



DISCUSSION:
DRAFT FY 2021 Long Range Planning
Interdepartmental Work Program

City Council February 25, 2020

Process to date

- **Fall 2019**

- City Council adopted revised FY 2020 work program
- Outreach: Project web page, Emails to LU boards and commissions; February PC and CC Docket materials

Small Area Planning

- North Potomac Yard/VT planning underway through October 2020
- Phase 1 Arlandria/Del Ray planning process now underway – through Spring 2021
- Duke Street East Plan update launch late Spring 2020
- Placeholder for potential additional planning work TBD



Open Space Planning

- Pocket Park Plan
- Urban Forestry Master Plan
- Public Open Space Policy Plan
- Dog Park Master Plan update



Transportation Planning

- Strategic update to the City's 2008 Transportation Master Plan
 - Streets
 - Transportation Demand Management (Mobility Options)
 - Smart Mobility
 - Parking and Curbside Management
 - Transit



Housing Affordability

- Housing affordability initiatives work program adopted by CC in Oct 2019
- Update/discussion on zoning for housing in spring



Alexandria
Housing Summit
Alexandria Housing for All – We're All In!

PZ/Housing Work Program Initiatives

Starting in FY 2020

- Housing Contribution Work Group Recommendations
- Strengthening Condominium Communities
- Examining Barriers to Housing Production
- Zoning for Housing
- Inclusionary Zoning Policy Feasibility Analysis
- Accessory Dwelling Unit Feasibility Analysis

Starting in FY 2021

- Framework for Mixed Income Assisted Living
- ARHA Master Plan
- Financial Tools Review
- Bonus Density Program Update
- Enhanced City Land/Facility Colocation Policy
- Co-housing Analysis
- Enhanced Tenant Protection and Relocation Policy

Zoning for Housing

- This effort examines opportunities to expand housing production, including affordable housing, through changes to the Zoning Ordinance and related policies
- Short-term and longer-term ideas are being generated beyond those already existing in the toolbox or which are currently being considered for the toolbox
- Discussion of specific ideas anticipated to be brought to Planning Commission/City Council in March.
- Study Phases include: Data Gathering, Input from Policy Makers and other Community Outreach, and Analysis/Recommendations through approximately early Fall 2020 (some policy options may require longer timeframes)

Inclusionary Zoning

- IZ Policy would expand housing production by providing added density for new and rehabbed developments in exchange for low- and moderate-income housing
- Feasibility Analysis for an IZ Policy would be aligned with the market
- Housing Contributions Work Group recommendations would be factored in
- Process will include assistance from a consultant team, HR&A Advisors
- Study Phases include: Best Practices, Feasibility, Community Outreach, and Analysis/Recommendations under a progressive timeline through approximately early Fall 2020

Accessory Dwelling Units

- Accessory apartments, second units or granny flats are often referred to as Accessory Dwelling Units (ADUs)
- The initiative will propose a recommended approach for permitting ADUs as an opportunity to expand housing options and support housing affordability
- Process will include assistance from a consultant team, The Urban Institute
- Study Phases include: Best Practices, Community Outreach, Analysis and Recommendations

ARHA Development Plan

- RFQ for Development Partner to be issued in February 2020
- Update to ARHA Redevelopment Work Group in Fall 2020
- RFQ Development Principles
 - One-for-one replacement of all low-income units
 - Mixed-Income community w/fully integrated affordable units
 - Prefer ground lease
 - Increase affordable units beyond those currently at site



Private Public
Partnerships

Resident
Input = Key

Enhanced Tenant Protection and Relocation Policy

- In FY 2020-21, the City will explore and update policies to protect tenants impacted by renovation, development and redevelopment and mitigate adverse effects
- Policy will address requirements for potential developer-provided financial and housing assistance, including temporary relocation during periods of displacement, coordination of City services/ACPS and priority/right to return
- Some policy recommendations may require legislative actions as part of City's FY 2021 legislative packet
- Proposed Policy will be presented to LTRB in February 2020

Other PZ/Housing Initiatives

- Mt. Vernon Avenue Planning
- Duke Street Planning
- Heritage at Old Town Redevelopment (RMF Zone)
- COG Regional Housing Initiative
- Consolidated Plan and Regional Analysis of Impediments

FY 2021 Work Program (Draft)

DRAFT FY 2021 Long Range Planning Interdepartmental Work Plan																													
FOR FEBRUARY 2020 PC and CC DISCUSSION												LEGEND						Internal Staff Work						Community Engagement					
NEW / REVISED PROJECTS SHOWN IN RED						FY 2020 Q3-4						FY 2021																	
						CY 2020												CY 2021											
						Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep			
PLANS/PROJECTS																													
3	Census 2020 Community Outreach (PZ, ITS, Housing, DHS)																												
4	Urban Forestry Master Plan Update (RPCA, PZ, TES)																												
5	Sanitary Sewer Master Plan Update (TES, AlexRenew, DPI, RPCA, PZ)																												
6	Va. Tech Innovation Campus-North Potomac Yard Update (PZ, TES, Housing, RPCA, AEDP)																												
7	Alexandria Mobility Plan (formerly Transportation Master Plan) (TES, PZ, ITS)																												
8	Joint City Schools Facilities MP (PZ, ACPS, GS, OMB, RPCA, OH, TES, ITS, DPI, DCHS, Health)																												
9	Mount Vernon Ave. Plans Update (PZ, TES, Housing, RPCA, AEDP)																												
10	Stream Valley and Trail Plan (RPCA, TES, PZ) (Funding dependent)																												
11	Waterfront History Implementation Plan (OHA, DPI, P&Z, RPCA, Visit Alexandria)																												
12	Route 1 Metroway Extension (Environmental Planning / Concept design) (TES, P&Z, DPI)																												
13	Duke Street Area Plan Update (PZ, TES, Housing, RPCA, AEDP)																												
14	Duke Street Transitway (Environmental Planning and Concept Design) (TES, DPI, PZ)																												
15	Public Open Space Policy Plan (RPCA, PZ, TES, DPI)																												
16	Dog Park Master Plan Update (RPCA, TES, DPI, P&Z)																												
17	Daingerfield Island Master Plan (NPS lead, PZ, TES, RPCA) (timing adjusted)																												
18	Parks and Recreation Master Plan Update (RPCA, PZ, TES)																												
19	Recreation Center Facilities Standards and Landscape Plans																												
20	Citywide Parks Improvement Plan Update (RPCA, PZ, TES)																												
21	Next Small Area Plan(s); Topic/Timing/Funding TBD																												
HOUSING AFFORDABILITY INITIATIVES																													
22	Housing Summit (Housing)																												
23	Housing Contributions Review Work Group (Housing, PZ)																												
24	Strengthening Condominium Communities (Housing)																												
25	Examining Barriers to Housing Production (PZ, Housing)																												
26	Zoning for Housing (PZ, Housing)																												
27	Accessory Dwelling Unit Feasibility Analysis (PZ, Housing)																												
28	Inclusionary Zoning Policy Feasibility Analysis (PZ, Housing)																												
29	Enhanced Tenant Protection and Relocation Policy (Housing)																												
30	Framework for Mixed Income Assisted Living (Housing)																												
31	ARHA Master Plan (ARHA, Housing, PZ)																												
32	Financial Tools Review (Housing)																												
33	Enhanced City Land/Facility Co-location Policy (Housing, PZ)																												
34	Bonus Density Program Update (PZ, Housing)																												
35	Co-housing Analysis (PZ, Housing)																												

Next Steps – FY 2021 Work Program

- **February/March 2020**
 - City Council review/discussion
 - NAIOP, Federation of Civic Associations
 - City Manager proposed budget release
 - Continued staff coordination
 - Community outreach
- **May 2020**
 - PC and CC recommend/approve final FY 2021 work program