

ISSUE: Certificate of Appropriateness for new construction

APPLICANT: Ala Awadallah

LOCATION: Parker-Gray District
1417 Princess Street

ZONE: RB/Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approval of the Certificate of Appropriateness for new construction with the following conditions:

1. Restudy of the area between the second-floor windows and the cornice on the south elevation with final details to be approved by staff during building permit review;
2. The color of the fiber cement siding must be the same value as the unpainted brick façade.
3. Include the language below on all construction documents involving any ground disturbing activities.
 - a. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply will result in project delays.

BOARD ACTION 1/8/2020: Approved, as Amended, 6-1

On a motion by Mr. Conkey and seconded by Ms. Niehardt the Board of Architectural Review voted to approve portions and defer portions for restudy BAR #2019-00528, as amended. The motion carried on a vote of 6-1, with Ms. Irwin opposed.

CONDITIONS OF APPROVAL, 1/8/2020

1. Approval of the scale, height, footprint and modified setback of 19' from the front lot line; and
2. Deferral of the design of the south elevation for restudy.

REASON

The Board supported the scale, height, footprint and modified setback of 19'. The Board recommended that the applicant restudy the south elevation to incorporate more modern

architectural features that were still compatible with the structures on this unusual, single family detached dwelling portion of Parker-Gray.

SPEAKERS

Ala Awadallah, property owner, was available to answer questions.

Minturn Wright, representing Allan Russell, spoke in opposition of setback.

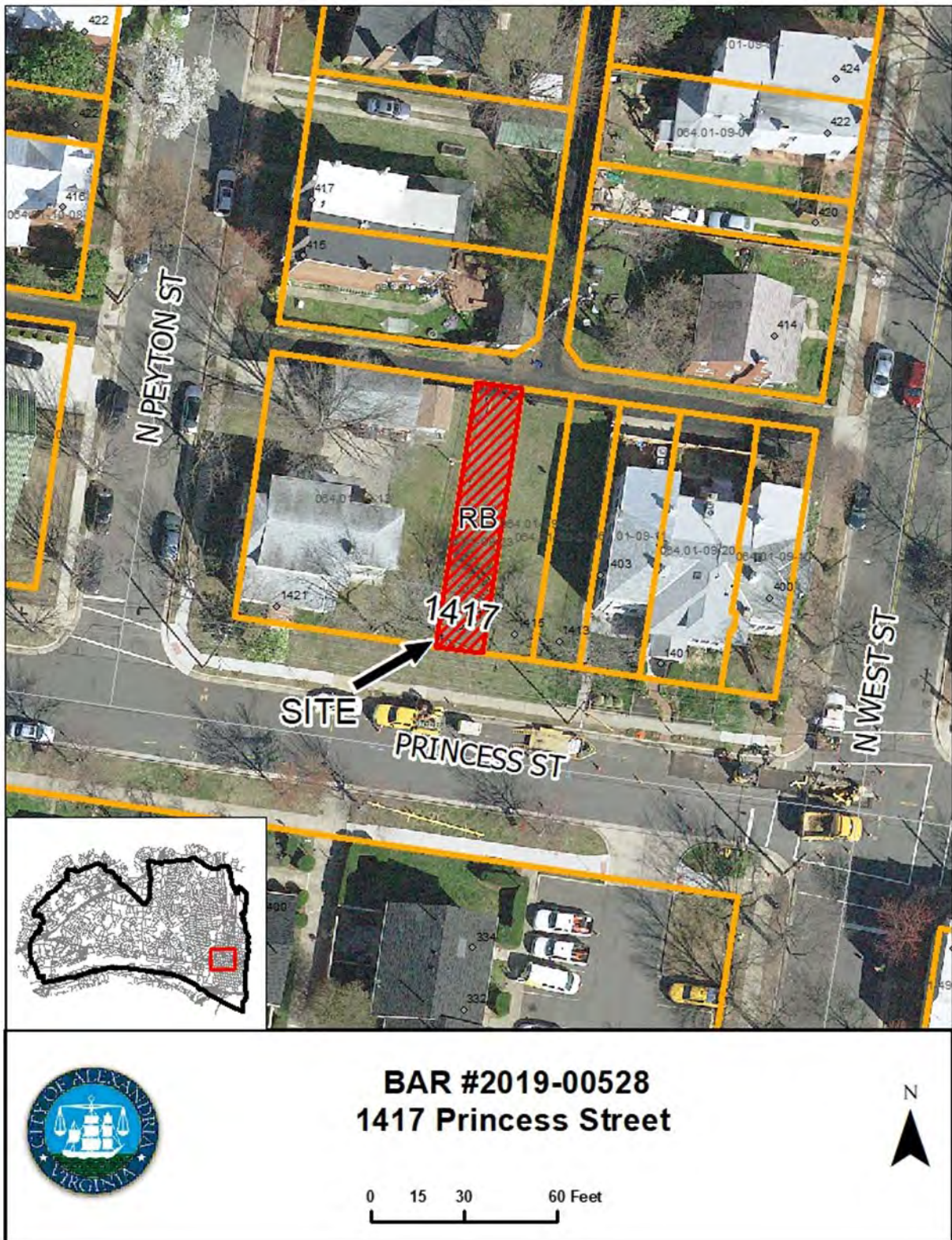
Michael Stauber, owner of 1404 Princess St., spoke in opposition of setback.

DISCUSSION

The Board found the proposal to be a missed opportunity to design a new structure that was contemporary yet compatible with the surrounding properties. The majority of the Board thought the south elevation could more distinguished in this location in the district, noting that some subtle differentiation between the design of this structure and similar historic mid-19th century vernacular townhouses was desirable in order not to dilute the significance of the historic structures that had been preserved. Mr. Adams disagreed and supported the existing, traditional design.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



UPDATE

At the January 8, 2020 public hearing, the scale, mass, height and footprint of the structure was approved and a portion of the application was deferred so that the applicant could restudy the architectural character of the street facing façade (south elevation). The Board recommended that the applicant restudy the design of the south elevation to incorporate more modern architectural features while still being compatible with the historic structures in this portion of Parker-Gray. The new submission largely addresses the Board's concerns.

I. APPLICANT'S PROPOSAL

The applicant requests a Certificate of Appropriateness to construct a new single-family dwelling on the vacant lot at 1417 Princess Street. The dwelling will be two-stories in height and set back approximately 19 feet from the front property line. The two-bay, modern detached dwelling with a low-sloped, built-up roof hidden behind stepped parapets on the sides incorporates elements of later building design found in the Parker-Gary historic district.

The proposed construction materials include a brick façade, 8¼" Hardi brand fiber-cement lap siding on the remaining elevations, boxed, single-light casement action composite windows, a single-panel door on the façade and French doors on the rear. Because the east and west elevations sit on the property line, there is no fenestration on these two elevations.

Site context

The alley to the north, behind the subject property, is public.

II. HISTORY

Deed information and subdivision records show that the subject lot at 1417 Princess Street was created by subdivision in 1893 and has remained undeveloped since that time. SUP2019-00080 was approved for a parking reduction and for relief from other lot requirements.

There are no previous BAR approvals for this parcel.

III. ANALYSIS

As the BAR previously found the scale, height, footprint and modified setback of 19' to be appropriate and acceptable, staff refers to the January 8, 2020 staff report for a complete discussion of those aspects of the design.

As the BAR's *Design Guidelines* chapter on New Residential Construction notes, the Board is most concerned with the compatibility of new structures with adjacent and nearby historic buildings. Zoning ordinance sec. 10-205(A) requires compatibility "with other buildings or structures on the same block face, the block face across the public street, or the immediate surrounding area." Historically, the Board has supported new but contextual background buildings

which “allow historic structures to maintain the primary visual importance.” The *Guidelines* specifically state that “...the Boards seek to promote compatible development that is, at once, both responsive to the needs and tastes of the late 20th century while still being compatible with the historic character of the districts.” In evaluating the compatibility of new construction, the Board generally focuses on height, scale, mass and architectural character, while also reviewing material selection, fenestration and architectural detailing on a more micro level.

In staff’s opinion, the proposed new single-family dwelling is consistent with the previous recommendations of the Board and the broader recommendations contained in the *Design Guidelines* for new construction. The modern single-family dwelling with a low-slope roof is reflective of historic development patterns found throughout the Parker-Gray historic district and neighborhoods (600 block of North Henry Street, Photo 3) adjacent to the district. In the immediate blocks there is a clear pattern of two-story, multi-bay townhouses and single-family houses.

The applicant’s first design proposal was a simple, Colonial Revival-style, detached dwelling that took architectural cues from common vernacular design found in both historic districts during the first half of the 19th century. While there is nothing wrong with this design and it complied with the *Design Guidelines*, most BAR members felt this was so replicative that it could confuse the public about when this structure was actually constructed and believed that this site presented an opportunity to explore more modern details.



Figure 1: First submission of 1417 Princess St.

As neither the BAR nor the Design Guidelines dictate a specific architectural style, the Board recommended the applicant restudy the south elevation (façade) to design a new structure that was contemporary yet compatible with the nearby historic properties. Looking at more recent but still historic examples of buildings in the immediate neighborhood, there are a number of flat roofed, two bay brick townhouses, some attached and some freestanding. While some of these mid-20th century dwellings are severely simple, others have some detail from the Art Deco or Streamline

Moderns styles popular at that time and these are now considered historic in their own right (see Photos 1 and 2). Contemporary versions of this style have been the basis for new larger projects, most notably the Jefferson Houston School, and outside the neighborhood near the Braddock Metro and in Potomac Yard. The applicant has chosen to pursue this design aesthetic which was conducive to more horizontal proportions and simple stylistic details.



Photo 1: 1410-1412 Cameron St.



Photo 2: 1304-1310 Princess St.

Staff is very supportive of the new stylistic approach and finds that a contemporary interpretation of the Art Deco style is compatible with this block face as well as the district as a whole. The use of brick on the south elevation and a low-sloped roof are typical architectural features found on vernacular background buildings within the district. The architect has also included boxed casement windows, which recall bay windows found within the neighborhood and a stylistically

appropriate canopy over the front entrance that provide additional visual interest and depth for the south elevation. These newly proposed features differentiate the current submission from similar historic mid-20th century vernacular buildings, which prevents the significance of those historic structures from being diluted.



Photo 3: New construction on 600 N. Henry St. (just outside the Parker-Gray district) showing box windows

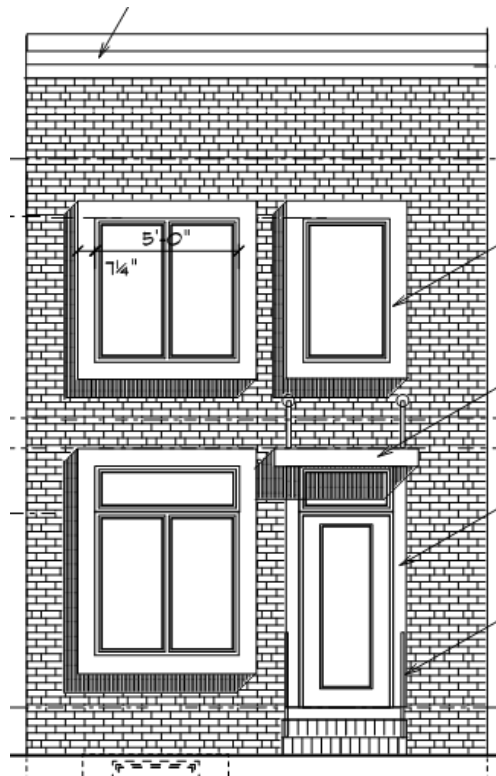


Figure 4: Current Submission.

The only feature staff recommends is to embellish the area between the second-floor windows and the cornice on the south façade. Because the roof slopes to the rear, this creates a large blank “forehead” above the “eyes” of the windows on the south face of the building. This area was historically filled with cast iron attic vents, or with a string course of contrasting color brick (Photo 2) or of a soldier course of brick or of decorative cast stone rectangles (Photo 1.) Staff recommends a simple design feature to reduce the scale of this relatively large blank area.

Finally, while the BAR does not, by practice, review paint color, the Board does review material color, such as brick and windows with integral color. Staff supports the use of brick on the south elevation to relate to similar houses in the district but the brick color is not specified in the application, so a sample should be provided by the applicant at the hearing. Because this house will almost certainly have a house abutting its east side, brick does not need to extend along the sides but the brick veneer on the front should not appear to be wallpaper applied to a box. Staff, therefore, recommends that the color value of the fiber-cement siding be similar to the brick so that the building finish materials read more three dimensionally – for example: no dark red brick with white siding.

As the Board is aware, the Parker-Gary Residential Reference Guide (RRG) does not require BAR review or staff review for several building features, including the door, stoop, steps and handrails on the façade, drainage features, and rear decks less than 2’ above grade. However, the applicant has worked with staff through several iterations of the building design and these features are architecturally appropriate for the proposed single-family house.

Staff recommends approval of the project with a restudy of the area between the second-floor windows and the cornice on the south elevation, that the fiber cement siding be a color value similar to the brick chosen for the façade and the standard recommendations of Alexandria Archaeology.

STAFF

Amirah Lane, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

F-1 Please recalculate and update FAR sheet to be consistent with proposed drawings upon submittal of building permits

Code Administration

C-1 A building permit and plan review are required prior to the start of construction

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 A released grading plan is required prior to submitting for building permits. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 This parcel is located on a block that included the Grimshaw-Slade Ropewalk, which began operations around 1810. The Union Army may also have utilized this block during the

Civil War. The property therefore has the potential to provide insight into an early nineteenth-century industry and into military activities during the war.

- R-*1. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- R-*2. The applicant/developer shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.
- R-3. The statements in archaeology conditions above marked with an asterisk “*” shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

V. ATTACHMENTS

1 – Supplemental Materials

2 – January 8, 2020 staff report for BAR 2019-00528: 1417 Princess Street

ADDRESS OF PROJECT: _____

DISTRICT: ☐ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: *(Please check all that apply)*

☐ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail : _____

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ _____

Name: _____ Phone: _____

E-mail: _____

Legal Property Owner:

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

- ☐ Yes ☐ No Is there an historic preservation easement on this property?
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☐ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☐ EXTERIOR ALTERATION: *Please check all that apply.*

☐ awning
☐ doors
☐ lighting
☐ other _____

☐ fence, gate or garden wall
☐ windows
☐ pergola/trellis

☐ HVAC equipment
☐ siding
☐ painting unpainted masonry

☐ shutters
☐ shed

☐ ADDITION
☐ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.

☐ ☐ Description of the reason for demolition/encapsulation.
☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☐ ^{N/A} ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ^{N/A} ☐ Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☐ ^{N/A} ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☐ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☐ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☐ I, the applicant, or an authorized representative will be present at the public hearing.
- ☐ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: _____

Date: _____

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

Date Printed Name Signature



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations

as of 12/20/18

B

A. Property Information

A1. 1417 Princess St.
Street Address

A2. 1360 x .75
Total Lot Area Floor Area Ratio Allowed by Zone

RB

Zone

= 0.00 934.75
Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area

Basement

NA

First Floor

Second Floor

Third Floor

Attic

Porches

Balcony/Deck

Lavatory***

Other**

Allowable Exclusions**

Basement**

NA

Stairways**

Mechanical**

Attic less than 7**

Porches**

Balcony/Deck**

Lavatory***

Other**

Other**

B1. 0.00 Sq Ft.
Existing Gross Floor Area*

B2. 0.00 Sq Ft.
Allowable Floor Exclusions**

B3. 0.00 Sq Ft.
Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

Vacant Land.

B1. Total Gross 0.00 B2. Total Exclusions 0.00

C. Proposed Gross Floor Area

Proposed Gross Area

Basement

576

First Floor

576

Second Floor

496

Third Floor

0

Attic

576

Porches

16

Balcony/Deck

144

Lavatory***

80

Other

0

Allowable Exclusions**

Basement**

576

Stairways**

116.25

Mechanical**

0

Attic less than 7**

576

Porches**

16

Balcony/Deck**

144

Lavatory***

101

Other**

0

Other**

0

C1. 0.00 2464 Sq Ft.
Proposed Gross Floor Area*

C2. 0.00 1440 Sq Ft.
Allowable Floor Exclusions**

C3. 0.00 1018 Sq Ft.
Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

C1. Total Gross 0.00 2464 C2. Total Exclusions 0.00 1440

D. Total Floor Area

D1. 0.00 1618 Sq. Ft.
Total Floor Area (add B3 and C3)

D2. 0.00 1020 Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space

E1. 482 Sq. Ft.
Existing Open Space

E2. Sq. Ft.
Required Open Space

E3. Sq. Ft.
Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of

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The undersigned hereby certifies and attests that, to the best of his/her knowledge

Signature: [Signature]

16

Date: 12/20/19

SPECIFICATIONS

GENERAL REQUIREMENTS

- A. AIA GENERAL CONDITIONS (A201) OF THIS CONTRACT FOR CONSTRUCTION ARE A PART OF THIS PROJECT.
- B. THE CONTRACTOR SHALL PAY FOR ALL REQUIRED FEES AND SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION OF ALL WORK.
- C. ALL WORK SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL BUILDING CODE, THE NATIONAL ELECTRIC CODE, AND STATE AND COUNTY CODES HAVING JURISDICTION. IF IN THE EVENT OF A CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN.
- D. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS ON THE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS INDICATED ARE AS FINISHED DIMENSIONS UNLESS OTHERWISE NOTED. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. UNLESS OTHERWISE NOTED:
1. ALL INTERIOR WALLS SHALL BE 4'-1/2" THICK
 2. ALL DOORS OPENINGS TO BE 4" OFF ADJACENT WALL OR CENTERED ON WALL
 3. ALL CLOSETS TO BE 2'-0" CLR. INSIDE
 4. ALL LINEN CLOSETS TO BE 16" CLR. INSIDE
 5. ALL SHOWER SEATS TO BE 20" HIGH & 16" DEEP
 6. ALL BATHROOM VANITIES TO BE 34" A.F.F.
- E. IF THERE ARE ANY CONFLICTS WITHIN OR BETWEEN ANY OF THE CONSTRUCTION DOCUMENTS INVOLVING THE QUANTITY OR QUALITY OF THE WORK REQUIRED, IT IS THE INTENT OF THIS CONTRACT THAT THE WORK OF THE HIGHER QUALITY AND GREATER QUANTITY SHALL BE FURNISHED. NOTIFY THE ARCHITECT OF ANY CONFLICTS PRIOR TO PROCEEDING WITH ANY WORK.
- F. IN THE CASE OF RENOVATION WORK, UNLESS OTHERWISE NOTED, ALL NEW CONSTRUCTION SHALL MATCH EXISTING. NOTIFY THE ARCHITECT OF ANY CONFLICTS PRIOR TO PROCEEDING WITH ANY WORK. CONTRACTOR TO REPAIR ALL AREAS DAMAGED, INCLUDING WATER DAMAGE, DURING CONSTRUCTION AND THOSE AREAS TO BE REPAIRED TO MATCH ORIGINAL INTERIOR, EXTERIOR, STRUCTURAL AND LANDSCAPING CONDITIONS.
- G. NEW FIXTURES, FITTINGS, APPLIANCES, ELECTRICAL AND MECHANICAL EQUIPMENT, CABINETRY, ARCHITECTURAL FEATURES AND FINISHES SHALL BE INSTALLED IN SUCH A MANNER THAT ALL GUARANTEES AND WARRANTIES, EXPRESSED OR IMPLIED, ARE VALID AND WITH ADEQUATE CLEARANCE FOR SERVICING.
- H. CONTRACTORS TO PERFORM WORK WITH MINIMAL DISTURBANCE TO ADJACENT AREAS. CONTRACTOR TO STABILIZE AND PROTECT EXISTING ADJACENT CONDITIONS WHERE REQUIRED.
- I. ALL WORK SHALL BE DONE IN A WORKMANLIKE MANNER IN ACCORDANCE WITH GENERALLY ACCEPTED TRADE PRACTICES.
- J. ALL MATERIALS SHALL BE NEW AND IN GOOD CONDITION.
- K. SHOP DRAWINGS AND SUBSTITUTIONS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION OF THE WORK.
- L. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS, MEANS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.
- M. CONTRACTOR SHALL INSPECT THE SITE PRIOR TO CONSTRUCTION AND SHALL BASE ALL DESCRIPTION OF WORK, BIDS AND PROPOSALS ON THE BASIS OF THE SITE CONDITIONS.
- N. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKSMANSHIP FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
- O. CONSTRUCTION SAFETY -- LOADS GREATER THAN APPLICABLE DESIGN LOADS SHALL NOT BE PLACED ON THE STRUCTURE. PROVISIONS SHALL BE MADE FOR ADEQUATE BRACING OF STRUCTURE DURING CONSTRUCTION AND EXCAVATION.
- P. MECHANICAL UNITS AND ANY OTHER EQUIPMENT WITH WEIGHTS SHOWN IN THE PLANS AND SUPPORTED BY THE STRUCTURE WERE CONSIDERED IN THE DESIGN OF THE STRUCTURE. ANY ADDITIONAL EQUIPMENT NOT SHOWN ON STRUCTURAL DRAWINGS AND HAVING A WEIGHT IN EXCESS OF 400 POUNDS SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION.
- Q. THE BASIC STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF FLOORS, WALLS & ROOF ACTING TOGETHER. CONTRIBUTE TO THE STIFFNESS OF THE BRACES, STRUTS, ETC. AS REQUIRED TO ACCOMMODATE ALL LIVE, DEAD AND WIND LOADS UNTIL ALL FINAL CONNECTIONS BETWEEN THESE ELEMENTS ARE MADE.
- R. THESE DOCUMENTS ARE THE PROPERTY OF I. THOMAS WALSMAN, ARCHITECT ANY REUSE OF THESE DOCUMENTS WITHOUT WRITTEN AUTHORIZATION IS STRICTLY PROHIBITED.

SITEWORK

- A. CONTRACTOR SHALL KEEP THE SITE NEAT. PROVIDE DUMPSITERS AS REQUIRED AND REMOVE ALL DEBRIS FROM SITE. ALL DISTURBED AREAS SHALL BE GRADED AND RESTORED TO THE APPROXIMATE EXISTING CONDITION PRIOR TO CONSTRUCTION. ALL DISTURBED GRASS AREAS SHALL BE SMOOTH GRADED, SEEDED AND COVERED WITH STRAW.
- B. PROTECT EXISTING, REMAINING TREES AND VEGETATION. ALL EXISTING UNDERGROUND UTILITIES SHALL BE LOCATED BY THE CONTRACTOR PRIOR TO BEGINNING ANY CONSTRUCTION.
- C. THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL, LICENSED PEST CONTROL OPERATOR TO PROVIDE A FIVE-YEAR MINIMUM SOLID TERMITE PROTECTION TREATMENT TO PREVENT THE INFESTATION BY TERMITES. TREATMENT SHALL BE APPLIED AFTER EXCAVATING, FILLING AND GRADING OPERATIONS HAVE BEEN COMPLETED. TREATMENT SHALL NOT BE APPLIED TO EXCESSIVELY WET SOIL OR DURING INCLEMENT WEATHER.

STRUCTURAL GENERAL REQUIREMENTS

- A. DESIGN LIVE LOADS:
- | | |
|-----------------------|--------|
| ROOF SNOW LOAD | 30 PSF |
| WIND LOAD | 20 PSF |
| LIVING AREAS | 40 PSF |
| SLEEPING AREAS | 30 PSF |
| DECKS | 40 PSF |
| GARAGE | 50 PSF |
| ATTIC (light loading) | 20 PSF |
| LIVE LOAD DEFLECTION | 1/400 |
- B. ALL SOIL IS TO HAVE A MINIMUM BEARING CAPACITY OF 1500 PSF. IF INADEQUATE SOIL IS ENCOUNTERED, CONSULT ARCHITECT FOR ADDITIONAL STRUCTURAL REQUIREMENTS PRIOR TO POURING ANY CONCRETE.

- C. FOOTINGS AND FOUNDATIONS: FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL, 1' - 0" MIN. BELOW ORIGINAL GRADE. BOTTOM OF EXTERIOR FOOTING SHALL BE 2' - 6" MIN. BELOW FINISHED GRADE. MAINTAIN 1:1 SLOPES FROM BOTTOM EDGE OF FOOTING TO BOTTOM OF ANY ADJACENT GRADE. DEPTHS AND SIZE OF ALL FOOTINGS SHALL BE VERIFIED IN THE FIELD. DEPTHS SHALL BE SUBJECT TO CHANGE IF SOIL CONDITIONS ARE OTHER THAN ASSUMED. STEP ALL FOOTINGS AT 2 HORIZONTAL TO 1 VERTICAL.
- D. LATERAL LOAD ON FOUNDATION WALLS: WALLS BUILT TO RETAIN OR SUPPORT LATERAL PRESSURE OF EARTH OR WATER HAVE BEEN DESIGNED ASSUMING PRESSURE EQUIVALENT TO THAT EXERTED BY FLUID WEIGHING 60 LBS./CU.FT. AND HAVING A DEPTH EQUAL TO THAT OF THE RETAINED EARTH.
- E. BACKFILL: BACKFILL SHALL NOT BE PLACED AGAINST WALLS UNTIL SLABS ON GRADE AND FRAMED FLOORS ARE IN PLACE AND REQUIRED INSPECTIONS ARE MADE. WHERE BACKFILL IS REQUIRED ON BOTH SIDES OF WALLS, BACKFILL BOTH SIDES SIMULTANEOUSLY, WITH GRADE DIFFERENCE NOT TO EXCEED 2'-0" AT ANY TIME. ALL BACKFILL SHALL BE MATERIAL, CONSISTING OF BANK RUN GRAVEL, CRUSHED STONE AND/OR MATERIAL APPROVED BY ENGINEER FROM SITE EXCAVATION, WITH OPTIMUM MOISTURE CONTENT FOR COMPACTION AND SHALL BE FREE FROM ORGANIC MATERIAL OR DEBRIS. WHERE REQUIRED, COMPACTED BACKFILL SHALL BE PLACED IN 8" LIFTS AND COMPACTED TO 95% OF ASTM D698.

CONCRETE

- A. ALL CONCRETE SHALL BE MIXED AND PLACED IN ACCORDANCE WITH THE LATEST AMERICAN CONCRETE INSTITUTE, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI - 318). ALL CONCRETE SHALL BE STONE CONCRETE HAVING A COMPRESSIVE STRENGTH (F'_c) @ 28 DAYS:
- F'_c = 3,000 PSI FOR FOOTINGS AND INTERIOR SLABS ON GRADE
F'_c = 3,500 PSI FOR REINFORCED CONCRETE WALLS
F'_c = 3,500 PSI FOR EXTERIOR LUMBER AND 2x4 STRUCTURAL STUDS SHALL BE SPF HAVING THE FOLLOWING MINIMUM ALLOWABLE PROPERTIES:
1. BENDING STRESS "F_b" = 850 PSI
2. MODULUS OF ELASTICITY "E" = 1,300,000 PSI
- B. SLAB ON GRADE: EXCEPT WHERE OTHERWISE NOTED, SHALL BE 4" THICK, REINFORCED WITH #6s, W/4x W/4 WELDED WIRE MESH, LAP MESH 6" IN EACH DIRECTION. SLABS SHALL BE Laid ON A LAYER OF 6 MIL THICK POLYETHYLENE VAPOR BARRIER AND 4" VDOT #57 GRAVEL PROPERLY COMPACTED.
- C. A STRUCTURAL SLAB SHALL BE USED WHEN UN-COMPACTED FILL EXCEEDS 8".
- D. EXTERIOR SLAB ON GRADE: FOR ALL EXTERIOR SLABS ON GRADE, AIR-ENTRAINING AGENT TO 4% AIR SHALL BE USED. PROVIDE CONTROL JOINTS AT 10'-0" ON CENTER EACH WAY.
- E. REINFORCING STEEL: ALL REINFORCING STEEL SHALL BE HIGH STRENGTH NEW DEELT STEEL CONFORMING TO ASTM A640-60 (60,000 PSI). WELDED WIRE FABRIC TO CONFORM TO ASTM A-185. ALL REINFORCING SHALL BE DETAILDED, FABRICATED AND PLACED IN ACCORDANCE WITH THE LATEST ACSI'S "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCING STEEL". PROVIDE CONCRETE PROTECTION (COVER) FOR REINFORCEMENT AS FOLLOWS:
1. FOOTINGS AND OTHER CONCRETE POURED AGAINST EARTH ____ 3"
2. FORMED CONCRETE EXPOSED TO EARTH SHALL BE ____ 2"
3. SLABS ON GRADE, UNLESS OTHERWISE NOTED _____ MID - DEPTH
- F. ANCHOR STRAPS SHALL BE INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS 12" FROM CORNERS AND AT INTERVALS OF NOT MORE THAN FOUR FEET. STRAPS SHALL BE ZINC-COATED AND A MINIMUM OF 14GA.
- G. POURED IN PLACE CONCRETE FOUNDATION WALLS SHALL BE BRICK-FORM FACED.

MASONRY

- A. ALL MASONRY CONSTRUCTION TO BE IN ACCORDANCE WITH THE "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES AND SPECIFICATIONS FOR MASONRY STRUCTURES" ACI 530. ALL MASONRY WALLS SHALL BE CONSTRUCTED WITH BEARING MASONRY UNITS. CONCRETE MASONRY UNITS SHALL BE NORMAL WEIGHT, HOLLOW, LOAD-BEARING BLOCKS, GRADE N, MANUFACTURED IN ACCORDANCE WITH C-90. BLOCK PRODUCTS SHALL BE FROM CRUSHED STONE AND GRAVEL CONCRETE WITH DENSITY OF 135 LBS./CU.FT. ALL UNITS SHALL BE LAID WITH FULL HEAD AND BED JOINTS. PROVIDE MIN. 3" OF SOLID MASONRY UNDER CONCENTRATED LOADING CONDITIONS.
- B. MORTAR SHALL BE TYPE S OR M WITH MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI @ 28 DAYS.
- C. HORIZONTAL JOINT REINFORCEMENT SHALL BE "DUR-O-WALL" HEAVY DUTY PRESSURE TIE 6x6x12" INCH DIA. BOLT VERTICALLY ABOVE GRADE AND 8" O.C. VERTICALLY BELOW GRADE.
- D. PROVIDE CORNER BARS TO MATCH HORIZONTAL REINFORCING IN WALLS AND FOOTINGS. PROVIDE DOUBLE BARS BETWEEN FOOTINGS AND WALLS TO MATCH SIZE AND SPACING OF VERTICAL REINFORCING.
- E. ALL VERTICAL REINFORCING SHALL BE GROUTED IN PLACE WITH MORTAR OR PEA GRAVEL. ALL EXPANSION BOLTS OR SLEEVE ANCHORS IN MASONRY WALLS SHALL BE PLACED IN GROUTED SOLID MASONRY.
- F. VENEER ANCHORS SHALL BE FULLY CORROGATED SHEET METAL (ASTM A 153 GALVANIZED OR ASTM A 578, GRADE B, CORRUGATED SHEET METAL) AT LEAST 20 GA. ANCHORS SHALL BE PLACED AT 16" O.C. VERTICALLY AND HORIZONTALLY.
- G. LINTEL SCHEDULE (PER 4" OF MASONRY, LONG LEG TO BE VERTICAL):

OPENING	ANGLE SIZE	BEARING
L1) UP TO 3'-0"	3-1/2 x 3-1/2 x 1/4	4" MIN.
L2) 3'-0" - 4'-0"	4 x 3-1/2 x 1/4	4" MIN.
L3) 4'-0" - 5'-0"	4 x 3-1/2 x 5/16	6" MIN.
L4) 5'-0" - 6'-0"	5 x 3-1/2 x 5/16	6" MIN.
L5) 6'-0" - 7'-0"	6 x 3-1/2 x 5/16	8" MIN.
L6) 7'-0" - 8'-0"	7 x 3-1/2 x 3/8	8" MIN.
L7) 8'-0" - 9'-0"	7 x 4 x 3/8	8" MIN.

STRUCTURAL STEEL

- A. STEEL SHALL BE DETAILED, FABRICATED AND ERRECTED IN ACCORDANCE WITH THE LATEST AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), "SPECIFICATION FOR THE DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", INCLUDING SUPPLEMENTS. STRUCTURAL STEEL SHALL CONFORM TO ASTM -36. SHOP AND FIELD CONNECTIONS SHALL BE WELDED OR MADE WITH 3/4" HIGH STRENGTH BOLTS. BOLTED FIELD CONNECTIONS SHALL BE BEARING TYPE. THREADS EXCLUDED ALL CONNECTIONS SHALL DEVELOP THE FULL STRENGTH OF THE BEAM. NO HOLES ARE PERMITTED IN STEEL BEAMS OTHER THAN THOSE SHOWN ON THE DRAWINGS, UNLESS APPROVED BY THE STRUCTURAL ENGINEER.
- B. ALL WELDING SHALL CONFORM TO THE AMERICAN WELDING SOCIETY (AWS) "STRUCTURAL WELDING CODE" AWS D1.1, INCLUDING ALL REVISIONS. WELDERS QUALIFIED IN ACCORDANCE WITH AWS PROCEDURES SHALL INSTALL WELDS. PROVIDE FABRICATORS STANDARD RUST INHIBITOR PAINT PRIMER ON ALL STRUCTURAL STEEL. PAINT ALL STEEL BELOW GRADE WITH ASPHALT PAINT TO A MINIMUM THICKNESS OF 50 MIL. THICK.

- C. PROVIDE BASE PLATES FOR ALL STRUCTURAL STEEL BEAMS BEARING ON MASONRY OR CONCRETE. PROVIDE STANDARD ANCHOR BOLTS, TIES, STRAPS, HANGERS AND OTHER FASTENING DEVICES AS REQUIRED.

TRUSSED RAFTERS

- A. THE TRUSS MANUFACTURER SHALL DESIGN WOOD TRUSSES. COMPLETE SHOP DETAILS AND STRESS DIAGRAM, INCLUDING BEARING DETAILS, SHALL BE SUBMITTED FOR APPROVAL.
- B. WOOD TRUSSED RAFTERS SHALL BE FABRICATED WITH HYDRAULICALLY PRESSED 16GA TOOTHED METAL PLATED OR 20GA. NAILED STEEL GUSSET PLATES. CONNECTIONS SHALL BE CAPABLE OF TRANSMITTING THE STRESSES PLUS ALL ECCENTRICITIES. FABRICATOR SHALL SUBMIT SHOP DRAWINGS AND DESIGN CATALOG TO STRUCTURAL ENGINEER FOR APPROVAL, SHOWING THE DESIGN OF THE TRUSSED RAFTERS CAPABLE OF SUSTAINING TOTAL SUPERIMPOSED LOAD OF 50 PSF WITH F.H.A. 464-1.1 DESIGN CRITERIA FOR TRUSSED RAFTERS.
- C. EACH TRUSS SHALL BE SECURED AT THE BEARING POINTS WITH "TECO" OR EQUAL FRAMING ANCHORS, WITH A 450 POUND CAPACITY. JURISDICTION SHALL CERTIFY TRUSS DESIGN.
- D. TRUSS PROFILES SHOWN IN THESE DOCUMENTS ARE FOR DESIGN INTENT ONLY. TRUSS MANUFACTURE TO VERIFY ALL SPANS, DIMENSIONS, PITCHES, ETC. AND SUBMIT SHOP DRAWINGS TO STRUCTURAL ENGINEER PRIOR TO FABRICATION.

WOOD FRAMING

- A. WOOD FRAMING MEMBERS, JOISTS, HEADERS AND BEAMS SHALL BE HEIR-FIR (NORTH) #2 HAVING THE FOLLOWING MINIMUM ALLOWABLE PROPERTIES:
1. BENDING STRESS "F_b" = 850 PSI
2. MODULUS OF ELASTICITY "E" = 1,300,000 PSI
- B. LAMINATED VENEER BEAMS AND HEADERS WHERE SHOWN, SHALL BE PARALLAM PSI, MANUFACTURED BY "MacMILLAN BLOEDER," WITH MINIMUM ALLOWABLE BENDING STRESS OF F_b = 2,400 PSI OR ASI-LVL MANUFACTURED BY "ALPINE ENGINEERED PRODUCTS, INC.", WITH MINIMUM ALLOWABLE BENDING STRESS OF F_b = 2,400 PSI OR EQUAL. LAMINATED VENEER BEAMS & HEADERS MUST COMPLY WITH MANUFACTURERS RECOMMENDATIONS FOR BEARING LENGTH REQUIREMENTS AND CONNECTION DETAILS. ALL BEAMS MUST BE SOLID (NOT COMPOSED OF MULTIPLE LAYERS) WHEN LOADED FROM THE SIDE.
- C. ALL PLYWOOD USED STRUCTURALLY SHALL MEET THE PERFORMANCE STANDARDS AND ALL OTHER REQUIREMENTS OF APPLICABLE U.S. COMMERCE STANDARDS FOR THE TYPE, GRADE AND SPECIES AND SHALL BE SO IDENTIFIED BY AN APPROVED AGENCY:
1. PLYWOOD SUB-FLOORS: SHALL BE 23X52 (3/4) INCH APA PANELS. PLYWOOD PANELS SHALL HAVE LONG DIMENSION ORIENTED ACROSS THREE OR MORE JOISTS AND SHALL BE FASTENED WITH CONSTRUCTION ADHESIVE AND 10d NAILS AT 6 INCHES ON CENTER AT ALL EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. UNLESS OTHERWISE NOTED, PANEL EDGES NEED NOT BE BLOCKED.
2. EXTERIOR WALL SHEATHING: SHALL BE 7/16 (1/2) INCH THICK APA RATED WOOD STRUCTURAL PANELS. FASTEN PANELS TO STUDS WITH 8d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND AT 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. UNLESS OTHERWISE NOTED, PANEL EDGES NEED NOT BE BLOCKED.
3. ROOF SHEATHING SHALL BE 7/16 (1/2) INCH APA RATED WOOD PANELS WITH SPAN RATING OF 240 OR BETTER. FASTEN PANELS TO FRAMING WITH 8d NAILS AT 6 INCHES ON CENTER.
- D. VERTICAL LOADS TRANSFER: ALL STRUCTURAL POSTS MUST BE VERTICALLY ALIGNED AND BLOCKED TO PROVIDE CONTINUOUS BEARING TO FOUNDATION.
- E. IF A DOUBLE TOP PLATE OF LESS THAN 2x6 OR 3x4'S SUPPORTING MORE THAN ONE FLOOR OR IF A TRIBUTARY AREA OF MORE THAN 13'-0" IS USED, FLOOR JOISTS (AND TRUSSES) MUST BE CATERED DIRECTLY OVER AND BELOW BEARING STUDS.
- F. PROVIDE SINGLE TRIMMER STUDS UNDER HEADERS SPANNING UP TO 6'-0" AND DOUBLE TRIMMER STUDS (SPIKED TOGETHER) UNDER HEADERS SPANNING OVER 6'-0" OR WITH OPENINGS GREATER THAN 4x6.
- G. PROVIDE NAILING IN ACCORDANCE WITH " INTERNATIONAL RESIDENTIAL CODE", 1996 EDITION, AND COMPLY WITH NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION. AVOID NAILING INTO END GRAIN IN LOADING CONDITIONS.
- H. ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE-TREATED.

- I. FRAMING MEMBERS SHALL BE NO CLOSER THAN 8" TO FINISH GRADE. FRAMING IN CRAWL SPACES, CLOSER THAN 18" TO EXPOSED FINISH GRADE, SHALL BE PRESSURE-TREATED.
- J. USE GALVANIZED METAL JOIST HANGERS AND BEAM HANGERS. ATTACH PER MANUFACTURERS SPECIFICATIONS.
- K. BACK NOTCH RAFTERS OVER PLATES WHERE POSSIBLE. FOR NOTCHES OR BEVELED RAFTERS RESTING ON A PLATE, THE BEVELED CUT SHALL NOT OVERHANG INSIDE OF PLATE.
- L. CORNER BRACING: BRACE EXTERIOR CORNERS OF THE STRUCTURE WITH 2x4 LATERAL SUPPORTS NOT EXCEEDING 10 FEET IN THE MANNER SHOWN IN THE "WIND BRACING DIAGRAMS"
- M. BRIDGING AND BLOCKING: FOR DIMENSIONAL LUMBER, PROVIDE ONE LINE MIN. OF 1x3 BRIDGING DOUBLE NAILED AT EACH END, FOR EVERY 8'-0" OF SPAN IN FLOOR, ATTIC AND ROOF FRAMING OR EQUIVALENT METAL BRACING OF EQUAL RIGIDITY. BLOCK SOLID AT ALL BEARING SUPPORTS WHERE CONSTRUCTION WITH FRAME OR STUCCO WALLS. BLOCK STUD BEARING WALLS AT 4'-0" O.C. MAX. AND NON-BEARING STUD WALLS AT 8'-0" O.C. MAX. BLOCK WITH 2x SOLID MATERIAL WITH TIGHT JOINTS. FOR BLOCKING OF ENGINEERED LUMBER, FOLLOW THE MANUFACTURERS SPECS.
- N. FIELD-BUILT STAIR STRINGERS SHALL BE FROM 2x12 STRUCTURAL GRADE LUMBER.
- O. ALL PROTECTIVE RAILING FOR STAIRS AND BALCONIES SHALL BE DESIGNED TO WITHSTAND A LATERAL FORCE OF 200 LBS. APPLIED AT ANY POINT IN ANY DIRECTION ON THE TOP RAILING BETWEEN THE POSTS. IN-FILL PANEL AREAS SHALL BE DESIGNED TO WITHSTAND A FORCE OF 200 LBS. APPLIED ON 1 SQ. FT. AREA, AT ANY GIVEN POINT.

- P. ALL INTERIOR FINISH WOOD SHALL BE CLEAR WHITE PINE, FIR OR POPLAR, FREE OF KNOTS AND IMPERFECTIONS, FINGER-JOINT MATERIAL MAY BE USED WHERE IT WILL BE PAINTED.

PLANS

- A. REQUIRED STAIR RISERS SHALL A MAX. OF 7-1/2" HIGH AND BE CLOSED.
- B. HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 34" AND 38" RESPECTIVELY SHALL BE PROVIDED ON AT LEAST ONE SIDE OF THE STAIRWAY OF THREE OR MORE RISERS. OPEN SIDE OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE HANDRAILS. REQUIRED HANDRAILS SHALL HAVE INTERMEDIATE MEMBERS WHICH WILL NOT ALLOW PASSAGE OF AN OBJECT 4" OR MORE IN DIAMETER (CABO R-215). THE HANDGRIP PORTION OF THE HANDRAILS SHALL NOT BE MORE THAN 2-5/8" IN CROSS-SECTIONAL DIMENSION.
- C. A READILY ACCESSIBLE ATTIC ACCESS FRAMED OPENING NOT LESS THAN 22" x 30" SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30". UNLESS OTHERWISE NOTED, PROVIDE A PULL-DOWN STAIR.
- D. ROOF/ATTIC VENTILATION: REFER TO IRC 2000
- E. CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE IT PASSES THROUGH THE ROOF.
- F. PROVIDE 14 x 30 INCH ACCESS PANEL AT TUB CONNECTIONS WHERE REQUIRED BY LOCAL CODE.
- G. ALL BATHROOMS -- CENTERLINE OF WATER CLOSETS TO FINISHED WALL MUST BE AT LEAST 15". EDGE OF TANK TO LAVATORY MUST BE 4". WATER CLOSET TO EDGE OF BATHTUB MUST BE 12". SHOWER AND TUB ENCLOSURES MUST BE SAFETY GLASS.
- H. FIRE STOPPING: 2x FIRE STOPPING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
1. IN ALL STUD WALLS INCLUDING FURRED SPACES, AT FLOOR AND CEILING LEVELS.
 2. AT INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT SOFFITS, DROP CEILINGS, ETC.
 3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
 4. AT OPENINGS ABOVE 12" INSULATION BOARD (R-3.6) OR EXTERIOR WALL SHEATHING, SEE DRAWINGS.
 5. ROOF INSULATION: 1" (R-38) FIBERGLASS ATTIC INSULATION.
 6. SOUND CONTROL: BATTS: 3-1/2" (R-15) SOUND ATTENUATION BATTS SHALL BE INSTALLED IN ALL BATHROOM AND POWDER ROOM WALLS.

- I. PROVIDE TYPE "X" GYPSUM WALL BOARD TO OBTAIN 1-HR FIRE-RATED SEPARATION ON GARAGE WALLS AND CEILING ADJACENT TO HABITABLE ROOMS OR WHEN GARAGE WALL IS AN INTEGRAL PART OF THE BUILDING. PROVIDE FIRE-RESISTANT DETECTORS AND RESIDENCE SHALL BE EQUIPPED 20-MIN. RATED EXTERIOR DOOR.
- J. ROUGH CARPENTRY CONTRACTORS SHALL INSTALL COMPRESSIBLE SIL SEALER BETWEEN ALL SILL PLATES AND TOP OF FOUNDATION WALL.

THERMAL AND MOISTURE PROTECTION

- A. INSULATION:
1. ALL SLABS ON GRADE IN CONDITIONED SPACES SHALL BE INSULATED WITH R-10 MIN. RIGID INSULATION FROM TOP OF SLAB DOWNWARD TO 24" BELOW SLAB OR INWARD 24" FROM EXTERIOR OF SLAB AT ALL SLAB PERIMETER AREAS.
2. WALL SHEATHING: 12" INSULATION BOARD (R-3.6) OR EXTERIOR WALL SHEATHING, SEE DRAWINGS.
3. 2x4" WALLS: 3-1/2" (R-13) CRAFT FACED BATTS PLUS "TYVEK" HOUSEWRAP, PAPER TO WARM SIDE.
4. 2x6" WALLS: 5-1/2" (R-19) CRAFT FACED BATTS PLUS "TYVEK" HOUSEWRAP, PAPER TO WARM SIDE.
5. ROOF INSULATION: 1" (R-38) FIBERGLASS ATTIC INSULATION.
6. SOUND CONTROL: BATTS: 3-1/2" (R-15) SOUND ATTENUATION BATTS SHALL BE INSTALLED IN ALL BATHROOM AND POWDER ROOM WALLS.
- B. VAPOR BARRIER SHALL BE 6 MIL. THICK POLYETHYLENE OVER 4" OF GRAVEL IN ALL CRAWL SPACES & UNDERNEATH ALL COVERED CONCRETE SLABS, SEE DRAWINGS.
- C. DAMP-PROOF ALL EXTERIOR FOUNDATION WALLS ENCLOSING BASEMENTS AND CRAWL SPACES WITH DAMP-PROOFING AS SPECIFIED BY CODE AT ALL EXTERIOR WALL FACES. 1/2" PARGING IS TO BE APPLIED TO MASONRY FOUNDATIONS, BITUMINOUS MEMBRANE WITH POURED IN PLACE CONCRETE.
- D. WHEN SEVERE WATER CONDITIONS EXIST, WATERPROOF ALL EXTERIOR FOUNDATION WALLS BELOW GRADE ENCLOSING HABITABLE SPACES AS SPECIFIED BY CODE AT ALL EXTERIOR WALL FACES. PROTECT WATER-PROOFING WITH 6 MIL. THK. POLYETHYLENE VAPOR BARRIER FROM FINISH GRADE TO BOTTOM OF FOOTING.
- E. BUILDING PAPER: WHEN VENEER OF BRICK, CLAY TILE, CONCRETE, OR NATURAL OR ARTIFICIAL STONE IS USED, 15 POUND ASPHALT SATURATED UNDERLAYMENT SHALL BE ATTACHED TO THE SHEATHING WHENEVER NECESSARY TO PREVENT MOISTURE PENETRATION BEHIND THE VENEER.
- F. ROOFING:
- 30-YEAR ARCHITECTURAL ASPHALT SELF-SEALING SHINGLES. ALL ROOFING SHALL BE PLACED OVER 1 LAYER 15 POUND ASPHALT SATURATED UNDERLAYMENT. EPDM ROOFING SHALL BE .06", COLOR GRAY.
- G. SEALANTS:
- EXTERIOR: SILICONE (PAINT GRADE).
INTERIOR: LATEX.
- H. METAL FLASHING: 24 GA. ALUMINUM. CODE APPROVED PENETRATION RESISTING FLASHING SHALL BE PROVIDED AT TOP, SIDES AND SILL OF ALL EXTERIOR WIDOW AD DOOR OPENINGS IN SUCH MANNER AS TO BE LEAKPROOF. THE AFOREMENTIONED FLASHING IS NOT REQUIRED WITH SELF-FLASHED WINDOWS WHICH HAVE A CONTINUOUS LAP OF NOT LESS THAN 1-1/8" OVER THE SHEATHING MATERIAL AROUND THE PERIMETER OF THE OPENING. SIMILAR FLASHINGS SHALL BE INSTALLED:
1. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS.
 2. UNDER AND AT THE ENDS OF MASONRY, WOOD, OR METAL COPING AND SILLS;
 3. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM AT WALL AND ROOF INTERSECTIONS;
 4. AT JUNCTIONS OF CHIMNEYS AND ROOFS;
 5. IN ALL ROOF VALLEYS AND AROUND ALL ROOF OPENINGS.

- I. PROVIDE 24GA. ALUMINUM DRIP EDGE AT THE EAVES OF THE ROOF SHEATHING.
- J. METAL DOWNSPOUTS AND GUTTER: PRE-FINISHED ALUMINUM.

DOORS AND WINDOWS

- A. UNLESS OTHERWISE NOTED, WINDOW SIZES DEFINE INTENDED NOMINAL SIZE BY INDICATING SASH OPENING IN FEET AD INCHES (E. 2856 DENOTES A 2'-8" WIDE BY 5'-6" TALL SASH OPENING WINDOW).
- B. WINDOWS SHALL BE CLAD, INSULATED DOUBLE GLAZED, LOW-E "CARADCO", "ANDERSEN", "KOLBE & KOLBE" OR APPROVED EQUAL; DOUBLE HUNG, FIXED OR CASEMENT WITH SCREENS, SEE DRAWINGS.
- C. ALL OPERABLE EXTERIOR WINDOWS AND DOORS SHALL BE PROVIDED WITH FULL SCREENS.
- D. AT LEAST ONE WINDOW IN EACH BEDROOM SHALL HAVE A NET CLEAR OPENING AREA OF NOT LESS THAN 5.7 sq. ft. WITH A NET CLEAR WIDTH OF 20" AND A MAXIMUM SILL HEIGHT OF 44" ABOVE THE FLOOR FOR EGRESS PURPOSES.
- E. GLAZING IN DOORS AND WINDOWS IMMEDIATELY ADJACENT TO DOORS OR WITHIN 18" OF THE FLOOR, SHALL BE TEMPERED GLASS. GLAZING ADJACENT TO TUB AND/OR SHOWER ENCLOSURES SHALL BE TEMPERED GLASS.
- F. DOORS AND HARDWARE: ALL INTERIOR DOORS SHALL BE 6-PANEL SOLID CORE MASONITE, VERIFY W/ OWNER. SEE PLANS FOR SIZES.
- G. THRESHOLDS SHALL BE PROVIDED AT ALL DOORWAYS WHERE FLOORING CHANGES. THRESHOLDS TO MATCH EXISTING WOOD THRESHOLDS OR ADJACENT FLOORING MATERIALS.

FINISHES

- A. PAINT: ALL INTERIOR TRIM AND DOORS TO BE PAINTED ARE TO HAVE ONE COAT OF PRIMER AND TWO COATS OF ALKID SEMI-GLOSS PAINT. ALL GYPSUM SURFACES ARE TO HAVE ONE COAT OF PRIMER AND TWO COATS OF WASHABLE FLAT LATEX PAINT. ALL PAINT SHALL BE BEST QUALITY GRADE "BENJAMIN MOORE", "SHERWIN WILLIAMS" OR APPROVED EQUAL. COLORS TO BE SELECTED BY OWNER. CONFER WITH OWNER AS TO THE TOTAL NUMBER OF COLORS TO BE USED IN THE JOB.
- B. MIRRORS SHALL BE 1/4", POLISHED ON ALL EXPOSED EDGES AND THE CEILING WITHIN THE 4' X 4' THEY ARE MOUNTED OVER BY 4'-0" HIGH. VERIFY WITH OWNER.
- C. ALL WALL TILE SHALL BE INSTALLED ON 1/2" CEMENT BACKER BOARD.
- D. HARDWOOD FLOORS SHALL BE 2-1/4" SELECT RED OR WHITE OAK, WITH 2-COAT POLYURETHANE FINISH.
- E. CERAMIC TILE SHALL BE "AMERICAN OLEAN" OR EQUAL.

- G. UNLESS OTHERWISE NOTED SHELVING SHALL BE 12" THICK BY 12" DEEP PAINTED MDO BOARD W/ BULLNOSE. SHELVING SHALL BE FOR:
1. PANTRY & LINEN CLOSETS - BOTTOM SHELF @ 18" A.F.F. & REMAINING 4 SHELVES @ 12" O.C. UP FROM BOTTOM SHELF.
 2. STANDARD CLOSETS -- TOP SHELF @ 5'-0" A.F.F. W/ WOOD OR METAL BRACKETS TO SUPPORT SHELF AND 1-1/2" DIA. FINISHED WOOD ROD @ 36" O.C.

HVAC

- A. CONTRACTOR SHALL RETAIN A QUALIFIED HVAC CONTRACTOR TO SIZE NEW AIR CONDITIONING SYSTEM AND PROVIDE LOAD CALCULATIONS FOR PERMIT.
- B. LINE DRAWINGS SHALL BE SUBMITTED TO ARCHITECT, INDICATING THE SIZE AND LOCATION OF DUCTWORK AND FLUES FOR COORDINATION WITH ARCHITECTURAL PLANS, PRIOR TO FABRICATION.
- C. DUCT RUNS SHALL BE COORDINATED WITH ARCHITECTURAL REFLECTED IN ADDITION PROVIDE DETAILING LOCATIONS WITH LIGHTING AND ARCHITECTURAL FEATURES. ANY CONFLICTS SHALL BE REPORTED TO ARCHITECT PRIOR TO DUCT FABRICATION AND/OR INSTALLATION OF DUCTWORK.
- D. REGISTERS AND GRILLES SHALL BE INSTALLED SQUARE AND LEVEL.
- E. KITCHEN AND BATH EXHAUST FANS AND CLOTHES DRYERS SHALL BE VENTED TO THE OUTSIDE. PROVIDE VENTILATION TO FURNACE ROOMS AND/OR GAS EQUIPMENT.

PLUMBING

- A. ALL WATER LINES SHALL BE SOUND INSULATED AND CAST IRON BETWEEN SECOND FLOOR AND FIRST FLOOR.
- B. ALL SUPPLY LINES SHALL BE COPPER AND THERMALLY INSULATED AS REQUIRED.
- C. PROVIDE DRAIN PAN UNDERNEATH ALL WATER HEATERS WITH DRAIN LINE TO FLOOR DRAIN.
- D. PROVIDE DRAIN PAN UNDERNEATH ALL WASHING MACHINES CONNECTED TO A STANDARD SHOWER FLOOR DRAIN. PROVIDE A SINGLE LEVEL SHUT-OFF PLUMBER'S BOX FOR HOSE CONNECTIONS.

ELECTRICAL

- A. ALL HOUSE WIRING SHALL MEET LOCAL CODES.
- B. UNLESS OTHERWISE NOTED, ALL OUTLETS, TOGGLE SWITCHES AND SLIDE DIMMERS SHALL BE WHITE.
- C. LIGHT FIXTURES -- SEE ELECTRICAL PLANS. PROVIDE CODE APPROVED "IC" BOX FOR ALL RECESSED FIXTURES IN INSULATED CEILING. IN ADDITION PROVIDE 100 WATT FLUORESCENT TUBE LIGHTING ABOVE DOOR IN ALL STANDARD CLOSETS.
- D. SMOKE DETECTORS SHALL BE INSTALLED IN ALL BEDROOM AREAS AND ON EACH FLOOR. SMOKE DETECTORS SHALL BE WIRED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS WITHIN THE DWELLING UNIT.
- E. ALL OUTLETS TO BE 12'-0" MIN. O.C. HORIZONTALLY IN ACCORDANCE WITH CODE. ALL OUTLETS IN KITCHENS & BARS, BATHROOMS & POWDER ROOMS, LAUNDRY ROOMS & GARAGES, SUMP PUMPS & EJECTORS, CRAWL SPACES & UNFINISHED BASEMENTS, SPAS AND ALL OUTSIDE AREAS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL, "GFCI".
- F. UNLESS OTHERWISE NOTED, ALL OUTLETS SHALL BE INSTALLED VERTICALLY 12" A.F.F.; ABOVE COUNTERTOPS, OUTLETS & SWITCHES SHALL BE INSTALLED 44" A.F.F.; WALL SWITCHES SHALL BE INSTALLED 48" A.F.F.

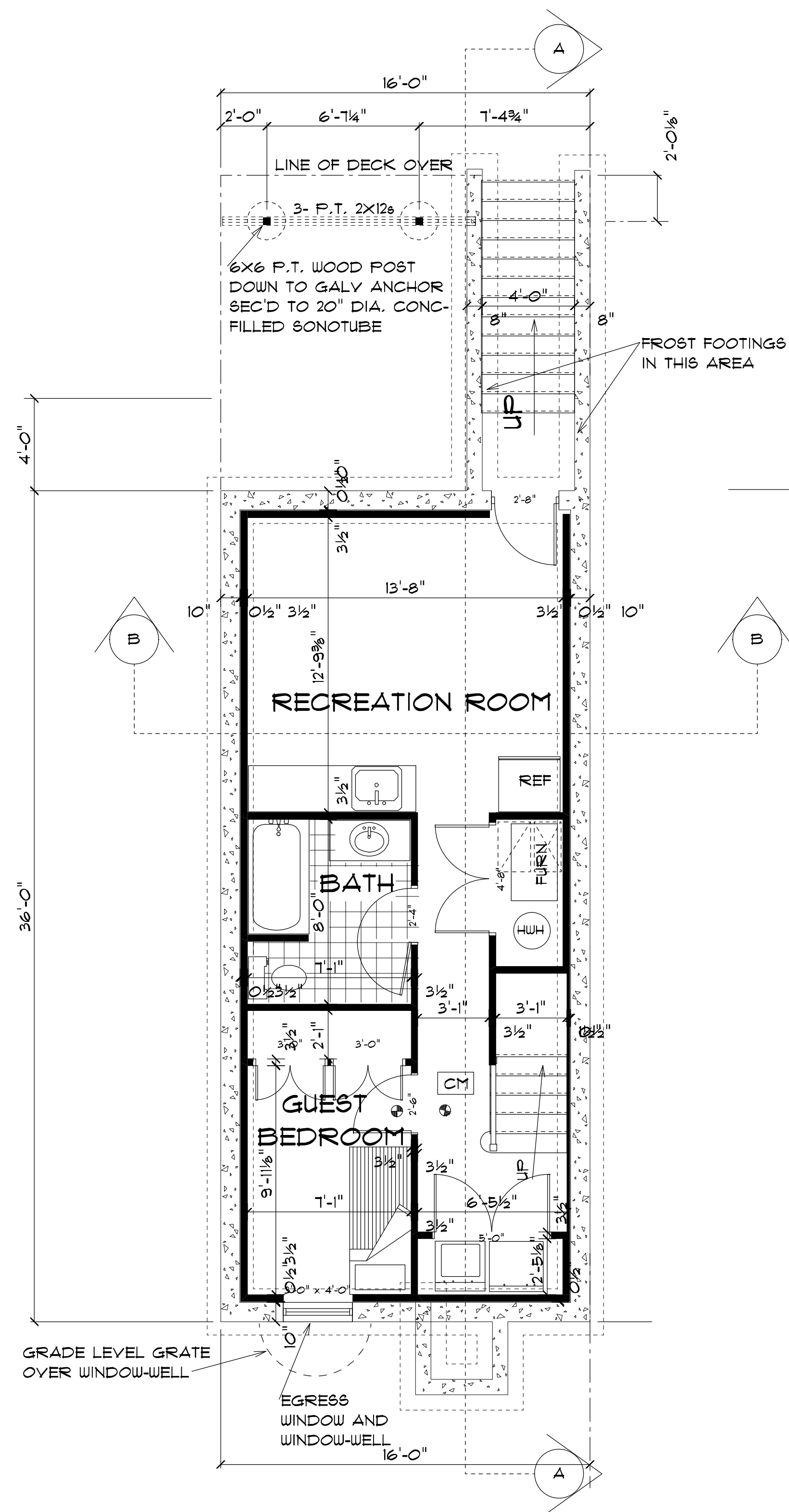
NEW CUSTOM SINGLE FAMILY DWELLING FOR
1417 PRINCESS STREET
ALEXANDRIA, VA

GENERAL CONSTRUCTION NOTES

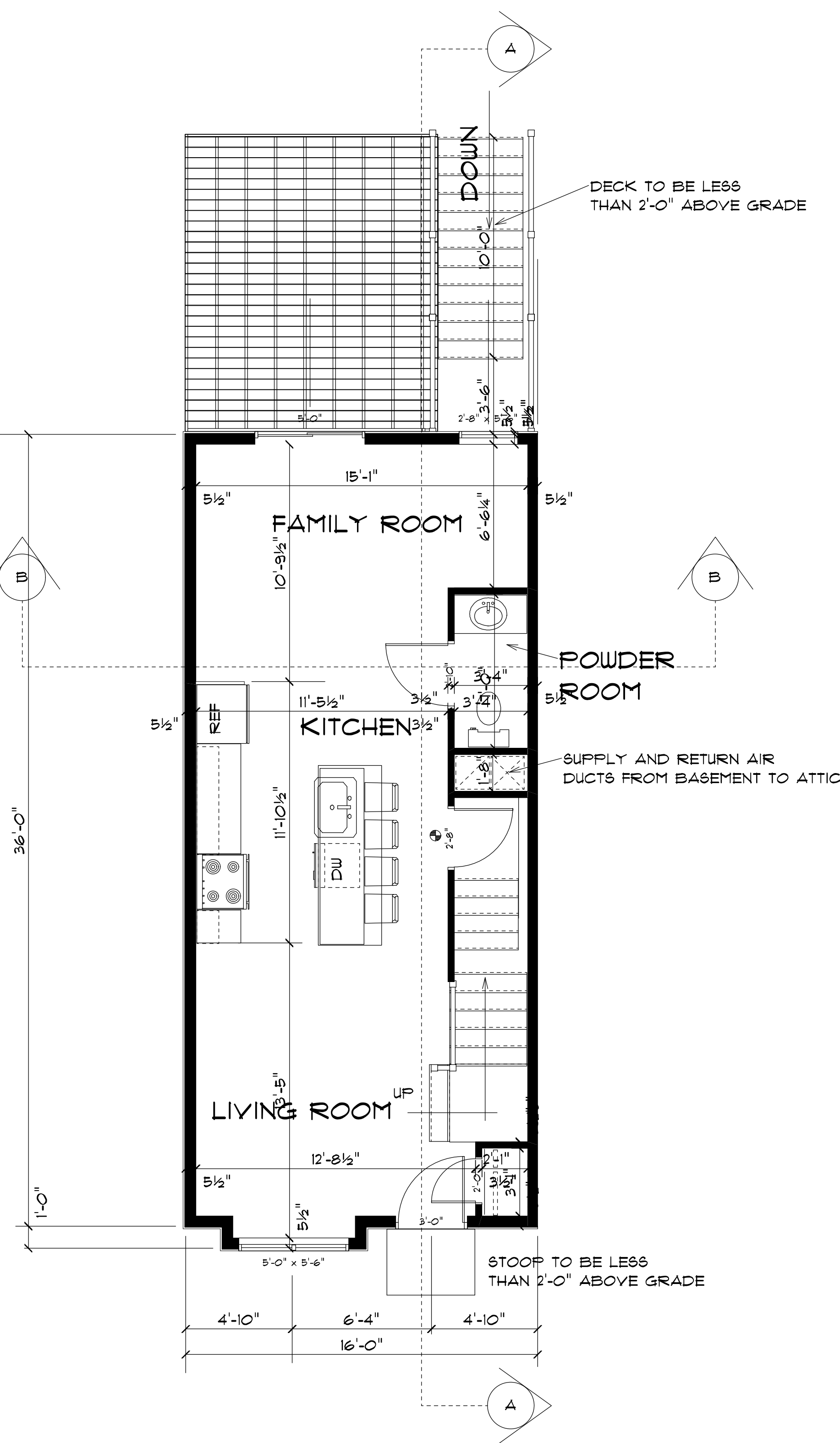
I. THOMAS WALSMAN, ARCHITECT
email: t.walsman.architect@gmail.com cell phone: (240) 888-9417

2-1-2020

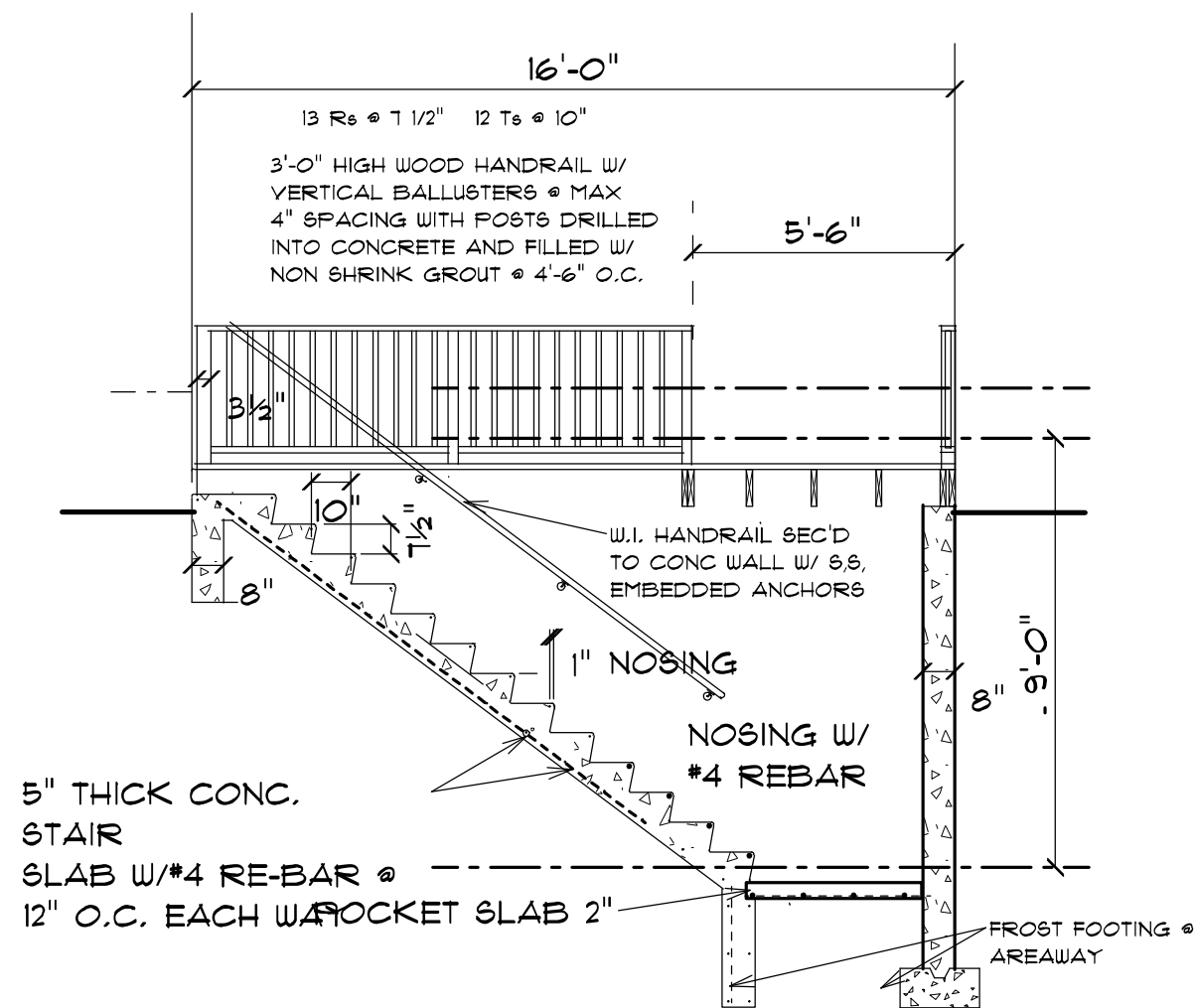
A-NOTES



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"







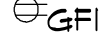







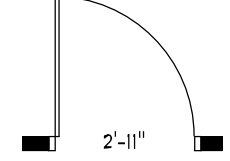
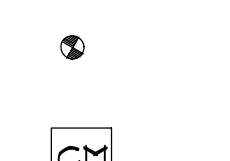




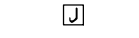


CROSS SECTION C
SCALE: 1/4" = 1'-0"

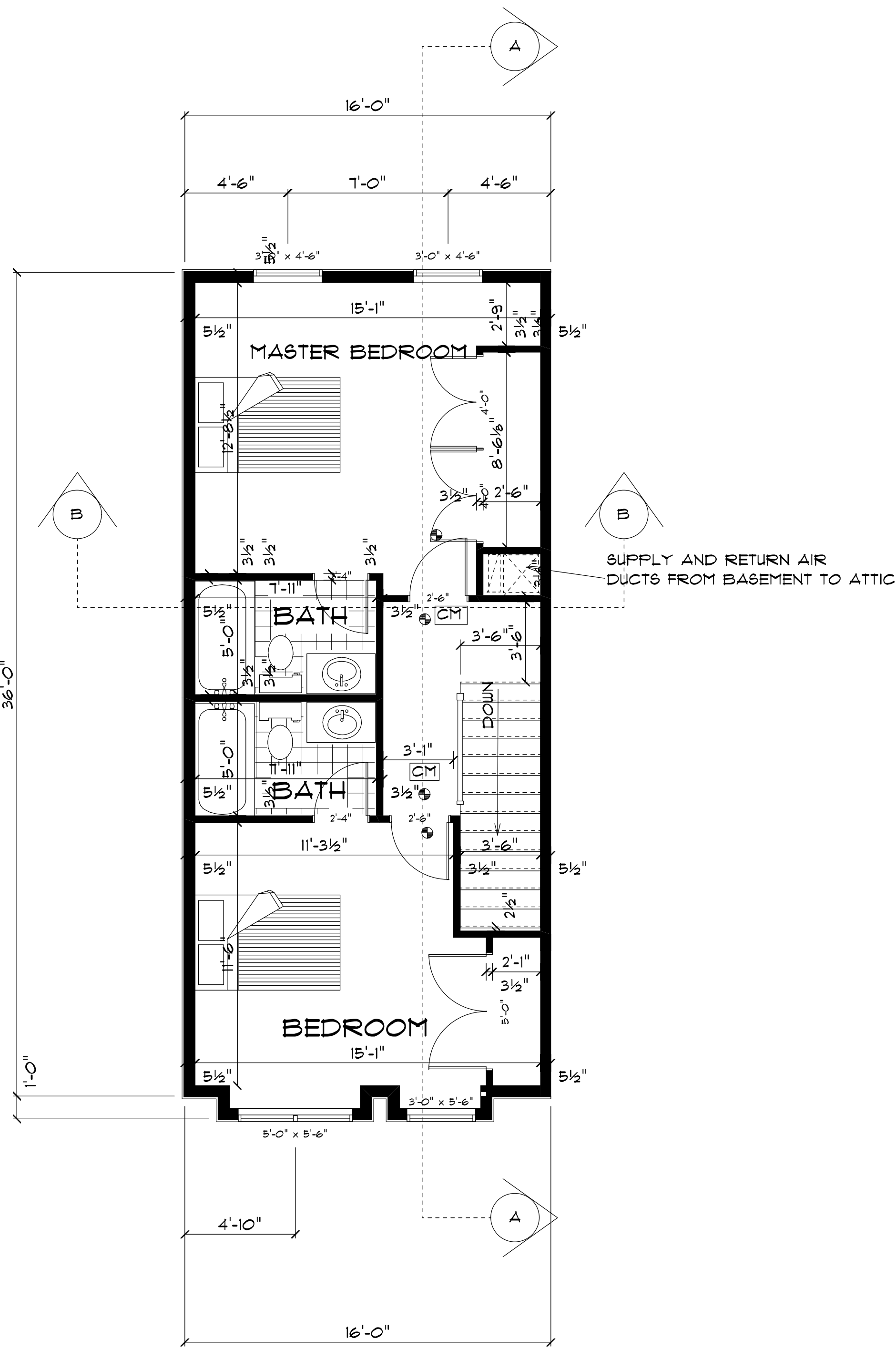
LEGEND

- FLUORESCENT FIXTURE
- HVAC DIFFUSER
- TELEPHONE OUTLET
- ELECTRICAL OUTLET
- GFI ELECTRICAL OUTLET
- RECESSED LIGHT
- SURFACE MTD. LIGHT
- BATHROOM HEAT/LAMP
- CEILING FAN
- CABLE OUTLET
- SWITCH LOCATION
- 3 WAY SWITCH LOCATION
- TYPICAL PARTITION: 1/2" DRYWALL BOTH SIDES ON 2X4s @ 16" O.C.
- TYPICAL 3'-0" X 6'-8" DOOR W/ DOOR SWING SHOWN
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- CHANDELIER
- BATHROOM EXHAUST FAN
- VANITY LIGHT
- SCONCE
- JUNCTION BOX

Revised 2.4.2020

LEGEND

	FLUORESCENT FIXTURE
	HVAC DIFFUSER
	TELEPHONE OUTLET
	ELECTRICAL OUTLET
	GFI ELECTRICAL OUTLET
	RECESSED LIGHT
	SURFACE MTD. LIGHT
	BATHROOM HEAT/LAMP
	CEILING FAN
	CABLE OUTLET
	SWITCH LOCATION
	3 WAY SWITCH LOCATION
	TYPICAL PARTITION: 1/2" DRYWALL BOTH SIDES ON 2X4s @ 16" O.C.
	TYPICAL 3'-0" X 6'-8" DOOR W/ DOOR SWING SHOWN
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	CHANDELIER
	BATHROOM EXHAUST FAN
	VANITY LIGHT
	SCONCE
	JUNCTION BOX

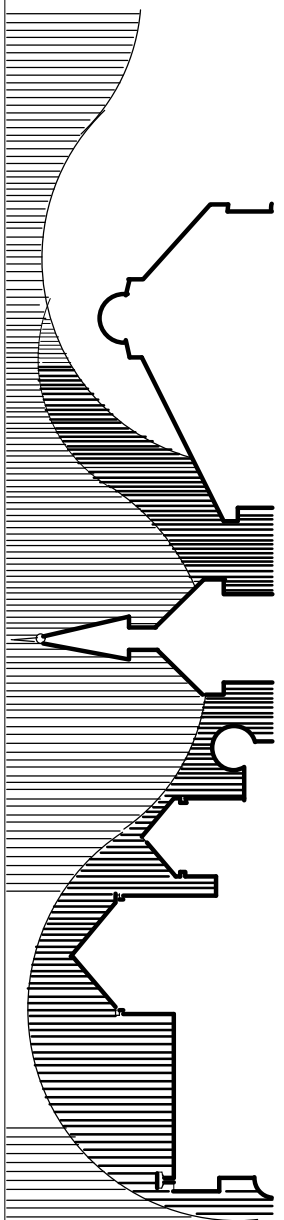


SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

SINGLE FAMILY DWELLING
1417 PRINCESS STREET, ALEXANDRIA, VA

PROPOSED SECOND FLOOR PLAN

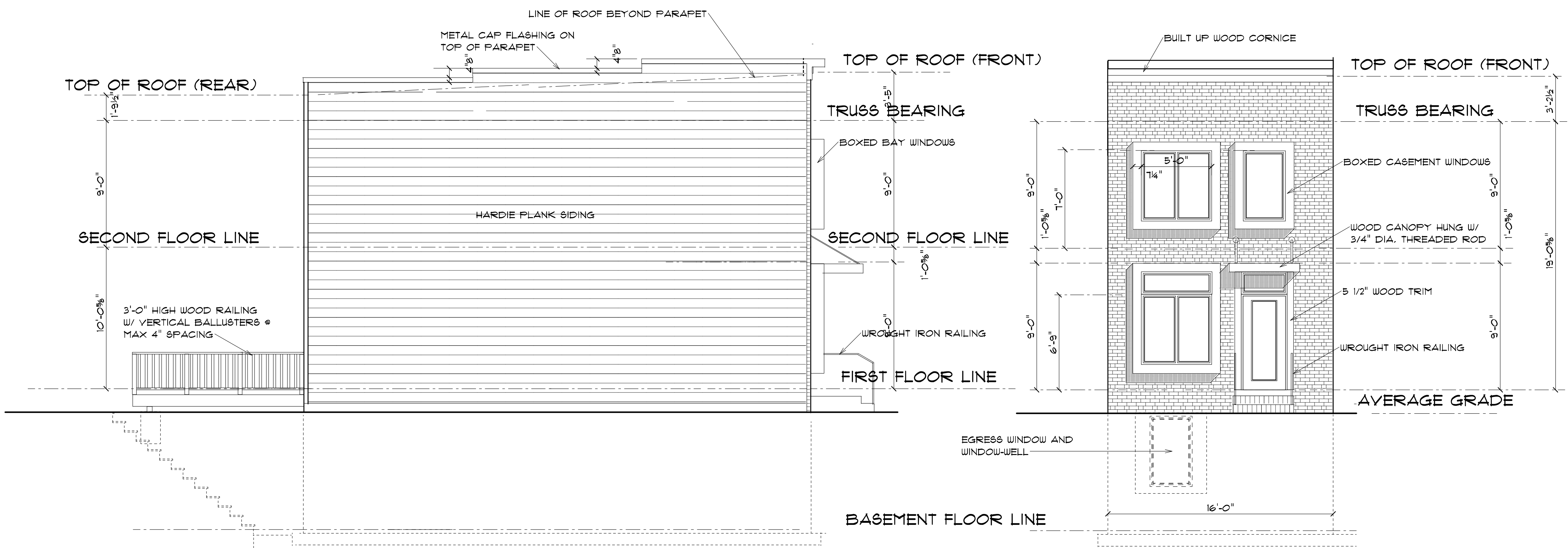


T. THOMAS WALSMAN, ARCHITECT email: t.walsman.architect@gmail.com cell phone: (240) 888-9417

2-1-2020

A-2

Revised 2.4.2020

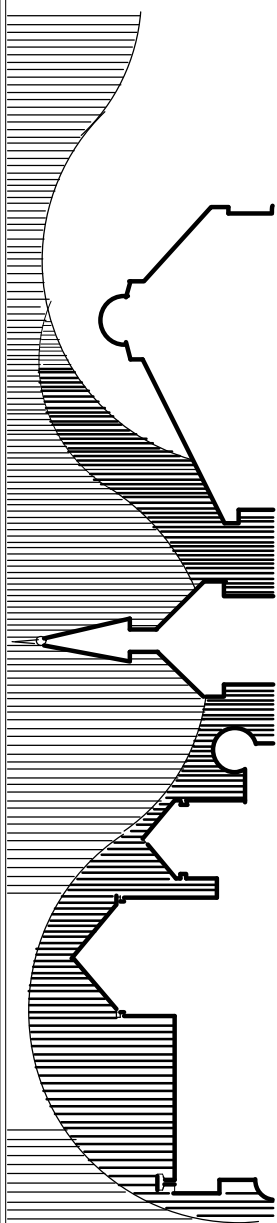


LEFT SIDE ELEVATION (WEST)
SCALE: 1/4" = 1'-0"

FRONT ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"

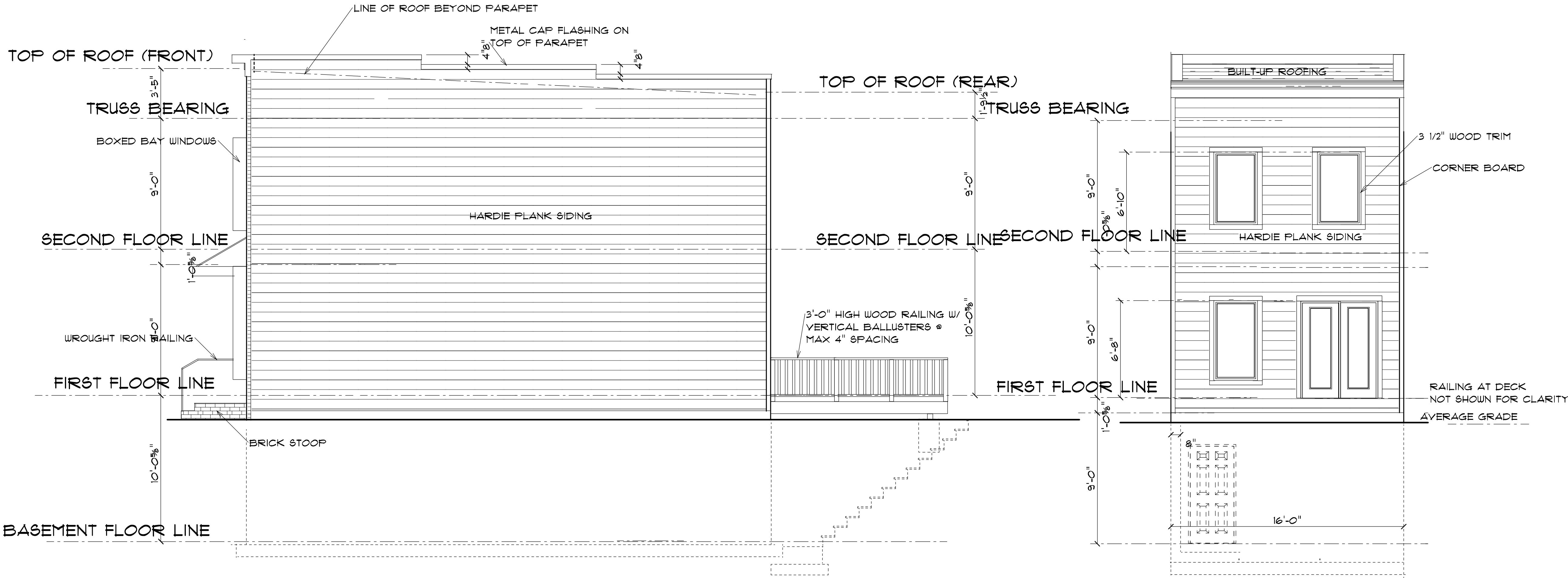
SINGLE FAMILY DWELLINGS
1417 PRINCESS STREET, ALEXANDRIA, VA

PROPOSED FRONT AND LEFT SIDE ELEVATIONS

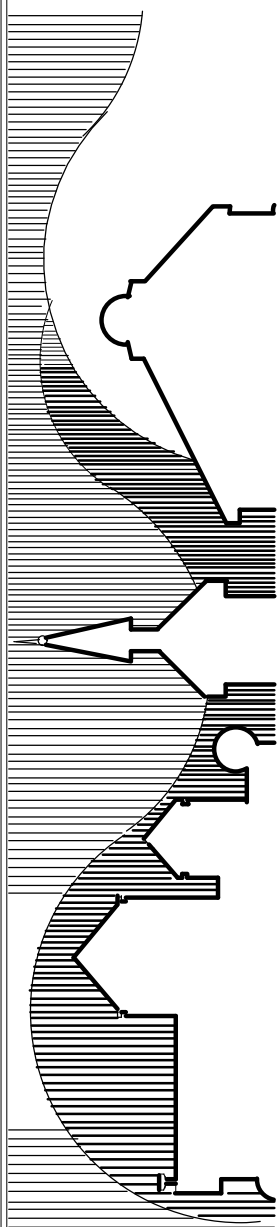


T. THOMAS WALSMAN, ARCHITECT

email: t.walsman.architect@gmail.com cell phone: (240) 888-9417

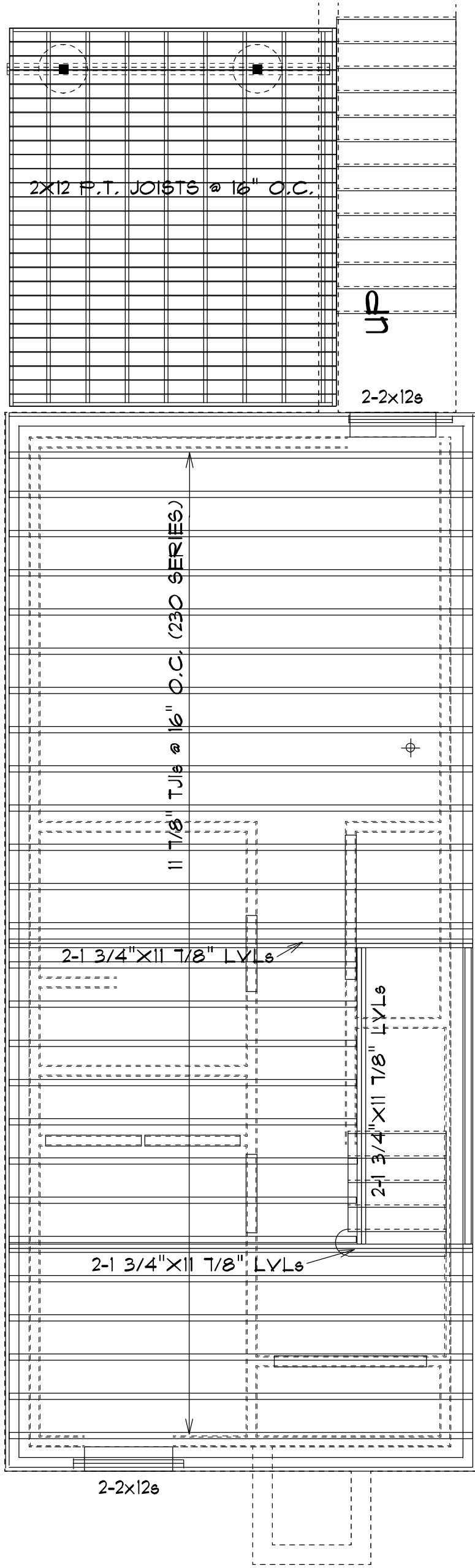


SINGLE FAMILY DWELLINGS
1417 PRINCESS STREET, ALEXANDRIA, VA
PROPOSED REAR AND RIGHT SIDE ELEVATIONS

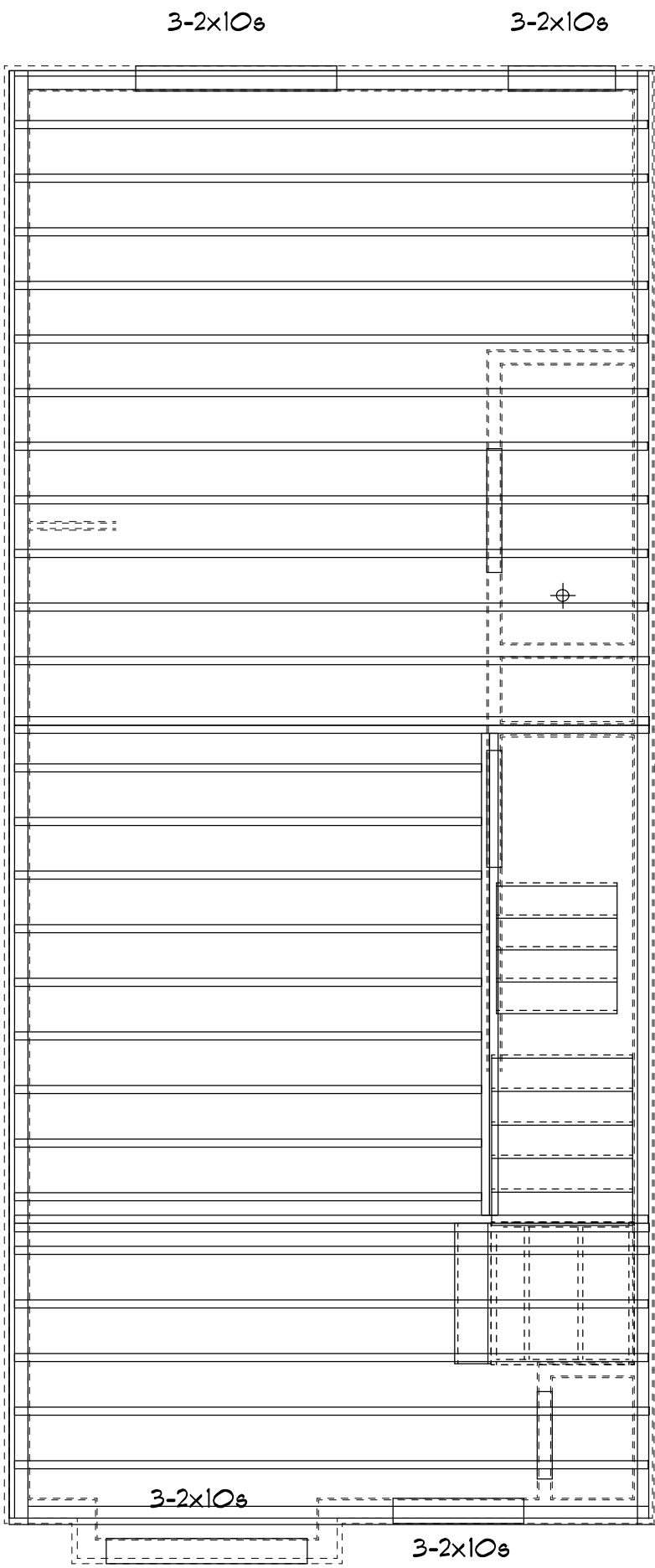


L. THOMAS WALSMAN, ARCHITECT

email: t.walsman.architect@gmail.com cell phone: (240) 888-9417



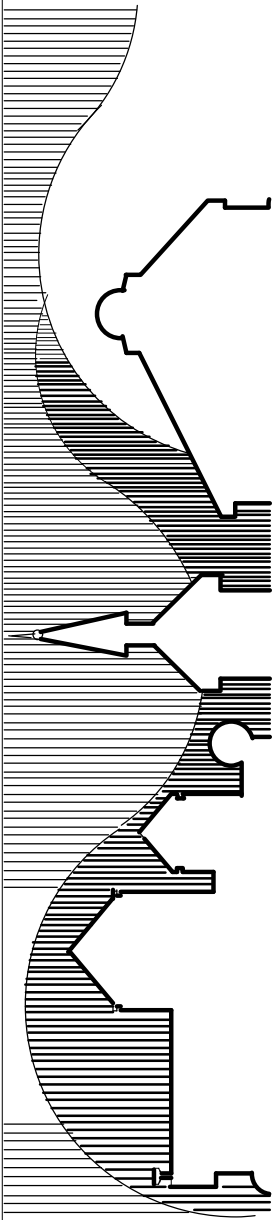
BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

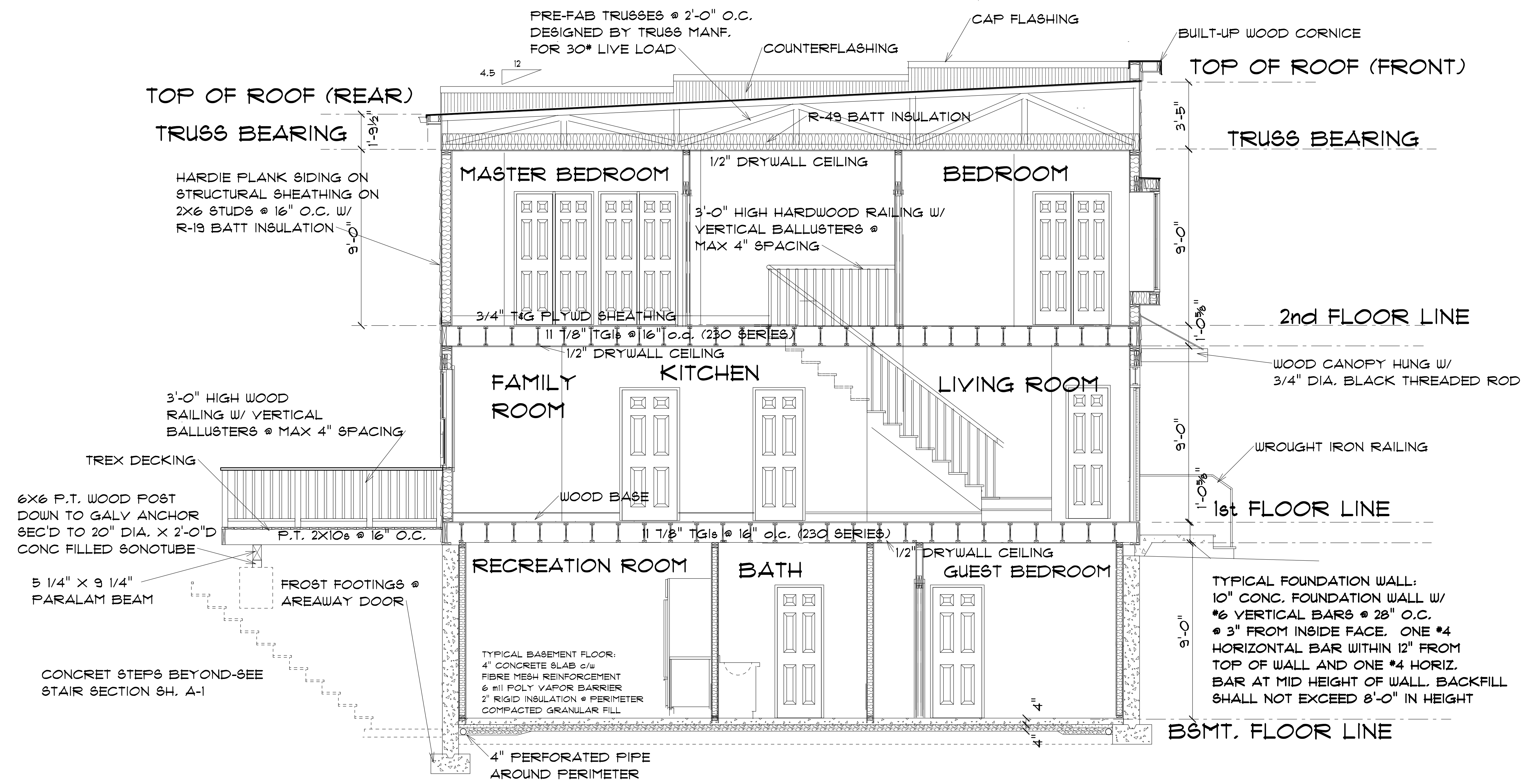


SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

STRUCTURAL NOTES

1. SOIL BEARING IS BASED ON 1500 PSF
2. MIN. COMPRESSIVE STRENGTH OF CONCRETE IS 3000 PSI
3. MIN. PD OF HORIZONTAL FRAMING IS 1000 PSI
4. MIN. PD OF LVLs IS 2350 PSI
5. FIRST FLOOR DESIGN LIVE LOAD IS 40 PSF
6. SECOND FLOOR DESIGN LIVE LOAD IS 30 PSF
7. ROOF DESIGN LIVE LOAD IS 30 PSF
8. GRADE OF TJS ARE AS DESIGNATED ON FLOOR PLANS PROVIDED BY TJ SUPPLIER
9. STEEL COLUMNS ARE MIN. 3 1/2" DIA. STANDARD PIPE COLUMNS ASTM A-36
10. STEEL BEAMS SIZES SHALL BE AS DESIGNATED ON PLANS ASTM A-50
11. EXTERIOR BALCONIES, STAIRS, AND DECKS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES. SUCH ATTACHMENT SHALL NOT BE ACCOMPLISHED BY USE OF TOENAILS OR NAILS SUBJECT TO WITHDRAWAL.
12. ALL STRUCTURAL DESIGN MUST MEET THE MINIMUM REQUIREMENTS OF TABLES R301.5, R301.6, AND R301.7 OF THE "2015 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO STORY DWELLINGS (IRC)" w/ "CITY OF ALEXANDRIA" AMENDMENTS.
13. ALL STAIR TREADS SHALL BE MIN. 10" HORIZONTAL EXCLUSIVE OF NOSING. ALL STAIR RISERS SHALL BE MAX. 7 3/4" INCHES. ALL STAIRS SHALL MEET THE MINIMUM REQUIREMENTS OF "IRC" SECTION R311.
14. ALL HANDRAILS AND GAARDS SHALL MEET THE REQUIREMENTS OF "IRC" SECTION R311





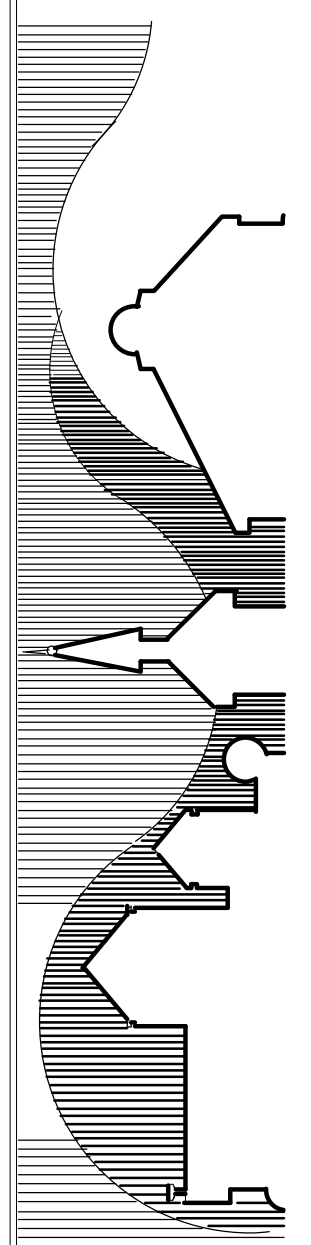
CROSS SECTION A

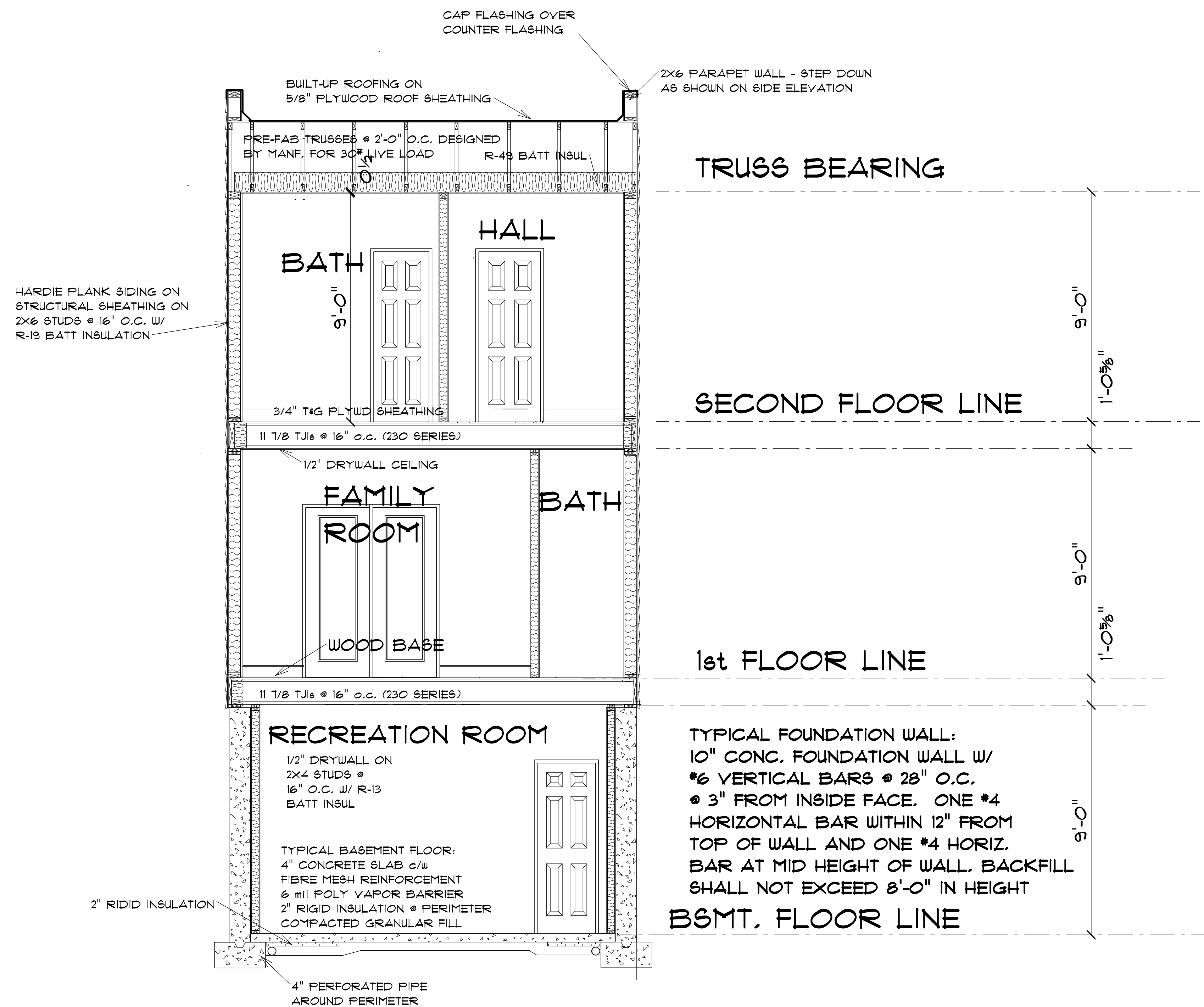
SCALE: 3/8" = 1'-0"

SINGLE FAMILY DWELLING FOR
1417 PRINCESS STREET, ALEXANDRIA, VA

CROSS SECTION A

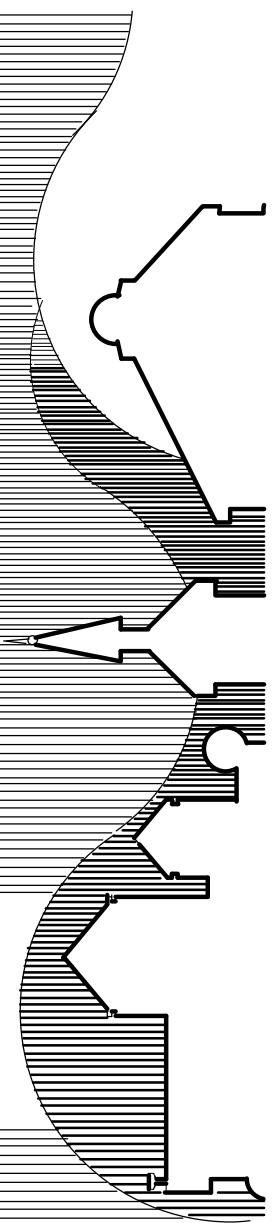
L. THOMAS WALSHMAN, ARCHITECT email: twalshman.architect@gmail.com cell phone: (240) 888-9417





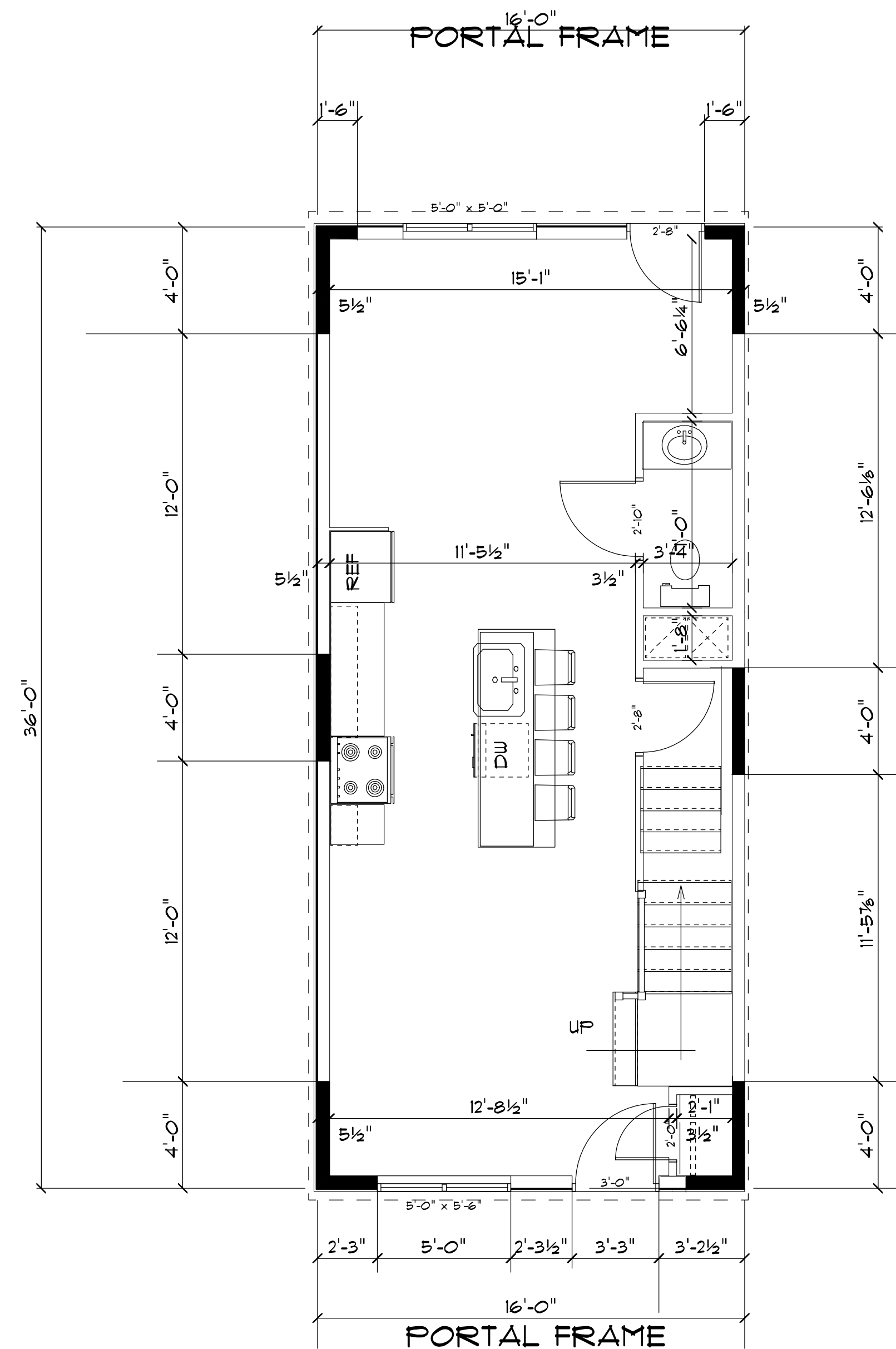
CROSS SECTION B
SCALE: 3/8" = 1'-0"

SINGLE FAMILY DWELLING FOR
1417 PRINCESS STREET, ALEXANDRIA, VA

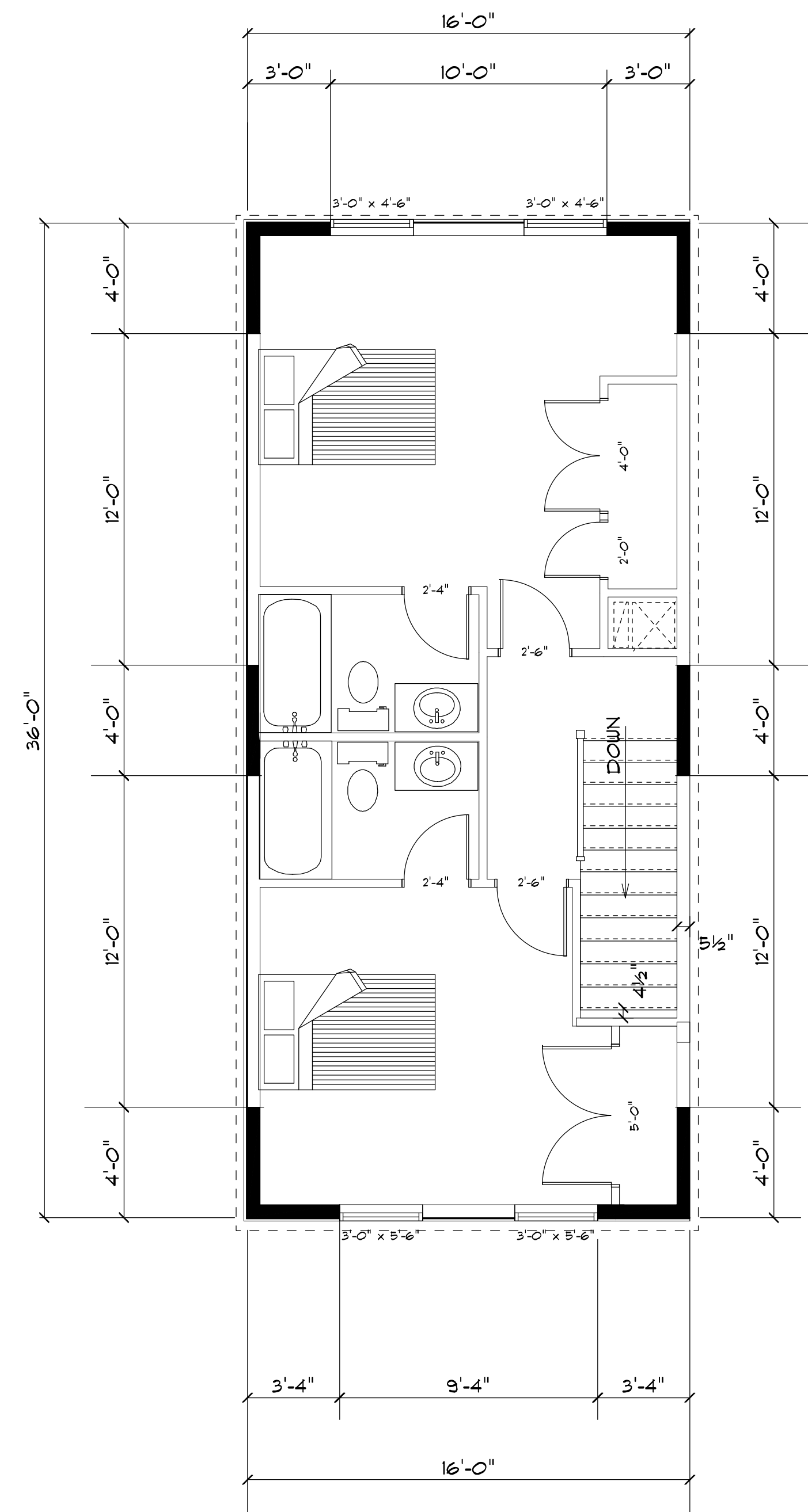


T. THOMAS WALSMAN, ARCHITECT email: t.walsman.architect@gmail.com cell phone: (240) 888-9417

CROSS SECTION B



FIRST FLOOR WINDBRACING PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR WINDBRACING PLAN

SCALE: 1/4" = 1'-0"

WINDBRACING CALCULATIONS - FIRST FLOOR

TABLE 2 PRACTICAL WALL BRACING CRITERIA:
EAVE TO RIDGE HEIGHT: 10 FT.
FLOOR HEIGHT: FIRST FLOOR = 9'-0"=.9 MULTIPLYER
SECOND FLOOR = 9'-0"=.9 MULTIPLYER
WALL BRACING METHOD CS-WSP

FOR FIRST FLOOR NUMBER OF STORIES ABOVE RECTANGLE = 1
36'-0" LENGTH OF LEFT AND RIGHT SIDE
REQUIRED FRONT AND REAR = 12'-0" X .95 = 11.4'
PROVIDED: FRONT AND REAR - PORTAL FRAME
16'-0" LENGTH OF FRONT AND BACK
REQUIRED LEFT AND RIGHT SIDE = 6.5'
PROVIDED: LEFT SIDE = 12'-0" RIGHT SIDE = 12'-0" OKAY

FOR SECOND FLOOR NUMBER OF STORIES ABOVE RECTANGLE = 0
36'-0" LENGTH OF LEFT AND RIGHT SIDE
REQUIRED FRONT AND REAR = 6'-0" X .95 = 5.7'
PROVIDED: FRONT AND REAR = 6'-8" & 6'-0"
16'-0" LENGTH OF FRONT AND BACK
REQUIRED LEFT AND RIGHT SIDE = 3.5' X .95 = 3.3
PROVIDED: LEFT SIDE = 12'-0" RIGHT SIDE = 12'-0" OKAY

PROPERTY OWNER:

ALA AWADALLAH
1417 PRINCESS STREET
ALEXANDRIA, VA 22314
PHONE NUMBER: 703-508-4466

10' ALLEY

ALUMINIUM
SHED

IPSS 76'15" 00" E ~ 16.0' IPS

PARKING
SPACELOT 23
AREA=1,360 SFWOOD
DECK
MAX 2 FT
ABOVE
GRADE**NOTES:**

1. THE PLAT HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT NECESSARILY INDICATE ALL ENCUMBRANCES ON THE PROPERTY.
2. THE SURVEY WAS NOT PREPARED FOR CONSTRUCTION PURPOSES (INCLUDING FENCES).
3. THE LOCATION OF FENCES ARE APPROXIMATE AND DO NOT CERTIFY TO OWNERSHIP.
4. THE PROPERTY SHOWN ON THIS PLAT IS LOCATED ON TAX MAP # 064.01-09-23.

NOTE:

DECK AND STOOP WILL BE MAXIMUM 2 FEET ABOVE THE FINISH GRADE.

LOT 24

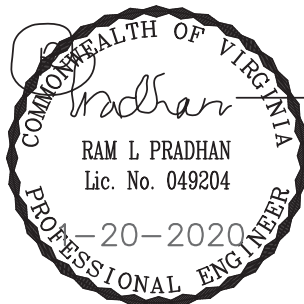
LOT 22

2 STORY
DWELLING
#1417

STOOP

IPF N 76'15" 00" W ~ 16.0' IPF

PRINCESS STREET
(66' R/W)

**LEGEND:**

IPF= IRON PIPE FOUND
IPS= IRON PIPE SET

SPECIAL PERMIT PLAT

LOT 23, BLOCK 1
WHEAT & SUTER
1417 PRINCESS STREET
CITY OF ALEXANDRIA, VA 22314

SCALE: 1"=10', DATE: OCT 1, 2019 26

PREPARED BY
Inova Engineering Consultants, Inc.

25209 LARKS TERRACE
SOUTH RIDING, VIRGINIA 20152
PHONE: (703) 655-3951
E-MAIL: INOVAENGINEERS@YAHOO.COM



QUOTE: 165 QUOTE DATE: 12/06/2019 PRINT DATE: 02/04/2020

CUSTOMER: TW Perry House Account Springfield TRADE ID: 027015
CELL:
PO#:
SALESREP: Rachel Carter PROMOTION CODE:
PROJECT: ALA PRINCESS
TERMS:
PICKUP/DELIVERY: Delivery
CREATED BY:

Billing Information

CONTACT:
PHONE:
FAX:
ADDRESS:

Shipping Information

CONTACT:
PHONE:
FAX:
ADDRESS:

COMMENTS:

Line Item #: 0001 Line Item Qty: 1 Initial: _____

Location: basment guest bed

RO Size = 3' 0" W x 4' 0" H Unit Size = 2' 11 1/2" W x 3' 11 1/2" H



Viewed from Exterior

100 Series, 100CS Single Units
Enhanced Performance: None
Unit Code/Item Size: 100CS3040
Operation/Handing: L
Frame Option: 1 3/8"
Exterior Color: Black
Interior Color: White
Glass Type: Low E Glass
Insect Screens: Insect Screen, Black
Lock Color: White

Zone: North-Central
U-Factor: 0.27, SHGC: 0.28, ENERGY STAR® Certified: Yes

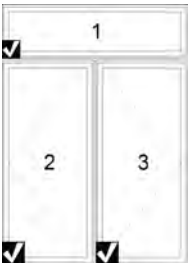
Comments:

Qty	Part Num	Item Size	Description	Total Price	Extended Price
1	0000000	100CS3040	Unit, 1 3/8" Flange Setback, Black/White, L Handing, Low E Glass, Insect Screen, Black, White Lock Hardware	\$ 408.91	\$ 408.91
				\$ 408.91	\$ 408.91

Line Item #: 0002 Line Item Qty: 1 Initial: _____

Location: living room

RO Size = 5' 0 1/4" W x 7' 0 1/4" H Unit Size = 4' 11 1/2" W x 6' 11 1/2" H



Viewed from Exterior

Composite Unit
Part Number: 0000000
Mulling Location: Factory (Direct)
Mull Priority: Horizontal
Enhanced Performance: None
Mulling Material: 1/2" Fiberglass Non-Reinforced Joining
Unit Code/Item Size: (100REC5016)/(100CS2656-100CS2656)
Operation/Handing: (F)/(LR)

Comments:

Qty	Part Num	Item Size	Description	Total Price	Extended Price
Total: (includes Mull Charges of \$ 66.42)				\$ 66.42	\$ 66.42

QUOTE: 165

Print Date: 02/04/2020

Page 2 Of 8

iQ Version: 20.0

Unit 1 of 3



Viewed from Exterior

100 Series, 100REC Single Units
Unit Code/Item Size: 100REC5016
Operation/Handing: F
Frame Option: 1 3/8"
Exterior Color: Black
Interior Color: White
Glass Type: Low E Glass

Zone: North-Central
U-Factor: 0.27, SHGC: 0.33, ENERGY STAR® Certified: Yes

Comments:

Qty	Part Num	Item Size	Description	Total Price	Extended Price
1	0000000	100REC5016	Unit, 1 3/8" Flange Setback, Black/White, Low E Glass	\$ 251.84	\$ 251.84
				\$ 251.84	\$ 251.84

Unit/Sash 2 of 3



Viewed from Exterior

100 Series, 100CS Single Units
Unit Code/Item Size: 100CS2656
Operation/Handing: L
Frame Option: 1 3/8"
Exterior Color: Black
Interior Color: White
Glass Type: Low E Glass
Insect Screens: Insect Screen, White
Lock Color: White

Zone: North-Central
U-Factor: 0.27, SHGC: 0.28, ENERGY STAR® Certified: Yes

Comments:

Qty	Part Num	Item Size	Description	Total Price	Extended Price
1	0000000	100CS2656	Unit, 1 3/8" Flange Setback, Black/White, L Handing, Low E Glass, Insect Screen, White, White Lock Hardware	\$ 462.57	\$ 462.57
				\$ 462.57	\$ 462.57

Unit/Sash 3 of 3



Viewed from Exterior

100 Series, 100CS Single Units
 Unit Code/Item Size: 100CS2656
 Operation/Handing: R
 Frame Option: 1 3/8"
 Exterior Color: Black
 Interior Color: White
 Glass Type: Low E Glass
 Insect Screens: Insect Screen, White
 Lock Color: White

Zone: North-Central
 U-Factor: 0.27, SHGC: 0.28, ENERGY STAR® Certified: Yes

Comments:

Qty	Part Num	Item Size	Description	Total Price	Extended Price
1	0000000	100CS2656	Unit, 1 3/8" Flange Setback, Black/White, R Handing, Low E Glass, Insect Screen, White, White Lock Hardware	\$ 462.57	\$ 462.57
				\$ 462.57	\$ 462.57
					\$ 1,243.40

Line Item #: 0005 Line Item Qty: 1 Initial:

Location: family room

RO Size = 3' 0" W x 5' 6" H Unit Size = 2' 11 1/2" W x 5' 5 1/2" H



Viewed from Exterior

100 Series, 100CS Single Units
 Enhanced Performance: None
 Unit Code/Item Size: 100CS3056
 Operation/Handing: R
 Frame Option: 1 3/8"
 Exterior Color: Black
 Interior Color: White
 Glass Type: Low E Glass
 Insect Screens: Insect Screen, White
 Lock Color: White

Zone: North-Central
 U-Factor: 0.27, SHGC: 0.28, ENERGY STAR® Certified: Yes

Comments:

Qty	Part Num	Item Size	Description	Total Price	Extended Price
1	0000000	100CS3056	Unit, 1 3/8" Flange Setback, Black/White, R Handing, Low E Glass, Insect Screen, White, White Lock Hardware	\$ 489.74	\$ 489.74
				\$ 489.74	\$ 489.74

QUOTE: 165

Print Date: 02/04/2020

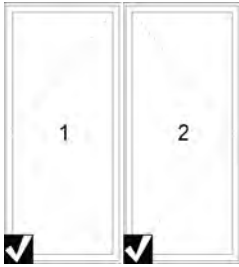
Page 4 Of 8

iQ Version: 20.0

Line Item #: 0007 Line Item Qty: 2 Initial: _____

Location: 2nd floor bedroom

RO Size = 5' 0" W x 5' 6" H Unit Size = 4' 11 1/2" W x 5' 5 1/2" H



Viewed from Exterior

Composite Unit - 100 Series Casement - Double Wide
Part Number: 0000000
Enhanced Performance: None
Unit Code/Item Size: 100CD2656-2
Operation/Handing: L-R

Comments:

Qty	Part Num	Item Size	Description	Total Price	Extended Price
Total: (includes Mull Charges of \$ 0.00)				\$ 0.00	\$ 0.00

Unit/Sash 1 of 2



Viewed from Exterior

100 Series, 100CS Single Units
Unit Code/Item Size: 100CS2656
Operation/Handing: L
Frame Option: 1 3/8"
Exterior Color: Black
Interior Color: White
Glass Type: Low E Glass
Insect Screens: Insect Screen, White
Lock Color: White

Zone: North-Central
U-Factor: 0.27, SHGC: 0.28, ENERGY STAR® Certified: Yes

Comments:

Qty	Part Num	Item Size	Description	Total Price	Extended Price
1	0000000	100CS2656	Unit, 1 3/8" Flange Setback, Black/White, L Handing, Low E Glass, Insect Screen, White, White Lock Hardware	\$ 462.57	\$ 925.14
				\$ 462.57	\$ 925.14

Unit/Sash 2 of 2



Viewed from Exterior

100 Series, 100CS Single Units
 Unit Code/Item Size: 100CS2656
 Operation/Handing: R
 Frame Option: 1 3/8"
 Exterior Color: Black
 Interior Color: White
 Glass Type: Low E Glass
 Insect Screens: Insect Screen, White
 Lock Color: White

Zone: North-Central
 U-Factor: 0.27, SHGC: 0.28, ENERGY STAR® Certified: Yes

Comments:

Qty	Part Num	Item Size	Description	Total Price	Extended Price
1	0000000	100CS2656	Unit, 1 3/8" Flange Setback, Black/White, R Handing, Low E Glass, Insect Screen, White, White Lock Hardware	\$ 462.57	\$ 925.14
				\$ 462.57	\$ 925.14
					\$ 1,850.28

Line Item #: 0008 Line Item Qty: 1 Initial:

Location: 2nd floor bedroom

RO Size = 3' 0" W x 5' 6" H Unit Size = 2' 11 1/2" W x 5' 5 1/2" H



Viewed from Exterior

100 Series, 100CS Single Units
 Enhanced Performance: None
 Unit Code/Item Size: 100CS3056
 Operation/Handing: L
 Frame Option: 1 3/8"
 Exterior Color: Black
 Interior Color: White
 Glass Type: Low E Glass
 Insect Screens: Insect Screen, White
 Lock Color: White

Zone: North-Central
 U-Factor: 0.27, SHGC: 0.28, ENERGY STAR® Certified: Yes

Comments:

Qty	Part Num	Item Size	Description	Total Price	Extended Price
1	0000000	100CS3056	Unit, 1 3/8" Flange Setback, Black/White, L Handing, Low E Glass, Insect Screen, White, White Lock Hardware	\$ 489.74	\$ 489.74
				\$ 489.74	\$ 489.74

QUOTE: 165

Print Date: 02/04/2020

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Line Item #: 0009 Line Item Qty: 1 Initial: _____

Location: master bed

RO Size = 3' 0" W x 4' 6" H Unit Size = 2' 11 1/2" W x 4' 5 1/2" H



Viewed from Exterior

100 Series, 100CS Single Units
Enhanced Performance: None
Unit Code/Item Size: 100CS3046
Operation/Handing: L
Frame Option: 1 3/8"
Exterior Color: Black
Interior Color: White
Glass Type: Low E Glass
Insect Screens: Insect Screen, Black
Lock Color: White

Zone: North-Central
U-Factor: 0.27, SHGC: 0.28, ENERGY STAR® Certified: Yes

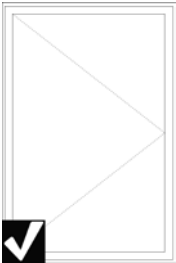
Comments:

Qty	Part Num	Item Size	Description	Total Price	Extended Price
1	0000000	100CS3046	Unit, 1 3/8" Flange Setback, Black/White, L Handing, Low E Glass, Insect Screen, Black, White Lock Hardware	\$ 436.08	\$ 436.08
				\$ 436.08	\$ 436.08

Line Item #: 0010 Line Item Qty: 1 Initial: _____

Location: master bed

RO Size = 3' 0" W x 4' 6" H Unit Size = 2' 11 1/2" W x 4' 5 1/2" H



Viewed from Exterior

100 Series, 100CS Single Units
Enhanced Performance: None
Unit Code/Item Size: 100CS3046
Operation/Handing: R
Frame Option: 1 3/8"
Exterior Color: Black
Interior Color: White
Glass Type: Low E Glass
Insect Screens: Insect Screen, Black
Lock Color: White

Zone: North-Central
U-Factor: 0.27, SHGC: 0.28, ENERGY STAR® Certified: Yes

Comments:

Qty	Part Num	Item Size	Description	Total Price	Extended Price
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QUOTE: 165

Print Date: 02/04/2020

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iQ Version: 20.0

1	0000000	100CS3046	Unit, 1 3/8" Flange Setback, Black/White, R Handing, Low E Glass, Insect Screen, Black, White Lock Hardware	\$	436.08	\$	436.08
				\$	436.08	\$	436.08

SUBMITTED BY:	_____	SUBTOTAL	\$	5,354.23
ACCEPTED BY:	_____	TAXES(0.000 %)	\$	0.00
DATE:	_____	GRAND TOTAL	\$	5,354.23

**** All graphics as viewed from the exterior.**

**** Rough opening dimensions are minimums and may need to be increased to allow for use of building wraps or flashings or sill panning or brackets or fasteners or other items.**



Ask to see if all of the products you purchase can be upgraded to be ENERGY STAR® certified.



This image indicates that the product selected is certified in the US ENERGY STAR® climate zone that you have selected.

Data is current as of November 2019. This data may change over time due to ongoing product changes or updated test results or requirements. Ratings for all sizes are specified by NFRC for testing and certification. Ratings may vary depending on the use of tempered glass or different grille options or glass for high altitudes etc.

Nexia is a registered trademark of Ingersoll Rand Inc.

ISSUE: Certificate of Appropriateness for new construction

APPLICANT: Ala Awadallah

LOCATION: Parker-Gray District
1417 Princess Street

ZONE: RB/Townhouse Zone

BOARD ACTION: Approved, as Amended, 6-1

On a motion by Mr. Conkey and seconded by Ms. Niehardt the Board of Architectural Review voted to approve portions and defer portions for restudy BAR #2019-00528, as amended. The motion carried on a vote of 6-1, with Ms. Irwin opposed.

CONDITIONS OF APPROVAL

1. Approval of the scale, height, footprint and modified setback of 19' from the front lot line; and
2. Deferral of the design of the south elevation for restudy.

REASON

The Board supported the scale, height, footprint and modified setback of 19'. The Board recommended that the applicant restudy the south elevation to incorporate more modern architectural features that were still compatible with the structures on this unusual, single family detached dwelling portion of Parker-Gray.

SPEAKERS

Ala Awadallah, property owner, was available to answer questions.
Minturn Wright, representing Allan Russell, spoke in opposition of setback.
Michael Stauber, owner of 1404 Princess St., spoke in opposition of setback.

DISCUSSION

The Board found the proposal to be a missed opportunity to design a new structure that was contemporary yet compatible with the surrounding properties. The majority of the Board thought the south elevation could more distinguished in this location in the district, noting that some subtle differentiation between the design of this structure and similar historic mid-19th century vernacular townhouses was desirable in order not to dilute the significance of the historic structures that had been preserved. Mr. Adams disagreed and supported the existing, traditional design.

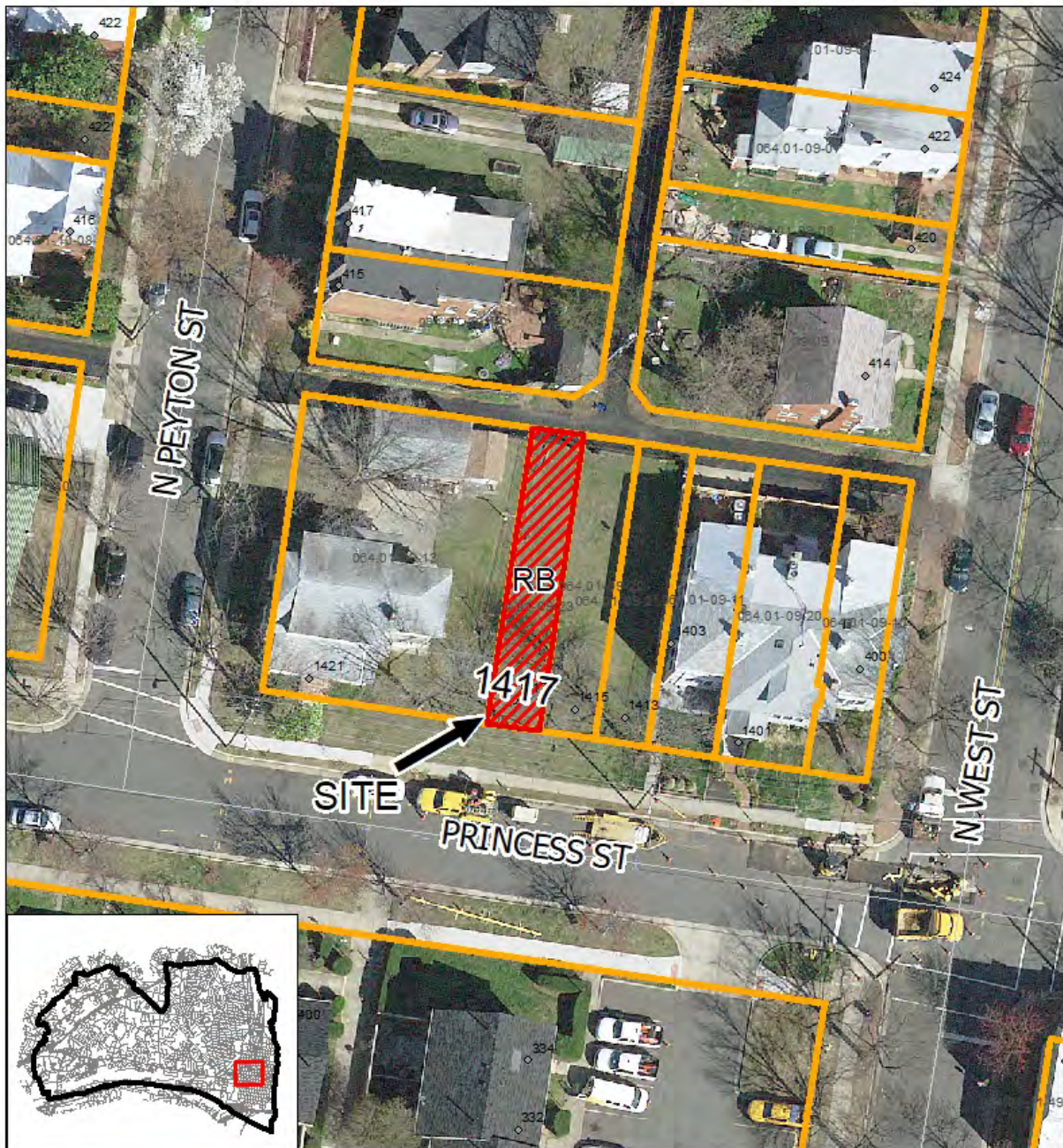
STAFF RECOMMENDATION

Staff recommends approval of the Certificate of Appropriateness for new construction with the following conditions:

1. Fiber cement lap siding must have a smooth finish, per BAR policy;
2. Install a three-light transom above the entrance door on the south facade.
3. Install 6/6 double -hung windows on the second floor, in lieu of 4/4 sash, on the south facade.
4. Install a 9/6 window on the first floor of the south facade, matching the size of the window panes of the second floor windows and with the head to align with the head of the transom above the entrance door.
5. All proposed street facing windows must be aluminum clad wood or fiberglass SDL in compliance with the *Alexandria New and Replacement Window Performance Specifications in the Historic Districts*. Windows on other facades may be of any material, without tinted or reflective glass;
6. Submit specifications for any window well covering with the building permit application;
7. Include the language below on all construction documents involving any ground disturbing activities.
 - a. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant shall not allow any metal detection and/or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology. Failure to comply will result in project delays.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR #2019-00528
1417 Princess Street

0 15 30 60 Feet



I. APPLICANT'S PROPOSAL

The applicant requests a Certificate of Appropriateness to construct a new single-family dwelling on the vacant lot at 1417 Princess Street. The dwelling will be two-stories in height and set back approximately 12 feet from the front property line. The two-bay, side gable Colonial Revival-style detached dwelling is a common vernacular design found in both historic districts during the first half of the 19th century.

The proposed construction materials include a brick foundation, 8 ¼" lap cement siding and trim, wood composite windows, six-panel doors on the front and rear (the applicant did not submit materials specifications for the proposed doors). The gable roof will be asphalt shingles.

Site context

The alley to the north, behind the subject property, is public.

II. HISTORY

Deed information and subdivision records show that the subject lot at 1417 Princess Street was created by subdivision in 1893 and has remained undeveloped since that time. SUP2019-00080 was approved for a parking reduction and for relief from other lot requirements.

Previous BAR Approvals

There are no previous BAR approvals.

III. ANALYSIS

Pursuant to section 3-706(A)(2) of the zoning ordinance, front building line of new dwellings in the RB zone must be the same as the front lot line, "or such other line consistent with the character of the district that the Board of Architectural Review approves." On this block face, no building is located on the front lot line, and the setbacks range from a few feet to more substantial amounts, such as the 20 feet at 1403 Princess St. Staff supports the proposed 12-foot setback which is consistent with the setbacks of the adjacent properties and is visually appropriate on this block face.

As the BAR's *Design Guidelines* chapter on New Residential Construction notes, the Board is most concerned with the compatibility of new structures with adjacent and nearby historic buildings. Zoning ordinance sec. 10-205(A) requires compatibility "with other buildings or structures on the same block face, the block face across the public street, or the immediate surrounding area." Historically, the Board has supported new but contextual background buildings which "allow historic structures to maintain the primary visual importance." The *Guidelines* specifically state that "...the Boards seek to promote compatible development that is, at once, both responsive to the needs and tastes of the late 20th century while still being compatible with the historic character of the districts." In evaluating the compatibility of new construction, the Board generally focuses on height, scale, mass and architectural character, while also reviewing material selection, fenestration and architectural detailing on a more micro level.

In staff's opinion, the proposed single-family dwelling is consistent with the broader recommendations contained in the *Design Guidelines* for new construction (figure 1). The proposed new construction reflects historic development patterns found throughout Alexandria. There is a clear pattern of two-story, two-bay, side gable roof, single-family vernacular structures throughout the historic districts, including the 300 block of North Patrick Street (figure 2), the 800 Block of Oronoco Street and the 1100 block of Queen. Although the proposed 4.5:12 roof slope is slightly less than the traditional 6:12 for a 19th century house with wood shingles, the roof slope will be minimally visible once other houses are constructed on the adjacent lots.



Figure 1: Proposed facade of 1417 Princess St.



Figure 2: 300 block of North Patrick St.

Note that the 1/1 window sash is a modern replacement, though the size and location are appropriate. The proposed house is very similar in character to a pair of semi-detached townhouses that were approved by the BAR for 607/609 North Alfred Street in September 2019, though this lot is only 16' wide while the previous houses were each 18' wide. This narrower footprint affects the fenestration pattern. First, because the applicant proposes to construct the building the entire sixteen-foot width of the lot, the building code prohibits windows on the side elevations because they abut the property lines. While this presents a rather monolithic side elevation, it is not uncommon in Alexandria (figure 3) and future development on the adjacent lot will abut the east wall. Second, the front elevation of the townhouses on North Alfred Street had a pair of windows on the first floor. In the present proposal, the pair of first floor windows visually crowd the entrance door, even though the sash is shown narrower than the two windows on the second floor. The different size windows causes the window panes to be a different proportion on the first and second floors. There are instances of two-bay mid-19th century townhouses having had a pair of windows installed on the first floor in the late 20th century, but these are awkwardly proportioned and detract from the composition of the front elevation. Staff, therefore, recommends that a single window be used on the first floor of the street facing facade, as this is the typical historic fenestration pattern (Figure #2). Staff also recommends that these windows be a 6/6 pattern, as the proposed 4/4 lights have a horizontal orientation and this is not architecturally appropriate for a Colonial Revival style window. Horizontal window panes were not used until the Prairie and Art Deco styles in the early 20th century.

Finally, the BAR discussed the need for a transom above the entry door on the previous project on North Alfred Street and required the adjacent window head to align with the head of the transom. There is a discrepancy between the 8' height of the top of the first-floor window shown on the applicant's building section on sheet A-5 and the 6'-8" height indicated on the south elevation on sheet A-3. Because there is a 9'-0" ceiling on the first floor, staff recommends the taller, 8' head height for both the window and the door and that the door include a transom, which was common on houses of this type in the 19th century for both light and ventilation.

The application materials propose 4/1 vinyl composite windows with “Grilles Between-the-Glass.” These do not comply with the BAR’s window policy for later buildings in Parker-Gray, which states: “If located less than 15’ from the property line, the windows may be wood, aluminum clad wood, or any high quality, paintable material with permanently affixed simulated divided light muntins. They may not be hollow vinyl, have sandwich muntins or tinted or reflective glass.” Staff recommends that the windows on both the front and rear facades be aluminum clad or fiberglass with simulated divided lights in compliance with the BAR’s policy. The BAR does not review the area below the second floor window sill on rear elevations in Parker-Gray, so these may be any design.

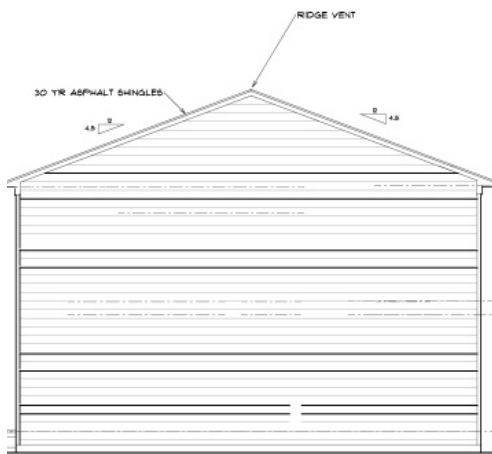


Figure 3: proposed west elevation of 1417 Princess



415 North Peyton, behind subject parcel

Staff finds the size and scale of the single-family house to be appropriate and not overwhelming in relation to nearby historic properties. The use of modern materials, such as fiber-cement lap siding and wood composite windows, subtly differentiate the proposed new construction from historic properties.

The submitted plans include an egress window well located below-grade on the street facing elevation with the top covered by a grate. By practice, the BAR does not review window wells if there is no guardrail, and no guardrail is proposed here. The applicant must submit the design and operation of the window well grate with the building permit application, so that they may ensure egress compliance.

As the Board is aware, the Parker-Gary Residential Reference Guide (RRG) does not require BAR review or staff review for several building features, including the door, stoop, steps and handrails on the façade, drainage features, and rear decks less than 2’ above grade. However, the applicant has worked with staff through several iterations of the building design and these features are architecturally appropriate for the proposed single-family house.

Staff recommends approval of the Certificate of Appropriateness, with the noted conditions.

STAFF

Amirah Lane, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

F-1 Plans comply with approved SUP2019-0080.

Code Administration

No comments received.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 A released grading plan is required prior to submitting for building permits. (T&ES)

F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant

must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 This parcel is located on a block that included the Grimshaw-Slade Ropewalk, which began operations around 1810. The Union Army may also have utilized this block during the Civil War. The property therefore has the potential to provide insight into an early nineteenth-century industry and into military activities during the war.
- R-*1. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- R-*2. The applicant/developer shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.
- R-3. The statements in archaeology conditions above marked with an asterisk “*” shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

V. ATTACHMENTS

1 – Supplemental Materials

2 – Application for BAR2019-00528: 1417 Princess Street

ADDRESS OF PROJECT: _____

DISTRICT: ☐ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: _____ ZONING: _____

APPLICATION FOR: *(Please check all that apply)*

☐ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA *(Section 7-802, Alexandria 1992 Zoning Ordinance)*

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail : _____

Authorized Agent *(if applicable)*: ☐ Attorney ☐ Architect ☐ _____

Name: _____ Phone: _____

E-mail: _____

Legal Property Owner:

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

- ☐ **Yes** ☐ **No** Is there an historic preservation easement on this property?
☐ **Yes** ☐ **No** If yes, has the easement holder agreed to the proposed alterations?
☐ **Yes** ☐ **No** Is there a homeowner's association for this property?
☐ **Yes** ☐ **No** If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
☐ EXTERIOR ALTERATION: *Please check all that apply.*

☐ awning
☐ doors
☐ lighting
☐ other _____

☐ fence, gate or garden wall
☐ windows
☐ pergola/trellis

☐ HVAC equipment
☐ siding
☐ painting unpainted masonry

☐ shutters
☐ shed

☐ ADDITION
☐ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
☐ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☐ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.

☐ ☐ Description of the reason for demolition/encapsulation.
☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. Check N/A if an item in this section does not apply to your project.*

- ☐ ^{N/A} ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ^{N/A} ☐ Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☐ ^{N/A} ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☐ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)

- ☐ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.

- ☐ I, the applicant, or an authorized representative will be present at the public hearing.

- ☐ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: _____

Date: _____

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

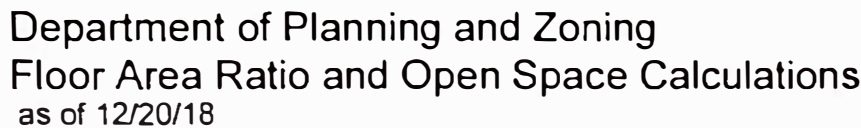
3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

Date Printed Name Signature



B

Maximum Allowable Floor Area

Vacant Land.

0.00

0

0

***Lavatories may be excluded up to a maximum of 50 square feet per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of

0.00

E3. Sq. Ft.

Proposed Open Space

50

Date _____

12/20/19

PROPERTY OWNER:
ALA AWADALLAH
1417 PRINCESS STREET
ALEXANDRIA, VA 22314
PHONE NUMBER: 703-508-4466

ALUMINIUM
SHED

10' ALLEY

IPSS 76°15' 00" E ~ 16.0' IPS

PARKING
SPACE

LOT 23
AREA=1,360 SF

WOOD
DECK
MAX 2 FT
ABOVE
GRADE

LOT 24

LOT 22

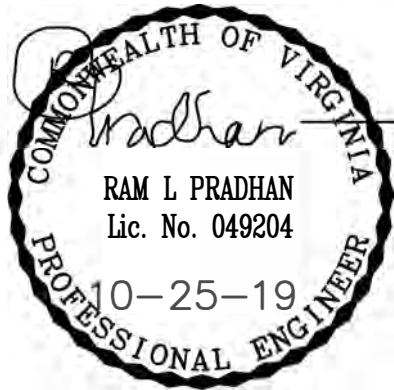
2 STORY
DWELLING
#1417

STOOP

IPF N 76°15' 00" W ~ 16.0' IPF

PRINCESS STREET
(66' R/W)

LEGEND:
IPF= IRON PIPE FOUND
IPS= IRON PIPE SET



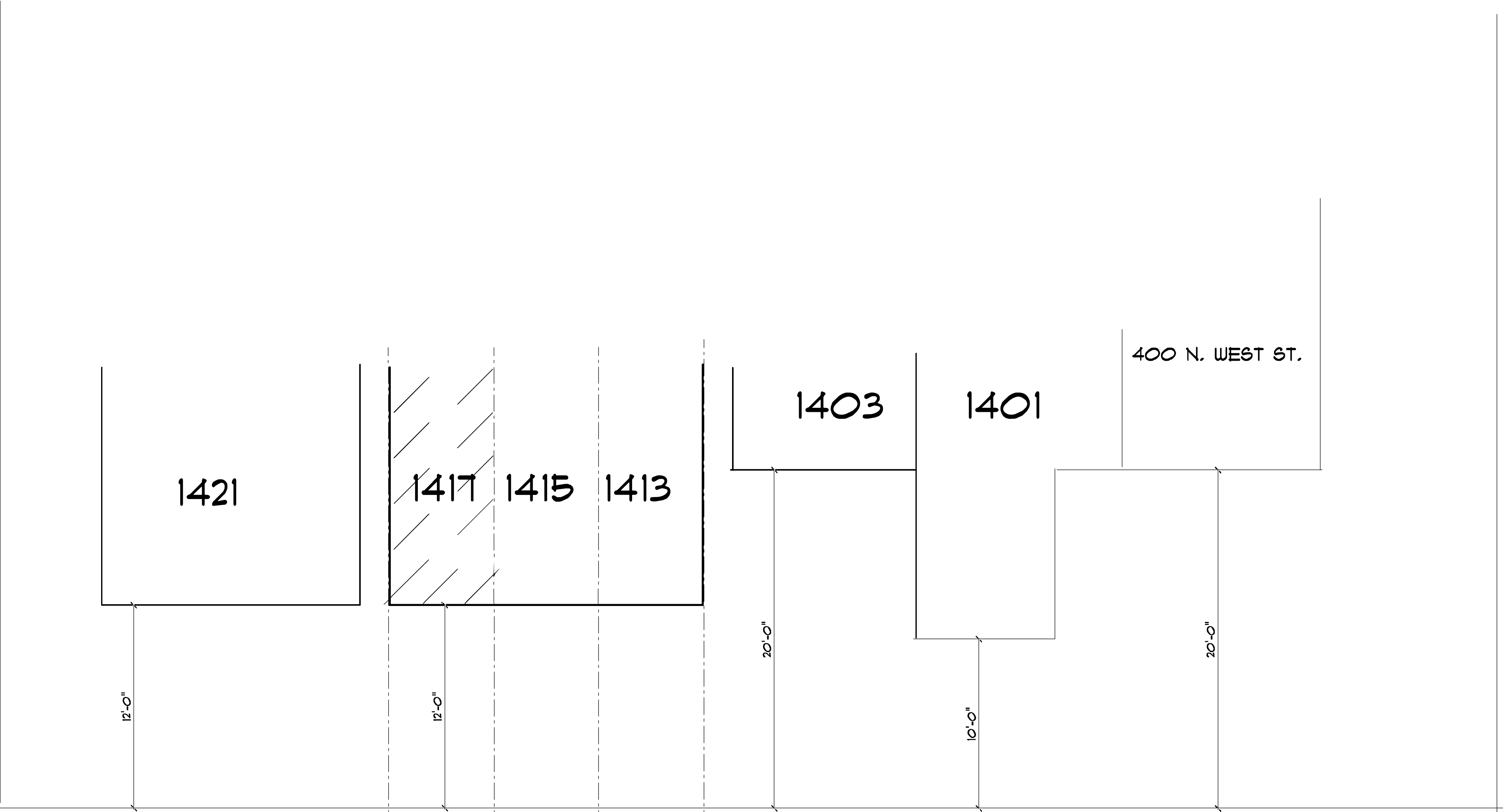
SPECIAL PERMIT PLAT

LOT 23, BLOCK 1
WHEAT & SUTER
1417 PRINCESS STREET
CITY OF ALEXANDRIA, VA 22314

SCALE: 1"=10', DATE: OCT 1, 2019

PREPARED BY
Inova Engineering Consultants, Inc.
25209 LARKS TERRACE
SOUTH RIDING, VIRGINIA 20152
PHONE: (703) 655-3951
E-MAIL: INOVAENGINEERS@YAHOO.COM

N. PEYTON STREET



AVERAGE SETBACK USING 7 UNITS = 14.0'

PRINCESS STREET

N. WEST STREET

SINGLE FAMILY DWELLING
1417 PRINCESS STREET
ALEXANDRIA, VIRGINIA

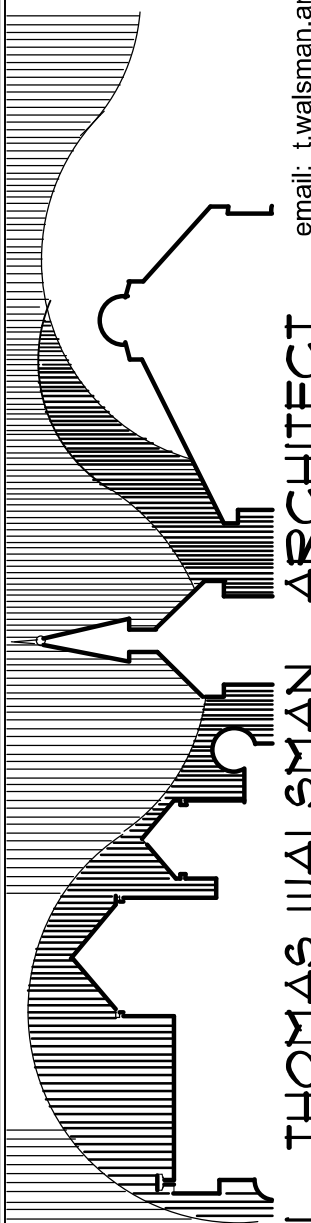
INDEX OF DRAWINGS

CS	COVER SHEET	M001	HVAC-GEN NOTES, SYSTEMS, APPREVS 7& SPECS
A-1	BASEMENT FLOOR AND FIRST FLOOR PLAN AND DETAILS	M002	HVAC-NEW WORK PLAN-BASEMENT
A-2	SECOND FLR AND FRONT ELEVATION	M003	HVAC-NEW WORK PLAN-FIRST FLOOR
A-3	REAR, LEFT AND RIGHT SIDE ELEVATIONS	M004	HVAC-NEW WORK PLAN-SECOND FLOOR
A-4	FIRST AND SECOND FLOOR FRAMING PLANS	M005	HVAC-SCHEDULES AND DETAILS
A-5	ROOF AND ROOF FRAMING PLAN	P001	PLUMBING-GEN NOTES, SYSTEMS, APPREVS 7& SPECS
A-6	CROSS SECTION A	P002	PLUMBING -NEW WORK PLAN-BASEMENT AND FIRST FLR
A-7	CROSS SECTION B	P003	PLUMBING-NEW WORK PLAN-2ND FLR AND RISER DIAGRAM
A-8	FIRST AND SECOND FLR WINDBRACING	E001	ELEC-GEN NOTES, SYSTEMS, APPREVS & SPECS
		E002	ELECT.-LIGHTING-NEW WORK PLAN
		E001	ELECT. POWER NEW WORK PLAN

PROJECT WILL COMPLY WITH VUSBC 2015

ENERGY CONSERVATION WILL
BE BY THE PRESCRIPTIVE METHOD

DESIGN CRITERIA TABLE				BASED ON VIRGINIA RESIDENTIAL CODE 2015 AS MODIFIED BY CITY OF ALEXANDRIA OR LOCAL AMMENDMENTS								
GROUND SNOW LOAD	WIND	EARTHQUAKE SPECTRAL RESPONSE	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.	ICE SHIELD REQUIRED
	SPEED (MPH)			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY					
25 PSF	90MPH	acceleration (at short periods: 0.16) (at 1 second period: 0.053)	B	SEVERE	24"	MODERATE TO SEVERE	SLIGHT TO MODERATE	17 DEGREES F	3/5/1900 NATIONAL FLOOR INSURANCE DATE	LESS THAN OR EQUAL 1500 F	50 DEGREES F	YES



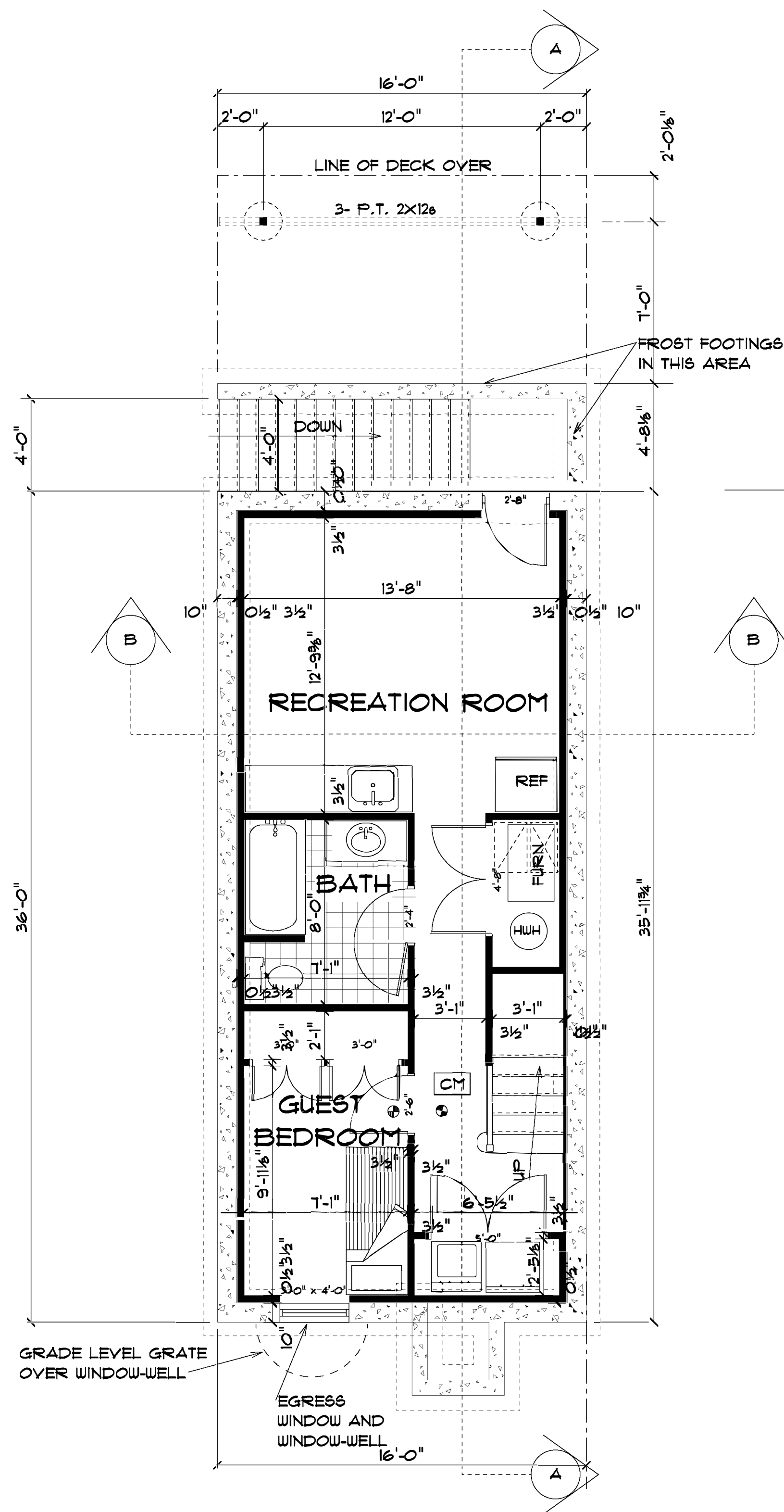
I. THOMAS WALSMAN, ARCHITECT
email: twalsman.architect@gmail.com cell phone: (240) 988-9417

2 ABUTTING SINGLE FAMILY DWELLINGS
607 AND 609 N. ALFRED ST., ALEXANDRIA, VA

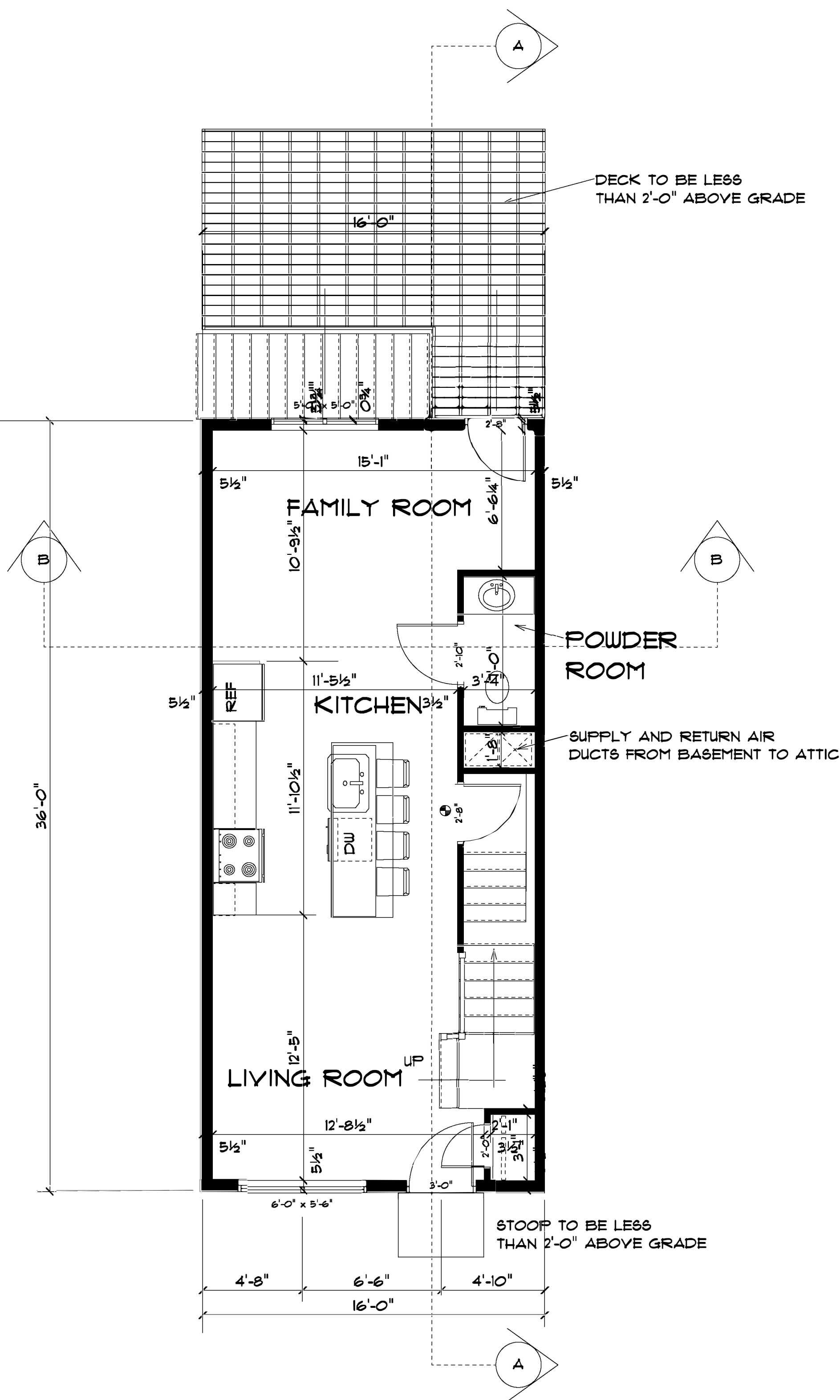
COVER SHEET

12-3-2019

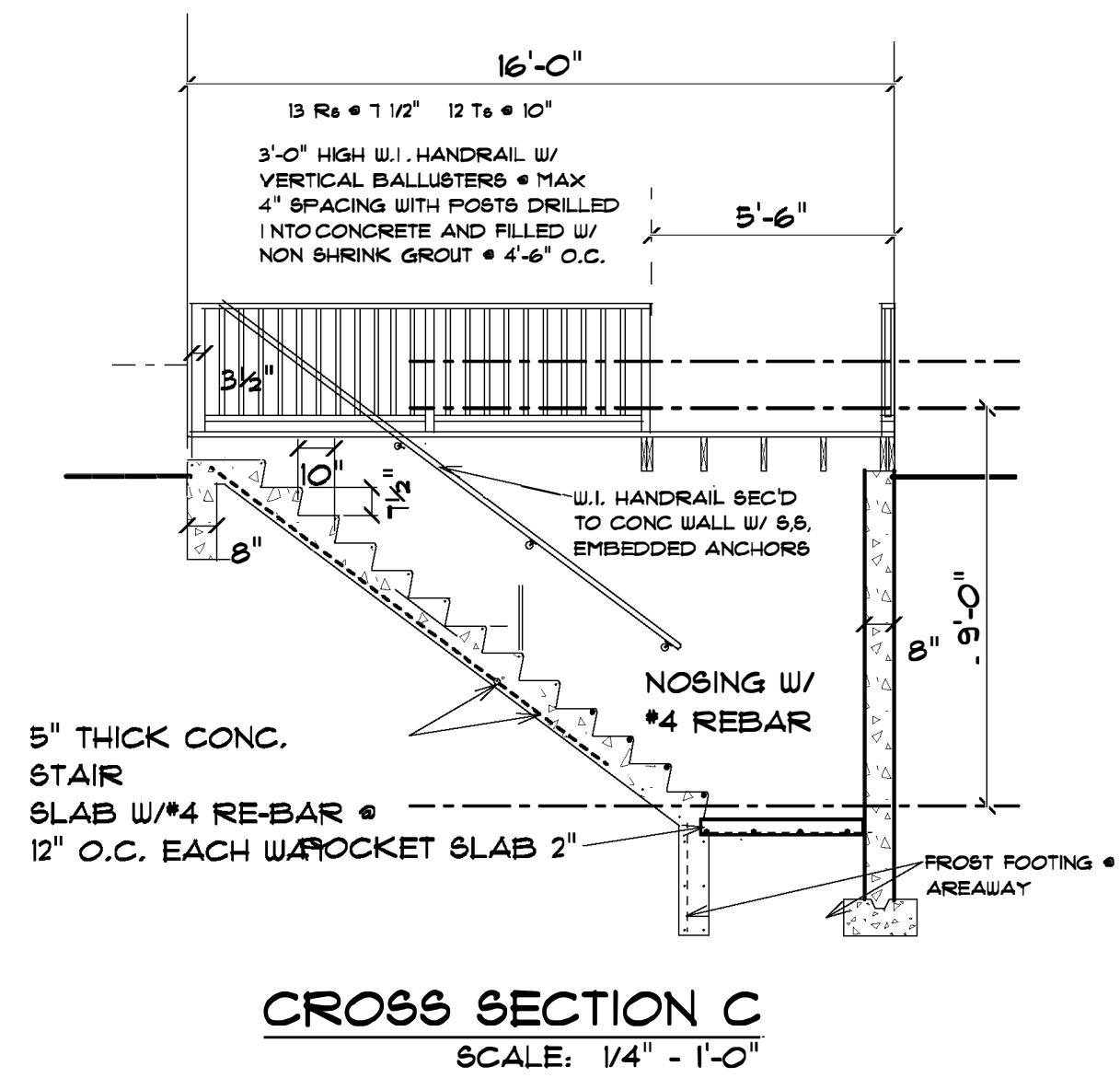
COVER SHEET



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



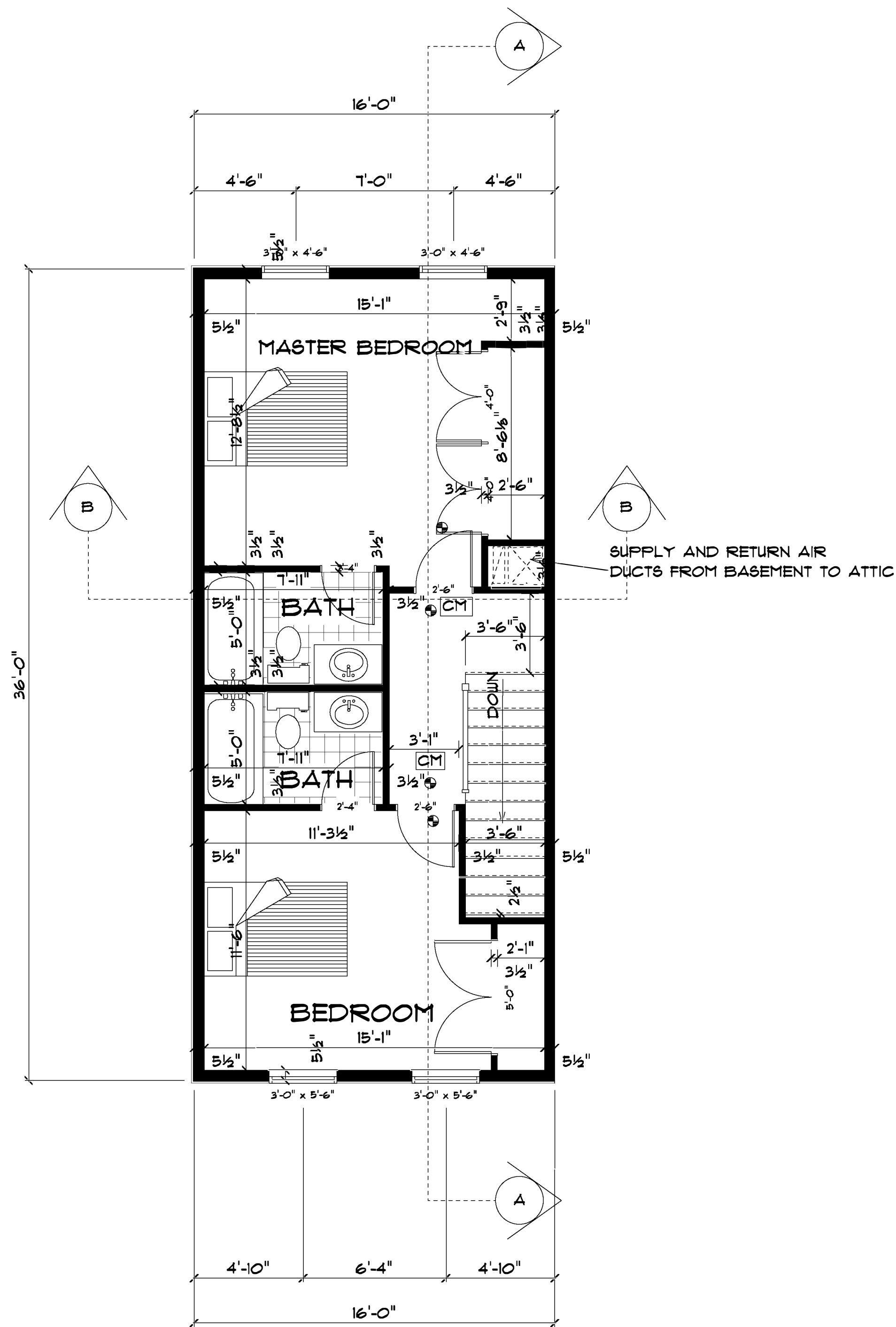
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



CROSS SECTION C
SCALE: 1/4" = 1'-0"

LEGEND

	FLUORESCENT FIXTURE
	HVAC DIFFUSER
	TELEPHONE OUTLET
	ELECTRICAL OUTLET
	GFI ELECTRICAL OUTLET
	RECESSED LIGHT
	SURFACE MTD. LIGHT
	BATHROOM HEAT/LAMP
	CEILING FAN
	CABLE OUTLET
	SWITCH LOCATION
	3 WAY SWITCH LOCATION
	TYPICAL PARTITION: 1/2" DRYWALL BOTH SIDES ON 2X4s @ 16" O.C.
	TYPICAL 3'-0" X 6'-8" DOOR W/ DOOR SWING SHOWN
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	CHANDELIER
	BATHROOM EXHAUST FAN
	VANITY LIGHT
	SCONCE
	JUNCTION BOX



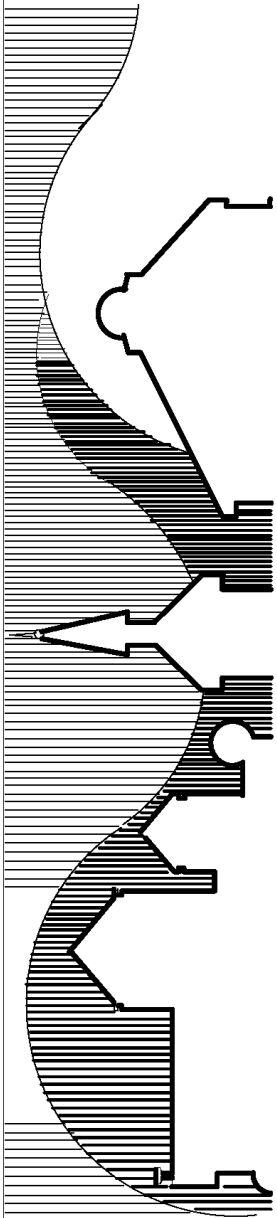
SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND

- FLUORESCENT FIXTURE
- HVAC DIFFUSER
- TELEPHONE OUTLET
- ELECTRICAL OUTLET
- GFI ELECTRICAL OUTLET
- RECESSED LIGHT
- SURFACE MTD. LIGHT
- BATHROOM HEAT/LAMP
- CEILING FAN
- CABLE OUTLET
- SWITCH LOCATION
- 3 WAY SWITCH LOCATION
- TYPICAL PARTITION:
1/2" DRYWALL BOTH SIDES
ON 2X4s @ 16" O.C.
- TYPICAL 3'-0" X 6'-8" DOOR
W/ DOOR SWING SHOWN
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- CHANDELIER
- BATHROOM EXHAUST FAN
- VANITY LIGHT
- SCONCE
- JUNCTION BOX

SINGLE FAMILY DWELLINGS
1417 PRINCESS STREET, ALEXANDRIA, VA

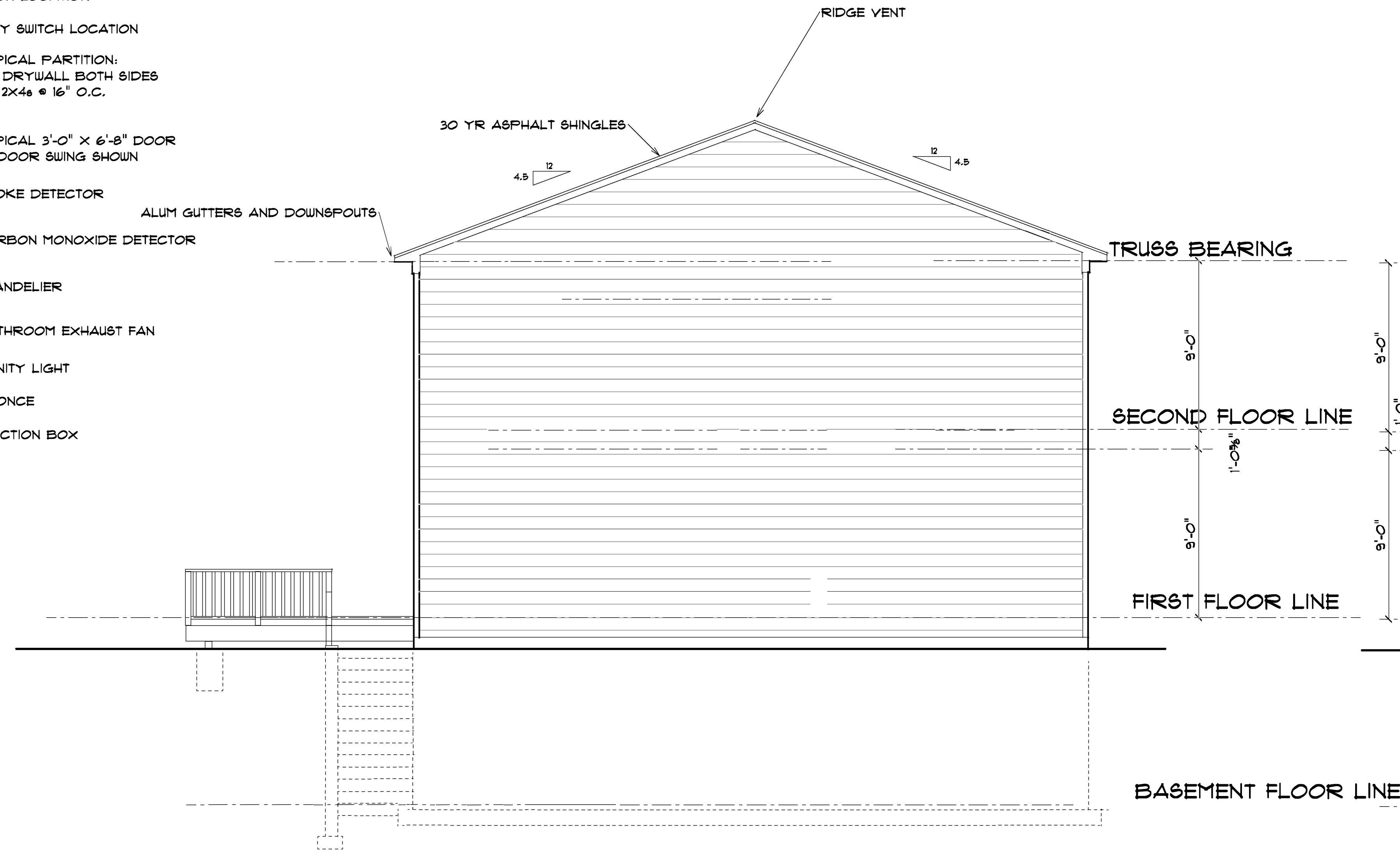
PROPOSED SECOND FLOOR PLAN



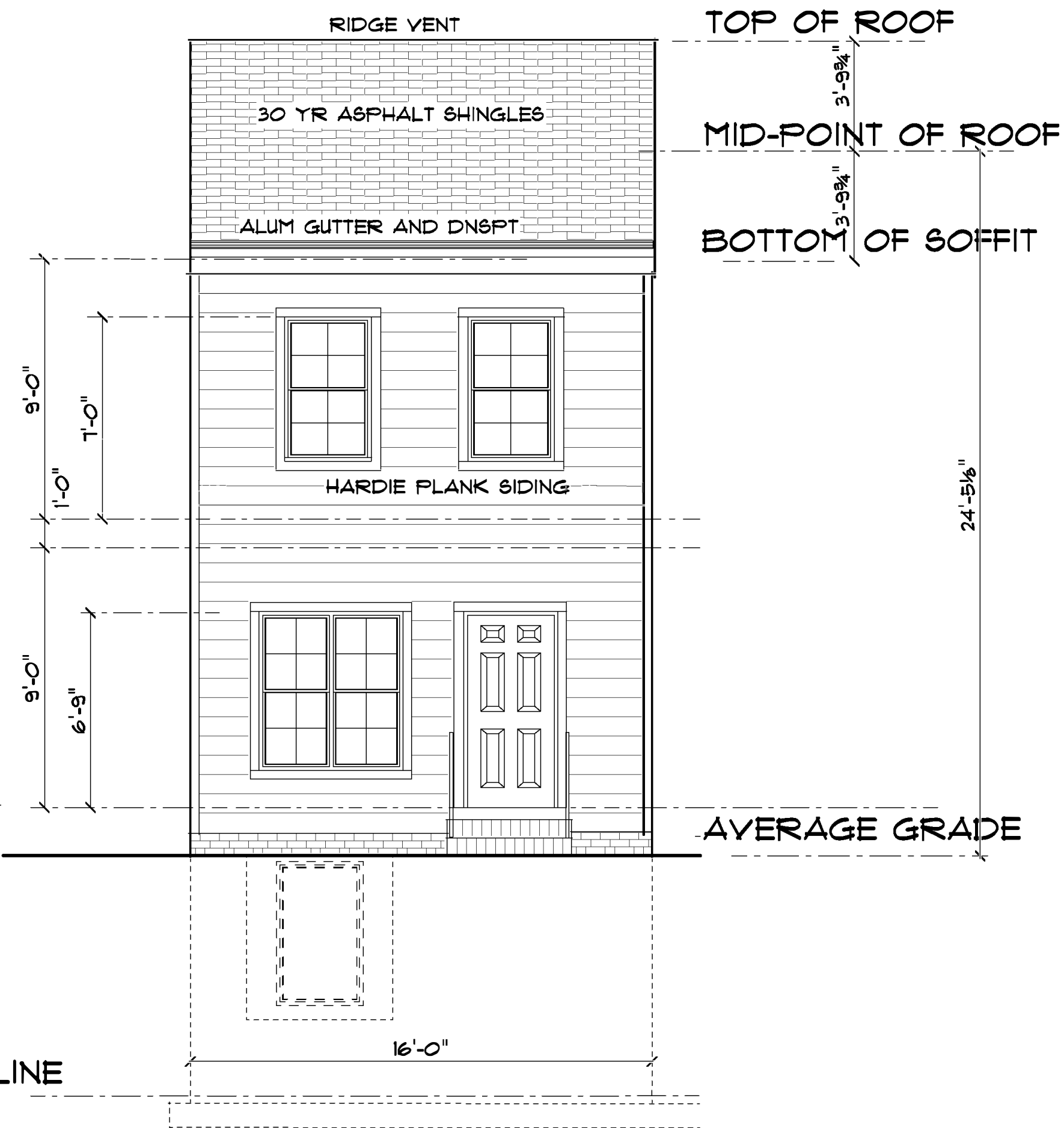
T. THOMAS WALZMAN, ARCHITECT email: t.walzman.architect@gmail.com cell phone: (240) 888-9417

LEGEND

- FLUORESCENT FIXTURE
- HVAC DIFFUSER
- TELEPHONE OUTLET
- ELECTRICAL OUTLET
- GFI ELECTRICAL OUTLET
- RECESSED LIGHT
- SURFACE MTD. LIGHT
- BATHROOM HEAT/LAMP
- CEILING FAN
- CABLE OUTLET
- SWITCH LOCATION
- 3 WAY SWITCH LOCATION
- TYPICAL PARTITION:
1/2" DRYWALL BOTH SIDES
ON 2X4s @ 16" O.C.
- TYPICAL 3'-0" X 6'-8" DOOR
W/ DOOR SWING SHOWN
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- CHANDELIER
- BATHROOM EXHAUST FAN
- VANITY LIGHT
- SCONCE
- JUNCTION BOX

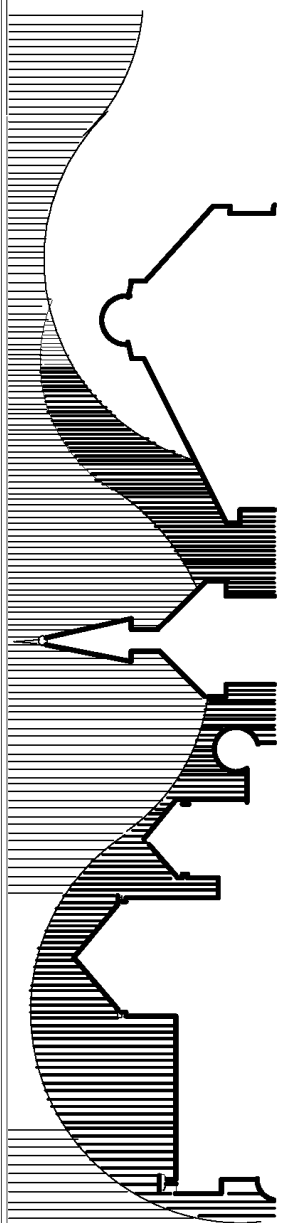


LEFT SIDE ELEVATION (WEST)
SCALE: 1/4" = 1'-0"

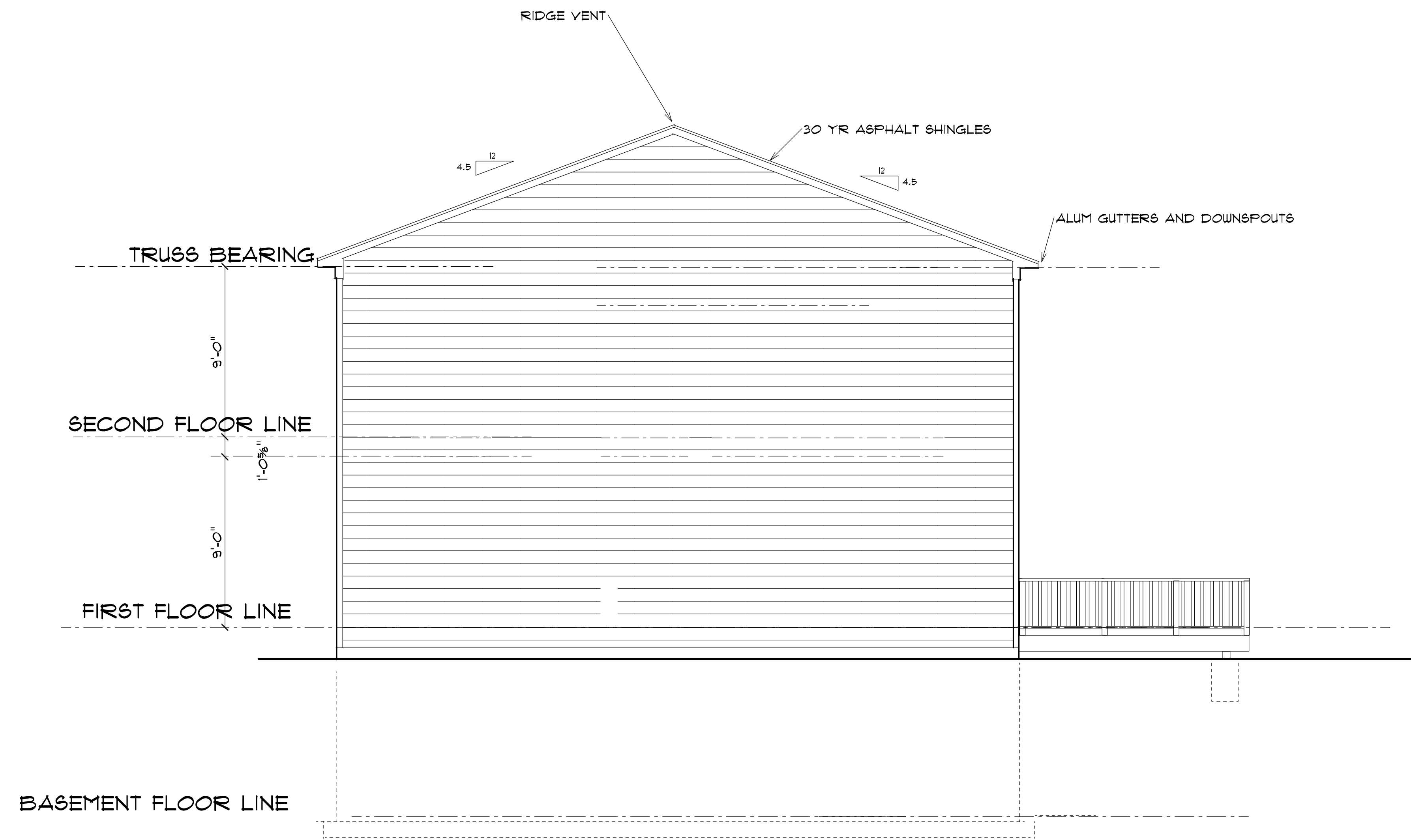


FRONT ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"

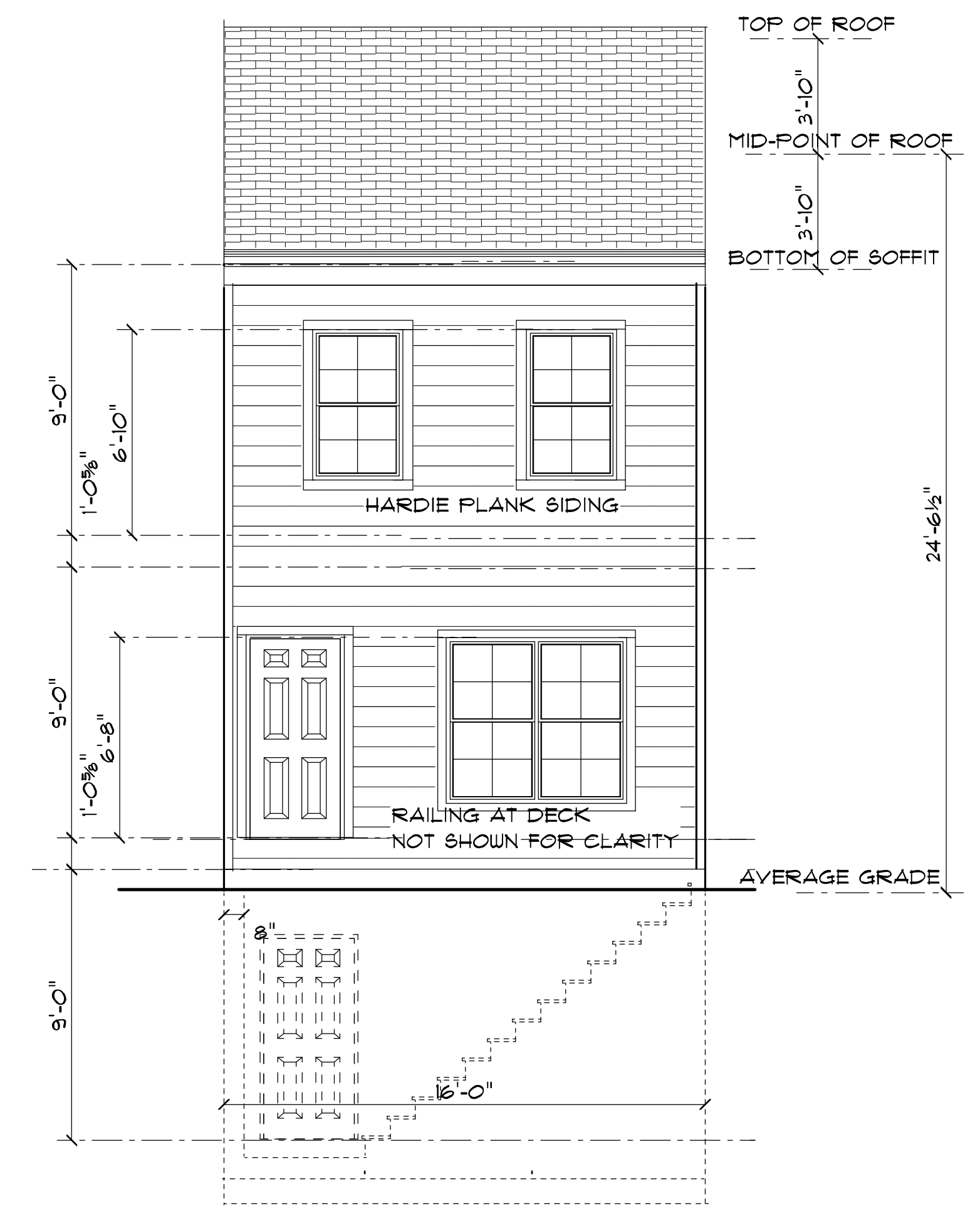
SINGLE FAMILY DWELLINGS
1417 PRINCESS STREET, ALEXANDRIA, VA
PROPOSED FRONT AND LEFT SIDE ELEVATIONS



L. THOMAS WALSMAN, ARCHITECT
email: t.walsman.architect@gmail.com cell phone: (240) 888-9417



RIGHT SIDE ELEVATION (EAST)
SCALE: 1/4" = 1'-0"

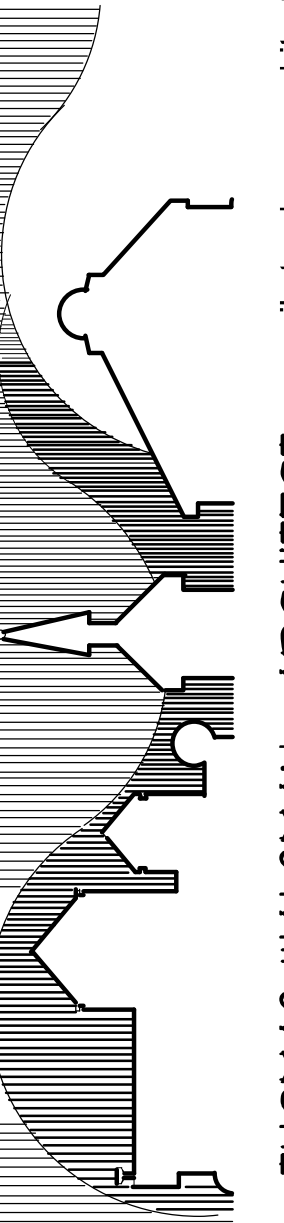


REAR ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"

SINGLE FAMILY DWELLINGS

1417 PRINCESS STREET, ALEXANDRIA, VA

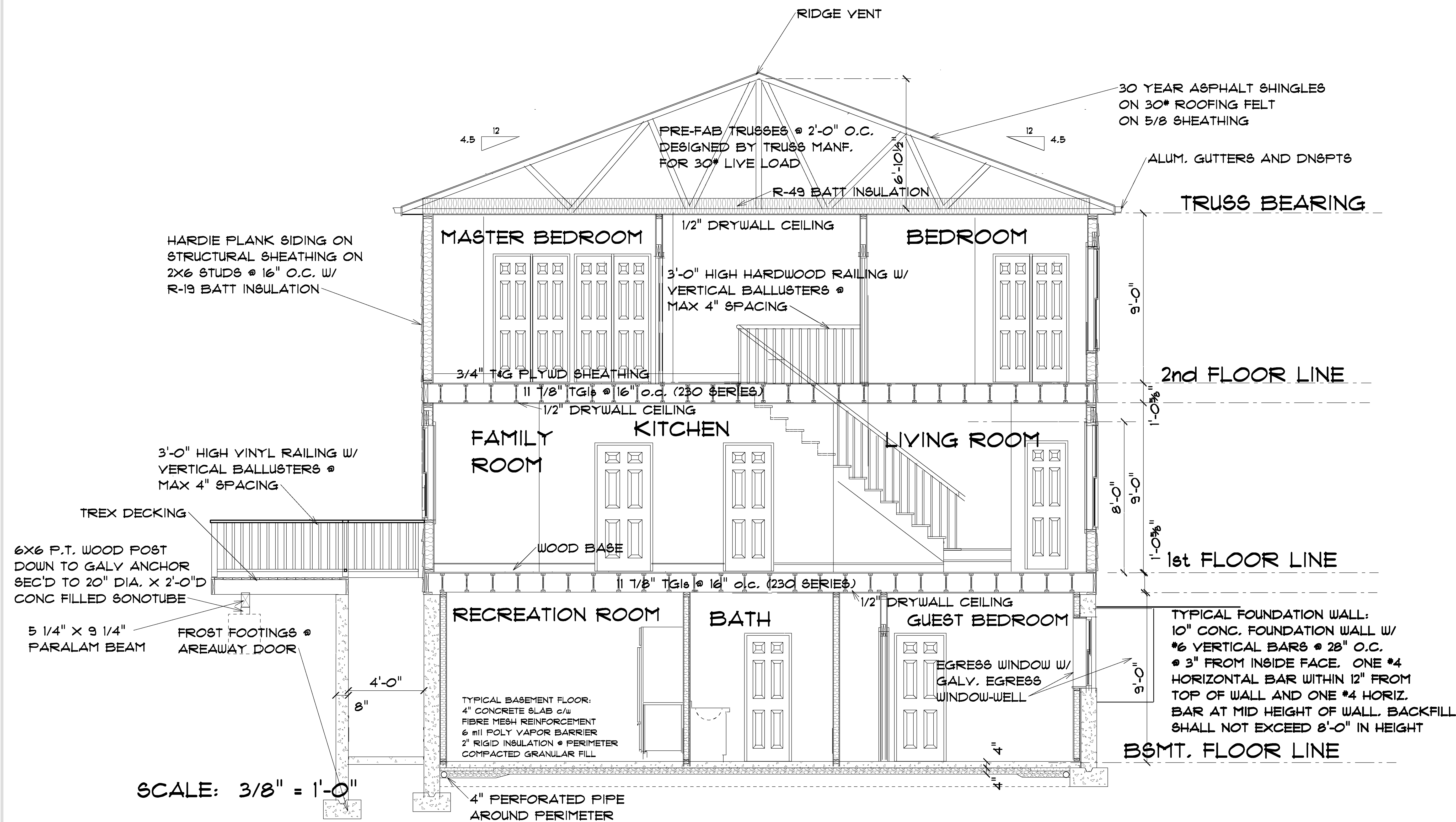
PROPOSED REAR AND RIGHT SIDE ELEVATIONS



I. THOMAS WALSMAN, ARCHITECT email: twalsman.architect@gmail.com cell phone: (240) 888-9417

REV 12-18-2019

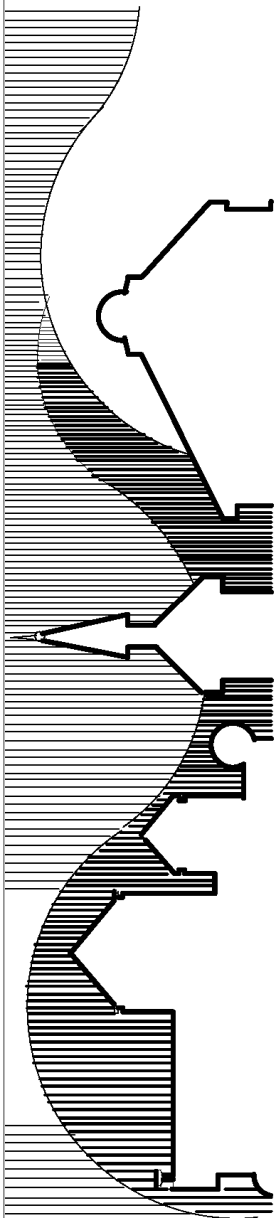
A-4



CROSS SECTION A
SCALE: 3/8" = 1'-0"

SINGLE FAMILY DWELLINGS
1417 PRINCESS STREET, ALEXANDRIA, VA

CROSS SECTION A



T. THOMAS WALSMAN, ARCHITECT
email: twalsman.architect@gmail.com cell phone: (240) 888-9417





**Professionals in Siding,
Roofing, Trim, Windows,
Gutters & Downspouts**

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Expires on June 30,

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www. AnExterior.com

Ref. No.: 412-19

Date: 12/6/2019

14522-C Lee Road, Chantilly, Va 20151
Tel: (703) 378-3811 Fax: (703) 830-3811

Name : Mr. Ala Awadallah
Street : 3335 Glenmore Dr
City & State : Falls Church, VA 22041
Contact No. : (tel) 703-508-7446

Attention : Mr. Awadallah
Reference : roofing, siding and gutters
Job Address : 1417 Princeess St. Alexandria, VA

Job Description:

ROOFING

- Furnish and install 30 year architectural shingles with 15 lb felt on rear roof
 - Furnish and install ice and water shields at eaves
 - Furnish and install aluminum drip edge at roof edges
 - Furnish and install standing seam metal on front roof
- Price: \$4,200.00

SIDING

- Furnish and install Hardie Plank 8 1/4" prefinished lap cement siding
 - Furnish and install aluminum flashing as needed
 - Caulk where siding abuts the other materials
 - Corners should be done by others
- Price: \$10,800.00

GUTTERS AND DOWNSPOUTS

- Furnish And install 5" seamless aluminum K gutters and 2 x 3 downspouts
- Price: \$550.00

All material is guaranteed to be as specified, and the above work will be performed in accordance with the drawings and specifications submitted for above work and completed in a substantial workmanlike manner for the sum of \$1 5550.00 . The deposit requested \$ 5183.33

Please review the conditions at the back and sign and return if proposal is agreeable.

Andersen Windows - Printed Quote/Long Form



QUOTE: 165 QUOTE DATE: 12/06/2019 PRINT DATE: 12/17/2019

CUSTOMER: TW Perry House Account Springfield TRADE ID: 027015
CELL:
PO#:
SALESREP: Rachel Carter PROMOTION CODE:
PROJECT: ALA PRINCESS
TERMS:
PICKUP/DELIVERY: Delivery
CREATED BY:

Billing Information

CONTACT:
PHONE:
FAX:
ADDRESS:

Shipping Information

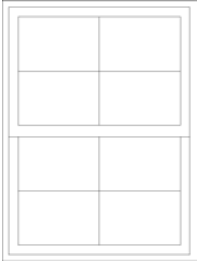
CONTACT:
PHONE:
FAX:
ADDRESS:

COMMENTS:

Line Item #: 0001 Line Item Qty: 1 Initial: _____

Location: basement guest bed

RO Size = 3' 0" W x 4' 0" H Unit Size = 2' 11 1/2" W x 3' 11 1/2" H



Viewed from Exterior

100 Series, 100SHS Single Units
 Enhanced Performance: None
 Unit Code/Item Size: 100SHS3040
 Operation/Handling: F/A
 Frame Option: 1 3/8"
 Exterior Color: Black
 Interior Color: White
 Glass Type (Top): Low E Glass, Divided Light with Spacer, Specified Equal Lite
 Glass Type (Bottom): Low E Glass, Divided Light with Spacer, Specified Equal Lite
 Interior Grille (Top): Grille, Interior, Permanently Applied, White, Specified Equal Lite, 3/4", Low Definition
 Exterior Grille (Top): Grille, Exterior, Permanently Applied, Black, Specified Equal Lite, 3/4", Low Definition
 Interior Grille (Bottom): Grille, Interior, Permanently Applied, White, Specified Equal Lite, 3/4", Low Definition
 Exterior Grille (Bottom): Grille, Exterior, Permanently Applied, Black, Specified Equal Lite, 3/4", Low Definition
 Grille Construction (Top/Bot): Divided Light with Spacer/Divided Light with Spacer
 Custom Lite Pattern (Top): 2w2h
 Custom Lite Pattern (Bot): 2w2h
 Insect Screens: Half Insect Screen, Black
 Lock Hardware Style: Andersen 100 Series
 Lock Color: White

 Zone: North-Central
 U-Factor: 0.31, SHGC: 0.28, ENERGY STAR® Certified: No

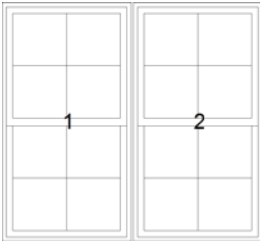
Comments:

Qty	Part Num	Item Size	Description	Total Price	Extended Price
1	0000000	100SHS3040	Unit, 1 3/8" Flange Setback, Black/White, Low E Glass, Divided Light with Spacer, Specified Equal Lite, 2w2h, Black/White, 3/4" (Each Sash), Half Insect Screen, Black, Andersen 100 Series Hardware, White	\$ 475.73	\$ 475.73
				\$ 475.73	\$ 475.73

Line Item #: 0002 Line Item Qty: 1 Initial: _____

Location: living room

RO Size = 6' 0" W x 5' 6" H Unit Size = 5' 11 1/2" W x 5' 5 1/2" H



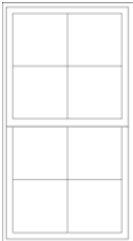
Viewed from Exterior

Composite Unit - 100 Series Single Hung - Double Wide
 Part Number: 0000000
 Enhanced Performance: None
 Unit Code/Item Size: 100SHD3056-2
 Operation/Handing: F/A-F/A

Comments:

Qty	Part Num	Item Size	Description	Total Price	Extended Price
Total: (includes Mull Charges of \$ 0.00)				\$ 0.00	\$ 0.00

Unit/Sash 1 of 2



Viewed from Exterior

100 Series, 100SHS Single Units
 Unit Code/Item Size: 100SHS3056
 Operation/Handing: F/A
 Frame Option: 1 3/8"
 Exterior Color: Black
 Interior Color: White
 Glass Type (Top): Low E Glass, Divided Light with Spacer, Specified Equal Lite
 Glass Type (Bottom): Low E Glass, Divided Light with Spacer, Specified Equal Lite
 Interior Grille (Top): Grille, Interior, Permanently Applied, White, Specified Equal Lite, 3/4", Low Definition
 Exterior Grille (Top): Grille, Exterior, Permanently Applied, Black, Specified Equal Lite, 3/4", Low Definition
 Interior Grille (Bottom): Grille, Interior, Permanently Applied, White, Specified Equal Lite, 3/4", Low Definition
 Exterior Grille (Bottom): Grille, Exterior, Permanently Applied, Black, Specified Equal Lite, 3/4", Low Definition
 Grille Construction (Top/Bot): Divided Light with Spacer/Divided Light with Spacer
 Custom Lite Pattern (Top): 2w2h
 Custom Lite Pattern (Bot): 2w2h
 Insect Screens: Half Insect Screen, Black
 Lock Hardware Style: Andersen 100 Series
 Lock Color: White

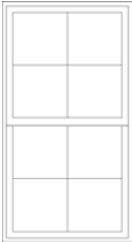
 Zone: North-Central
 U-Factor: 0.31, SHGC: 0.28, ENERGY STAR® Certified: No

Comments:

Qty	Part Num	Item Size	Description	Total Price	Extended Price
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1	0000000	100SHS3056	Unit, 1 3/8" Flange Setback, Black/White, Low E Glass, Divided Light with Spacer, Specified Equal Lite, 2w2h, Black/White, 3/4" (Each Sash), Half Insect Screen, Black, Andersen 100 Series Hardware, White	\$	530.94	\$	530.94
					<u>\$</u>	<u>530.94</u>	<u>\$</u> <u>530.94</u>

Unit/Sash 2 of 2



Viewed from Exterior

100 Series, 100SHS Single Units
Unit Code/Item Size: 100SHS3056
Operation/Handing: F/A
Frame Option: 1 3/8"
Exterior Color: Black
Interior Color: White
Glass Type (Top): Low E Glass, Divided Light with Spacer, Specified Equal Lite
Glass Type (Bottom): Low E Glass, Divided Light with Spacer, Specified Equal Lite
Interior Grille (Top): Grille, Interior, Permanently Applied, White, Specified Equal Lite, 3/4", Low Definition
Exterior Grille (Top): Grille, Exterior, Permanently Applied, Black, Specified Equal Lite, 3/4", Low Definition
Interior Grille (Bottom): Grille, Interior, Permanently Applied, White, Specified Equal Lite, 3/4", Low Definition
Exterior Grille (Bottom): Grille, Exterior, Permanently Applied, Black, Specified Equal Lite, 3/4", Low Definition
Grille Construction (Top/Bot): Divided Light with Spacer/Divided Light with Spacer
Custom Lite Pattern (Top): 2w2h
Custom Lite Pattern (Bot): 2w2h
Insect Screens: Half Insect Screen, Black
Lock Hardware Style: Andersen 100 Series
Lock Color: White

Zone: North-Central
U-Factor: 0.31, SHGC: 0.28, ENERGY STAR® Certified: No

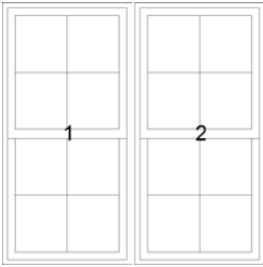
Comments:

Qty	Part Num	Item Size	Description	Total Price	Extended Price
1	0000000	100SHS3056	Unit, 1 3/8" Flange Setback, Black/White, Low E Glass, Divided Light with Spacer, Specified Equal Lite, 2w2h, Black/White, 3/4" (Each Sash), Half Insect Screen, Black, Andersen 100 Series Hardware, White	\$ 530.94	\$ 530.94
				<u>\$</u> <u>530.94</u>	<u>\$</u> <u>530.94</u>
					<u>\$</u> <u>1,061.88</u>

Line Item #: 0005 Line Item Qty: 1 Initial: _____

Location: family room

RO Size = 5' 0" W x 5' 0" H Unit Size = 4' 11 1/2" W x 4' 11 1/2" H



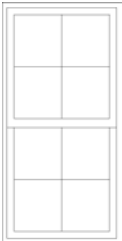
Viewed from Exterior

Composite Unit - 100 Series Single Hung - Double Wide
 Part Number: 0000000
 Enhanced Performance: None
 Unit Code/Item Size: 100SHD2650-2
 Operation/Handing: F/A-F/A

Comments:

Qty	Part Num	Item Size	Description	Total Price	Extended Price
Total: (includes Mull Charges of \$ 0.00)				\$ 0.00	\$ 0.00

Unit/Sash 1 of 2



Viewed from Exterior

100 Series, 100SHS Single Units
 Unit Code/Item Size: 100SHS2650
 Operation/Handing: F/A
 Frame Option: 1 3/8"
 Exterior Color: Black
 Interior Color: White
 Glass Type (Top): Low E Glass, Divided Light with Spacer, Specified Equal Lite
 Glass Type (Bottom): Low E Glass, Divided Light with Spacer, Specified Equal Lite
 Interior Grille (Top): Grille, Interior, Permanently Applied, White, Specified Equal Lite, 3/4", Low Definition
 Exterior Grille (Top): Grille, Exterior, Permanently Applied, Black, Specified Equal Lite, 3/4", Low Definition
 Interior Grille (Bottom): Grille, Interior, Permanently Applied, White, Specified Equal Lite, 3/4", Low Definition
 Exterior Grille (Bottom): Grille, Exterior, Permanently Applied, Black, Specified Equal Lite, 3/4", Low Definition
 Grille Construction (Top/Bot): Divided Light with Spacer/Divided Light with Spacer
 Custom Lite Pattern (Top): 2w2h
 Custom Lite Pattern (Bot): 2w2h
 Insect Screens: Half Insect Screen, Black
 Lock Hardware Style: Andersen 100 Series
 Lock Color: White

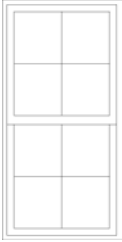
 Zone: North-Central
 U-Factor: 0.31, SHGC: 0.28, ENERGY STAR® Certified: No

Comments:

Qty	Part Num	Item Size	Description	Total Price	Extended Price
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1	0000000	100SHS2650	Unit, 1 3/8" Flange Setback, Black/White, Low E Glass, Divided Light with Spacer, Specified Equal Lite, 2w2h, Black/White, 3/4" (Each Sash), Half Insect Screen, Black, Andersen 100 Series Hardware, White	\$	493.88	\$	493.88
					<u>\$</u>	<u>493.88</u>	<u>\$</u> <u>493.88</u>

Unit/Sash 2 of 2



Viewed from Exterior

100 Series, 100SHS Single Units
Unit Code/Item Size: 100SHS2650
Operation/Handing: F/A
Frame Option: 1 3/8"
Exterior Color: Black
Interior Color: White
Glass Type (Top): Low E Glass, Divided Light with Spacer, Specified Equal Lite
Glass Type (Bottom): Low E Glass, Divided Light with Spacer, Specified Equal Lite
Interior Grille (Top): Grille, Interior, Permanently Applied, White, Specified Equal Lite, 3/4", Low Definition
Exterior Grille (Top): Grille, Exterior, Permanently Applied, Black, Specified Equal Lite, 3/4", Low Definition
Interior Grille (Bottom): Grille, Interior, Permanently Applied, White, Specified Equal Lite, 3/4", Low Definition
Exterior Grille (Bottom): Grille, Exterior, Permanently Applied, Black, Specified Equal Lite, 3/4", Low Definition
Grille Construction (Top/Bot): Divided Light with Spacer/Divided Light with Spacer
Custom Lite Pattern (Top): 2w2h
Custom Lite Pattern (Bot): 2w2h
Insect Screens: Half Insect Screen, Black
Lock Hardware Style: Andersen 100 Series
Lock Color: White

Zone: North-Central
U-Factor: 0.31, SHGC: 0.28, ENERGY STAR® Certified: No

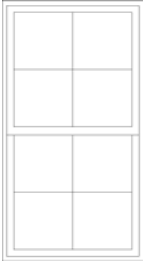
Comments:

Qty	Part Num	Item Size	Description	Total Price	Extended Price
1	0000000	100SHS2650	Unit, 1 3/8" Flange Setback, Black/White, Low E Glass, Divided Light with Spacer, Specified Equal Lite, 2w2h, Black/White, 3/4" (Each Sash), Half Insect Screen, Black, Andersen 100 Series Hardware, White	\$ 493.88	\$ 493.88
				<u>\$ 493.88</u>	<u>\$ 493.88</u>
					<u>\$ 987.76</u>

Line Item #: 0007 Line Item Qty: 2 Initial: _____

Location: bedroom

RO Size = 3' 0" W x 5' 6" H Unit Size = 2' 11 1/2" W x 5' 5 1/2" H



Viewed from Exterior

100 Series, 100SHS Single Units
Enhanced Performance: None
Unit Code/Item Size: 100SHS3056
Operation/Handling: F/A
Frame Option: 1 3/8"
Exterior Color: Black
Interior Color: White
Glass Type (Top): Low E Glass, Divided Light with Spacer, Specified Equal Lite
Glass Type (Bottom): Low E Glass, Divided Light with Spacer, Specified Equal Lite
Interior Grille (Top): Grille, Interior, Permanently Applied, White, Specified Equal Lite, 3/4", Low Definition
Exterior Grille (Top): Grille, Exterior, Permanently Applied, Black, Specified Equal Lite, 3/4", Low Definition
Interior Grille (Bottom): Grille, Interior, Permanently Applied, White, Specified Equal Lite, 3/4", Low Definition
Exterior Grille (Bottom): Grille, Exterior, Permanently Applied, Black, Specified Equal Lite, 3/4", Low Definition
Grille Construction (Top/Bot): Divided Light with Spacer/Divided Light with Spacer
Custom Lite Pattern (Top): 2w2h
Custom Lite Pattern (Bot): 2w2h
Insect Screens: Half Insect Screen, Black
Lock Hardware Style: Andersen 100 Series
Lock Color: White

Zone: North-Central
U-Factor: 0.31, SHGC: 0.28, ENERGY STAR® Certified: No

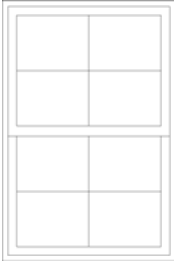
Comments:

Qty	Part Num	Item Size	Description	Total Price	Extended Price
1	0000000	100SHS3056	Unit, 1 3/8" Flange Setback, Black/White, Low E Glass, Divided Light with Spacer, Specified Equal Lite, 2w2h, Black/White, 3/4" (Each Sash), Half Insect Screen, Black, Andersen 100 Series Hardware, White	\$ 530.94	\$ 1061.88
				\$ 530.94	\$ 1,061.88

Line Item #: 0008 Line Item Qty: 2 Initial: _____

Location: master bed

RO Size = 3' 0" W x 4' 6" H Unit Size = 2' 11 1/2" W x 4' 5 1/2" H



Viewed from Exterior

100 Series, 100SHS Single Units
 Enhanced Performance: None
 Unit Code/Item Size: 100SHS3046
 Operation/Handling: F/A
 Frame Option: 1 3/8"
 Exterior Color: Black
 Interior Color: White
 Glass Type (Top): Low E Glass, Divided Light with Spacer, Specified Equal Lite
 Glass Type (Bottom): Low E Glass, Divided Light with Spacer, Specified Equal Lite
 Interior Grille (Top): Grille, Interior, Permanently Applied, White, Specified Equal Lite, 3/4", Low Definition
 Exterior Grille (Top): Grille, Exterior, Permanently Applied, Black, Specified Equal Lite, 3/4", Low Definition
 Interior Grille (Bottom): Grille, Interior, Permanently Applied, White, Specified Equal Lite, 3/4", Low Definition
 Exterior Grille (Bottom): Grille, Exterior, Permanently Applied, Black, Specified Equal Lite, 3/4", Low Definition
 Grille Construction (Top/Bot): Divided Light with Spacer/Divided Light with Spacer
 Custom Lite Pattern (Top): 2w2h
 Custom Lite Pattern (Bot): 2w2h
 Insect Screens: Half Insect Screen, Black
 Lock Hardware Style: Andersen 100 Series
 Lock Color: White

Zone: North-Central
 U-Factor: 0.31, SHGC: 0.28, ENERGY STAR® Certified: No

Comments:

Qty	Part Num	Item Size	Description	Total Price	Extended Price
1	0000000	100SHS3046	Unit, 1 3/8" Flange Setback, Black/White, Low E Glass, Divided Light with Spacer, Specified Equal Lite, 2w2h, Black/White, 3/4" (Each Sash), Half Insect Screen, Black, Andersen 100 Series Hardware, White	\$ 493.88	\$ 987.76
				\$ 493.88	\$ 987.76

SUBMITTED BY: _____	SUBTOTAL	\$	4,575.01
ACCEPTED BY: _____	TAXES(0.000 %)	\$	0.00
DATE: _____	GRAND TOTAL	\$	4,575.01

QUOTE: 165

Print Date: 12/17/2019

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iQ Version: 19.1

**** All graphics as viewed from the exterior.**

**** Rough opening dimensions are minimums and may need to be increased to allow for use of building wraps or flashings or sill panning or brackets or fasteners or other items.**



Ask to see if all of the products you purchase can be upgraded to be ENERGY STAR® certified.



This image indicates that the product selected is certified in the US ENERGY STAR® climate zone that you have selected.

Data is current as of May 2019. This data may change over time due to ongoing product changes or updated test results or requirements. Ratings for all sizes are specified by NFRC for testing and certification. Ratings may vary depending on the use of tempered glass or different grille options or glass for high altitudes etc.

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Lia Niebauer

From: Al Cox
Sent: Monday, January 6, 2020 6:59 PM
To: Lia Niebauer
Cc: Susan H. Hellman
Subject: Fwd: [EXTERNAL]BAR application for 203 S. Fairfax Street

Follow Up Flag: Flag for follow up
Flag Status: Flagged

From: Stephanie Dimond <Sdimond@dimondadams.com>
Date: January 6, 2020 at 6:08:51 PM EST
To: Al Cox <Al.Cox@alexandriava.gov>
Cc: Lynn Penati <lynnpenati@gmail.com>, F Penati <fpenati@gmail.com>
Subject: [EXTERNAL]BAR application for 203 S. Fairfax Street

Thank you for your time today to discuss the issues of concern for my clients next door to 203 S. Fairfax St. Per our conversation, I wanted to reiterate our concerns about the proposed addition at the rear of the property.

While we realize that the following isn't under the purview of the Board, we wish to make sure that the applicants are aware of and take measures to protect the materials and use of the shared alley between the two properties of 203 and 205 S. Fairfax Street, as well as to address an issue of proximity to the side yards of the properties.

In 2019, with the approval of the neighbor at 203 (at the time), my clients, Lynn and Francesco Penati of 205 S. Fairfax Street, installed new brick pavers along the length of the shared easement walkway to create a smooth surface allowing bikes and trash cans to be rolled through the space. They wish to make sure that whatever damage the construction at 203 might cause to this new paving, the alley will be fully repaired so that it is left in its current condition.

In addition, the gas meter and associated piping for 205 project into the easement area. We want to make sure that these aren't damaged and that they are protected from the adjacent construction.

While the use of the alley is shared, neither party may obstruct or prevent the use of the alley by the other, per the easement agreement. Therefore, while the workers will have use of the alley to traverse back and forth, they will need to make sure that the alley is left open for the Penatis to bring trash cans, bikes and otherwise enjoy the use of the alley. I expect this should be an easy thing to guarantee, so long as it's brought up before construction.

Lastly, the footprint of the existing basement access under the roof which also covers the outside patio at 203, is within 3'-0" of the property line between the two houses. While my clients don't object to the addition at the adjacent property per se, they wish to make sure that all building codes will be

followed. Since it would appear that the new intensified use of the addition will be closer than the building code allows for windows and doors (openings) within walls, we want to make sure that all building code requirements will be met. The Penatis have ordered a new survey which should show the exact location of their fence to the property line and should indicate the distance to the neighbor's house line.

We look forward to the meeting on Wednesday evening, and we will see you then.

Thank you for your help with this matter.

Stephanie Dimond

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