

BAR Case # _____

ADDRESS OF PROJECT: 630 / 630A S Pitt St, Alexandria VA 22314

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 080.02-06-47 ZONING: RM

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: Ivar & Rana Draganja

Address: 630 S Pitt St

City: Alexandria State: VA Zip: 22314

Phone: 917.318.4211 E-mail: id2023@gmail.com

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ _____

Name: _____ Phone: _____

E-mail: _____

Legal Property Owner:

Name: Ivar & Rana Draganja

Address: 630 S Pitt St

City: Alexandria State: VA Zip: 22314

Phone: 917.318.4211 E-mail: id2023@gmail.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☒ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input checked="" type="checkbox"/> other _____ Deck | | | |
- ☐ ADDITION
- ☒ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

See attachment D1 p1

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- | Attachment | N/A | |
|------------|-------------------------------------|--|
| D2 | <input checked="" type="checkbox"/> | <input type="checkbox"/> Survey plat showing the extent of the proposed demolition/encapsulation. |
| D3 | <input checked="" type="checkbox"/> | <input type="checkbox"/> Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation. |
| D4 | <input checked="" type="checkbox"/> | <input type="checkbox"/> Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished. |
| D1 | <input checked="" type="checkbox"/> | <input type="checkbox"/> Description of the reason for demolition/encapsulation. |
| D1 | <input checked="" type="checkbox"/> | <input type="checkbox"/> Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible. |

DESCRIPTION OF PROPOSED WORK

The proposed project is to remove the existing balcony at the rear of the house and install a new deck with steps leading down to the garden.

REASON FOR DEMOLITION

Our house was constructed 1980 and originally had an open deck at the rear of the property, see next page (Attachment D1 page 2). The previous owners removed the original deck, citing safety concerns (ref BAR2015-00303). However, instead of replacing the old deck with a new one, the previous owner installed a narrow balcony. The new deck with steps leading to the garden which will be more aesthetically pleasing, permit access to the garden from the second floor of the property, and increase the value of the property, which ultimately adds value to the city of Alexandria.

The proposed new deck will be located at the rear of the property where there is minimal visibility from a public way for several reasons. First, the rear of our property faces the rear gardens of the 600 block of S Royal St so the deck would be barely visible from S Royal St, with the only visibility being via a narrow public alley. This public alley is generally used as a driveway to residents' parking and very rarely used by members of the public. Second, the existing fence at the rear of 630 S Pitt St partially blocks the view of the proposed deck from the public alley due to its height. Third, during most of the year the leaves of the tree in the rear yard would block the view of the deck from the public alley.

Attachment A1 p4 and p5 show houses in the vicinity which have open decks that are clearly visible from popular public areas (Windmill Hill park and Shipyard park).

INFEASABILITY OF OTHER ALTERNATIVES:

The current balcony is quite narrow, and it is not designed structurally to be expanded. The proposed deck would be properly supported for this expansion and would replace the current balcony.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

Attachment

- A1 ☒ ☐ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- A2 ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- A3 ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- A4 ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds. - No changes to HVAC, fence or locations other than balcony.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:Signature: Printed Name: Ivar Draganja & Rana DraganjaDate: February 27, 2020



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations

as of 12/20/18

B

A. Property Information

A1. 630 S. Pitt St. Street Address RB Zone
 A2. 2,344.00 Total Lot Area x 1.50 Floor Area Ratio Allowed by Zone = 3,516.00 Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area

Basement N/A
 First Floor 819.00
 Second Floor 819.00
 Third Floor 819.00
 Attic 819.00
 Porches
 Balcony/Deck 42.00
 Lavatory***
 Other**

Allowable Exclusions**

Basement**
 Stairways** 137.00
 Mechanical** 21.00
 Attic less than 7***
 Porches**
 Balcony/Deck**
 Lavatory***
 Other** 42.00
 Other**

B1. 3,318.00 Sq. Ft. Existing Gross Floor Area*
 B2. 200.00 Sq. Ft. Allowable Floor Exclusions**
 B3. 3,118.00 Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)

Comments for Existing Gross Floor Area

B1. Total Gross 3,318.00 B2. Total Exclusions 200.00

C. Proposed Gross Floor Area

Proposed Gross Area

Basement N/A
 First Floor N/A
 Second Floor N/A
 Third Floor N/A
 Attic N/A
 Porches N/A
 Balcony/Deck 273.00
 Lavatory***
 Other

Allowable Exclusions**

Basement**
 Stairways**
 Mechanical**
 Attic less than 7***
 Porches**
 Balcony/Deck**
 Lavatory***
 Other**
 Other**

C1. 273.00 Sq. Ft. Proposed Gross Floor Area*
 C2. 0.00 Sq. Ft. Allowable Floor Exclusions**
 C3. 273.00 Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)

C1. Total Gross 273.00 C2. Total Exclusions 0.00

D. Total Floor Area

D1. 3,391.00 Sq. Ft. Total Floor Area (add B3 and C3)
 D2. 3,516.00 Sq. Ft. Total Floor Area Allowed by Zone (A2)

E. Open Space

E1. 1,059.00 Sq. Ft. Existing Open Space
 E2. 820.00 Sq. Ft. Required Open Space
 E3. 848 Sq. Ft. Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:

[Handwritten Signature]

Date:

February 27, 2020

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Rana Draganja	630 S. Pitt St., Alexandria, VA 22314	N/A
2. Ivar Draganja	630 S. Pitt St., Alexandria, VA 22314	N/A
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 630 S. Pitt St., Alexandria, VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Rana Draganja	630 S. Pitt St., Alexandria, VA 22314	50%
2. Ivar Draganja	630 S. Pitt St., Alexandria, VA 22314	50%
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Rana Draganja		None
2. Ivar Draganja		None
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

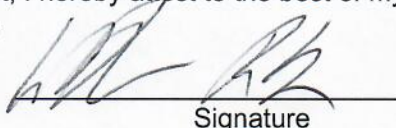
As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

02/27/2020

Date

Ivar & Rana Draganja

Printed Name

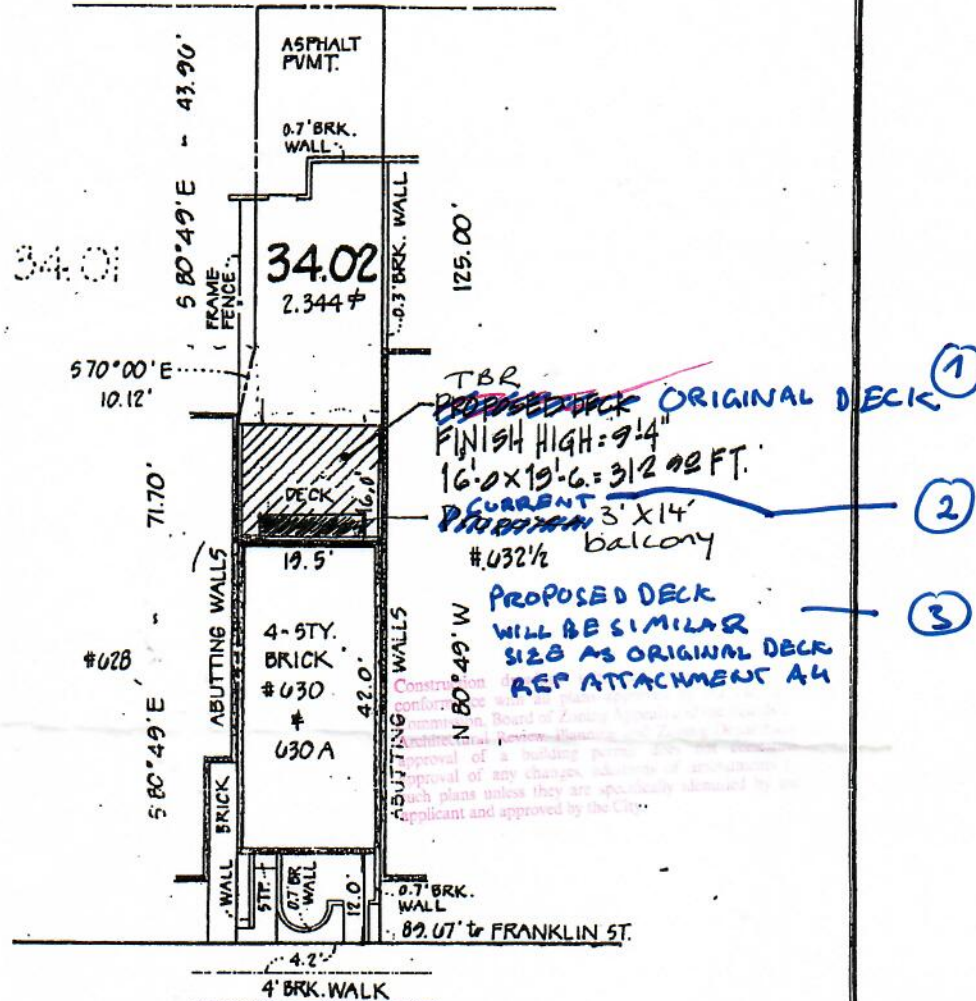

Signature

#180410006

PUBLIC ALLEY

NOTE: UTILITIES UNDER

S 09° 30' W - 17.00'



50. PITT STREET

33.04' to MON. LINE

PLAT

SHOWING HOUSE LOCATION ON
LOT 34.02, RESUBDIVISION OF
THE PROPERTY LOCATED AT

#028 - 030 50. PITT STREET
CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1" = 20'

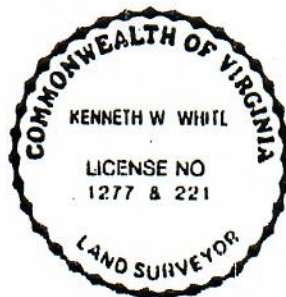
AUG. 20, 1985

PLAT SUBJECT TO RESTRICTIONS
OF RECORD.

TITLE REPORT NOT FURNISHED.

I HEREBY CERTIFY THAT THE POSITIONS
OF ALL THE EXISTING IMPROVEMENTS HAVE
BEEN CAREFULLY ESTABLISHED BY A THAN-
SIT TAP SURVEY AND UNLESS OTHERWISE
SHOWN, THERE ARE NO VISIBLE ENCROACH-
MENTS.

Kenneth W. White
KENNETH W. WHITE, L.S.



CASE NAME:

FIFER/SHIFFERS - EISENHOWER

BRAUN

ALEXANDRIA SURVEYS, INC.


3105 COLVIN STREET

ALEXANDRIA, VIRGINIA 22314

509°30'W - 17.00'

34.01

AC UNITS BELOW
STAIRS 570°00'E
SEE ATTACHMENT 10 12'
D2 FOR LOCATION

 = construction access
 = proposed deck

Proposed Deck:

273

Construction Access:

203

12

241

153

Total: 882

#628

632 1/2

N 80° 49' W

4' BRK. WALK

N 09° 30' E - 19.50'

50. PITT STREET

33 04' W MON. LINE

PLAT

SHOWING HOUSE LOCATION ON
LOT 34.02, RESUBDIVISION OF
THE PROPERTY LOCATED AT

#028 - 030 SO. PITT STREET
CITY OF ALEXANDRIA, VIRGINIA

SCALE 1" = 70'

AUG 20, 1985

PLAT SUBMIT TO INSTRUCTIONS
OF RECORD

TITLE REPORT NOT FURNISHED

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A TRANSIT TAPE SURVEY AND UNLESS OTHERWISE SHOWN, THERE ARE NO VISIBLE ENCROACHMENTS.

Kenneth W. White
KENNETH W WHITE L.S.



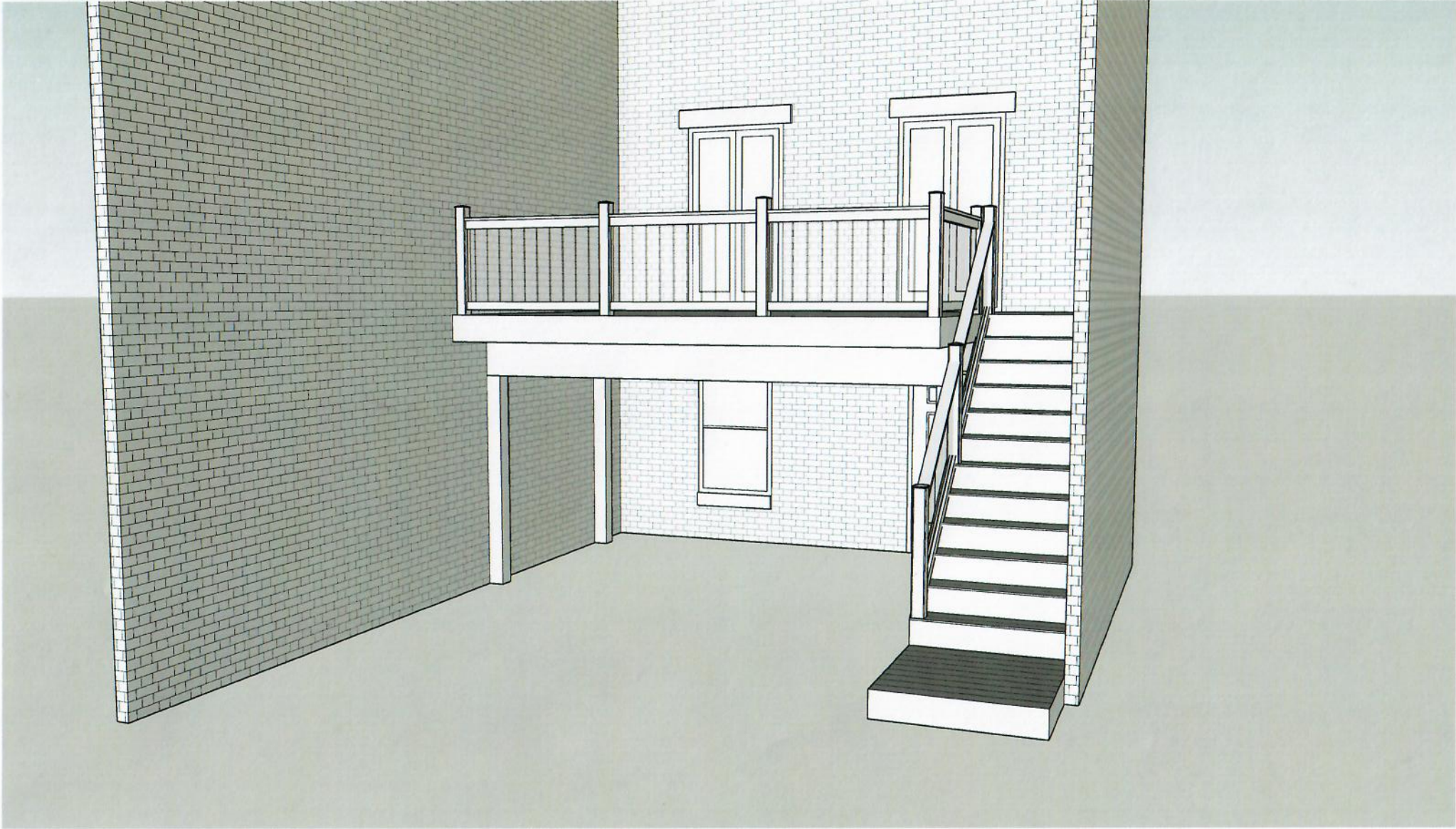
CASE NAME

FIFER/ SHIFFERS - EISENHOWER

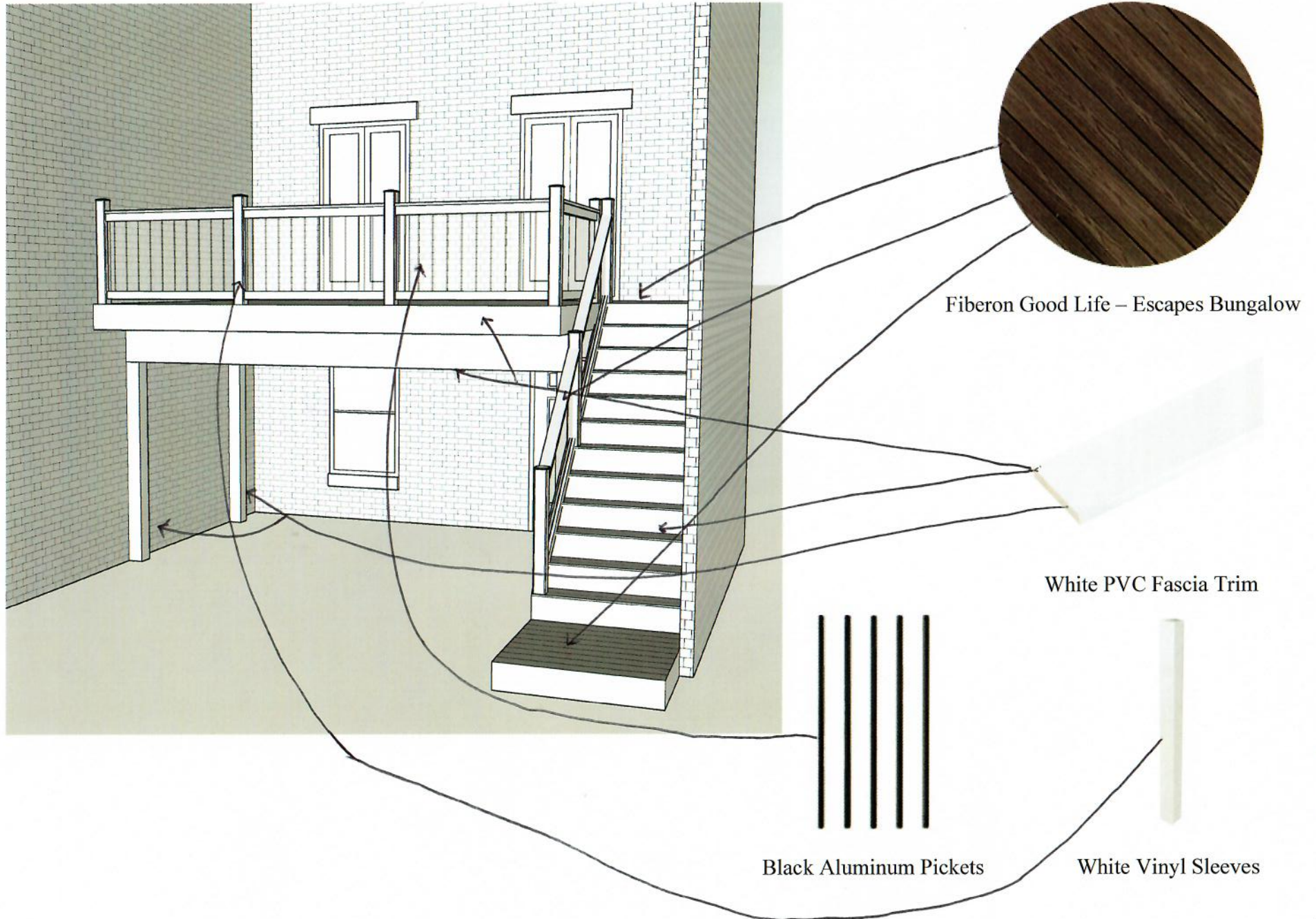
BRAUN

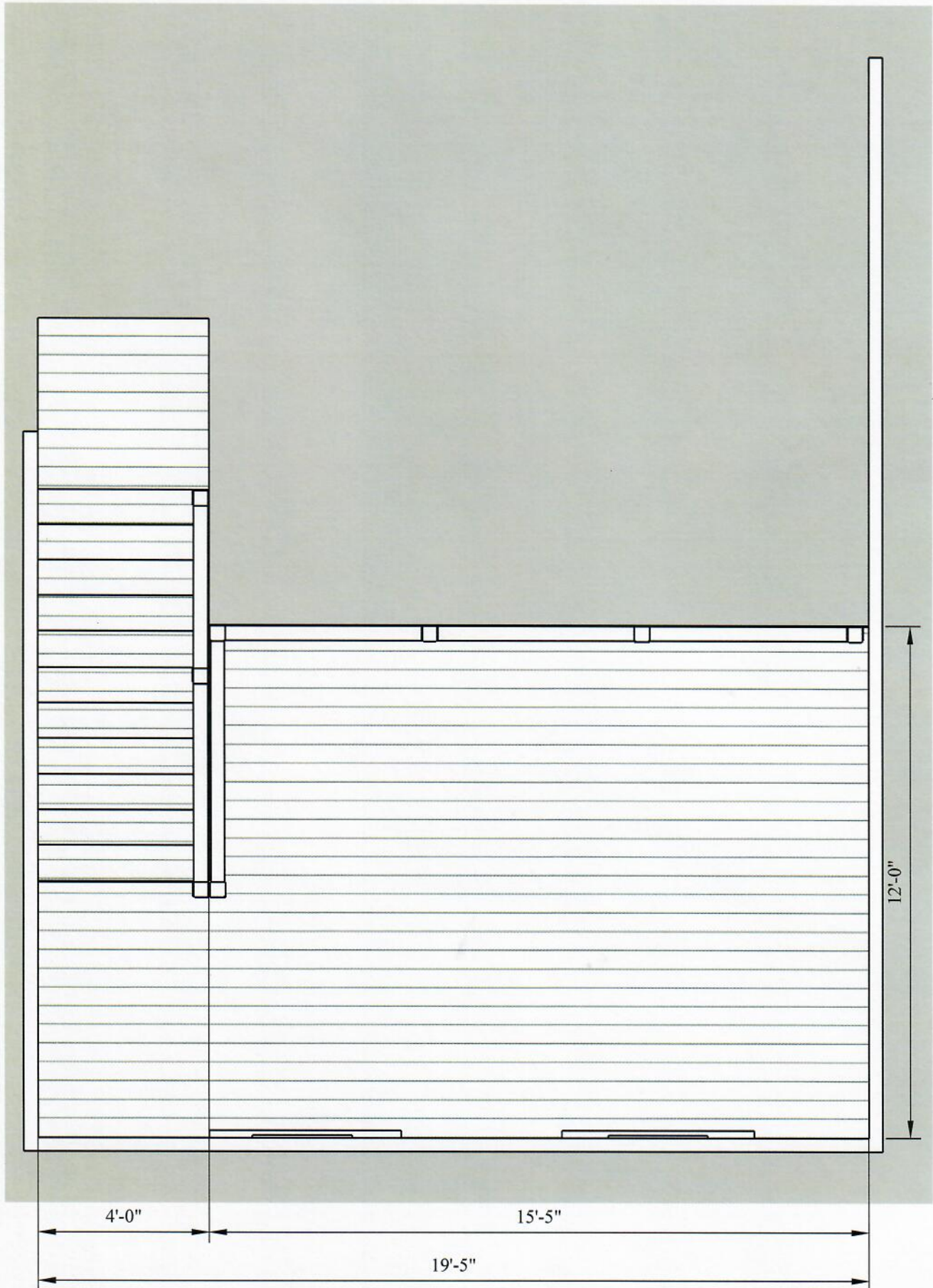
ALEXANDRIA SURVEYS, INC
3105 COLVIN STREET
ALEXANDRIA, VIRGINIA 22314





630 S. Pitt St.
Proposed Deck with Materials and Colors





Drawing by: Omar Ruiz - Manager Scale: 1/4" = 1'

All work to comply with VRC 2015 and manufacturer's requirements

Ivar Draganja
630 South Pitt St.
Alexandria, VA 22314
917-318-4211

all connectors and fasteners to be hot dipped galvanized or equivalent for suitable contact with pressure treated lumber.

New structure is not blocking any existing egress at any level

all beams to be tied together with nails, screws, or mechanical connections per VRC 2015

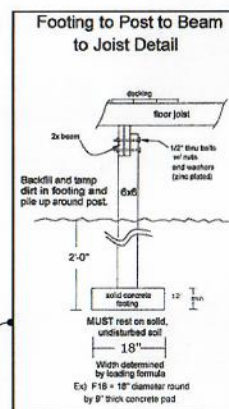
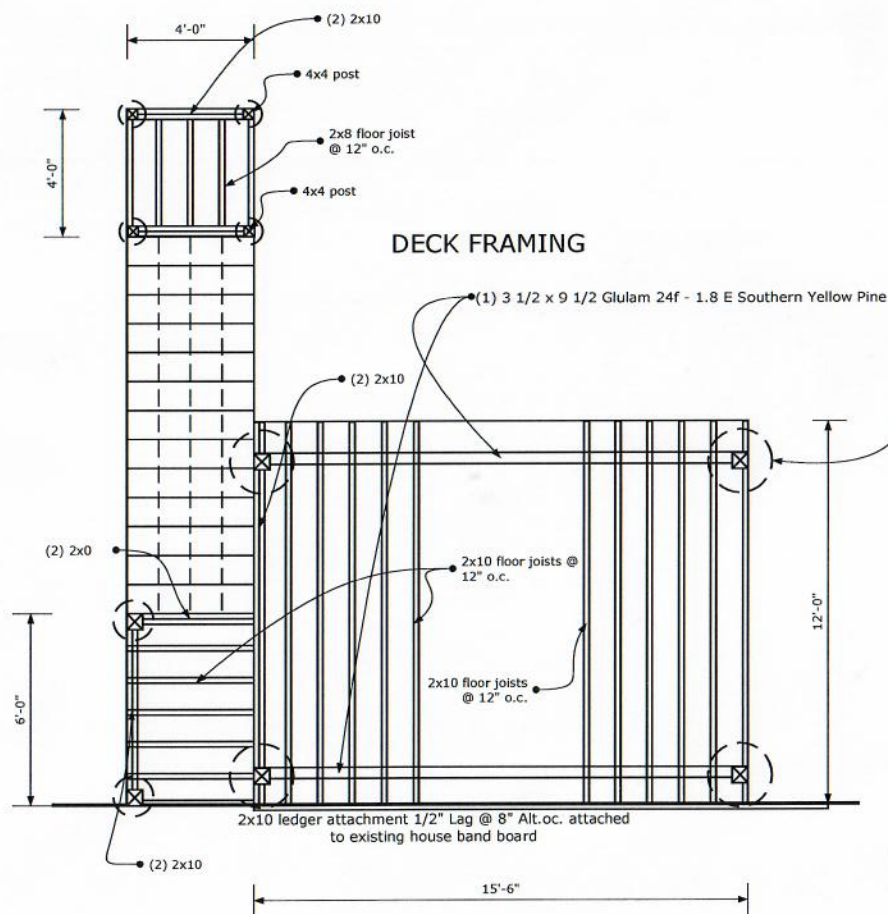
County Deck Details are attached as part of the approved permit for any missing details.

Footers & posts within 5' from existing exterior house foundation must bear at the same level.

Joist toe nailed into beam with (4) #2 D nails

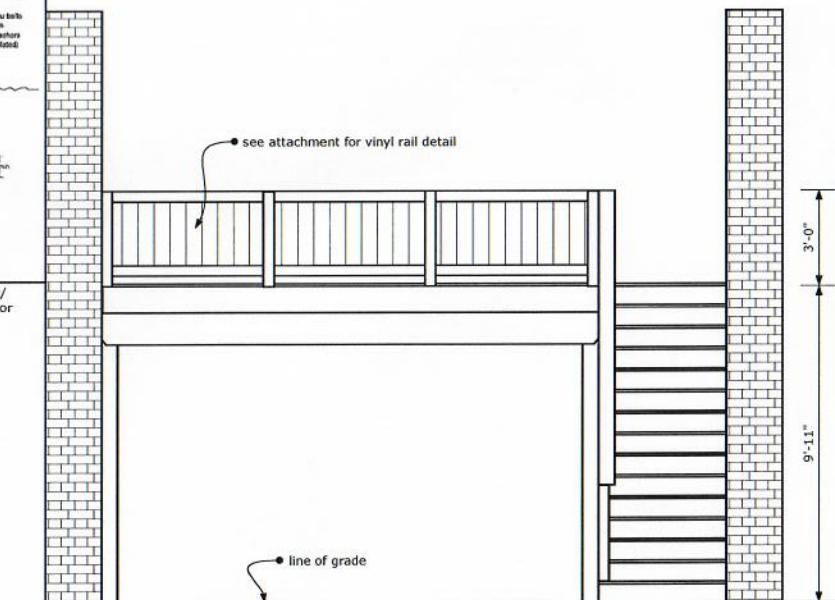
☒ = 6x6 post

- Notes:
- Guardrails are required for decks & porches more than 30" above grade or floor. Guardrails must extend 36" above floor level.
 - The greatest riser height shall not exceed the smallest by more than 3/8".
 - Secure the pickets at top & bottom with 1-#8 corrosion resistant screw or 2-8d galv. nails.
 - Stairs with 3 or more risers require frost footings & handrails.
 - Graspable handrails to be continuous the full length of the stairs ends to be returned to post.



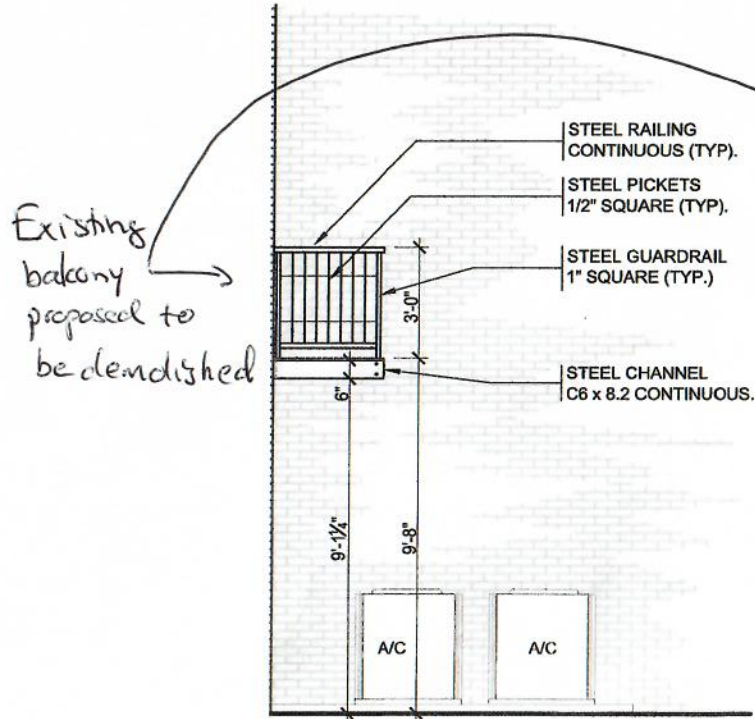
All Deck footers 18" round w/ 10" concrete. 3500 psi min. or per VRC 2015

ELEVATION



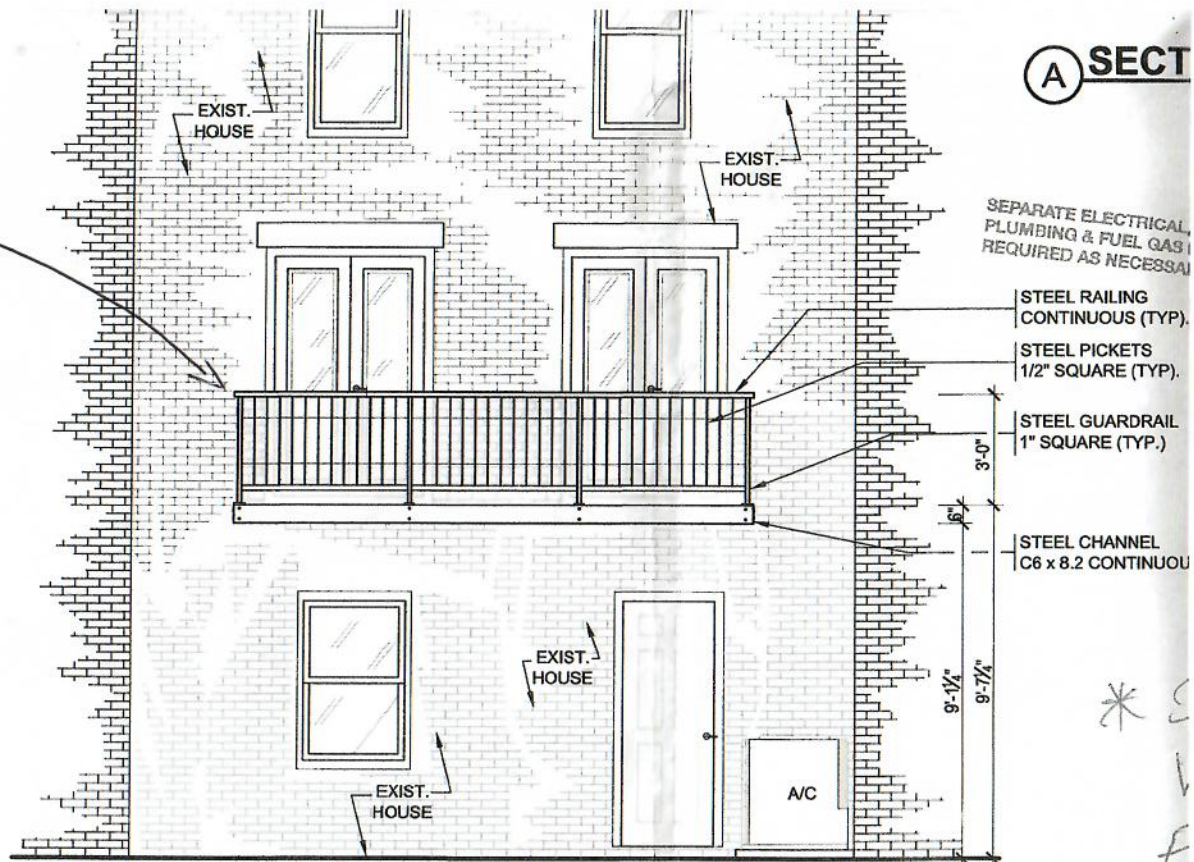
HOUSE

A3 p4



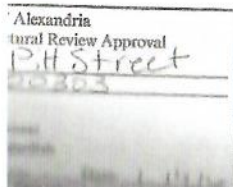
SIDE ELEVATION

SCALE: 1/4"=1'-0"



Rear
FRONT ELEVATION

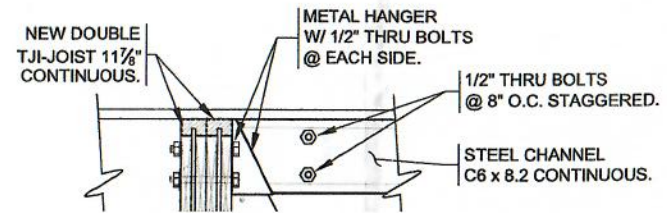
SCALE: 1/4"=1'-0"



APPROVED

PLANNING & ZONING

K. Montzby
DATE 1.14.16
BUDGET 01628
Approved per



STEEL C
C6 x 8.2 CONT

630 S. Pitt St.

View of rear yard. Balcony on picture to be demolished.



630 S. Pitt St.

View of rear of house from S Royal St. Proposed deck will be here:
Deck will be barely visible during winter and not visible when trees
have leaves.



Picture 1

View of rear of house from public alley. Part of deck will be visible
from public alley just as the original deck once was. When trees
have leaves, the deck would mostly be covered.



Picture 2

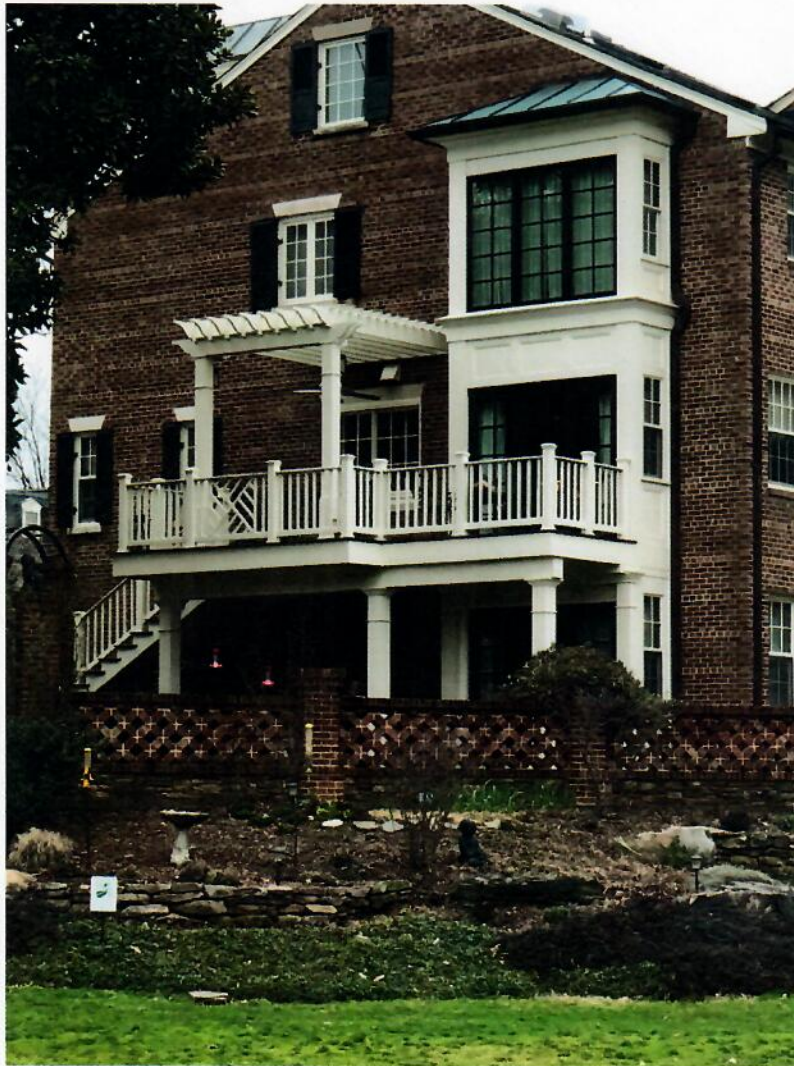
630 S. Pitt St.

View of rear yard. Balcony on picture to be demolished and deck to be in place of balcony. Steps down to garden will be on the right as per the plat, Attachment A4.



EXAMPLES OF OPEN DECKS IN OLD TOWN

Deck belonging to 8 Potomac Ct, which is clearly visible from Windmill Hill park.



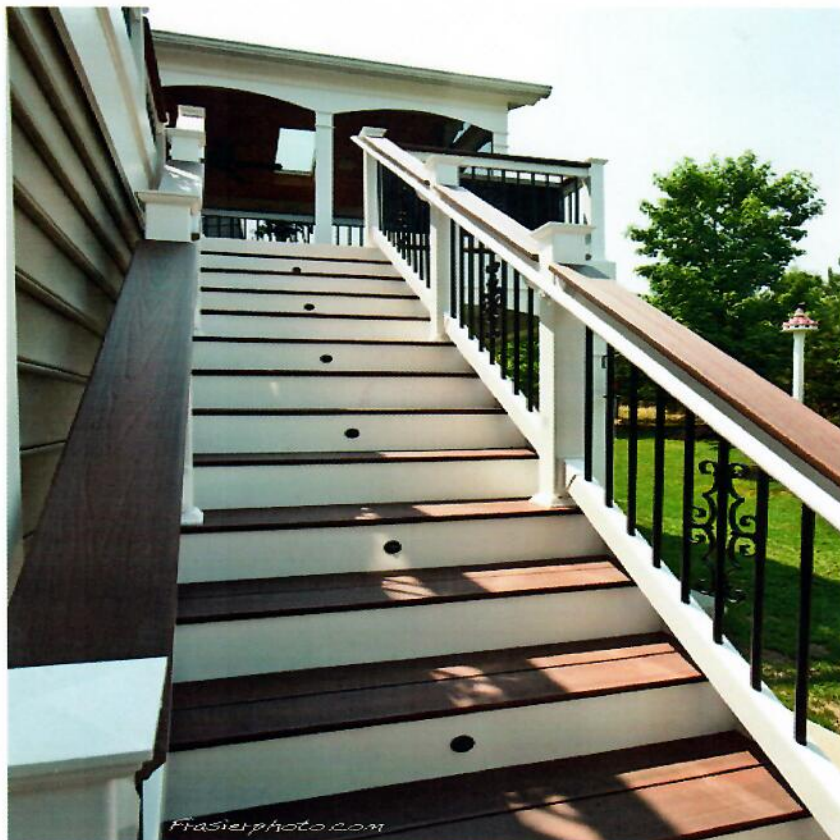
EXAMPLES OF OPEN DECKS IN OLD TOWN

Deck belonging to 9 Wilkes St, which is clearly visible from Shipyard park.



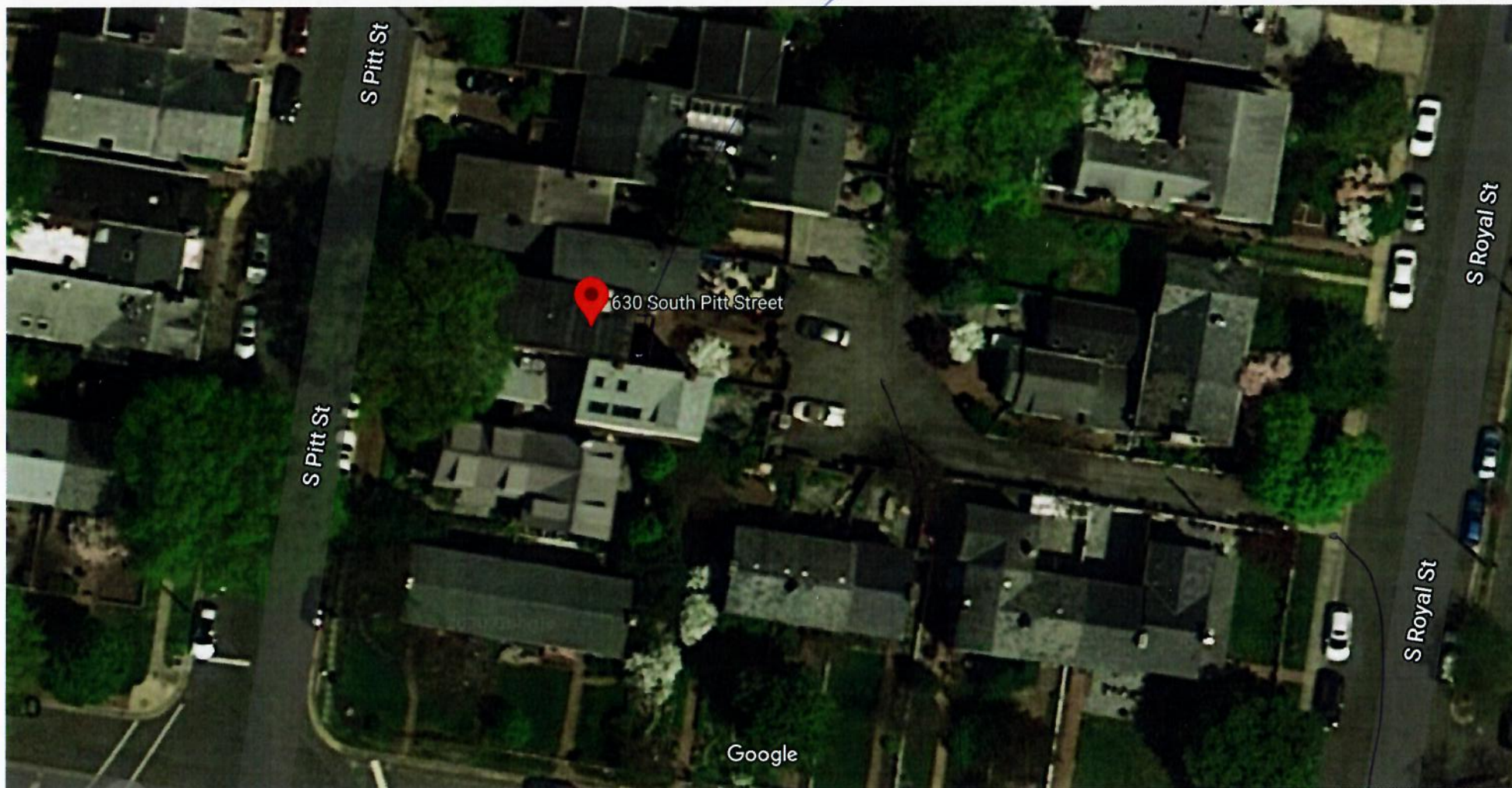
630 S. Pitt St.

Examples of decks with the same materials and colors proposed for new deck at 630 S. Pitt St.



Aerial view of 630 S Pitt St shows that view of proposed deck from S Royal St would be very minimal, and view from public alley would be limited due to fence and tree.

proposed deck



Imagery ©2020 Commonwealth of Virginia, District of Columbia (DC GIS), Maxar Technologies, U.S. Geological Survey, Map data ©2020 20 ft

Public alley
picture 2 taken
from here

S Royal St
picture 1
taken from here

The Good Life just got better

Unbeatable performance and durability

GOOD LIFE IN ACTION

ESCAPES BUNGALOW



Take time to unwind with Fiberon® Good Life decking. Perfect for hosting neighborhood gatherings, enjoying a summer dinner with your family or relaxing outside after a long week, Good Life offers unbeatable performance and durability for any decking project needs.

Authentic wood look features distinct grain patterns.

Escapes Collection features multi-tonal colors that resemble exotic hardwoods.

Weekender Collection features solid colors for a traditional stained deck look.

- Composite construction prevents splintering, cracking and decay.
- Three-sided cap layer resists staining and fading.
- Low maintenance and easy to clean.

1 of 4 Good Life (<https://www.fiberondecking.com/products/decking/good-life-decking>) in Escapes Bungalow

SHARE

COLOR AND DETAIL

Select Color:



Escapes Beach House



Escapes Bungalow



Escapes Tuscan Villa



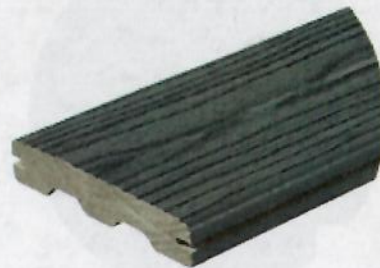
Weekender Cabin



Weekender Cottage



Grain Detail



Board View



Color Detail

GET A SAMPLE

FEATURES AND OPTIONS

TECHNICAL INFORMATION

- Board Profile Dimensions: Relieved bottom .93 in. x 5.3 in (2.36 cm x 13.4 cm)
- Boards are not reversible.
- Board Weight: 2.0 lbs./lineal ft.
- Material: Durable outer surface is bonded on three sides of HDPE and wood composite core
- Square Edge Board Lengths: 20 feet
- Grooved Edge Board Lengths: 12 ft.; 16 ft.; 20 ft.
- Span Limitations: Perpendicular to joist 16 inches (40 cm); Up to 45° angle to joist 12 inches (31 cm); Stair stringer spacing 7 inches (17.78 cm)
- Fascia Boards: .75 in. x 11.25 in. x 12 ft.; available in Beach House, Bungalow, Tuscan Villa, Cabin and Cottage
- Riser Boards: not available
- Surface fasteners: Yes
- Hidden fasteners: Yes

[Get installation instructions and technical bulletins \(https://www.fiberondecking.com/resources/literature\)](https://www.fiberondecking.com/resources/literature)

WARNING: California Proposition 65 and Fiberon Products

https://assets.fiberondecking.com/documents/Fiberon_California_Proposition_65_Letter_Aug28_2018.pdf?mtime=20180828171809