

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for addition and alterations

APPLICANT: Lawrence Farrell

LOCATION: Old and Historic Alexandria District
801 South Fairfax Street

ZONE: RM/Residential Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for an addition and alterations, as submitted, with the following conditions:

1. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
2. No metal detection may be conducted on the property, unless authorized by Alexandria Archaeology.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



0 15 30 60 Feet

Note: *Staff coupled the applications for a Permit to Demolish (BAR #2020-00013) and Certificate of Appropriateness (BAR #2020-00014) for clarity and brevity. The Permit to Demolish requires a roll call vote.*

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness to construct an addition at the rear/west elevation at 801 South Fairfax Street. Two sections of wrought iron fencing along the north elevation on Jefferson Street will also be removed as part of this proposal.

Permit to Demolish/Capsulate

The applicant proposes to demolish approximately 114 square feet of the rear/west wall of the house. This wall currently consists of two large arched windows separated by a masonry pier. The demolition will be restricted to the windows and the space between the outside edges of the windows, retaining an approximate three-foot strip/wing of masonry at the north and south ends of the wall.

Certificate of Appropriateness

Addition

The proposed one-story rear/west kitchen addition will measure approximately 14' deep and 18' wide, the same width as the house. The flat roof will be composed of standing-seam copper topped by a double-pitch or hipped-roof (referred to as extended pyramid in manufacturer specifications) skylight measuring 2'11" wide by just under 12' long. The entry on the west elevation will be French doors flanked by full-height sidelights. A window will be added to the north elevation. The applicant proposes extruded black aluminum windows and doors.

Alterations

As part of the project, the applicant proposes removing two sections of wrought iron fencing atop the brick wall along the north elevation on Jefferson Street. These sections of wrought iron will be replaced with brick to provide more privacy.

Site context

The property sits at the top of a hill on the southwest corner of the intersection of South Fairfax and Jefferson streets and is therefore visible from three public rights-of-way: South Fairfax, Jefferson, and South Royal. Due to a brick wall along the property lines, the addition will not be visible from South Royal Street and will be minimally visible from Jefferson and South Fairfax streets.

II. HISTORY

This end unit, two bay rowhouse was one of a group of eight rowhouses constructed as part of the Yates Garden subdivision in **1958**. The Board approved these eight townhouses on May 12, 1955 and later approved the design for the eight on September 11, 1957. Historic aerial photos do not

show any buildings here in 1957, but the entire row of eight appears on the 1960 aerial. A substantial addition was approved by the BAR in 2000.

Previous BAR Approvals:

April 4, 2018 – approval for alterations to front/east windows (BAR2018-00081)

June 21, 2000 – approval for an addition and exterior alterations (BAR2000-00046)

May 2, 2001 – approval for waiver of yard requirements in vision clearance area (BAR2001-0055)

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met in this case and the Permit to Demolish/Capsulate should be granted. The building is considered a Later (post-1934) structure in the Old and Historic Alexandria District. The material that will be demolished on this mid-20th century structure dates to a 2000 addition and is not of unusual or uncommon design. The materials and workmanship of the affected portions could be reproduced easily today.

Certificate of Appropriateness

According to the *Design Guidelines*, “The Boards generally prefer addition designs that are respectful of the existing structure and which seek to be background statements...” The one-story addition fulfills these parameters, as it is clearly subservient to the rest of the house. The design artfully tucks this addition under the existing second-story bay window (see Figure 1) and the use of brick veneer cladding relates the addition to the existing structure. Although staff does not normally approve of painting masonry, in this case the applicant’s proposal to whitewash or paint the veneer will further blend the old with the new. The brick wall along the property wall screens the addition from the public rights-of-way, while changing the two wrought-iron sections to brick will further obscure the addition.



Figure 1: North elevation: Addition to be placed beneath bay window on right. The brick garden wall below the two wrought-iron panels in foreground will be elevated slightly (see application sheet A3.1).

The *Design Guidelines* further state that “An addition to a historic building should be clearly distinguishable from the original structure. An addition should not obscure or dilute the architectural and historic importance of an existing building by creating a false sense of the past.” The painted masonry walls and the copper standing seam metal roofing on the bay relate to the existing house. However, while the architectural details, materials and overall character clearly draw from the existing house and 2020 addition, the character of the addition is that of an attached

greenhouse/conservatory that compliments, rather than competes with the overall composition of the structure. The use of modern materials for the fenestration, although largely screened from the street by the brick garden wall, announces the modernity of the addition, including black extruded aluminum windows and a rooftop skylight.

Staff recommends approval of the project as submitted and notes the recommendations of Alexandria Archaeology.

STAFF

Susan Hellman, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

F-1 Proposed addition meets zoning ordinance requirements for an addition.

Code Administration

No comments received.

Transportation and Environmental Services

- F-1 The applicant should provide a determination of disturbed area per City Guidelines to T&ES prior to submitting for permits. If the land disturbance meets or exceeds 2500 square feet, a released grading plan will be required prior to submitting for permits. (T&ES)
- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if

available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 This property is located on a block adjacent to the Civil War barracks associated with Battery Rodgers. According to the G.M. Hopkins Insurance Map, a house may have been present on the lot by 1877. This property therefore has the potential to yield archaeological resources which could provide insight into military and residential life in Alexandria during the nineteenth century.
- R-1 The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
 - a. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

V. ATTACHMENTS

1 – Supplemental Materials

2 – Application for BAR 2020-00013 & 2020-00014; 801 South Fairfax Street

BAR Case # _____

ADDRESS OF PROJECT: 801 S. FAIRFAX ST, ALEXANDRIA, VA 22314
DISTRICT: ☒ Old & Historic Alexandria ☐ Parker - Gray ☐ 100 Year Old Building
TAX MAP AND PARCEL: 086-04-05-17 ZONING: _____

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☒ Business (Please provide business name & contact person)

Name: GEORGE STONE

Address: 3205 COLVIN ST

City: Alexandria State: VA Zip: 22314

Phone: 202-255-8779 E-mail: design@Nottinghamhilldesign&build

Authorized Agent (if applicable): ☐ Attorney ☐ Architect ☒ DESIGNER

Name: GEORGE STONE Phone: 202-255-8779

E-mail: design@Nottinghamhilldesign&build.com

Legal Property Owner:

Name: LAURENCE FARRER

Address: 801 S. FAIRFAX ST

City: ALEXANDRIA State: VA Zip: 22314

Phone: 703-629-6227 E-mail: _____

- | | | |
|------------------------------|--|--|
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | Is there an historic preservation easement on this property? |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | If yes, has the easement holder agreed to the proposed alterations? |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | Is there a homeowner's association for this property? |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | If yes, has the homeowner's association approved the proposed alterations? |

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☒ NEW CONSTRUCTION
☒ EXTERIOR ALTERATION: *Please check all that apply.*
 ☐ awning ☐ fence, gate or garden wall ☐ HVAC equipment ☐ shutters
 ☒ doors ☒ windows ☐ siding ☐ shed
 ☐ lighting ☐ pergola/trellis ☐ painting unpainted masonry
 ☐ other _____
☒ ADDITION
☐ DEMOLITION/ENCAPSULATION
☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

SEE ATTACHED.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- ☒ ^{N/A} Survey plat showing the extent of the proposed demolition/encapsulation.
☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
☒ Description of the reason for demolition/encapsulation.
☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

DATE: February 19, 2020 BAR Hearing

PROJECT: 801 SOUTH FAIRFAX STREET
ALEXANDRIA, VA 22314

DESCRIPTION OF PROPOSED WORK

#1. New kitchen addition approximately 18x14 across back of home. Roof will tie into bottom of existing bump-out on the existing home thereby mitigating any roofline changes to existing home. Addition will contain new windows on North side and new window sidelights and French doors on West end of the addition not visible from public right of way.

#2. Removal of the two sections of wrought iron fencing in the brick wall along the North property line, to the west of the entry door. Remaining iron to remain.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____
- ☐ ☐ Square feet of existing signs to remain: _____
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☒ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: _____

Date: _____

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. <i>LARRY FARRELL</i>	<i>801 S.</i>	<i>100</i>
2.	<i>Fairfax St</i>	
3.	<i>ALEX, VA 22314</i>	

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. <i>LARRY FARRELL</i>	<i>801 S.</i>	<i>100</i>
2.	<i>Fairfax St</i>	
3.	<i>ALEX, VA 22314</i>	

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1.	<i>N/A</i>	<i>N/A</i>
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

Date

Geoff Stone
Printed Name


Signature

PROJECT MATERIALS LIST

WINDOWS AND DOORS

- MANUFACTURER – KOLBE
 - EXTRUDED ALUMINUM ON EXTERIORS – BLACK

SKYLIGHT

- MANUFACTURER – VELUX
 - EXTRUDED ALUMINUM IN BLACK
 - OPTION TBD
 - DOUBLE PITCH
 - EXTENDED PYRAMID

ROOF MATERIAL ADDITION

- MANUFACTURER – REVERE COPPER
 - FLAT LOCKED SOLDERED COPPER STRUCTURAL ROOF
 - FLAT SEAMED COPPER ROOF

TRIM/FASCIA/ SOFFIT

- MANUFACTURER – AZEK
 - ALL PAINTED WHITE TO MATCH EXISTING HOME TRIM

BRICK

- MANUFACTURER – GLEN-GERY
 - LINCOLN BRICK MODULAR THIN BRICK TO MATCH HOUSE – PAINTED TO MATCH EXISTING HOME



Department of Planning and Zoning
Floor Area Ratio and Open Space Calculations
as of 12/20/18

B

A. Property Information			
A1.	801 S Fairfax Street, Alexandria VA	RM	
	Street Address	Zone	
A2.	3,486.00	x 1.50	= 5,229.00
	Total Lot Area	Floor Area Ratio Allowed by Zone	Maximum Allowable Floor Area
B. Existing Gross Floor Area			
<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>	
Basement		Basement**	
First Floor	585.00	Stairways**	141.50
Second Floor	1,189.00	Mechanical**	53.80
Third Floor	1,141.00	Attic less than 7'**	827.00
Attic		Porches**	
Porches		Balcony/Deck**	
Balcony/Deck		Lavatory***	
Lavatory***		Other**	
Other**		Other**	
B1. Total Gross	2,915.00	B2. Total Exclusions	1,022.30
C. Proposed Gross Floor Area			
<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>	
Basement		Basement**	
First Floor	246.00	Stairways**	
Second Floor		Mechanical**	
Third Floor		Attic less than 7'**	
Attic		Porches**	
Porches		Balcony/Deck**	
Balcony/Deck		Lavatory***	
Lavatory***		Other**	
Other		Other**	
C1. Total Gross	246.00	C2. Total Exclusions	0.00
D. Total Floor Area		E. Open Space	
D1.	2,138.70 Sq. Ft.	E1.	1,943.00 Sq. Ft.
	Total Floor Area (add B3 and C3)		Existing Open Space
D2.	5,229.00 Sq. Ft.	E2.	1,235.50 Sq. Ft.
	Total Floor Area Allowed by Zone (A2)		Required Open Space
		E3.	1,697.00 Sq. Ft.
			Proposed Open Space
Notes			
*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.			
** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.			
***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.			

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: Geoffrey C. Stone Date: 02/03/2020

PROJECT #: 2019-09

ISSUE DATE: 02/03/20

G1.1 - MATERIAL LIST AND F.A.R
INFO.

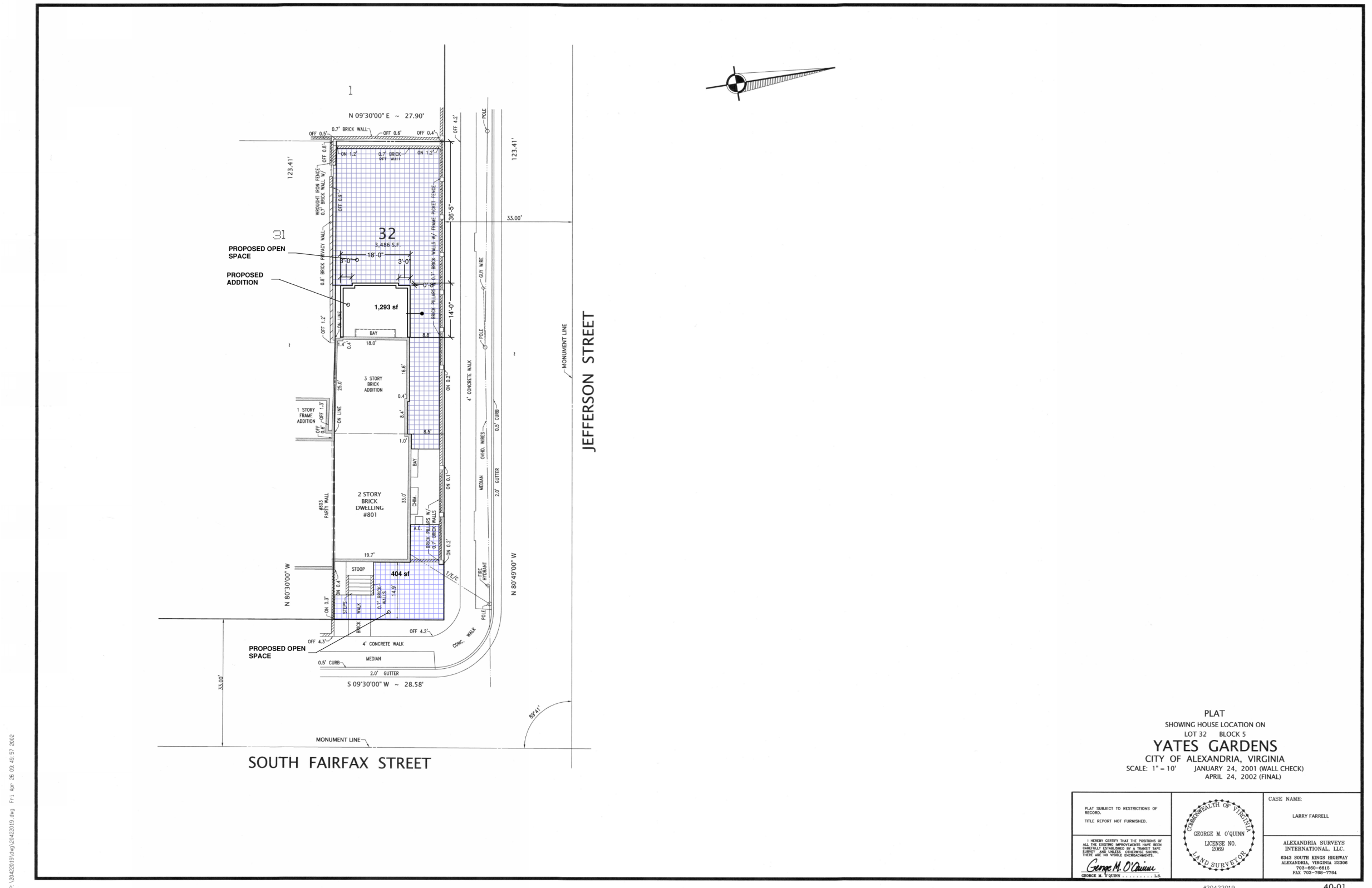
3205 COLVIN ST, ALEXANDRIA, VA 22314

703.518.0215

DESIGN@NOTTINGHILLDESIGNBUILD.COM

WWW.NOTTINGHILLGARDENS.COM





P:\20422019\dwg\20422019.dwg F:\1 Apr 26 09:46:57 2002

PROJECT #: 2019-09

ISSUE DATE: 02/03/20

G1.2 - PLAT PLAN INFO. (N.T.S)

SCALE:

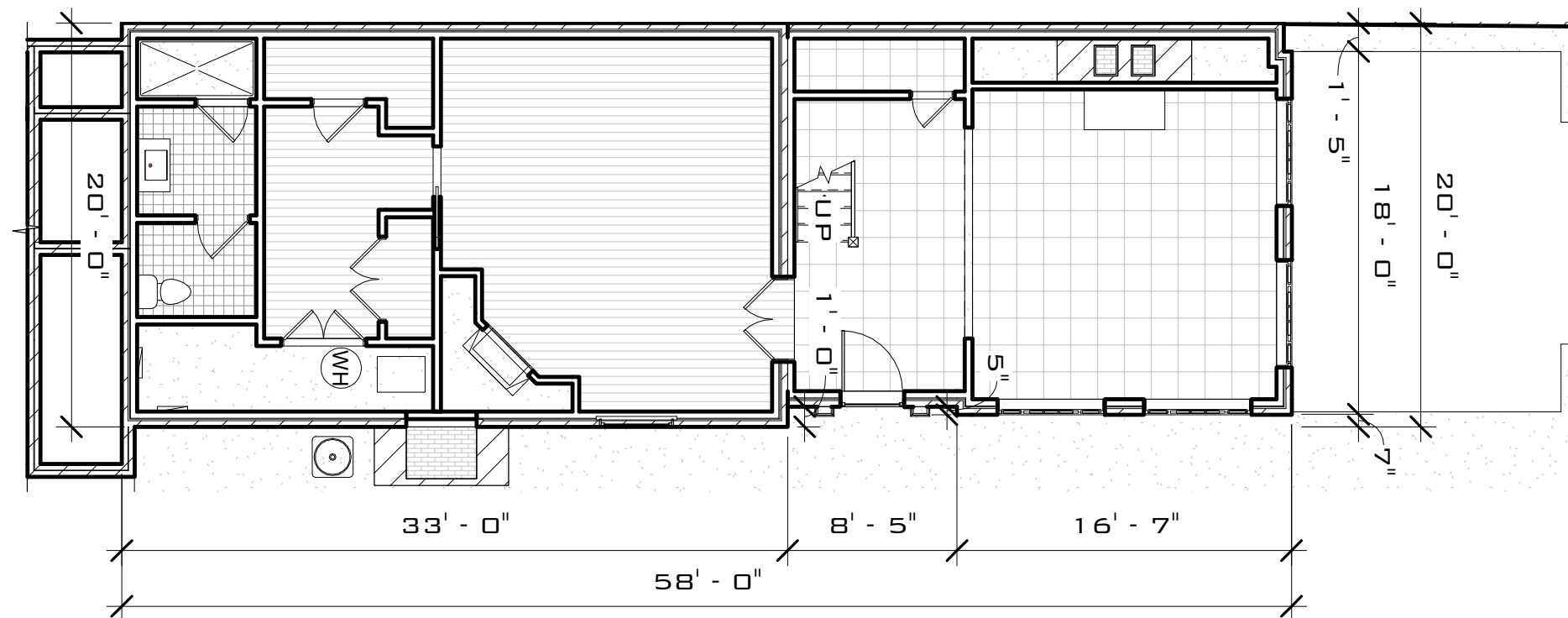
3205 COLVIN ST, ALEXANDRIA, VA 22314

703.518.0215

DESIGN@NOTTINGHILLDESIGNBUILD.COM

WWW.NOTTINGHILLGARDENS.COM





EX1.1 - EXISTING FLOOR PLAN

SCALE: 1/8" = 1'-0"

PROJECT #: 2019-09

ISSUE DATE: 02/03/20

3205 COLVIN ST, ALEXANDRIA, VA 22314

703.518.0215

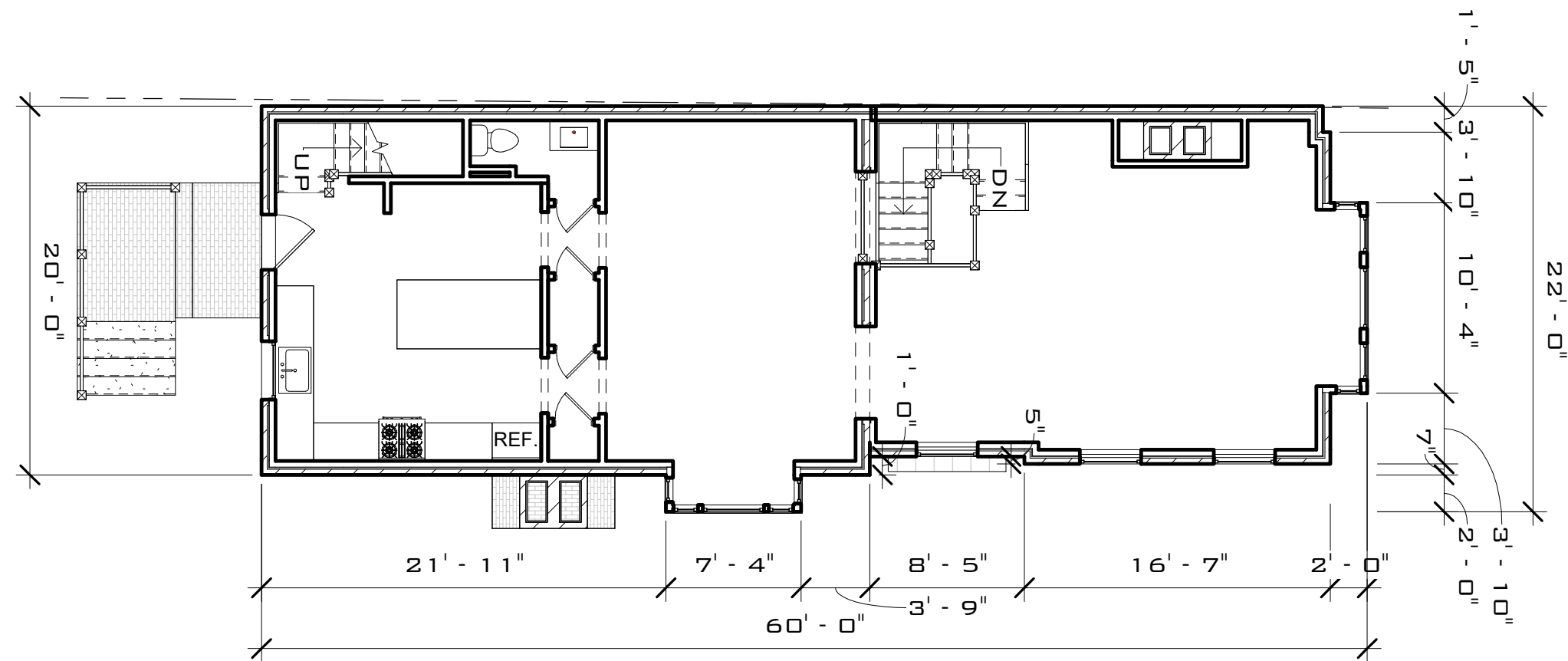
DESIGN@NOTTINGHILLDESIGNBUILD.COM

WWW.NOTTINGHILLGARDENS.COM



1/8" = 1'-0"

1 EXISTING FLOOR PLAN - 1ST FLOOR



1/8" = 1'-0"

1 EXISTING FLOOR PLAN - 2ND FLOOR

PROJECT #: 2019-09

ISSUE DATE: 02/03/20

EX1.2 - EXISTING FLOOR PLAN

SCALE: 1/8" = 1'-0"

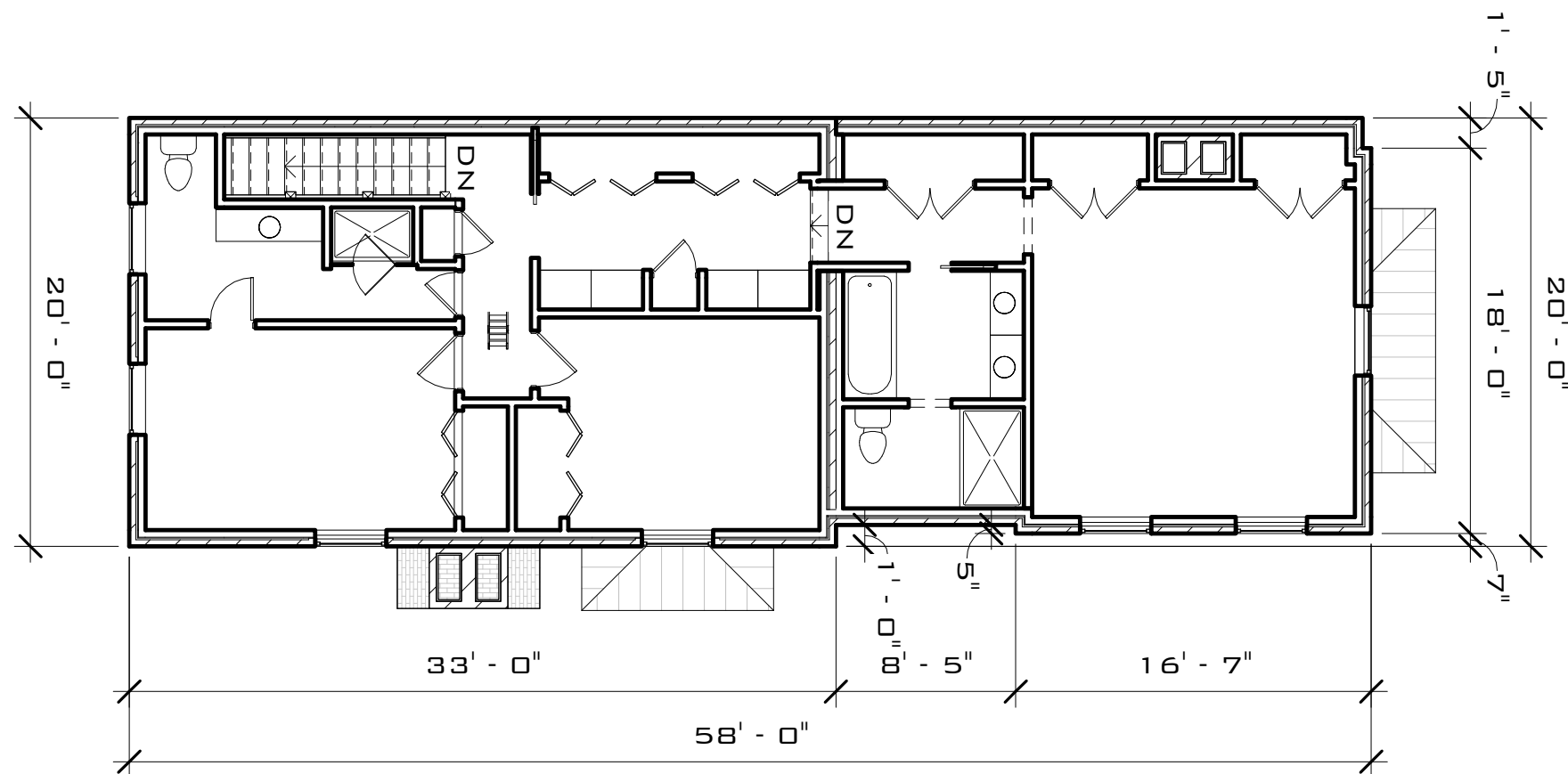
3205 COLVIN ST, ALEXANDRIA, VA 22314

703.518.0215

DESIGN@NOTTINGHILLDESIGNBUILD.COM

WWW.NOTTINGHILLGARDENS.COM





1/8" = 1'-0"

1 EXISTING FLOOR PLAN - 3RD FLOOR

PROJECT #: 2019-09

ISSUE DATE: 02/03/20

EX1.3 - EXISTING FLOOR PLAN

SCALE: 1/8" = 1'-0"

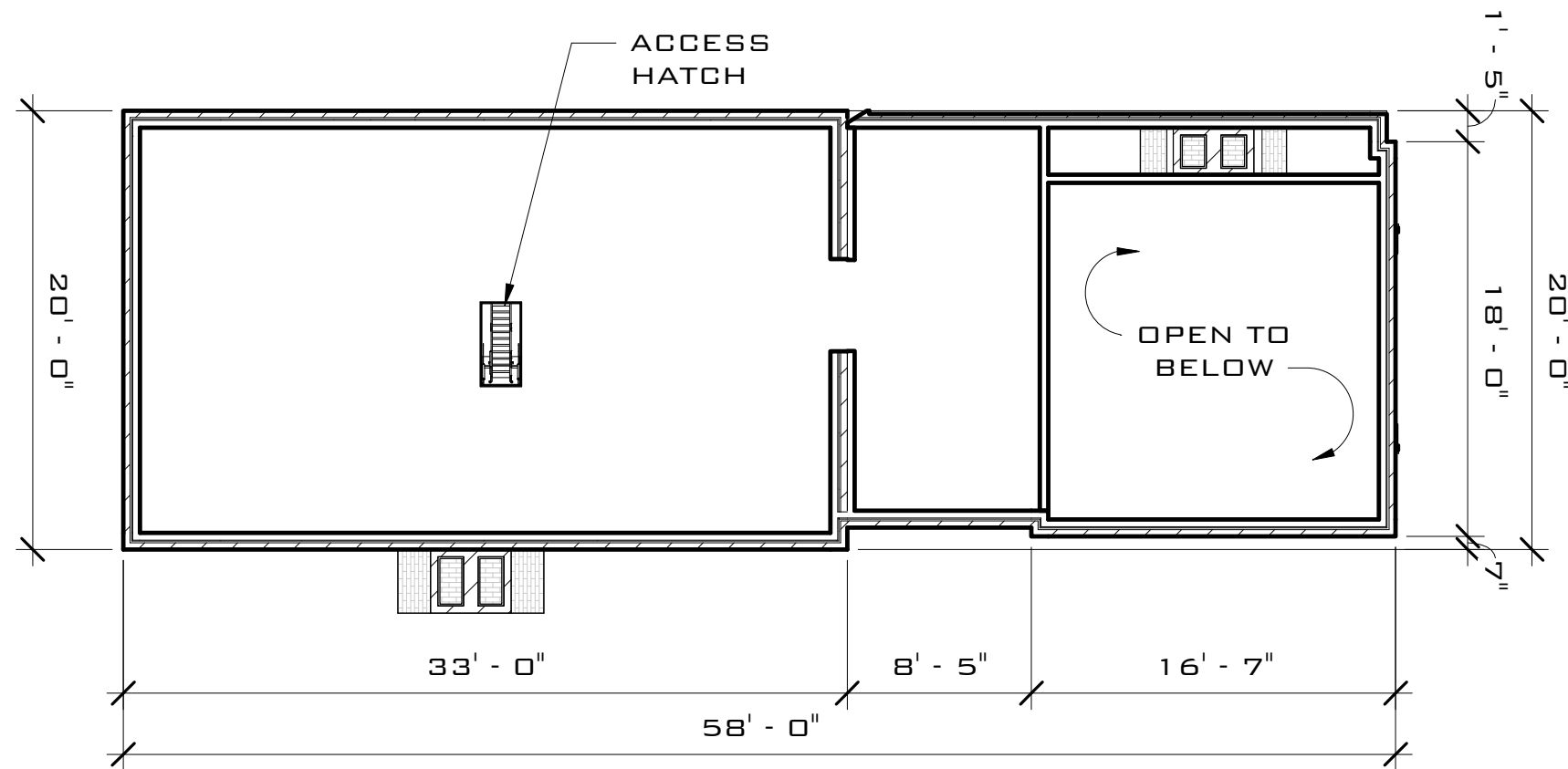
3205 COLVIN ST, ALEXANDRIA, VA 22314

703.518.0215

DESIGN@NOTTINGHILLDESIGNBUILD.COM

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1/8" = 1'-0"

1 EXISTING FLOOR PLAN - ATTIC

PROJECT #: 2019-09

ISSUE DATE: 02/03/20

EX1.4 - EXISTING FLOOR PLAN

SCALE: 1/8" = 1'-0"

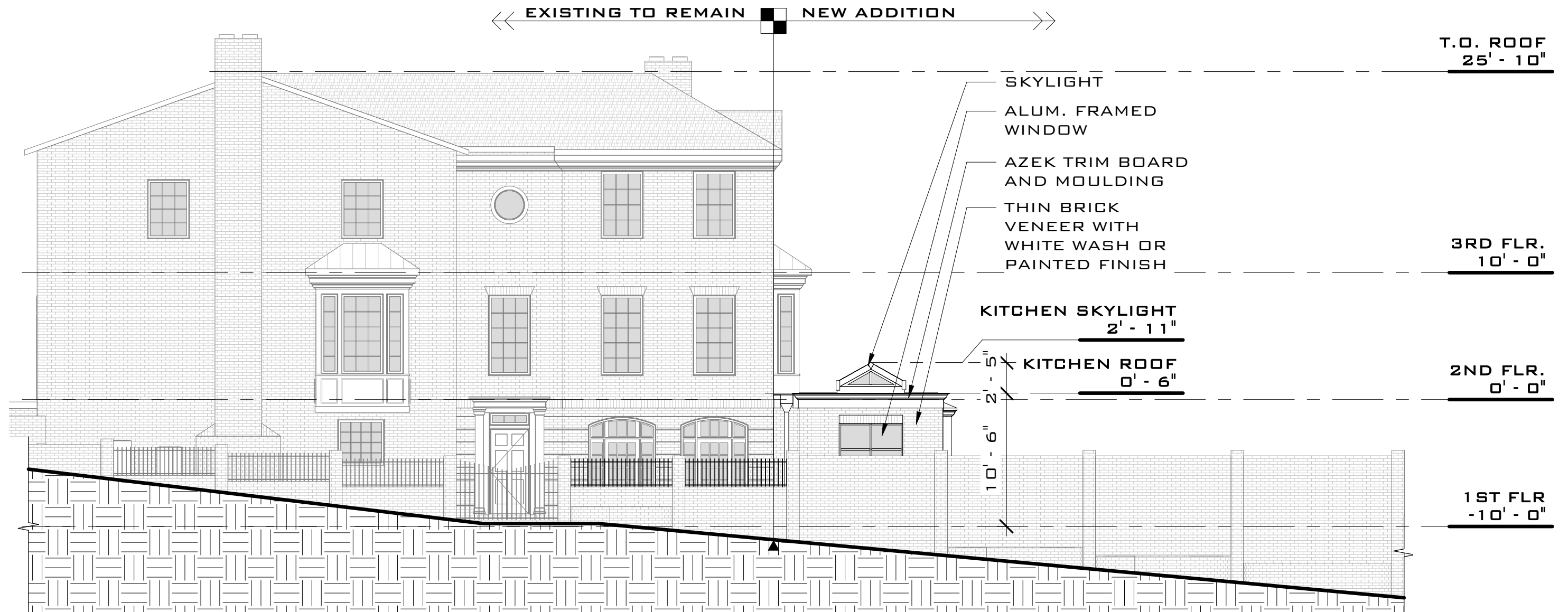
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ELEVATION NORTH 1

1/8" = 1'-0"

A3.1 - NORTH ELEVATION

SCALE: 1/8" = 1'-0"

PROJECT #: 2019-09

ISSUE DATE: 02/03/20

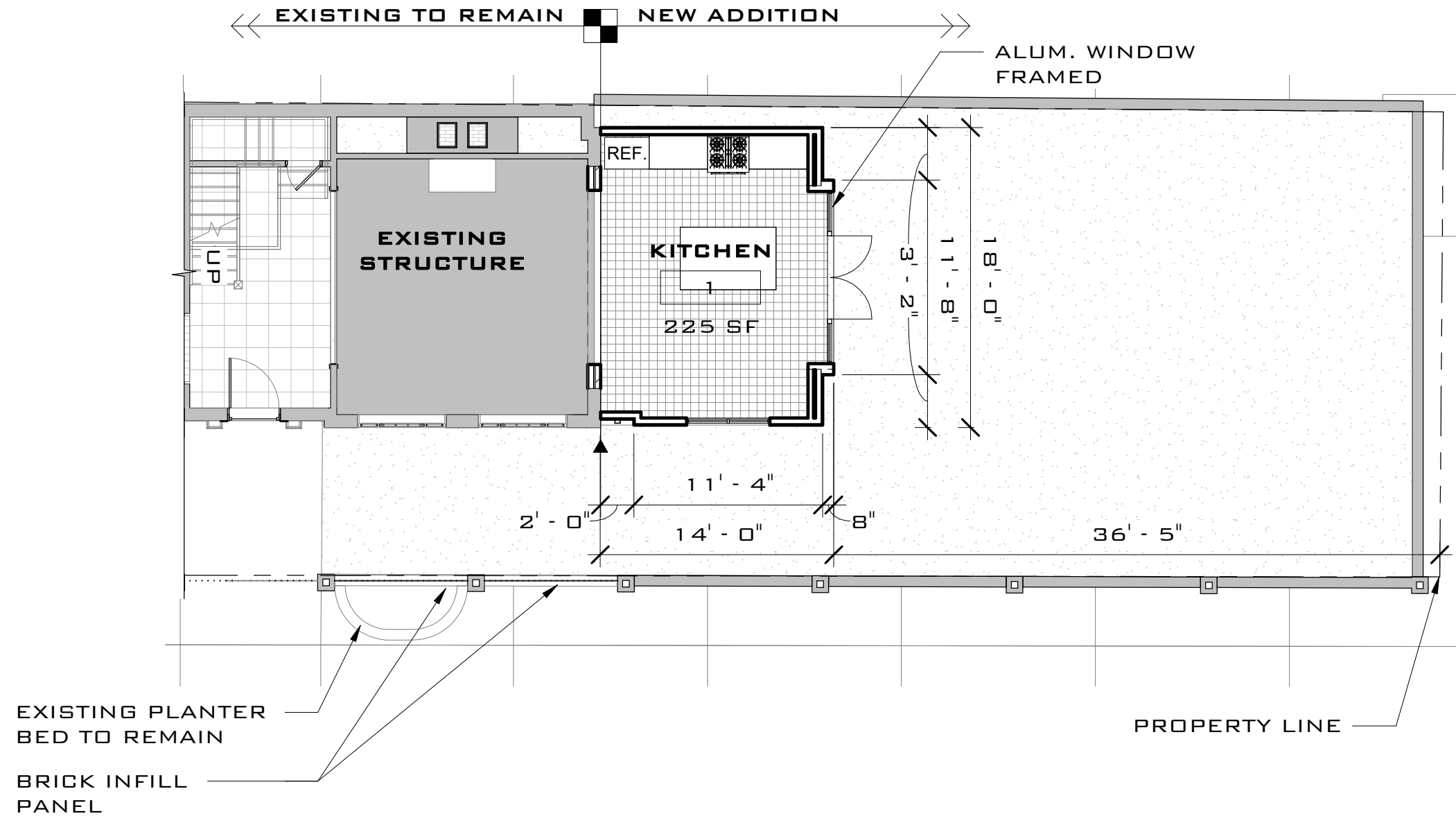
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1 FLOOR PLAN - BASEMENT

1/8" = 1'-0"

PROJECT #: 2019-09

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A2.1 - PROPOSED FLOOR PLAN

SCALE: 1/8" = 1'-0"

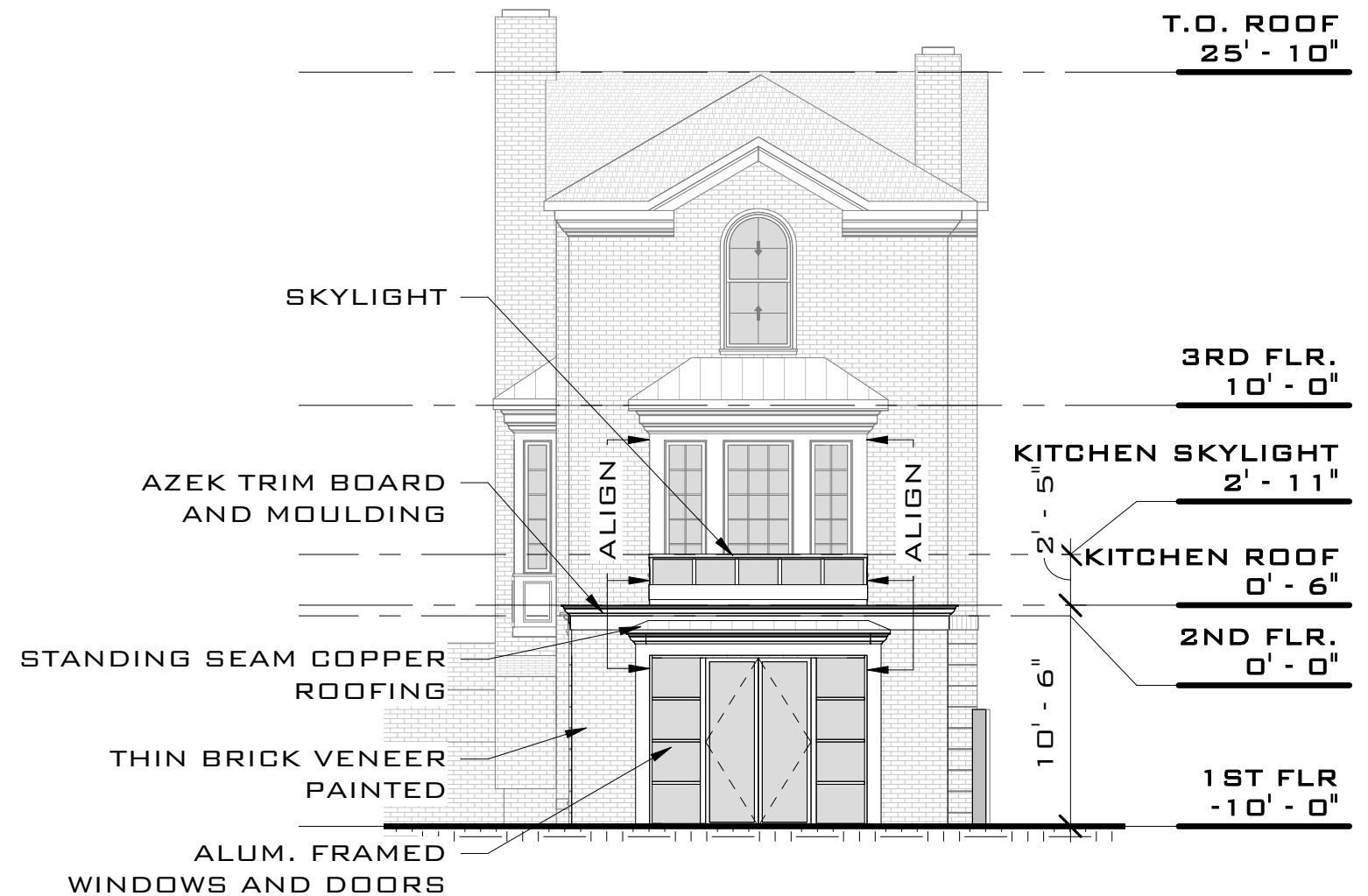
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ELEVATION WEST - KITCHEN 1

1/8" = 1'-0"

PROJECT #: 2019-09

ISSUE DATE: 02/03/20

A3.2 - ELEVATIONS

SCALE: 1/8" = 1'-0"

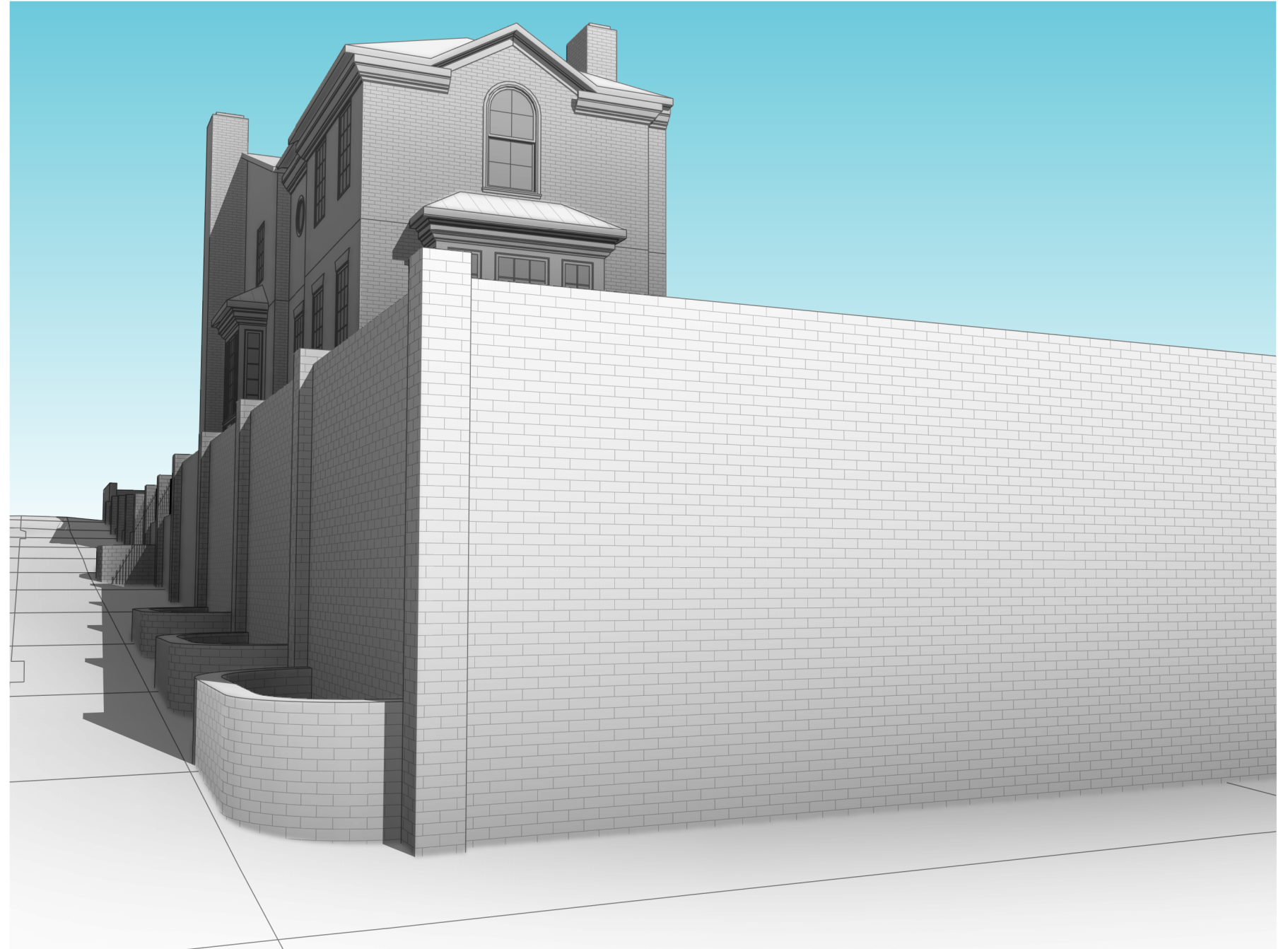
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VIEW TOWARDS FAIRFAX STREET 1

A10.1 - PERSPECTIVE VIEW

SCALE:

PROJECT #: 2019-09

ISSUE DATE: 02/03/20

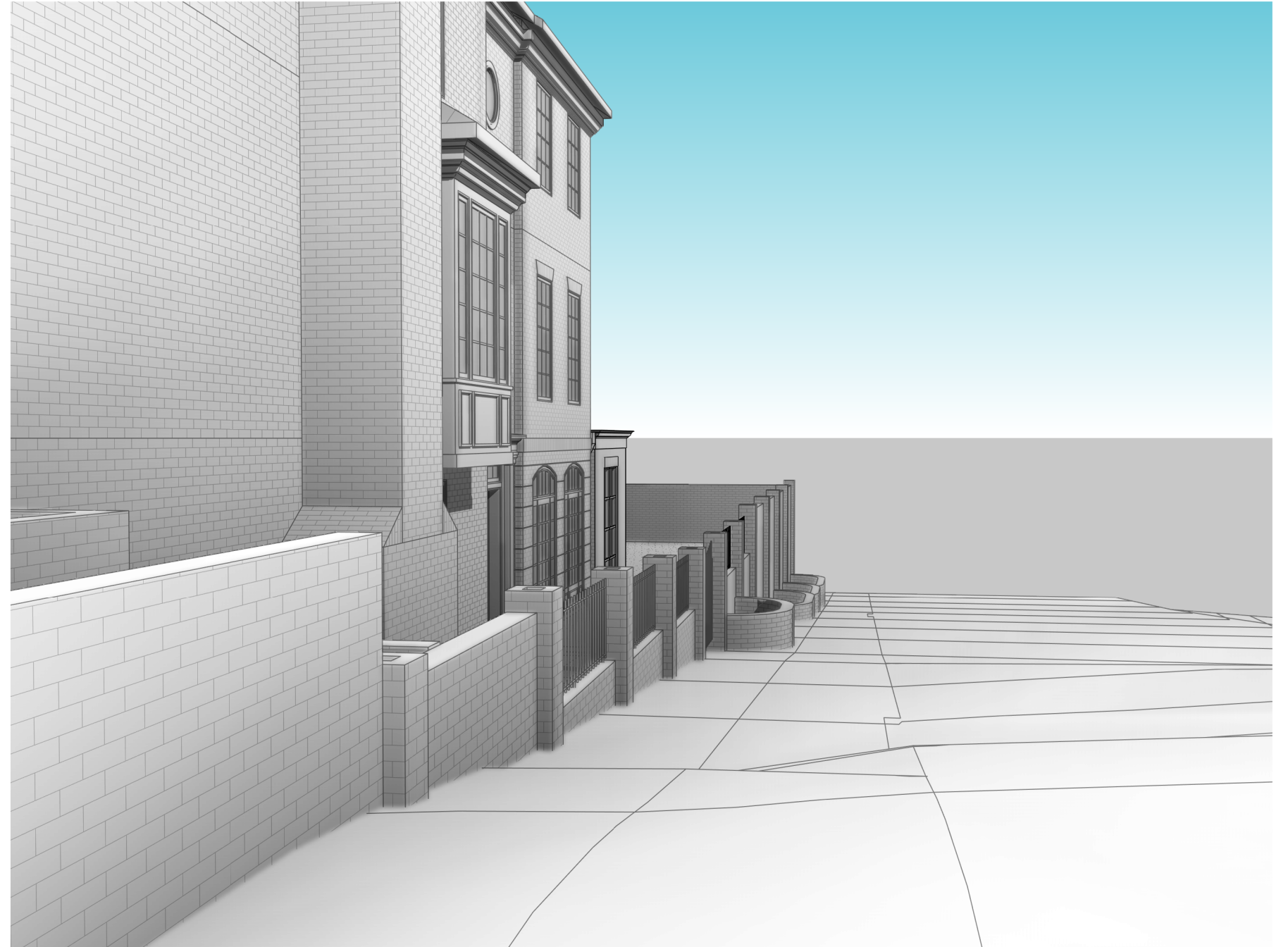
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VIEW TOWARDS ROYAL STREET 1

A10.2 - PRESPECTIVE VIEW

SCALE:

PROJECT #: 2019-09

ISSUE DATE: 02/03/20

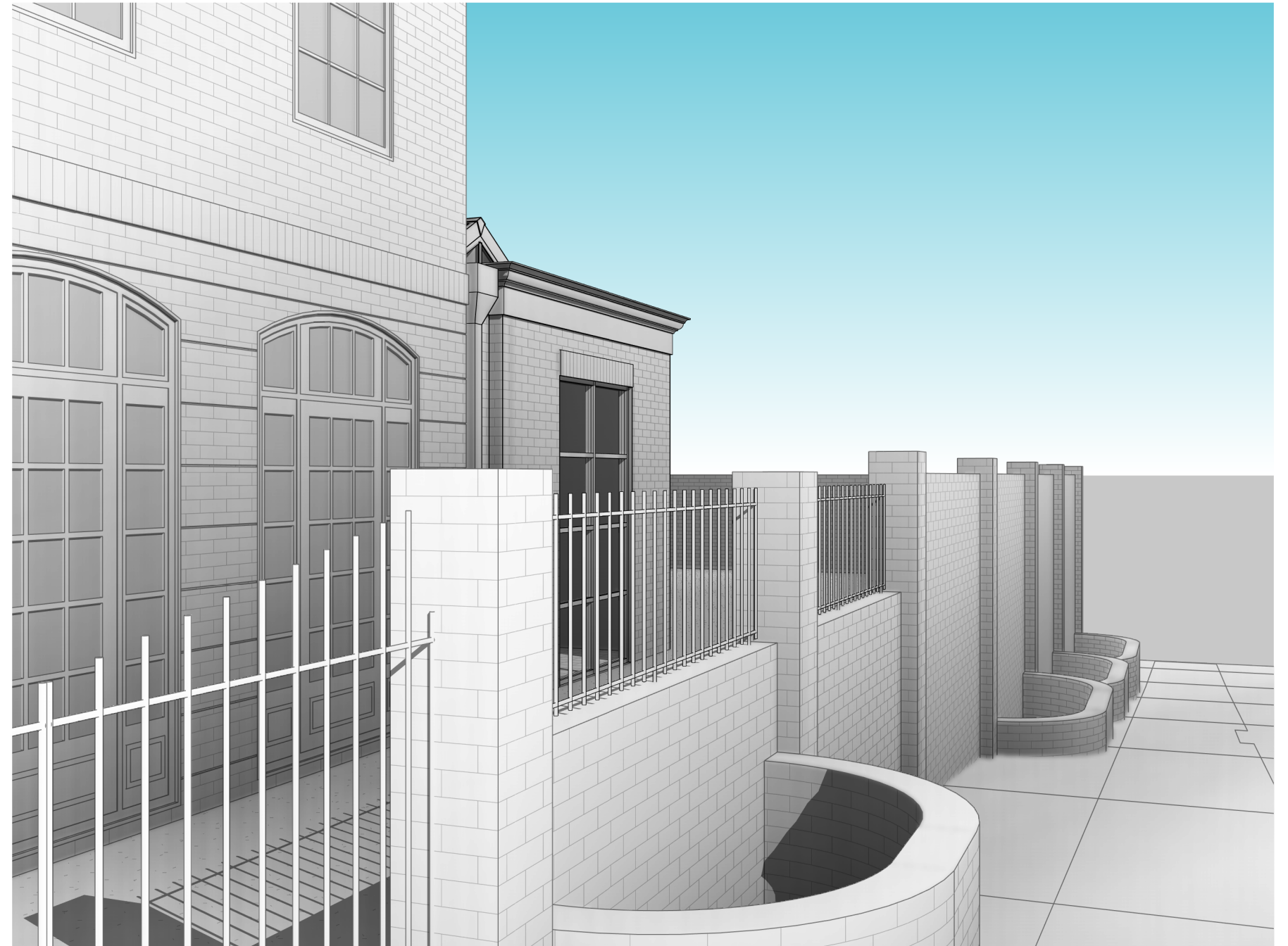
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VIEW FROM ENTRY SIDEWALK **1**

A10.3 - PERSPECTIVE VIEW

PROJECT #: 2019-09

ISSUE DATE: 02/03/20

SCALE:

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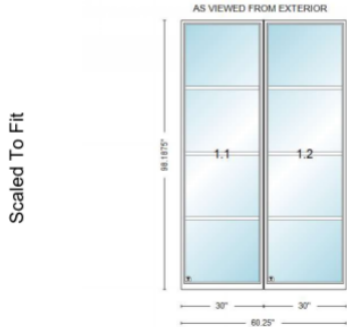
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Quote 887125D: Farrell Kitchen Shenandoah Sash & Door 1/7/2020 2:47:26 PM

Window and Door Details

Line Number	002-1	Connects Units	Unit 1.1, 1.2
Label	None Assigned	Type	Factory Mull
Number of Units in Assembly	2	Connection	Steel Stiffener
Units 1.1, 1.2: Product Name	VistaLuxe Rectangle Direct Set (VLDS)	Width	1/4" Steel - 3-1/2" Depth Steel Stiffener
Configured in PK Version	629	Interior Mull Casing	Standard (13/16")



Quantity	(1)	Units 1.1, 1.2: Performance	Standard Performance
Cubic Feet	57.96	*** Unit ***	

*** Notes ***

Manufacturer Note: Number of installation clips applied is configured for a DP20 installation design pressure. Kolbe also recommends adding an additional 1/2" to the standard rough opening.

Manufacturer Note: Steel Stiffener selected. Kolbe recommends adding an additional 1/2" to the standard rough opening.

Manufacturer Note: Steel Stiffeners require specialized attachment anchors connecting the mull to the rough opening. Anchors are shipped loose. See installation instructions which are shipped with the anchors.

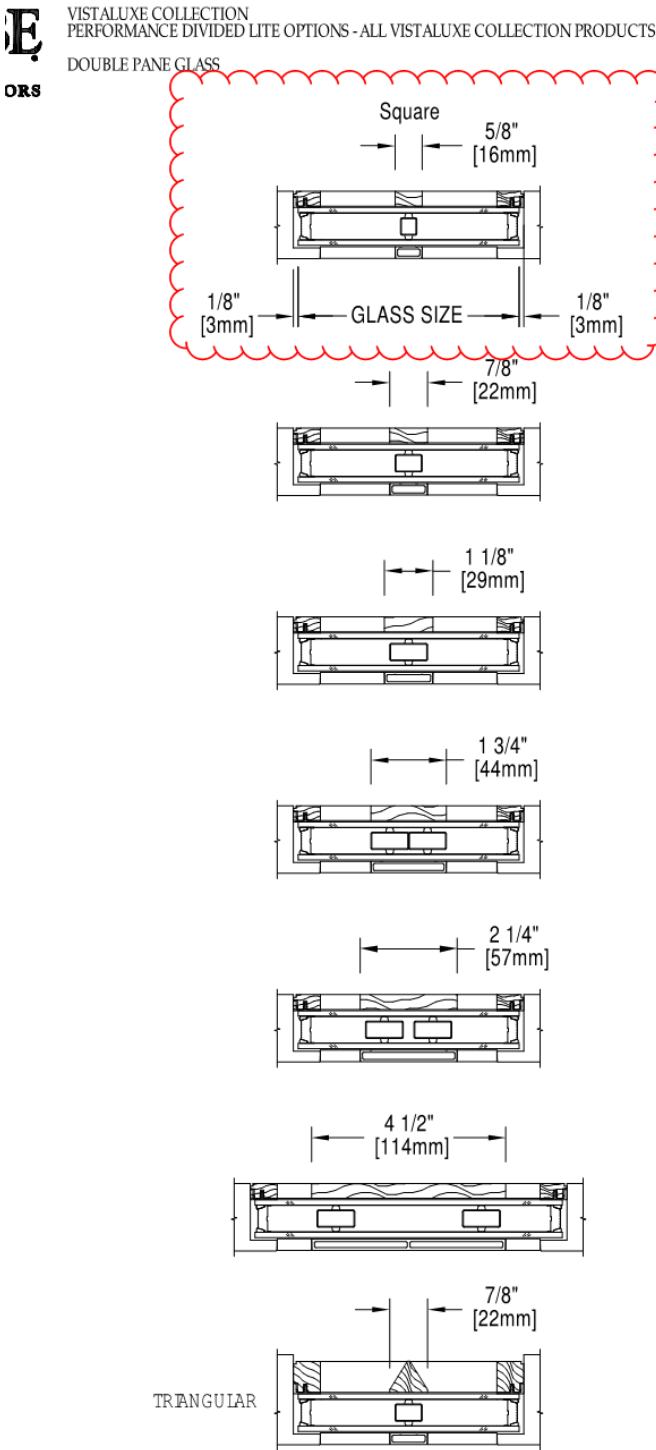
*** Overall Dimensions ***	
Overall Frame Width	60 1/4"
Overall Frame Height	98 3/16"
Overall Rough Opening Width	60 3/4"
Overall Rough Opening Height	98 11/16"
Overall Unit Dimension Width	60 1/4"
Overall Unit Dimension Height	98 3/16"
Overall Increased Rough Opening Width	61 1/4"
Overall Increased Rough Opening Height	99 3/16"
*** Dimensions ***	
Units 1.1, 1.2: Call Width	2-6
Units 1.1, 1.2: Call Height	Custom
Units 1.1, 1.2: Individual Frame Width	30"
Units 1.1, 1.2: Individual Frame Height	98 3/16"
Units 1.1, 1.2: Glass Width	28 1/32"
Units 1.1, 1.2: Glass Height	95 1/32"

*** Mull 1 ***

Printed By: Josh Fessler This report does not include Non-Kolbe Items 2020 Pricing

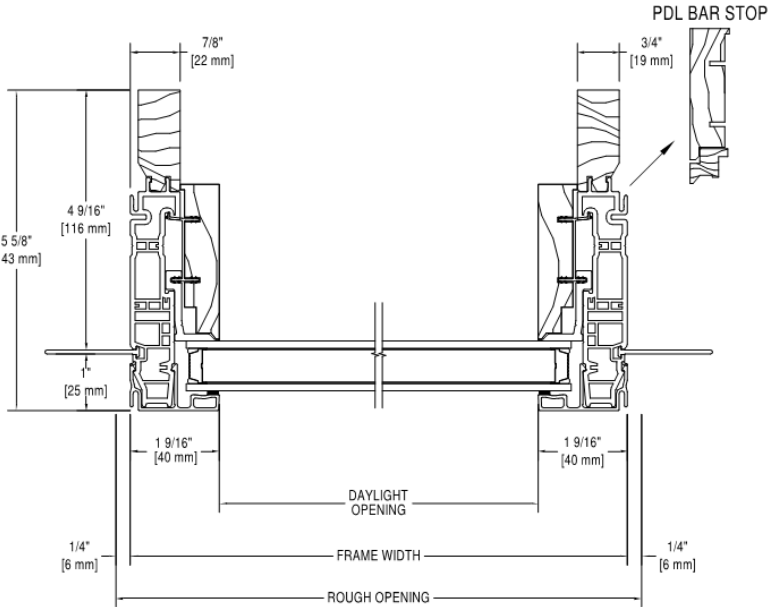
Created: 1/7/2020 Window and Door Details Page 8 of 10

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KOLBE
WINDOWS & DOORS

VISTALUXE COLLECTION - FLUSH STYLE
DIRECT SET - RECTANGLE - FLUSH STYLE
4 9/16" JAMB
DOUBLE PANE GLASS
HORIZONTAL CROSS SECTION



GENERAL NOTES:

1. ENERGY INFORMATION
- A. DOORS
- U=.32
 - SHGC=.23
- B. WINDOWS
- U=.28
 - SHGC=.31

THE WINDOW PROFILES SHOWN ON THIS SHEET WILL BE ON THE NORTH ELEVATION OF THE KITCHEN ADDITION

PROJECT #: 2019-09

ISSUE DATE: 02/03/20

M2.1 - WINDOWS AND DOORS

SCALE:


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Quote 887125D: Farrell Kitchen		Shenandoah Sash & Door		1/7/2020 2:47:26 PM					
Window and Door Details									
Line Number		001-1		Connection		Steel Stiffener			
Label		None Assigned		Width		1/4" Steel - 3-1/2" Depth Steel Stiffener			
Product Name		VistaLuxe Rectangle Direct Set (VLDS)		Interior Mull Casing		Standard (13/16")			
Configured in PK Version		629		*** Casing-Jambs-Trim ***					
Scaled To Fit		AS VIEWED FROM EXTERIOR				Door Sill		Aluminum	
						Door Sill Color		Dark Bronze Anodized	
						Floor Sill on Bottommost Window(s)		Match Aluminum, Outswing, 2 1/8"	
						Floor Sill Color		Dark Bronze Anodized	
						Exterior Casing/Accessories		No Casing	
						Nailing Fin		Yes	
		Jamb Depth		6 9/16"					
		Jambs Exact		No					
		Jambs Applied		No					
		Installation Clips		10 1/16" Clips					
Show Mull Info on Drawing		No							
Modify Interior Mull Casing		No							
Kolbe Installation Assist		No							
		*** Performance ***							
Performance				*** Unit ***		Standard Performance			
Unit Type						Complete Unit			
Model						VistaLuxe			
Production						Current			
Frame Style						Flush			
Stop Profile						Square (2 Piece)			
		*** Glass ***							
		Glass Thickness				Double Glazed			
		Glass				Solar Low-E			
		Glass Spacer				Black			
		High Altitude				No			
		Glass Preserve / Neat Coating				Glass Preserve without Neat Coating			
		Glass Type				Clear			
		Obscure / Opaque Glass				None			
						Tempered			
		*** Lite Divisions ***							
		Lite Division				Performance Divided Lites			
		Bar Profile - Interior				Square (S4S)			
		Bar Size				1 1/8"			
		Internal Spacers				Black			
		Second Bar Size				None			
		Grid Pattern				Colonial			
		Colonial Divison				1W4H			
		Custom Specify Type				Daylight Opening			
		*** Species-Finish-Color ***							
		Change Species				Leave All Pine			
		Exterior Frame Finish				70% Fluoropolymer			
		Exterior Divided Lite Bar Finish				70% Fluoropolymer			
		Exterior Frame Color				Coal Black			
		*** Mull 1 ***							
Connects Units		Unit 1A.1, 1B.2							
Type		Field Mull							
Printed By: Josh Fessler		This report does not include Non-Kolbe Items				2020 Pricing			
Created: 1/7/2020						Window and Door Details Page 2 of 10			
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Quote 887125D: Farrell Kitchen

Shenandoah Sash & Door

1/7/2020 2:47:26 PM

Window and Door Details

Line Number	001-8	Right Slab - Slab Height	96"
Label	None Assigned	Glass Width	24 7/8"
Product Name	VistaLuxe Rectangle Exterior Swinging Door (VLX5080)	Glass Height	89"
Configured in PK Version	629	*** Mull 1 ***	
Connects Units		Unit 1A.1, 1B.2	
Type		Field Mull	
Connection		Steel Stiffener	
Width		1/4" Steel - 3-1/2" Depth Steel Stiffener	
Interior Mull Casing		Standard (13/16")	
Connects Units		Unit 1B.2, 1C.3	
Type		Field Mull	
Connection		Steel Stiffener	
Width		1/4" Steel - 3-1/2" Depth Steel Stiffener	
Interior Mull Casing		Standard (13/16")	
Door Sill		Aluminum	
Door Sill Color		Dark Bronze Anodized	
Floor Sill on Bottommost Window(s)		Match Aluminum, Outswing, 2 1/8"	
Floor Sill Color		Dark Bronze Anodized	
Exterior Casing/Accessories		No Casing	
Nailing Fin		Yes	
Jamb Depth		6 9/16"	
Jambs Exact		No	
Jambs Applied		No	
Installation Clips		10 1/16" Clips	
Show Mull Info on Drawing		No	
Modify Interior Mull Casing		No	
Kolbe Installation Assist		No	
*** Performance ***		Standard Performance	
Performance		*** Unit ***	
Unit Type		Complete Unit	
Model		VistaLuxe	
Production		Current	
Operation		Outswing	
Hinging (As Door Pulls Towards You)		Active - Active : Primary Left	
Frame Style		Flush	
Sash Material		Extruded	
Panel Style		Full Lite	
Panel Thickness		2 1/8"	
Frame Thickness		2 1/8"	
Glass Thickness		Double Glazed	
Glass		Solar Low-E	
Glass Spacer		Black	
High Altitude		No	
Glass Preserve / Neat Coating		Glass Preserve without Neat Coating	

Quantity

Cubic Feet

Unit Price

Extended Price

*** Notes ***

Manufacturer Note: Number of installation clips applied is configured for a DP20 installation design pressure. Kolbe also recommends adding an additional 1/2" to the standard rough opening.

Manufacturer Note: Steel Stiffener selected. Kolbe recommends adding an additional 1/2" to the standard rough opening.

Manufacturer Note: Steel Stiffeners require specialized attachment anchors connecting the mull to the rough opening. Anchors are shipped loose. See installation instructions which are shipped with the anchors.

*** Overall Dimensions ***

Overall Frame Width

Overall Frame Height

Overall Rough Opening Width

Overall Rough Opening Height

Overall Unit Dimension Width

Overall Unit Dimension Height

Overall Increased Rough Opening Width

Overall Increased Rough Opening Height

*** Dimensions ***

Call Width

Call Height

Individual Frame Width

Individual Frame Height

Modify Panel Widths

Left Slab - Slab Width

Left Slab - Slab Height

Right Slab - Slab Width

AS VIEWED FROM EXTERIOR

98 11/16"

62 25/32"

P1

P2

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Created: 1/7/2020

This report does not include Non-Kolbe Items

2020 Pricing

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Window and Door Details Page 4 of 10