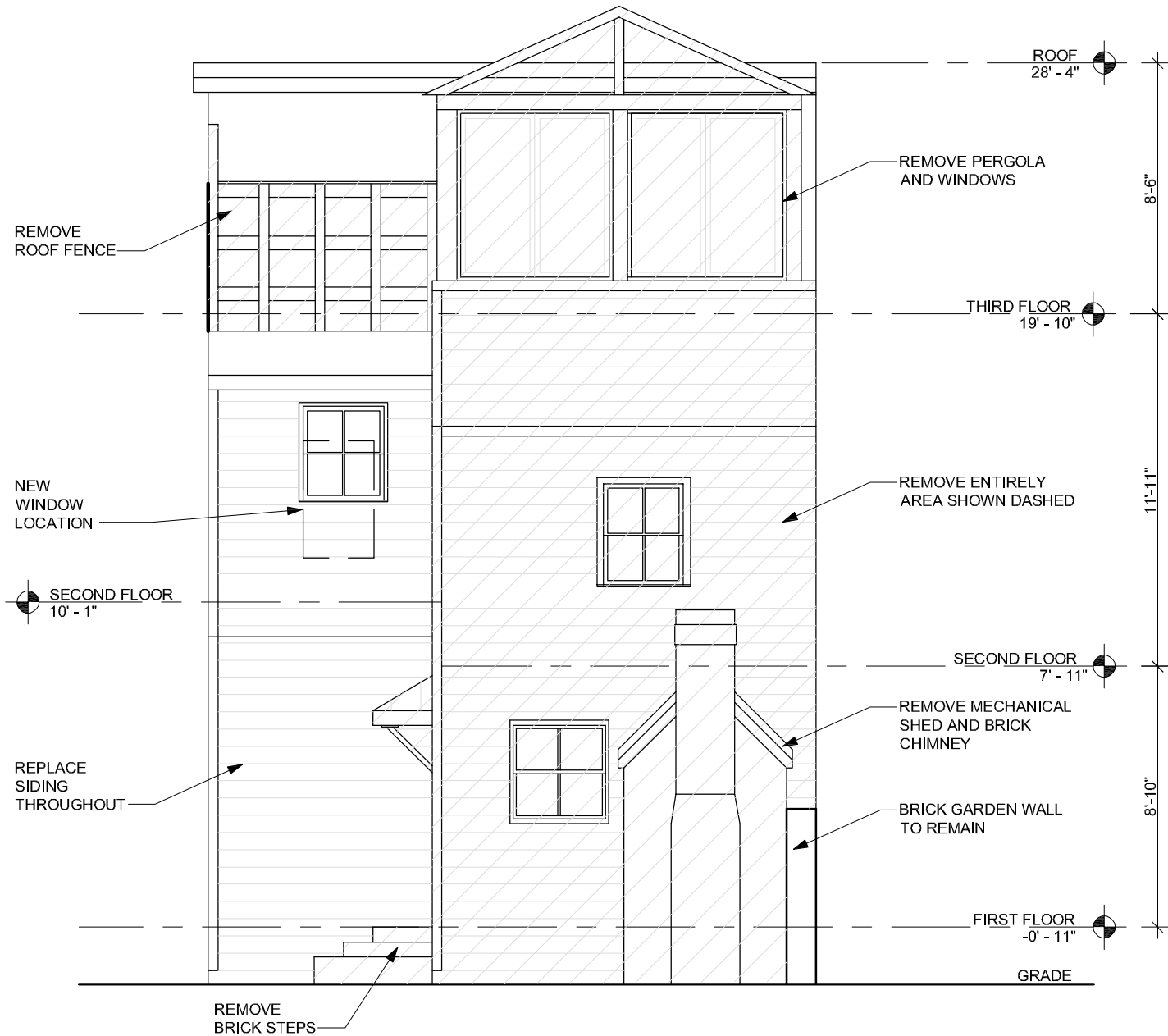
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Alexandria, VA 22314

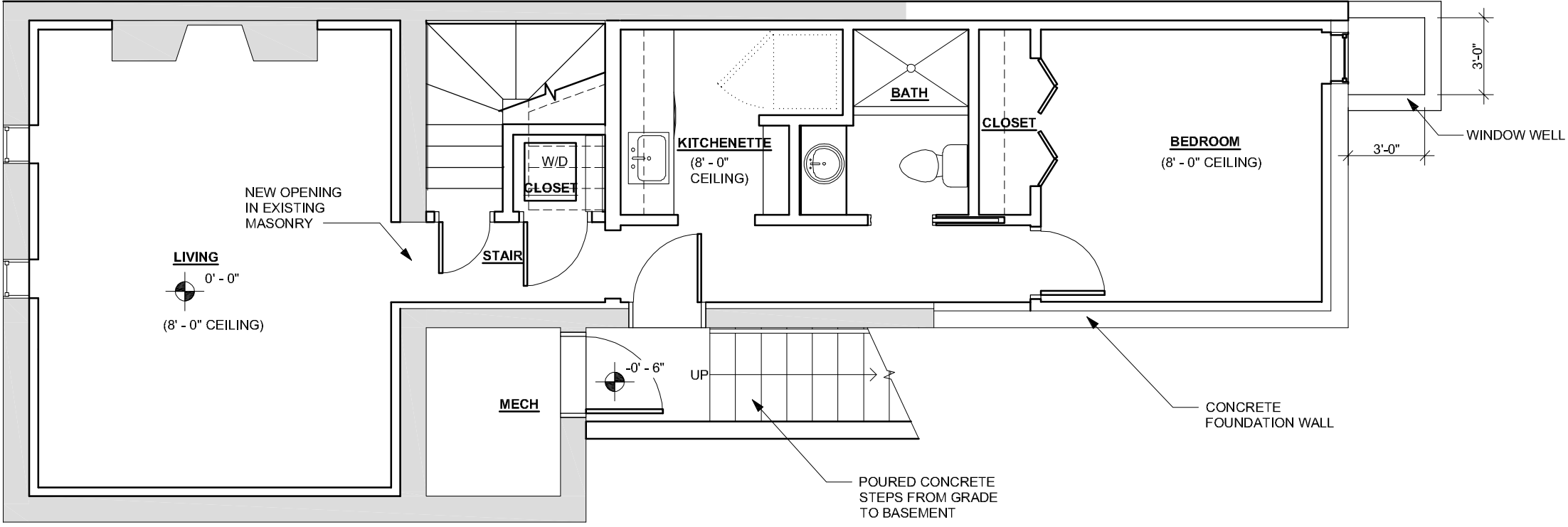
EXISTING
ELEVATION -
EAST (REAR)

CITY OF ALEXANDRIA
BOARD OF
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03/02/2020

A0.6



1 EXISTING ELEVATION - EAST (REAR)



1 PROPOSED FLOOR PLAN - BASEMENT
3/16" = 1'-0"

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D'ANGELO DEKEYSER RESIDENCE
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**PROPOSED
FLOOR PLAN -
BASEMENT**

CITY OF ALEXANDRIA
BOARD OF
ARCHITECTURAL REVIEW
03/02/2020

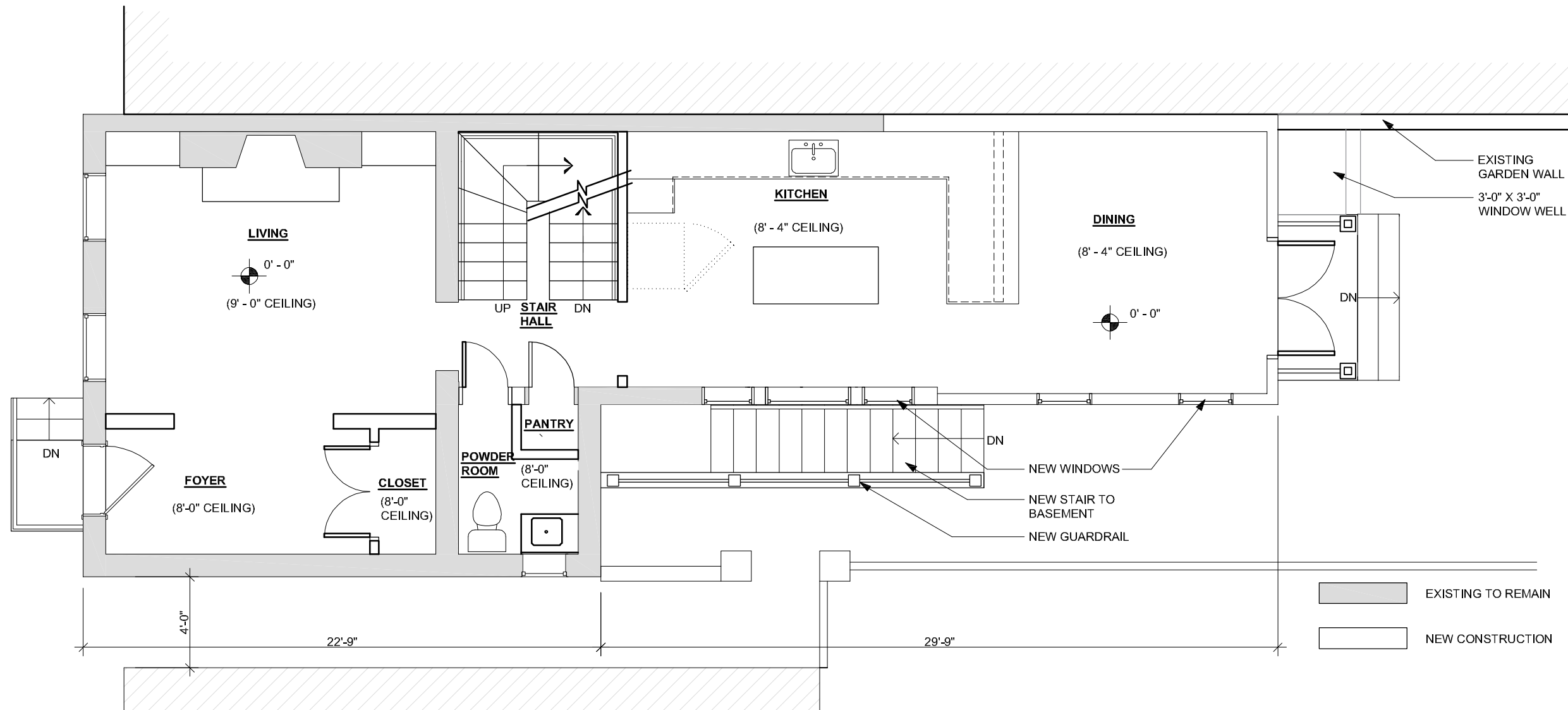
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D'ANGELO DEKEYSER RESIDENCE
214 S. Henry Street
Alexandria, VA 22314

PROPOSED
FLOOR PLAN -
FIRST FLOOR

CITY OF ALEXANDRIA
BOARD OF
ARCHITECTURAL REVIEW
03/02/2020

A1.1



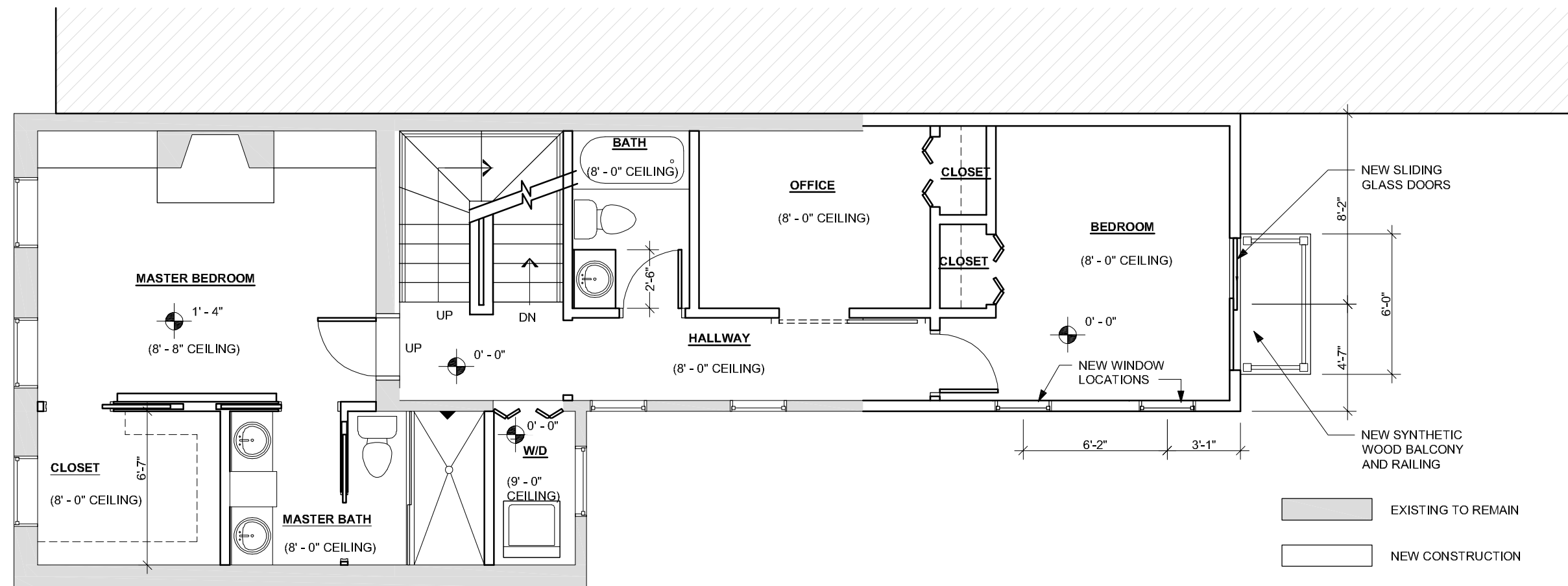
1 PROPOSED FLOOR PLAN - FIRST FLOOR
3/16" = 1'-0"

D'ANGELO DEKEYSER RESIDENCE
214 S. Henry Street
Alexandria, VA 22314

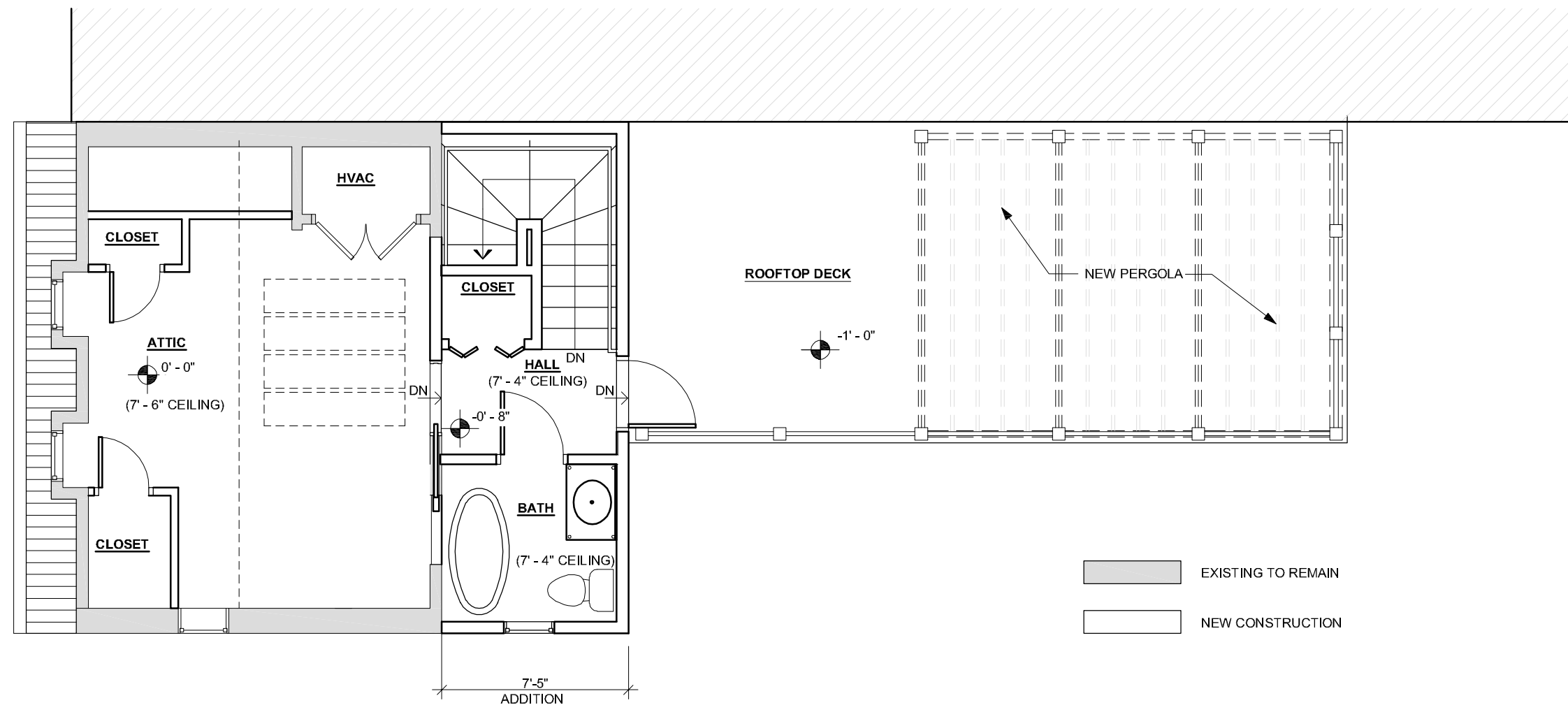
PROPOSED
FLOOR PLAN -
SECOND
FLOOR

CITY OF ALEXANDRIA
BOARD OF
ARCHITECTURAL REVIEW
03/02/2020

A1.2



1 PROPOSED FLOOR PLAN - SECOND FLOOR
3/16" = 1'-0"



1 **PROPOSED FLOOR PLAN - THIRD FLOOR**
3/16" = 1'-0"

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**PROPOSED
FLOOR PLAN -
THIRD FLOOR**

CITY OF ALEXANDRIA
BOARD OF
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03/02/2020

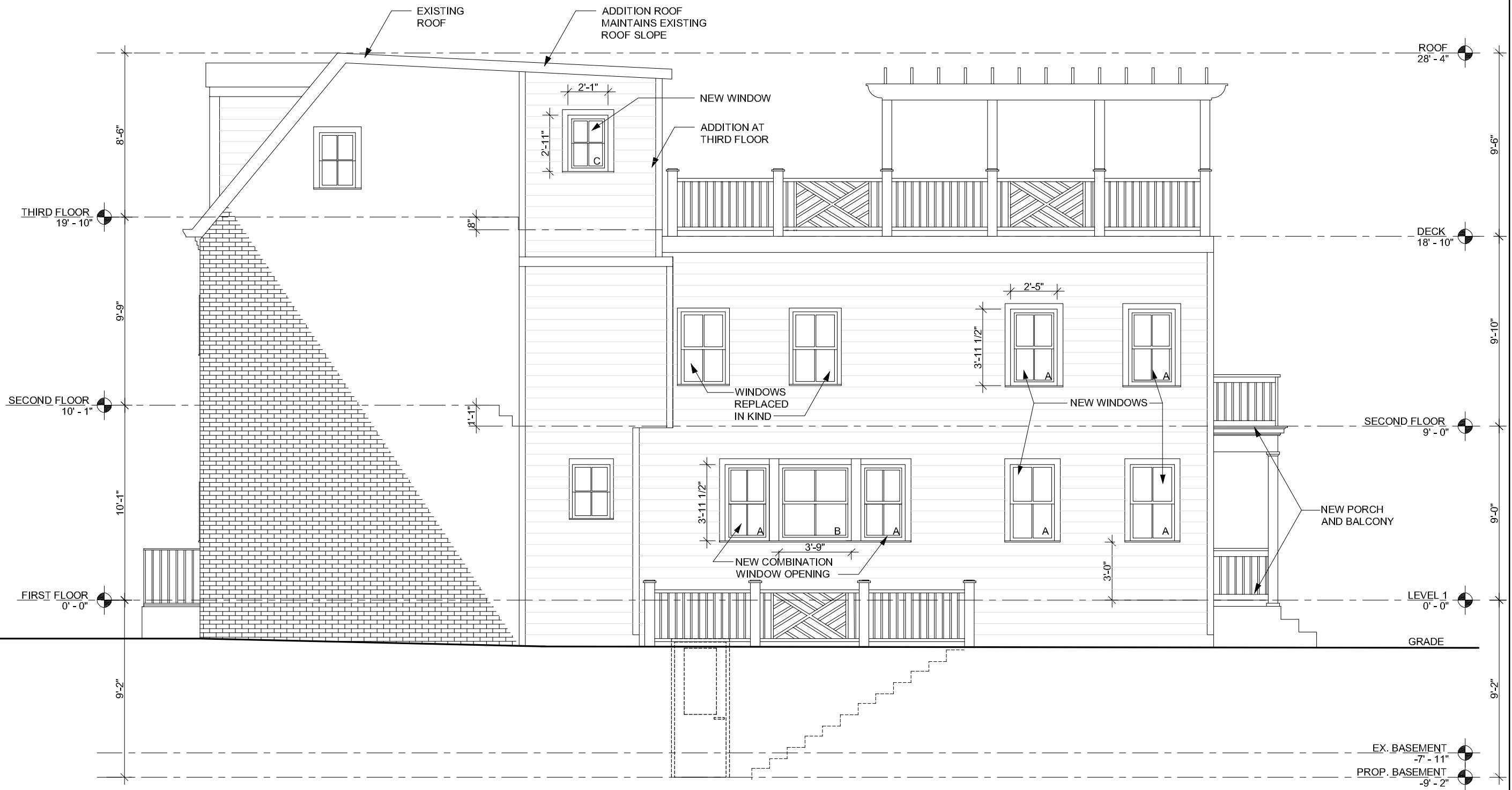
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D'ANGELO DEKEYSER RESIDENCE
214 S. Henry Street
Alexandria, VA 22314

PROPOSED
ELEVATION -
SOUTH (SIDE)

CITY OF ALEXANDRIA
BOARD OF
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03/02/2020

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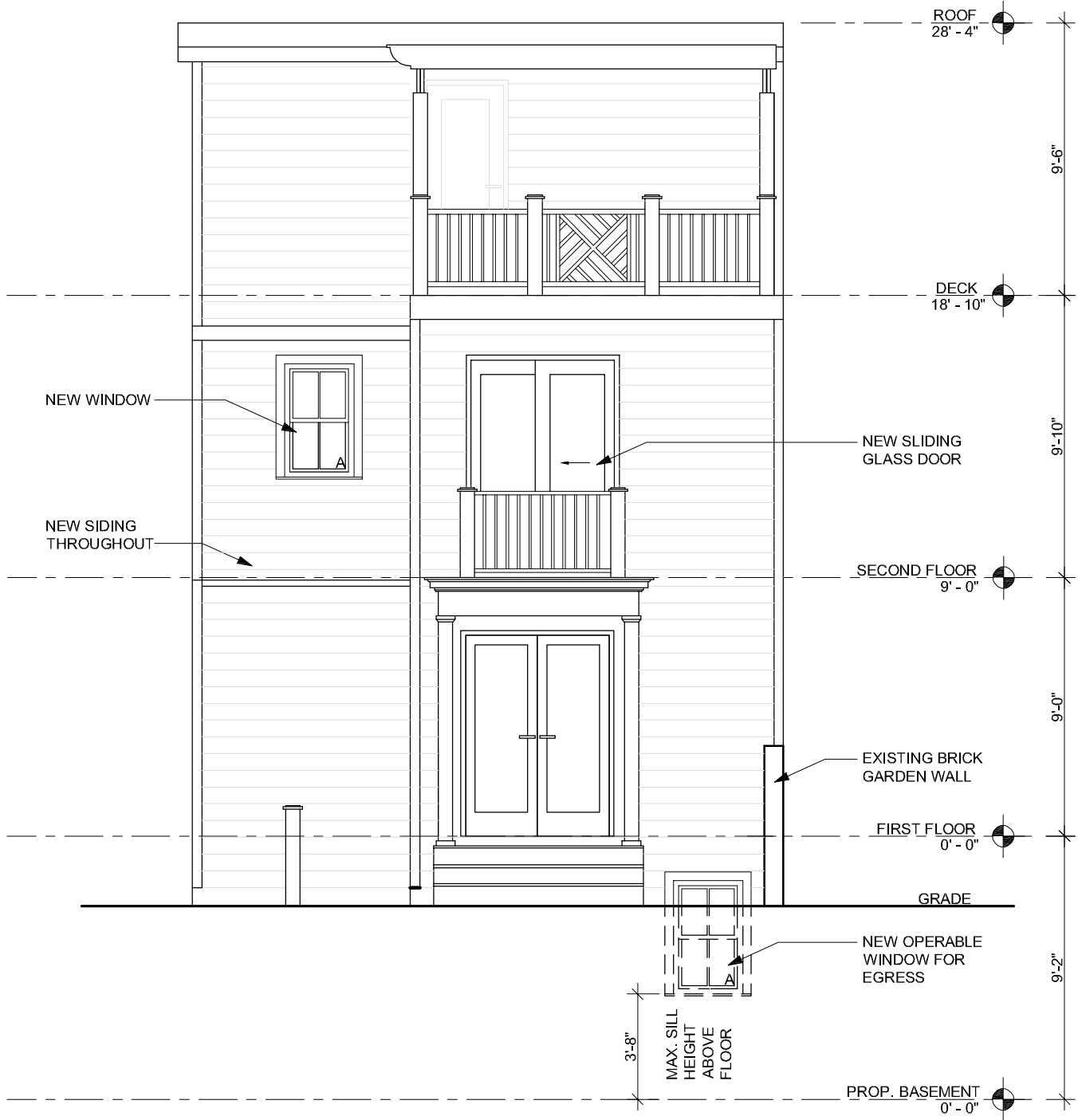
1 SOUTH (SIDE) ELEVATION
3/16" = 1'-0"

D'ANGELO DEKEYSER RESIDENCE
214 S. Henry Street
Alexandria, VA 22314

PROPOSED
ELEVATION -
EAST (REAR)

CITY OF ALEXANDRIA
BOARD OF
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03/02/2020

A2.2



1 EAST (REAR) ELEVATION
3/16" = 1'-0"