

**ISSUE:** Certificate of Appropriateness for alterations

**APPLICANT:** Blackwall Hitch Alexandria, LLC

**LOCATION:** Old and Historic Alexandria District  
5 Cameron Street

**ZONE:** CD/Commercial Downtown Zone

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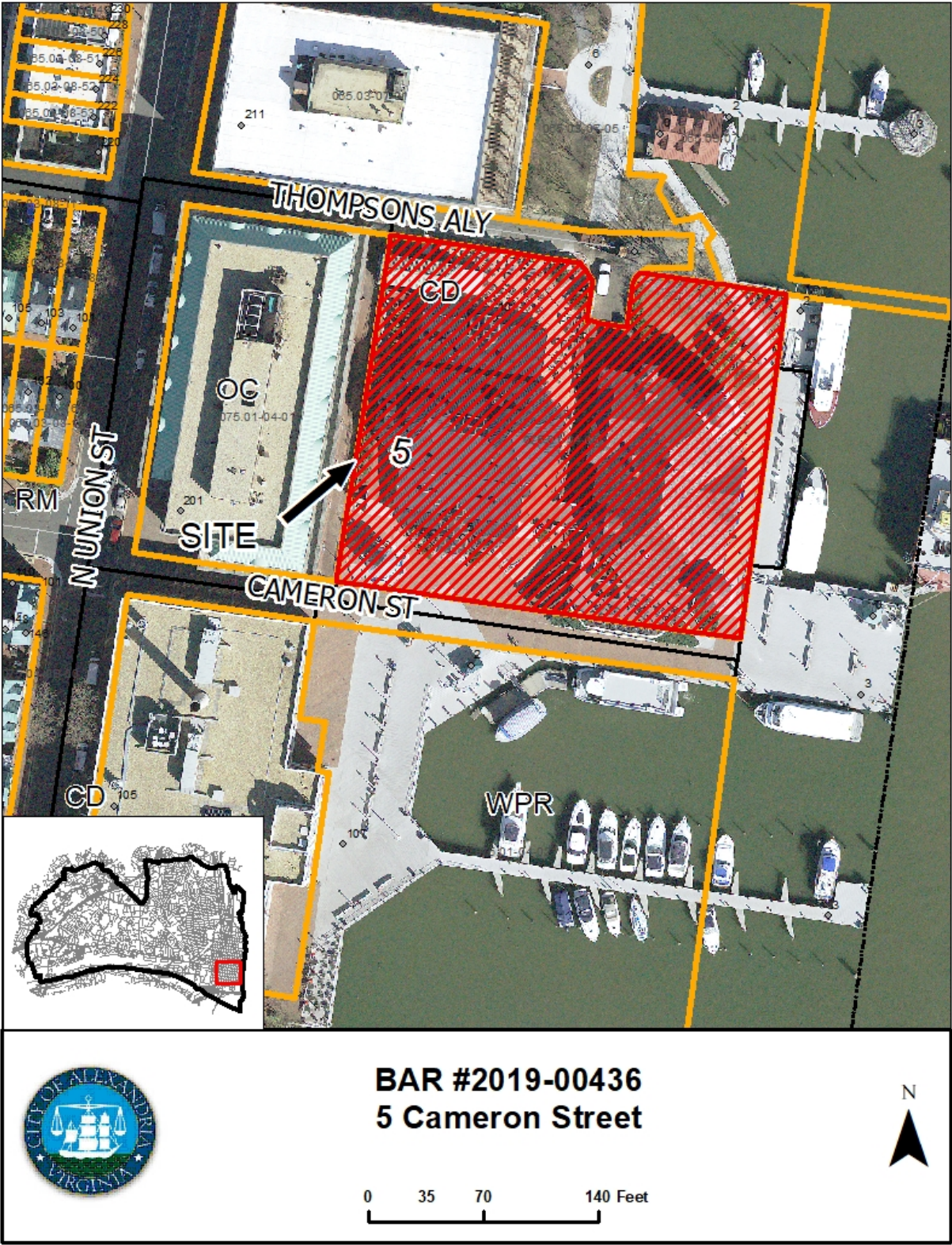
**STAFF RECOMMENDATION**

Staff recommends approval of the Certificate of Appropriateness for alterations and a waiver of rooftop mechanical screening at the existing kitchen exhaust vents (only) with the following conditions:

1. Paint the mechanical equipment screening to match the color of the roof.
2. Work with staff on the final design of the guardrail.

**GENERAL NOTES TO THE APPLICANT**

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



## **I. APPLICANT'S PROPOSAL**

Because the heat inside the restaurant made the space uninhabitable, staff approved an emergency mechanical permit (MEC2019-01017 and BLDC2019-02869) on October 2019 to allow for the submission and review of a building permit to relocate four (4) existing condensing units from an interior mechanical room to the roof with the condition that “the owner apply for after-the-fact approval of a Certificate of Appropriateness for this equipment and any necessary screening prior to approval of the mechanical permit.”

The applicant now requests a Certificate of Appropriateness to approve the after-the-fact emergency rooftop repairs and modification of the rooftop HVAC mechanical equipment and for the screening of such, at 5 Cameron Street.

### **Certificate of Appropriateness**

- After-the-fact installation of four heat pump condensers, approximately 310 lbs. each, on the low shed roof on the north side of the building. The pumps will sit on a steel frame and platform.
- Install a 5'-2" tall louver screen to match the exiting louvers on the west side of the building (Figure 1). The screen will be made of galvanized aluminum and will cover the north side (17'-3" long) and the east and west sides (9'-4" long each).
- Remove the existing guardrail to install the steel structure and screening (Figure 2)



**Figure 1- existing louver screen on the west elevation**



Figure 2 – Guardrail to be revised at existing kitchen exhaust vents

#### Site context

The subject property is highly visible from every angle and is located within the City's waterfront area, adjacent to the Founders Park to the north and Waterfront Park to the south, the location has high pedestrian traffic and the City Marina is a touristic attraction (Figure 3).



Figure 3 – aerial view of the property from the south

## II. HISTORY

The original metal and glass building at 5 Cameron Street was known as “The Food Pavilion” (Figure 4) which was approved by the BAR in **1987** (BAR87-62; 9/2/87) as part of the City’s modest festival marketplace style redevelopment of the waterfront around the Torpedo Factory Art Center. Located between the end of Cameron Street and Thompson Alley, the building is a prominent feature along the waterfront. It is one of five buildings that comprise the Torpedo Factory and City Marina Plaza complex which includes the Torpedo Factory Office Building to the west; the City Marina to the south; Thompson’s Alley to the north; and the Chart House Restaurant and Potomac River to the east. The building sits above a grade level parking garage.

The Food Pavilion was originally constructed to house nine internal vendor areas and open seating for 200 patrons. For several years, The Food Pavilion struggled to maintain vendors and closed its doors in December 2011. In 2014 the “Blackwall Hitch” restaurant renovated the building and continues its operation today.



Figure 4- former Food Pavilion use of this building

### *Previous BAR Approvals*

The building has been having issues in keeping its interior air conditioned and has been before the Board several times for this matter since its construction in 1987. The Board approved major renovations in 2014 (BAR#2014-00035 & 00036) when the present tenant moved in.

## III. ANALYSIS

### Certificate of Appropriateness

The *Design Guidelines* states that “HVAC equipment is an important contemporary functional element of a structure. At the same time, such equipment can have an important effect on the overall visual composition of a historic building and, if not appropriately located, may be a visual disruption of the skyline and a unified building design. To the extent possible, HVAC equipment should be hidden from view.”

The zoning ordinance requires rooftop mechanical equipment throughout the City to be screened, however, the BAR has authority to waive that screening by section 6-403(B)(2) when such screening is believed to have more negative visual impact than the equipment *per se*.

Even though the location of the condensers is in the northwest portion of the roof, which is the least publicly visible portion of the building, staff believes that the screening of the new heat pump condensers is necessary in this case, since the building is located in a very prominent tourist area and the equipment would visually detract from the overall form of the building and interfere visually with the overall settings of the waterfront area (Figure 5). To screen the rooftop equipment, staff recommends matching the existing louvres on the building's west side and that the louvers be painted to match the color of the roof.

Staff originally recommended that the applicant extend the screen to include the two existing kitchen exhaust roof vents. The vents were installed as part of the recent restaurant renovation and should have been screened at that time but were not shown on the drawings the BAR reviewed. However, staff was convinced in the field that the screen would have to be almost twice as large as currently proposed in order to include the two kitchen exhaust vents and now supports the applicants request to waive the screening of those two vents in order to minimize the overall mass of the screening.

Finally, the existing guardrail required by the building code (Figure 2) will have to be removed and modified in order to install the new screen, and this modified railing is not shown on the application drawings. The railing will be reduced in length and should intersect with the frame of the screening. Staff recommends that the applicant work with staff in the field to ensure that the railing is as simple as possible and that it is painted to match the screening.

With the conditions above, staff recommends approval of the project.



**Figure 5 – Kitchen exhaust vents adjacent to proposed heat pump condenser screening viewed from the north**

**STAFF**

Marina Novaes, Historic Preservation Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

**IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

**Zoning**

F-1 All mechanical equipment must be screened, or the screening requirements can be waived by the BAR per section 6-403(B)(2) of the zoning ordinance.

**Code Administration**

C-1 A building permit and Plan review are required prior to the start of construction.

**Transportation and Environmental Services**

F-1 Comply with all requirements of SIT81-0025. (T&ES)

C-1 The Final Site Plan must be approved and released, and a copy of that plan must be attached to the demolition permit application. No demolition permit will be issued in advance of the building permit unless the final site plan includes a demolition plan which clearly represents the demolished condition. (T&ES)

**Alexandria Archaeology**

F-1 No archaeological oversight is necessary for this project.

**V. ATTACHMENTS**

*1 – Supplemental Materials*

*2 – Application for BAR 2019-00436: 5 Cameron Street*

BAR Case # \_\_\_\_\_

5 Cameron Street

ADDRESS OF PROJECT: \_\_\_\_\_

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

Part of 75.01 04 06

CD

TAX MAP AND PARCEL: \_\_\_\_\_ ZONING: \_\_\_\_\_

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS

☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☒ Business (Please provide business name & contact person)

Name: Blackwall Hitch Alexandria, LLC, a Virginia limited liability company.

Address: C/o Mid States Management 2126 Espey Court #D

City: Crofton State: MD Zip: 21114

Phone: 443 926 6792 E-mail: abertrand@raymgmt.com

Authorized Agent (if applicable): ☒ Attorney ☐ Architect ☐ \_\_\_\_\_

Name: Duncan W. Blair, Attorney

Phone: 703 836 1000

E-mail: dblair@landcarroll.com

E-mail: \_\_\_\_\_

Legal Property Owner:

Name: City of Alexandria

Address: \_\_\_\_\_

City Hall 301 King Street

City: Alexandria State: VA. Zip: 22314

Phone: 703 746 3750 E-mail: joannaanderson@alexandriava.gov

- ☐ Yes ☒ No Is there an historic preservation easement on this property?  
☐ Yes ☒ No If yes, has the easement holder agreed to the proposed alterations?  
☐ Yes ☒ No Is there a homeowner's association for this property?  
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☒ **NEW CONSTRUCTION**  
☐ **EXTERIOR ALTERATION:** *Please check all that apply.*  

☐ awning  
☐ doors  
☐ lighting  
☐ other \_\_\_\_\_

☐ fence, gate or garden wall  
☐ windows  
☐ pergola/trellis

☒ HVAC equipment  
☐ siding  
☐ painting unpainted masonry

☐ shutters  
☐ shed
- ☐ **ADDITION**  
☐ **DEMOLITION/ENCAPSULATION**  
☐ **SIGNAGE**

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

The Applicant, Blackwall Hitch Alexandria, LLC, a Virginia limited liability Company the tenant of the Waterfront Food Pavilion located at 5 Cameron Street is requesting approval of a Certificate of Approval for after the fact emergency repairs and modification of the roof top HVAC mechanical equipment and screening. The emergency repairs were made with the consent and approval of the Historic Preservation Staff subject to filing an application for the after the fact modifications.

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- ☐ **N/A**

☐ Survey plat showing the extent of the proposed demolition/encapsulation.

☐

Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.

☐

Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.

☐

Description of the reason for demolition/encapsulation.

☐

Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☒ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ N/A Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_
- ☐ ☐ Square feet of existing signs to remain: \_\_\_\_\_
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** *Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature: \_\_\_\_\_

Duncan W. Blair, Attorney

Printed Name: \_\_\_\_\_

Date: 10/9/19 \_\_\_\_\_

# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. See attached		100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at \_\_\_\_\_ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1.		
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

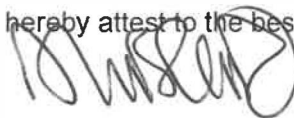
Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. See Attached	None	
2.		
3.		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

10 9 19

Duncan W. Blair



Date

Printed Name

Signature

## Ownership and Disclosure Statement

Blackwall Hitch Alexandria, LLC, a Virginia limited liability company

GTLR, LLC	45.25%
540 Ritchie Hwy. #101	
Severna Park, MD 21146	

SCHUH Advisory, LLC	14.93%
1716 Jorrick Rd. Box 48	
Gibson Island, MD 21056	

Larry LeDoyen	7.47%
316 Presway Rd.	
Timonium, MD 21093	

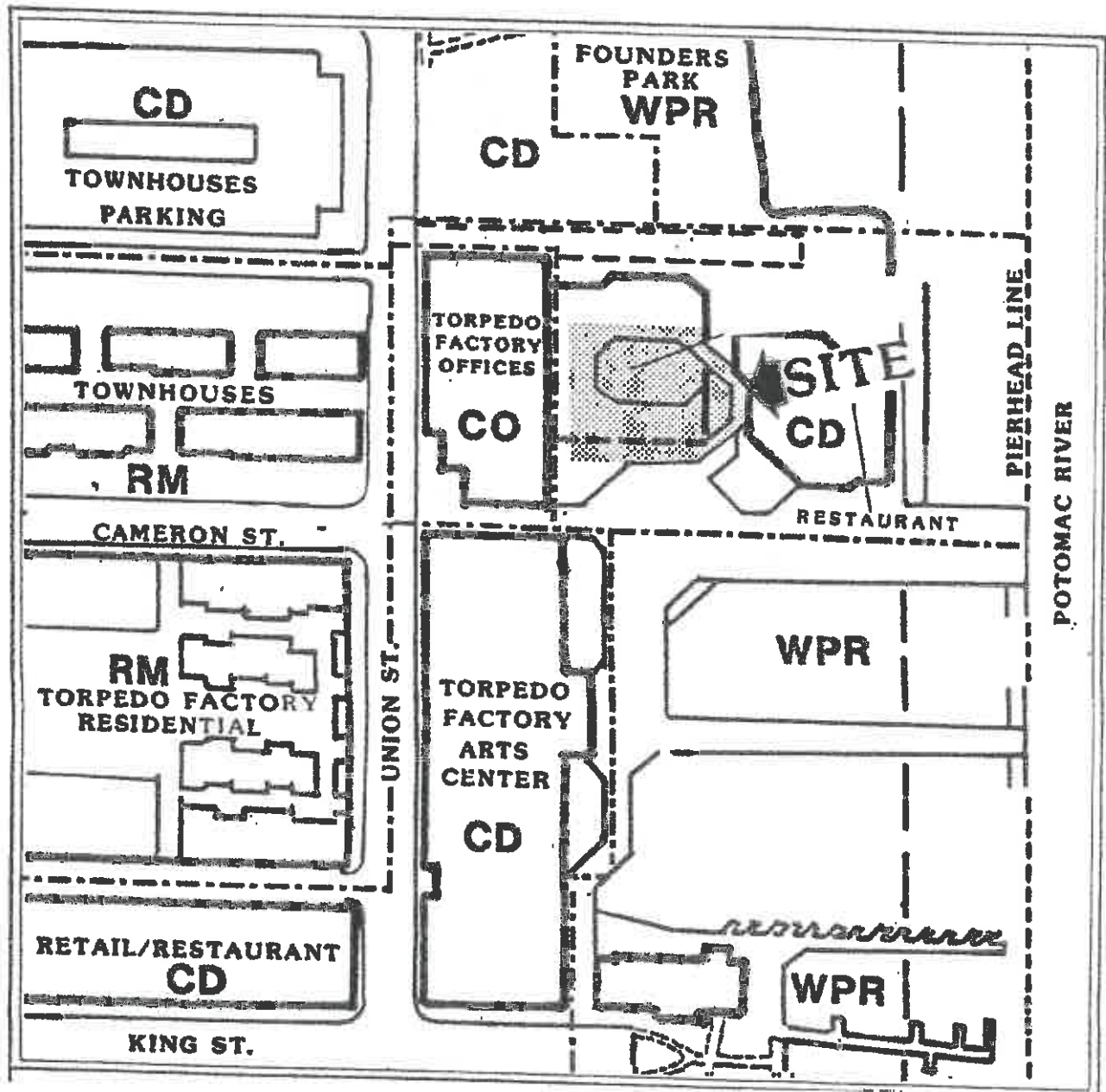
CBGC, Inc.	7.47%
2349 Patuxent River Rd.	
Gambrills, MD 21054	

James J. King	9.96%
2349 Patuxent River Rd.	
Gambrills, MD 21054	

BDE Holdings, LLC	5.48%
8937 Sahalee Ct.	
Pasadena, MD 21122	

Derek J. Fink	6.97%
8937 Sahalee Ct.	
Pasadena, MD 21122	





# Renovation to Blackwall Hitch Alexandria

## 5 Cameron Street Alexandria Virginia 22314

**arch**

Harrell+Company Architects  
11351 Random Hills Road Suite 210  
Fairfax Virginia 22030  
tel 703.352.4141  
fax 703.352.4142

Project

Renovations to  
Blackwall Hitch Alexandria

5 Cameron Street  
Alexandria, VA 22314

Building Manager

Ray Management LLC

540 Ritchie Highway  
Severna Park Maryland 21146

Structural Engineers

Tadger-Cohen-Edelson Associates Inc

1501 Farm Credit Drive  
Suite 2300  
McLean Virginia 22102

Consulting Engineers

Gipe Associates Inc

1220 East Joppa Road  
Suite 223  
Towson Maryland 21286

Seal

Drawing Title:

Cover Sheet

North

Scale As Noted

No.	Date	Description
1	10/08/19	Permit
2	11/12/19	Owner Rev

Project  
1346

Sheet

# A1.0

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## ABBREVIATIONS

AFF ABOVE FINISHED FLOOR	L LENGTH	EA EACH	QTY QUANTITY
AC T ACACOUSTICAL TILE	LBL LABEL	ELC ELECTRIC WATER COOLER	QT QUANTITY TILE
ADD ADDENDUM	LAM LAMINATE	BL ELEVATOR	RAD RADIUS
ADJ ADJUSTABLE	LAV LAVATORY	ELEV ELEVATOR	REF REFER, REFERENCE
A/C AIR CONDITIONING	LH LEFT HAND	ELEC ELECTRICAL	RENF REINFORCED
ALT ALTERNATE	LF LEFT LINEAR FEET	ENCL ENCLOSURE	REQD REQUIRED
ALUM ALUMINUM	LG LONG	EQUI EQUIPMENT	RA RETURN AIR
AND AND	LK LOWER	ESCA ESCALATOR	REV REVERSE, REVISION
APPROX APPROXIMATE	LP LOW POINT	EXH EXHAUST	RM ROOM
ARCH ARCHITECT	MFR MANUFACTURER	EXST EXISTING	RO ROUGH OPENING
ASSY ASSEMBLY	MAP MAP	EXPB EXPANSION BOLT	RUB RUBBER
AUTO AUTOMATIC	MAX MAX	EJ EXPANSION JOINT	RS RESILIENT BASE
AVE AVERAGE	MCH MECHANICAL	EXT EXTERIOR	RT RESILIENT TILE
BM BEAM	MET METAL	FAB FABRIC	SCHED SCHEDULE
BET BETWEEN	MEZZ MEZZANINE	FABM FABRIC PANEL	SECT SECTION
BLKG BLOCKING	ML WK MISCELLANEOUS	FIN FINISH	SS SERVICE SINK
BO BOARD	MOLD MOLDING	F/F F/ F/	SHAW SHAW
BLDG BUILDING	MULL MULLION	FA F/ F/	SC SOLID CORE
BOT BOTTOM	MIN MINIMUM	F.F. FIRE ALARM	SPED SPECIFICATION
BSMT BASEMENT	MIR MIRROR	F.E. FIRE EXTINGUISHER	SS STAINLESS STEEL
BRZ BRONZE	NOM NOMINAL	FEC FIRE EXTINGUISHER CABINET	STD STANDARD
BULL BULLETIN	NTS NOT TO SCALE	FHC FIRE HOSE CABINET	STRUCT STRUCTURAL
CAB CABINET	NO NUMBER	FD FLOOR DRAIN	SUSP SUSPENDED
CPT CARPET	OC ON-CENTER	FLR FLOOR	TK BO TACKBOARD
CLD CEILING	OPP OPPOSITE	FL MID FLOOR MOUNTED	TEL TELEPHONE
CEN CENTER	OPR OPPOSITE HAND	FT FOOT	THK THICK
CT CENTERLINE	OD OUTSIDE DIAMETER	FNC FABRIC WALL COVERING	THRES THRESHOLD
CNT CERAMIC TILE	OH OVERHEAD	GALV GALVANIZED	TREAD TREAD
CNT CERAMIC MOSAIC TILE	PNT PAINT	GA GAUGE	TYP TYPICAL
CLD CLEAR	PR PAINTED	GLB GLASS BLOCK	UC UNDERCUT
CLO CLOSET	PRD PAIR	GLS GLASS	UL UNDERWRITERS
CONT CONTINUOUS	PRL PANEL	GYSB GYPSUM BOARD	LAB LABORATORIES, INC.
DEP DERESSED	PRT PARTITION	GRN GRANITE	LR UNLESS OTHERWISE NOTED
DET DETAIL	PLAS PLASTER	GRN GRANITE	UPHOL UPHOLSTERED
DIAG DIAGONAL	PLAS LAM PLASTIC LAMINATE	GRN GRANITE	VAR. VARIES
DA DIAMETER	PLYWD PLYWOOD	GRN GRANITE	VERT VERTICAL
DIF DIFFUSER	POL POLYURETHANE TREATED	GRN GRANITE	VCT VINYL WALL COVERING
DM DIMENSION	POL POLYURETHANE TREATED	GRN GRANITE	VCT VINYL COMPOSITION TILE
DIV DIVIDER, DIVISION	PRJ PROJECT	GRN GRANITE	WTO WALL TO WALL
DN DOWN	PREFAB PREFABRICATED	GRN GRANITE	WTO WATER CLOSET
DR DOOR		GRN GRANITE	WD WOOD
DWG DRAWING		GRN GRANITE	WUB WOOD BASE
DF DRINKING FOUNTAIN		GRN GRANITE	YD YARD
DBL DOUBLE		GRN GRANITE	
DA DOUBLE ACTING		GRN GRANITE	
KIT KITCHEN		GRN GRANITE	

## SYMBOLS

	CONCRETE		STEEL		WORKING POINT
	WOOD BLOCKING		FINISH WOOD		DETAIL NUMBER
	PLYWOOD		ACOUSTICAL CEILING TILE		SHEET REFERENCE
	BATT INSULATION		CONCRETE BLOCK MASONRY		ELEVATION NUMBER
	RIGID INSULATION		EXTERIOR INSULATING AND FINISHING SYSTEM (EIFS)		SECTION NUMBER
	GYPSUM BOARD				WINDOW/LOUVER TYPE
					DOOR MARK
					PARTITION TYPE

## GENERAL NOTES

- INFORMATION CONTAINED IN THESE DRAWINGS IS BASED ON EXISTING DOCUMENTS AND LIMITED FIELD MEASUREMENTS. THE INFORMATION CONTAINED HEREIN MAY REQUIRE ADJUSTMENTS OR MODIFICATIONS TO CONFORM WITH EXISTING CONDITIONS. IN CASES WHERE CHANGES IN DETAILS ARE NECESSARY, THESE DRAWINGS SHALL BE USED TO SHOW THE DESIGN INTENT ONLY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS CONCERNING EXISTING AND NEW WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH EITHER FABRICATION OR INSTALLATION OF THE WORK. IN ADDITION, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY SHOULD EXISTING CONDITIONS PROHIBIT EXECUTION OF DESIGN INTENT OF THE DRAWINGS. ANY ADDITIONAL WORK, DEMOLITION AND/OR REMOVAL AS A RESULT OF FAILURE TO DO SO WILL BE AT CONTRACTOR'S EXPENSE.
- ALL NEW WORK SHALL BE COORDINATED WITH EXISTING STRUCTURE AND UTILITIES. NEW WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE AND THE INTERNATIONAL BUILDING CODE, 2009 EDITION.
- CONTRACTOR SHALL FURNISH ALL ITEMS SHOWN ON THE DRAWINGS AND AS REQUIRED FOR COMPLETE INSTALLATION UNLESS SPECIFICALLY NOTED OTHERWISE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING FLOOR FINISH MATERIALS TO ENSURE THAT TRANSITIONS BETWEEN FLOORING MATERIALS WILL BE SMOOTH AND IN ACCORDANCE WITH THE DRAWINGS.
- UNLESS OTHERWISE NOTED, CHANGES IN FLOORING MATERIAL SHALL OCCUR AT THE CENTERLINE OF DOORS.
- ALL STUDS, CEILING FURRING AND FRAMING MEMBERS SHALL BE SO PLACED AS TO AVOID INTERFERENCE WITH LOCATIONS OF CASEWORK, RECESSED LIGHTING FIXTURES, PIPING, DUCTWORK AND THE LIKE.
- ALL CUTTING AND PATCHING SHALL BE PERFORMED IN A NEAT AND WORKMANLIKE MANNER. ANY EXISTING FINISHES DISTURBED OR DAMAGED BY THE CONTRACTOR DURING THE COURSE OF THE WORK SHALL BE REPAIRED TO MATCH EXISTING IN KIND AND FINISH.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ALL INTERIOR GLASS SURFACES AND FLOOR SURFACES PRIOR TO ACCEPTANCE BY MANAGEMENT. ALL RESPECTIVE TRASH, CONSTRUCTION DEBRIS, TOOLS, ETC. SHALL BE REMOVED BY CONTRACTOR PRIOR TO COMPLETION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTRICTING AND CONTAINING DUST AND DEBRIS GENERATED FROM THE DEMOLITION AND CONSTRUCTION BY MEANS OF TEMPORARY PARTITIONS OR BARRIERS, AS REQUIRED.
- ALL WORK AND MATERIAL TO ACCOMPLISH DESIGNATED WORK IS TO BE STORED WITHIN THE DEMISED SPACE.
- PARTITIONING AT WALL CABINETS AND COUNTERS SHALL HAVE HORIZONTAL BRACING.
- ALL DIMENSIONS OF WALL THICKNESSES ARE FROM FINISHED FACE OF GYPSUM DRYWALL TO FINISHED FACE OF GYPSUM DRYWALL.
- DO NOT SCALE DRAWINGS.
- COVER ALL EXPOSED GYPSUM BOARD EDGES WITH "J" CLIP OR EQUAL. APPLY JOINT COMPOUND AND SAND SMOOTH.
- ALL NEW WORK SHALL MATCH IN TYPE AND FINISH TO EXISTING WORK ALREADY INSTALLED, IF APPLICABLE.

## GENERAL BUILDING DATA

PROJECT NAME	BUILDING DATA	EXISTING BUILDING
Renovation to Blackwall Hitch 5 Cameron Street Alexandria Virginia 22314	Building Use Group Construction Type Number of Stories High Rise Building Covered Mall Sprinklers Fire Alarm Building Floor Area Exits Demising Wall Rating Corridor Wall Rating Floor/Ceiling Rating Standard Ceiling Height Governing Codes	A-2 III-B One No No Yes - Fully Suppressed I Monitored Yes - Automatic 10,332 SF 2 Req'd - 2 Provided 0 HR REQUIRED 0 HR 2HR- UL #R3390 Acoustical Ceiling 9'-0" FV and Open Ceiling to Structure 2015 Virginia Uniform Statewide Building Code 2015 International Building Code 2015 International Mechanical Code 2015 International Plumbing Code National Electric Code - NFPA 70-2014 ICC/ANSI A117.1/2009 American National Standard Life Safety Code - NFPA 101-2015

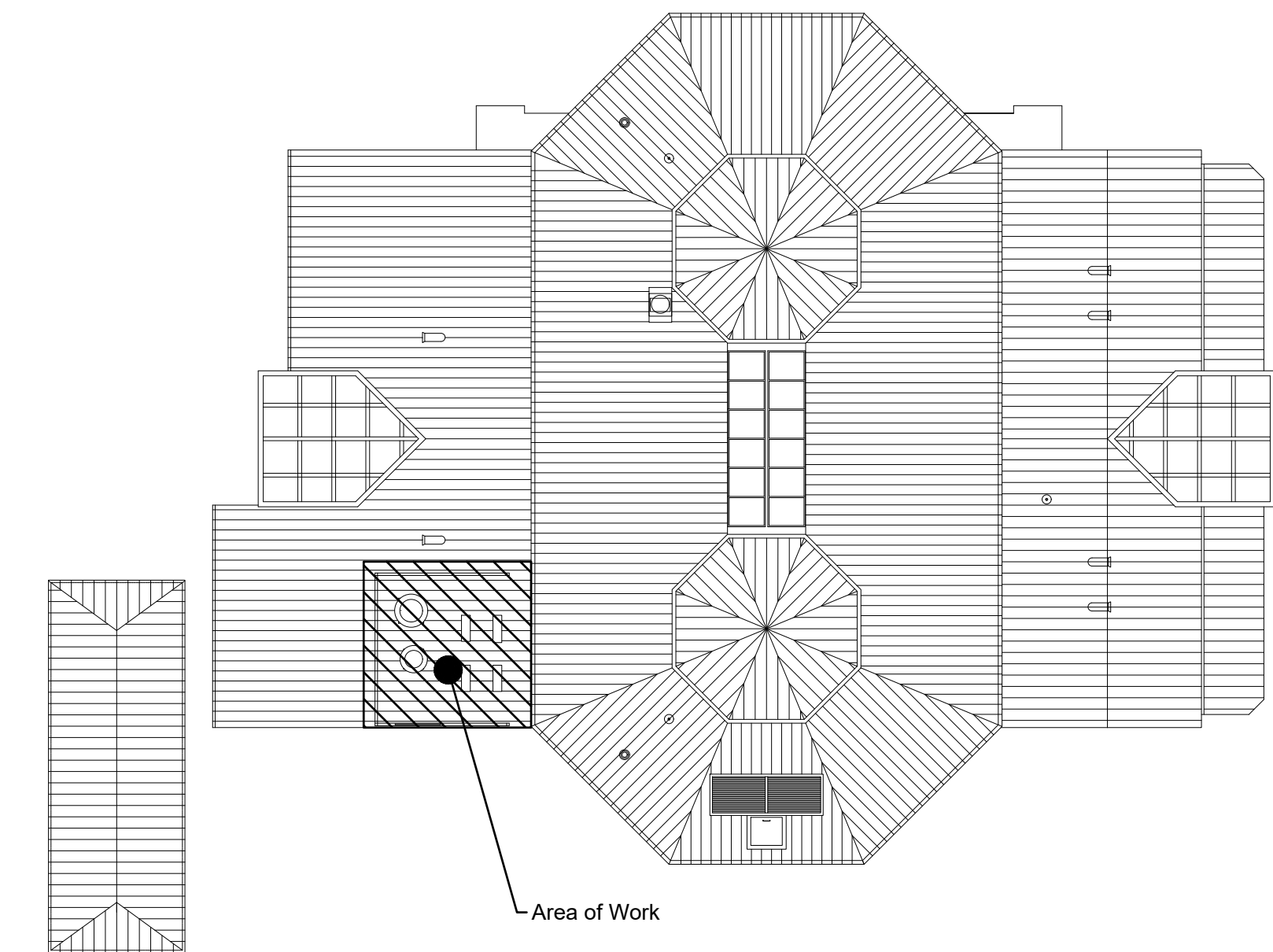
## PROJECT DESCRIPTION

RENOVATION OF MECHANICAL SYSTEM AT ROOF TOP OF EXISTING BUILDING, THAT INCLUDES NEW SCREEN WALL, RELOCATED HEAT PUMPS, NEW STRUCTURAL SUPPORT FOR SCREEN WALL AND RELOCATED HEAT PUMPS.

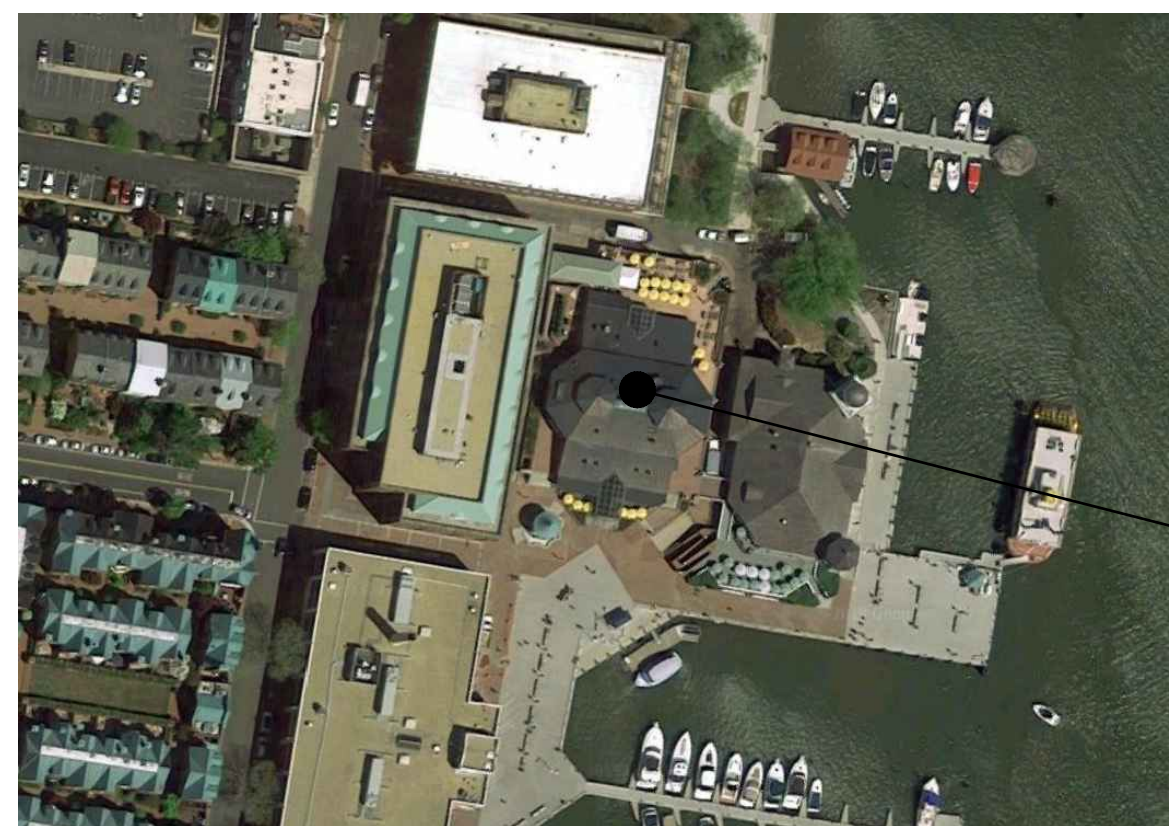
## DRAWING INDEX

Sheet No.	Sheet Title:	Sheet No.	Sheet Title:
A1.0	Cover Sheet Symbols and Notes	M1	Mechanical Plan Details and Notes
A1.1	Existing/Demolition Roof Plan and Notes		
A1.2	Construction Roof Plan and Notes	M2	Mechanical Plan Details and Notes
A1.3	North Elevation Details and Notes		
A1.4	West Elevation Section Details and Notes		

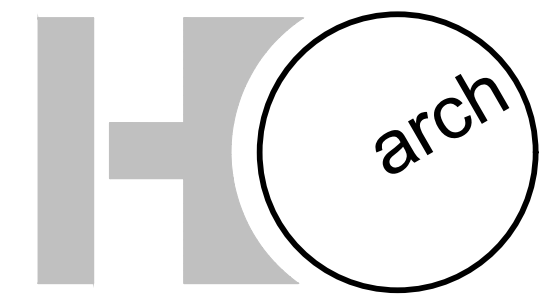
S101	Existing Roof Framing
S301	Sections and Details



KEY PLAN  
1"=30'-0"



LOCATION PLAN



Harrell+Company Architects  
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fax 703.352.4142

Project  
**Renovations to  
Blackwall Hitch Alexandria**

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Alexandria, VA 22314

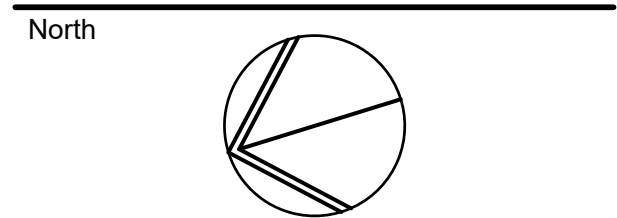
Building Manager  
**Ray Management LLC**  
540 Ritchie Highway  
Severna Park Maryland 21146

Structural Engineers  
**Tadjer-Cohen-Edelson Associates Inc**  
1501 Farm Credit Drive  
Suite 2300  
McLean Virginia 22102

Consulting Engineers  
**Gipe Associates Inc**  
1220 East Joppa Road  
Suite 223  
Towson Maryland 21286

Seal

Drawing Title:  
**Existing/Demo Roof Plan  
and Notes**



Scale As Noted

No.	Date	Description
1	10/08/19	Permit
2	11/12/19	Owner Rev

Project  
1346

Sheet

# A1.1

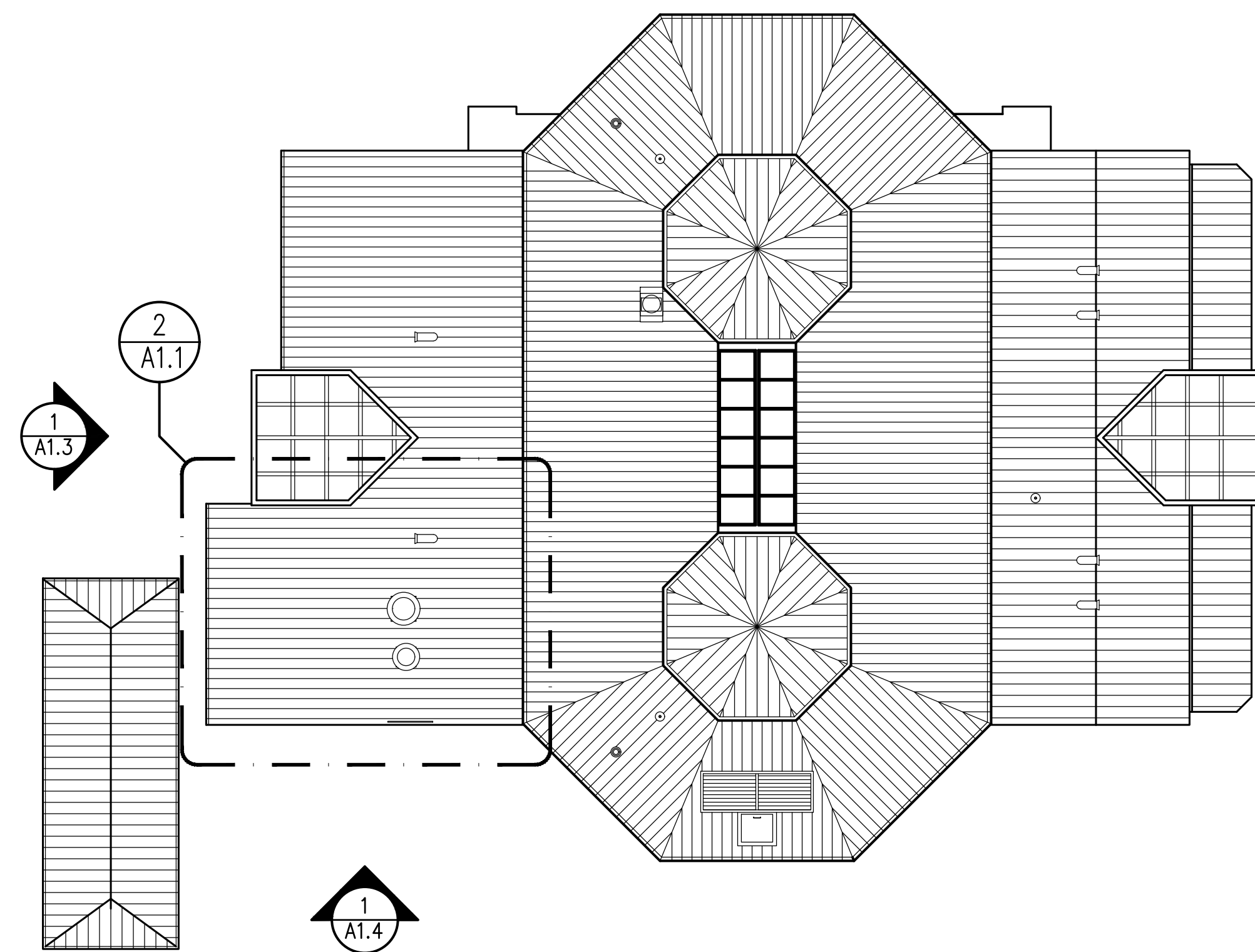
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## CONSTRUCTION SYMBOLS

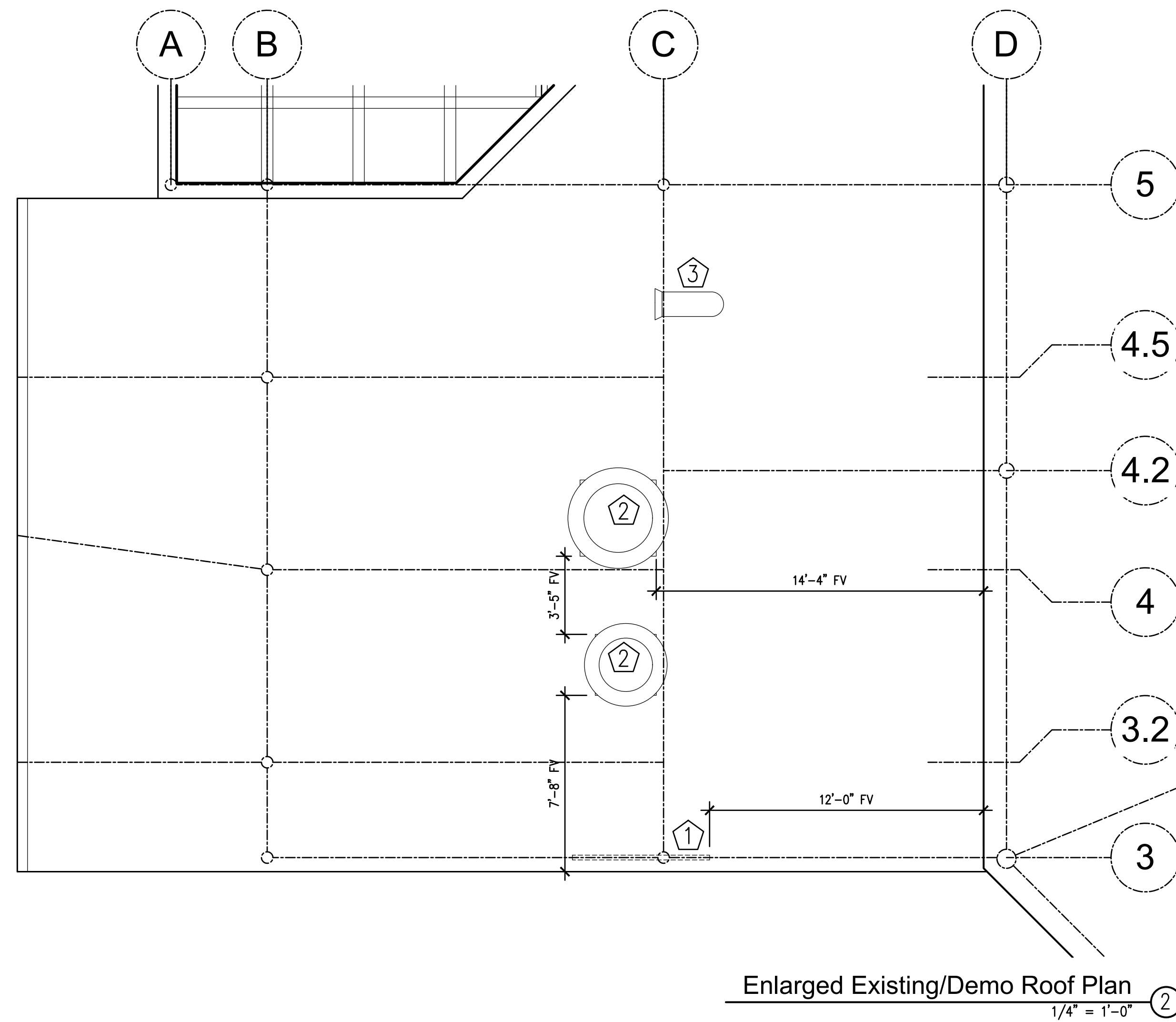
- ===== NEW CONSTRUCTION
- --- --- EXISTING STRUCTURAL GRID. UNLESS NOTED OTHERWISE.
- == == == == EXISTING CONSTRUCTION TO BE REMOVED

## DEMOLITION AND CONSTRUCTION NOTES

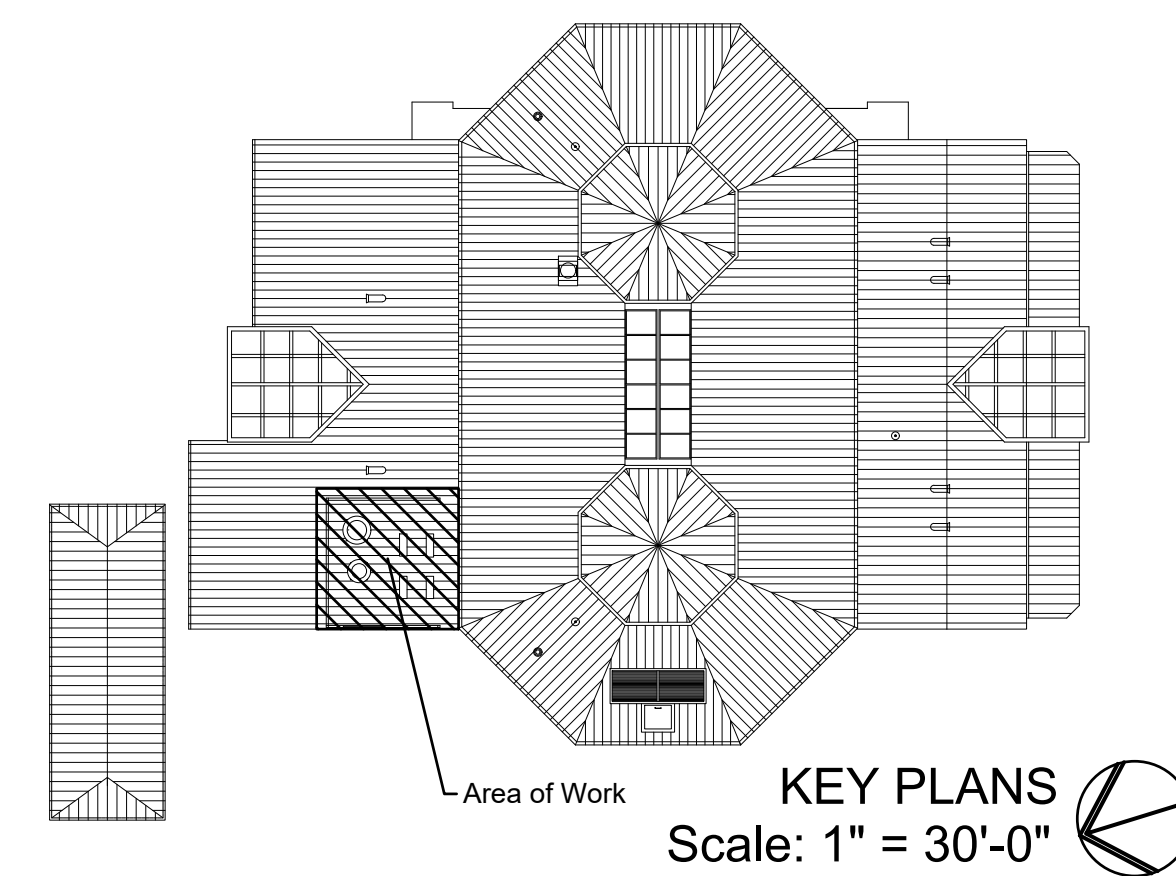
- ① AT LOCATION INDICATED, REMOVE EXISTING RAILING.
- ② EXISTING KITCHEN HOOD VENTS TO REMAIN.
- ③ EXHAUST PIPE TO REMAIN.

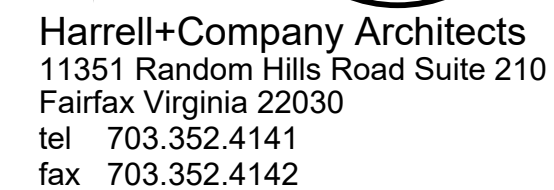


Existing/Demo Roof Plan  
1/16" = 1'-0" ①



Enlarged Existing/Demo Roof Plan  
1/4" = 1'-0" ②



Renovations to  
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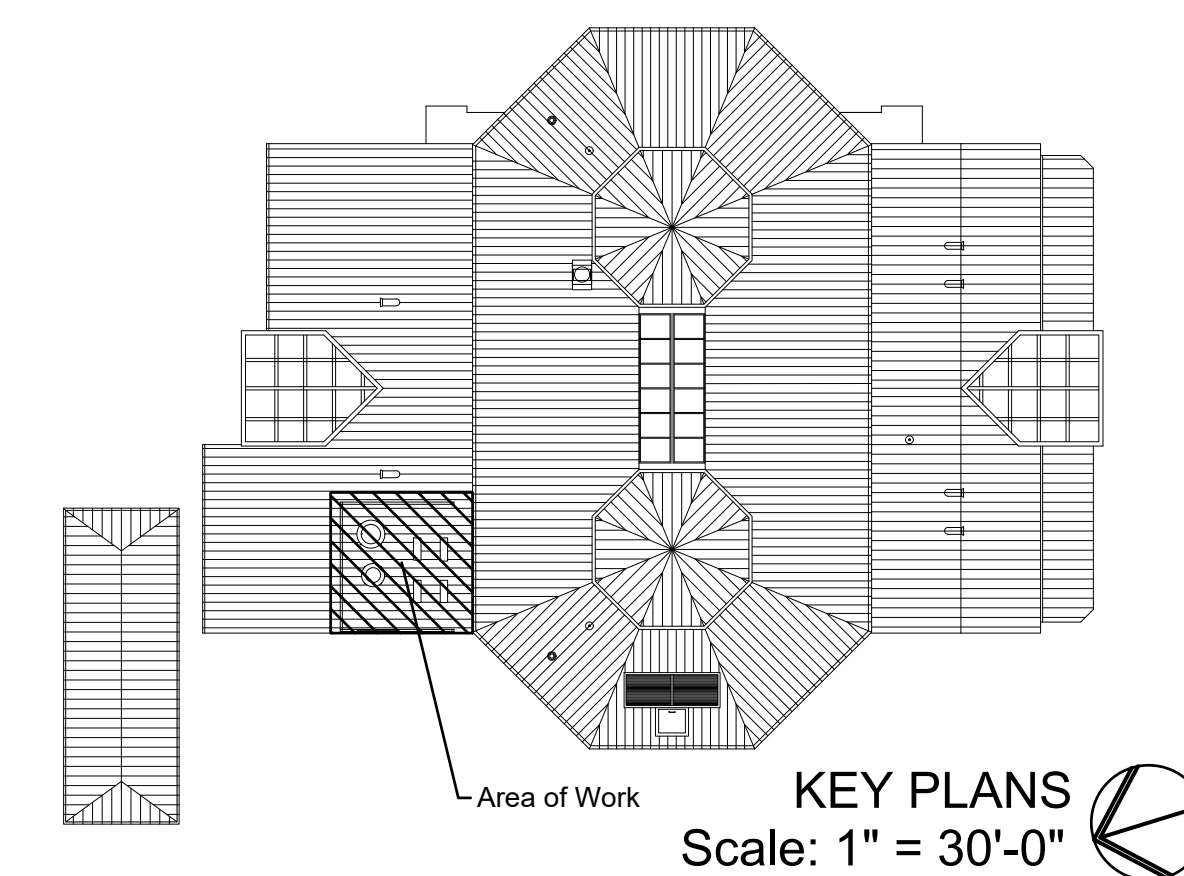
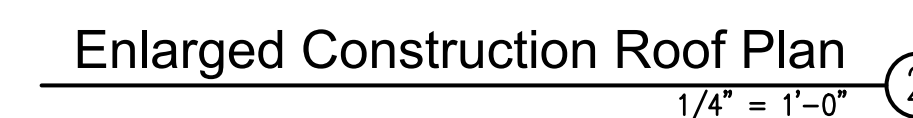
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<u>2</u>	<u>11/12/19</u>	<u>Owner Rev</u>

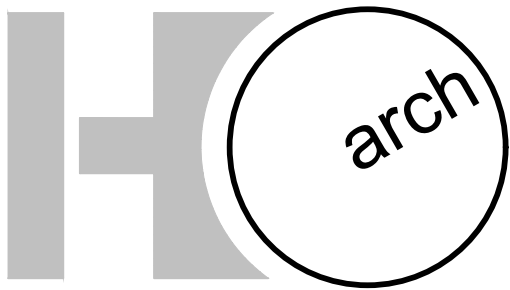
Sheet

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== == == == EXISTING CONSTRUCTION TO BE REMOVED

- ① EXISTING KITCHEN HOOD VENTS TO REMAIN.
- ② EXHAUST PIPE TO REMAIN.
- ③ RELOCATED HEAT PUMP TO BE INSTALLED. SEE MECHANICAL FOR DETAILS.
- ④ NEW STEEL DUNNAGE FRAMING, SEE STRUCTURAL PLANS FOR DETAILS.
- ⑤ NEW AC-94BF STATIONARY LOUVER 4" DEEP TO BE INSTALLED, SHALL MATCH ADJACENT LOUVER COLOR.
- ⑥ NEW STEEL STRUCTURAL FRAMING, SEE STRUCTURAL PLANS FOR DETAILS.
- ⑦ IF DIMENSIONS INDICATED ARE NOT AVAILABLE NOTIFY ARCHITECT FOR INSTRUCTIONS.
- ⑧ REFRIGERANT PIPING MOUNT ON ROOF, SEE MECHANICAL FOR DETAILS.





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Consulting Engineers

Gipe Associates Inc

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Seal

Drawing Title:

North Elevation Details  
and Notes

North

Scale 1/4" = 1'-0"



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1	10/08/19	Permit
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Project  
1346

Sheet

A1.3

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ELEVATION DEMOLITION NOTES

- ① AT LOCATION INDICATED, REMOVE EXISTING RAILING.
- ② EXISTING KITCHEN HOOD VENTS TO REMAIN.
- ③ EXHAUST PIPE TO REMAIN.

ELEVATION DEMOLITION NOTES

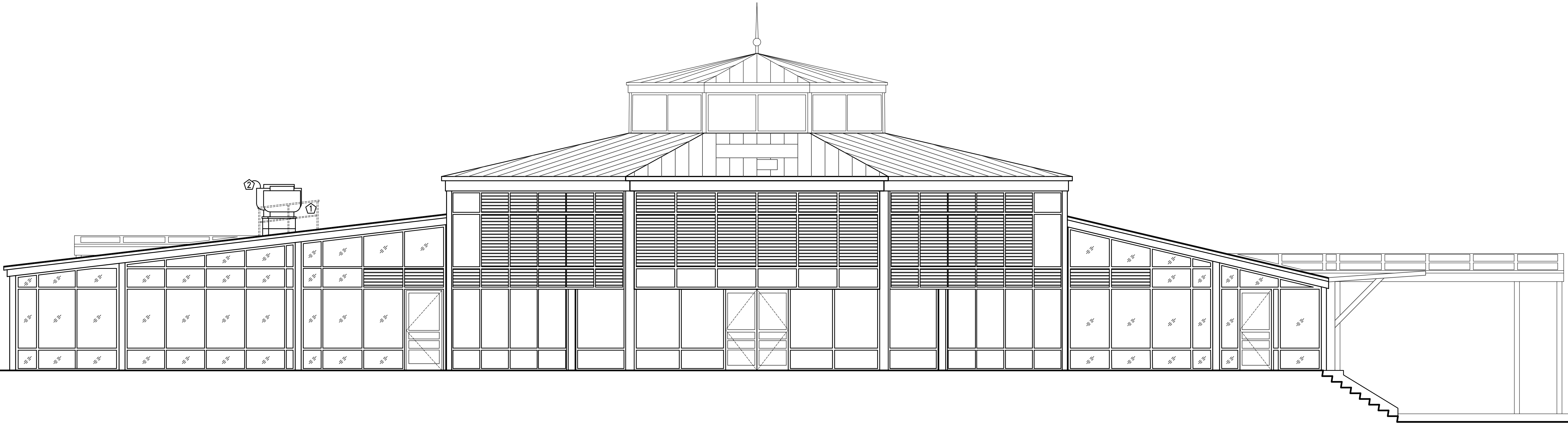
- ① RELOCATED HEAT PUMP TO BE INSTALLED. SEE MECHANICAL FOR DETAILS.
- ② NEW AC-94BF STATIONARY LOUVER 4" DEEP TO BE INSTALLED  
SHALL MATCH ADJACENT LOUVER COLOR.
- ③ NEW STEEL STRUCTURAL FRAMING TO SUPPORT SCREEN, SEE STRUCTURAL PLANS FOR DETAILS.
- ④ IF DIMENSIONS INDICATED ARE NOT AVAILABLE NOTIFY ARCHITECT FOR INSTRUCTIONS.

Proposed North Elevation  
1/4" = 1'-0"

2

ELEVATION DEMOLITION NOTES

- ① AT LOCATION INDICATED, REMOVE EXISTING RAILING.
- ② EXISTING KITCHEN HOOD VENTS TO REMAIN.

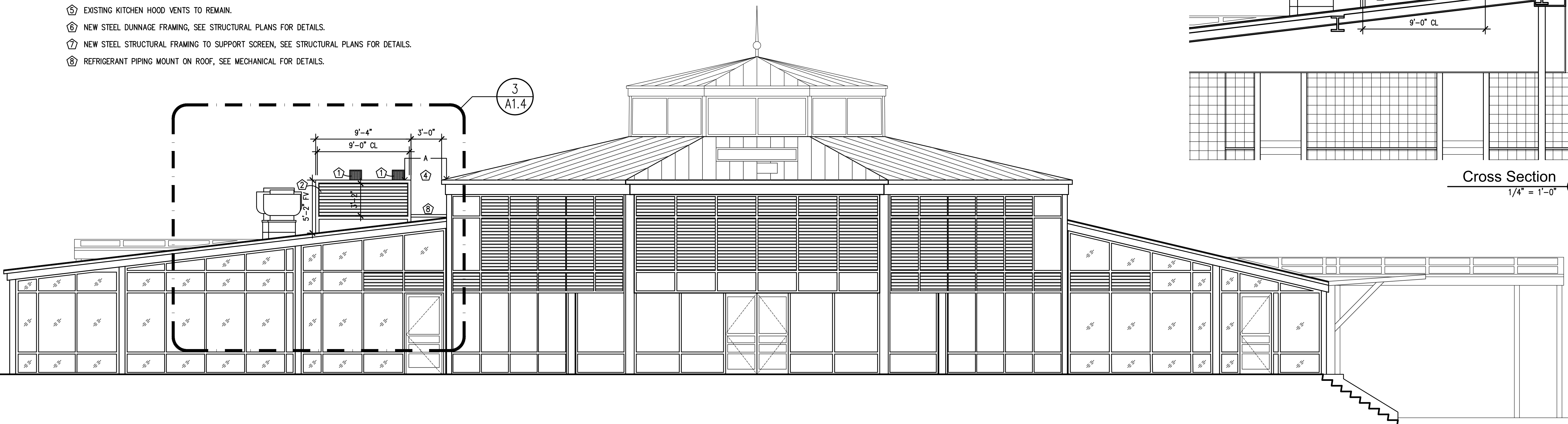


Existing West Elevation  
3/16" = 1'-0"

1

ELEVATION AND SECTION CONSTRUCTION NOTES

- ① RELOCATED HEAT PUMP TO BE INSTALLED. SEE MECHANICAL FOR DETAILS.
- ② NEW AC-94BF STATIONARY LOUVER 4" DEEP TO BE INSTALLED, SHALL MATCH ADJACENT LOUVER COLOR.
- ③ IF DIMENSIONS INDICATED ARE NOT AVAILABLE NOTIFY ARCHITECT FOR INSTRUCTIONS.
- ④ ALIGH NEW CONSTRUCTION WITH EXISTING ADJACENT ROOF LINE.
- ⑤ EXISTING KITCHEN HOOD VENTS TO REMAIN.
- ⑥ NEW STEEL DUNNAGE FRAMING, SEE STRUCTURAL PLANS FOR DETAILS.
- ⑦ NEW STEEL STRUCTURAL FRAMING TO SUPPORT SCREEN, SEE STRUCTURAL PLANS FOR DETAILS.
- ⑧ REFRIGERANT PIPING MOUNT ON ROOF, SEE MECHANICAL FOR DETAILS.



Cross Section  
1/4" = 1'-0"

3



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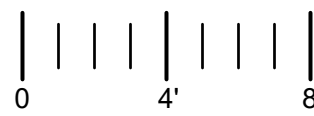
Consulting Engineers  
Gipe Associates Inc  
1220 East Joppa Road  
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Seal

Drawing Title:  
West Elevation, Section  
Details and Notes

North

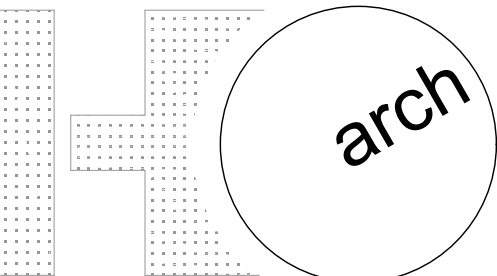
Scale 3/16" = 1'-0"



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FAX: 301.588.1966  
(219238.00)

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Seal

Drawing Title:

EXISTING ROOF FRAMING PLAN

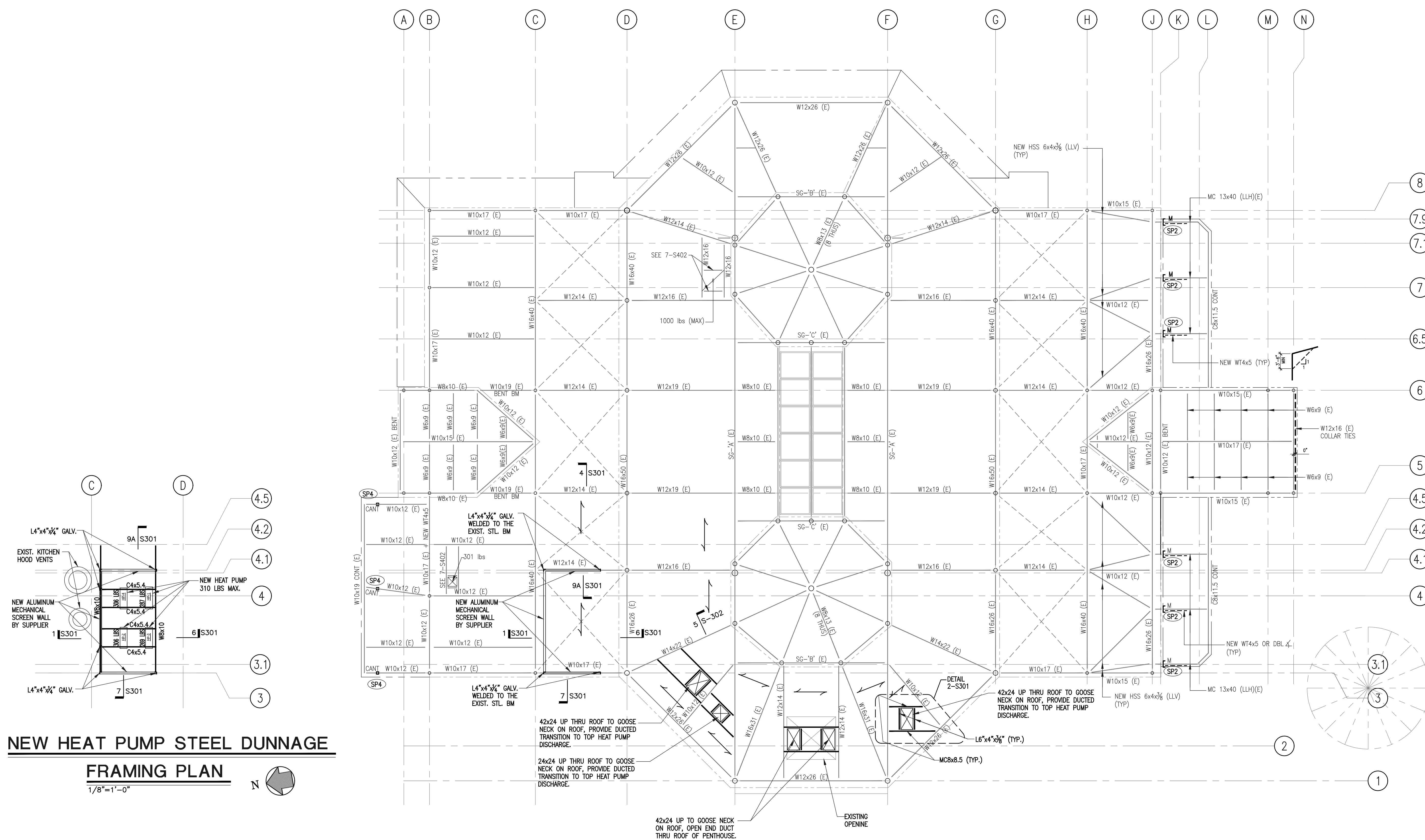
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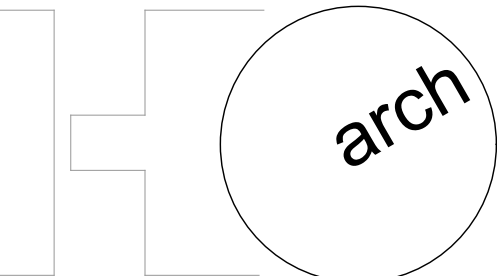
Scale  
1/8"=1'-0"

No.	Date	Description
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FAX: 301.588.1966  
(219238.00)

Consulting Engineers  
Gipe Associates Inc  
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Seal

Drawing Title:

SECTIONS AND DETAILS

North

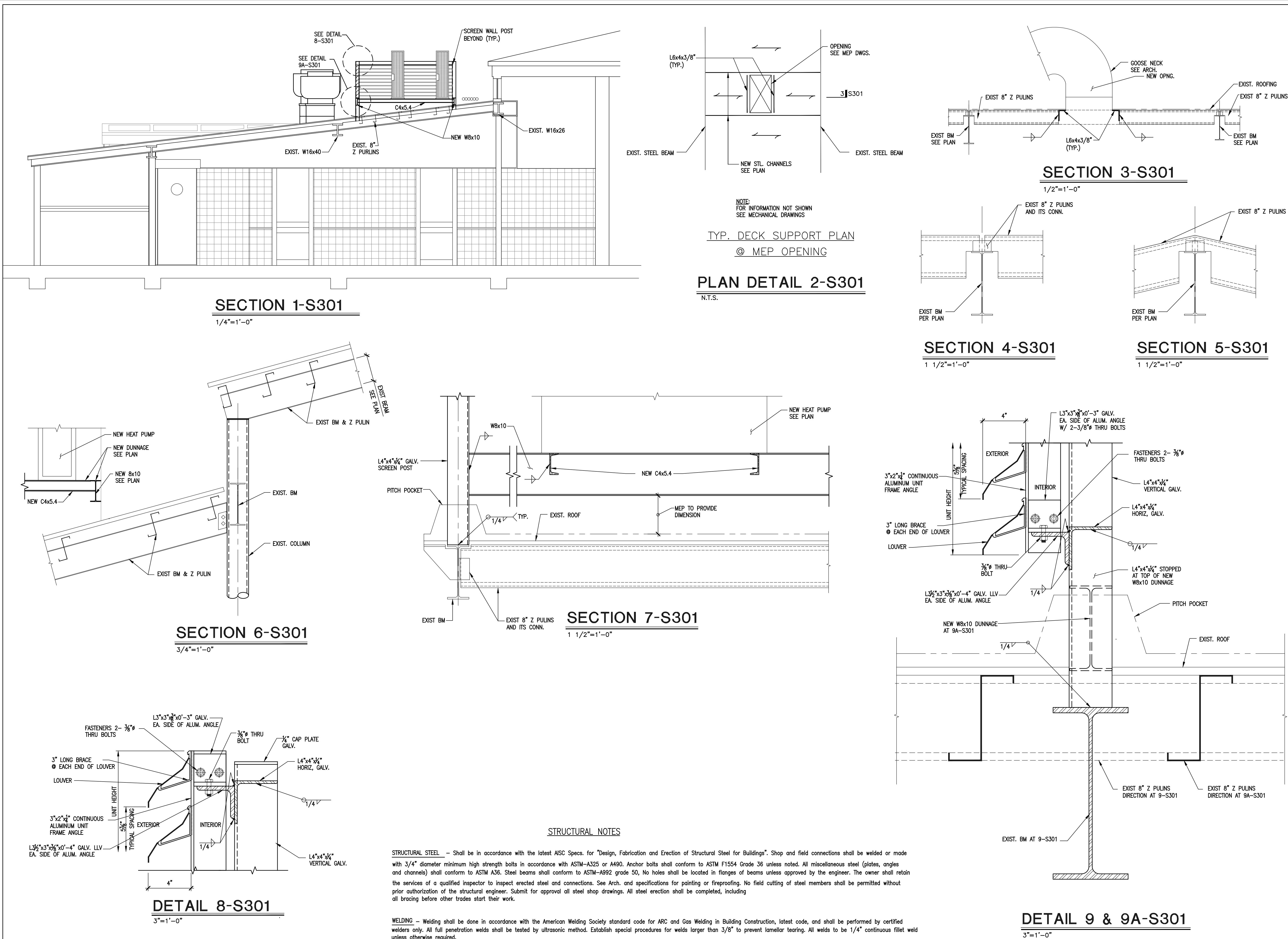
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AS NOTED

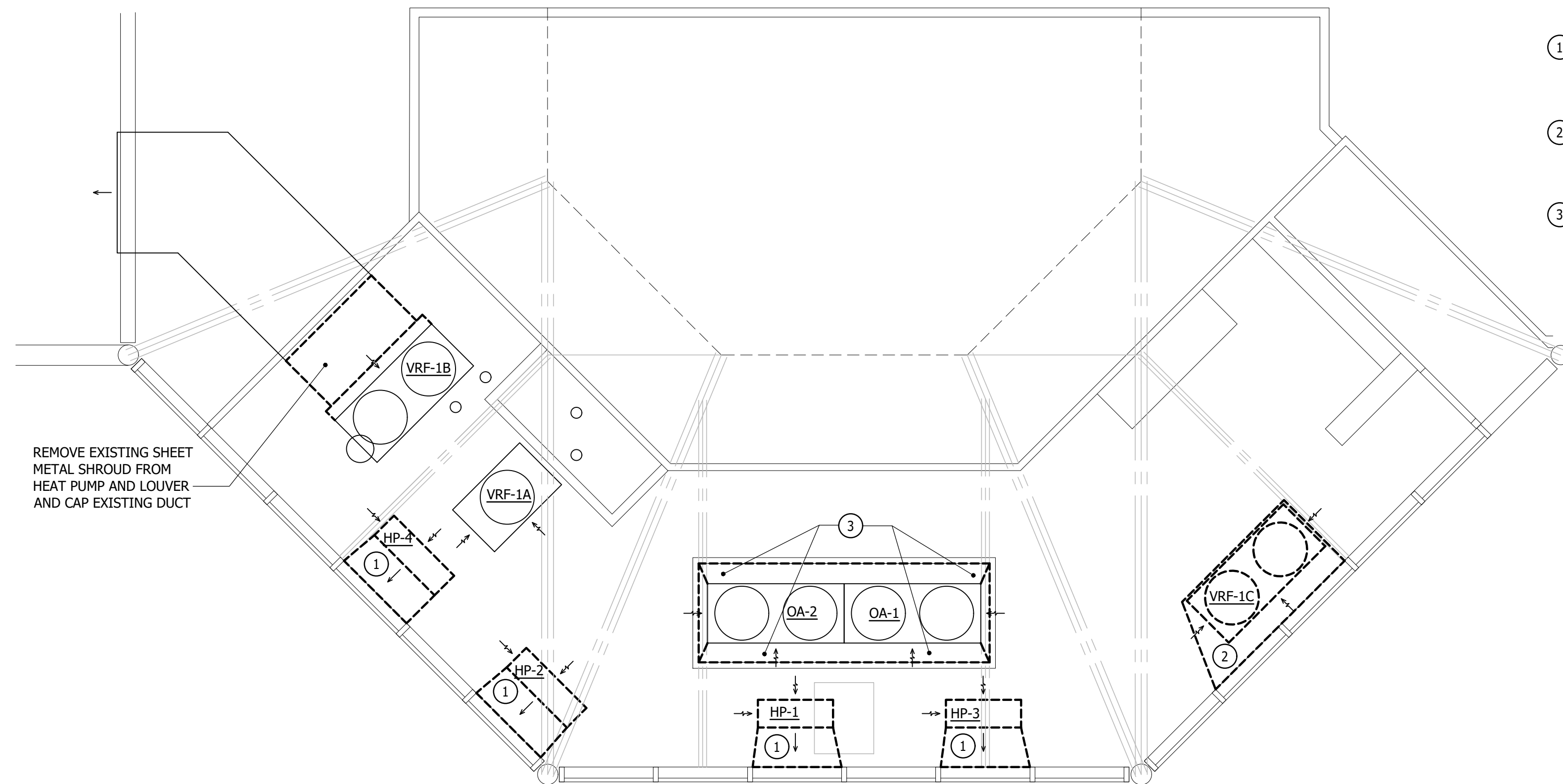
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	11.12.19	OWNER REVISION

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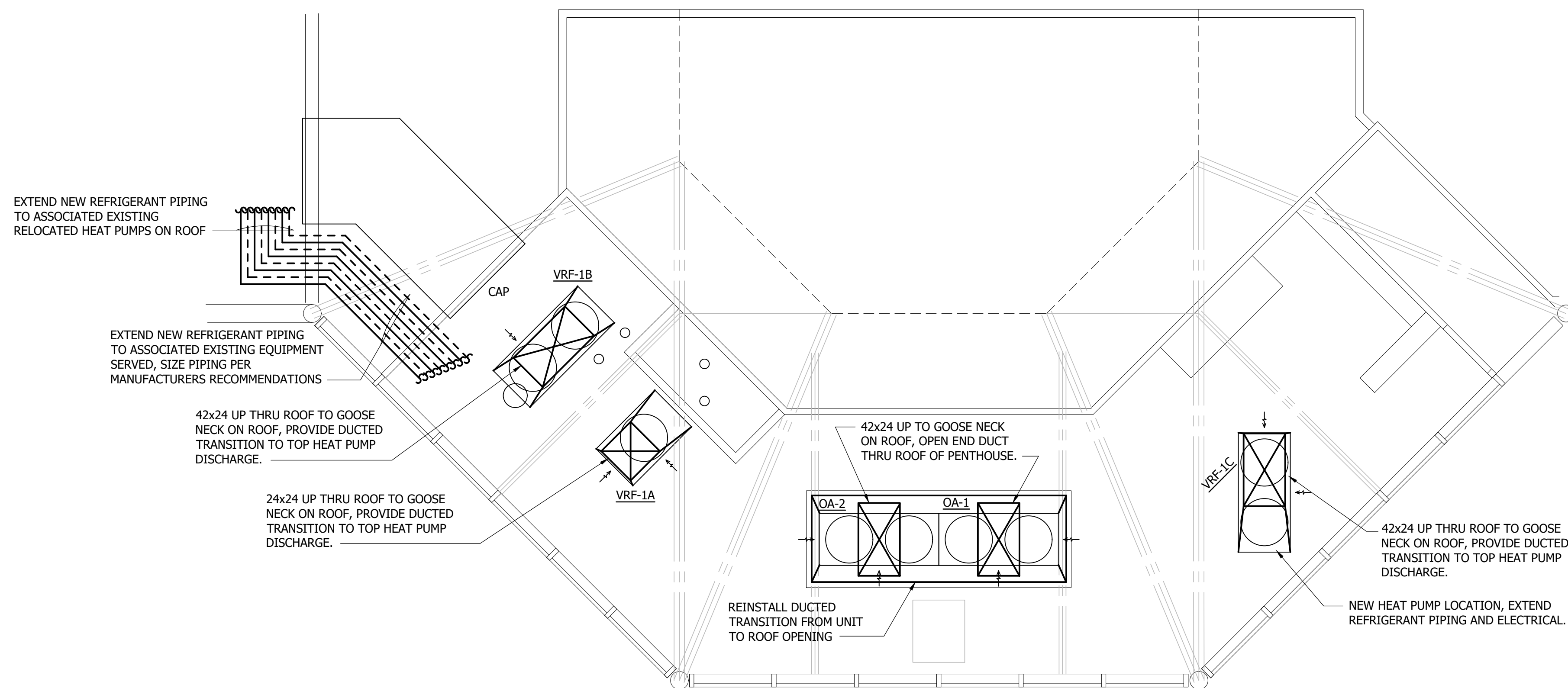




REMOVE EXISTING SHEET METAL SHROUD FROM HEAT PUMP AND LOUVER AND CAP EXISTING DUCT

- DEMOLITION NOTES:**
- 1 REMOVE EXISTING SHEET METAL SHROUD FROM HEAT PUMP AND LOUVER, CAREFULLY EVACUATE REFRIGERANT AND DISCONNECT REFRIGERANT PIPING AND ELECTRICAL. HEAT PUMP SHALL BE RELOCATED TO ROOF. EXTEND NEW REFRIGERANT PIPING
  - 2 REMOVE EXISTING SHEET METAL SHROUD FROM HEAT PUMP AND LOUVER, CAREFULLY EVACUATE REFRIGERANT AND DISCONNECT REFRIGERANT PIPING AND ELECTRICAL. HEAT PUMP SHALL BE RELOCATED TO NEW LOCATION.
  - 3 REMOVE EXISTING SHEET METAL SHROUD FOR INSTALLATION OF STRUCTURAL STEEL SUPPORT FOR GOOSENECKS. REINSTALL UPON COMPLETION.

**FLOOR PLAN - DEMOLITION**  
SCALE: 1/4" = 1'-0"



EXTEND NEW REFRIGERANT PIPING TO ASSOCIATED EXISTING RELOCATED HEAT PUMPS ON ROOF

EXTEND NEW REFRIGERANT PIPING TO ASSOCIATED EXISTING EQUIPMENT SERVED, SIZE PIPING PER MANUFACTURERS RECOMMENDATIONS

42x24 UP THRU ROOF TO GOOSE NECK ON ROOF, PROVIDE DUCTED TRANSITION TO TOP HEAT PUMP DISCHARGE.

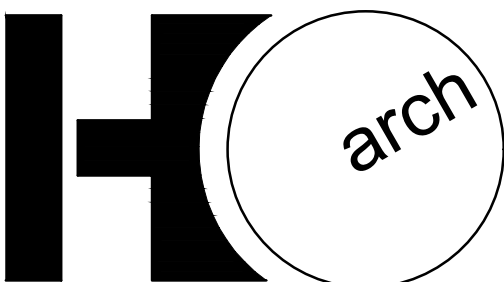
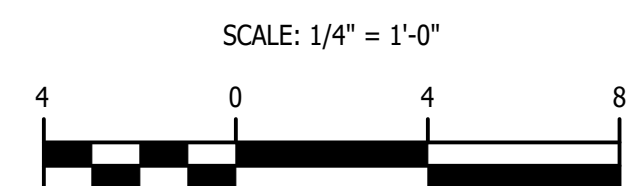
24x24 UP THRU ROOF TO GOOSE NECK ON ROOF, PROVIDE DUCTED TRANSITION TO TOP HEAT PUMP DISCHARGE.

42x24 UP TO GOOSE NECK ON ROOF, OPEN END DUCT THRU ROOF OF PENTHOUSE.

REINSTALL DUCTED TRANSITION FROM UNIT TO ROOF OPENING

42x24 UP THRU ROOF TO GOOSE NECK ON ROOF, PROVIDE DUCTED TRANSITION TO TOP HEAT PUMP DISCHARGE.  
NEW HEAT PUMP LOCATION, EXTEND REFRIGERANT PIPING AND ELECTRICAL.

**FLOOR PLAN - NEW WORK**  
SCALE: 1/4" = 1'-0"



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Consulting Engineers  
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Seal

Drawing Title:

North

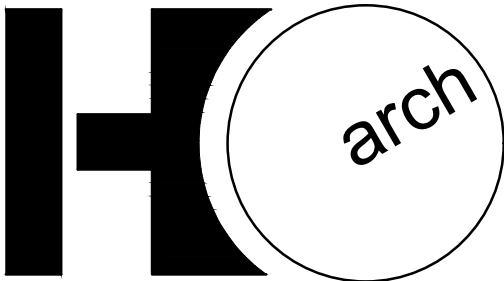
Scale

No.	Date	Description
2	11/12/19	OWNER REVISION

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**M1**



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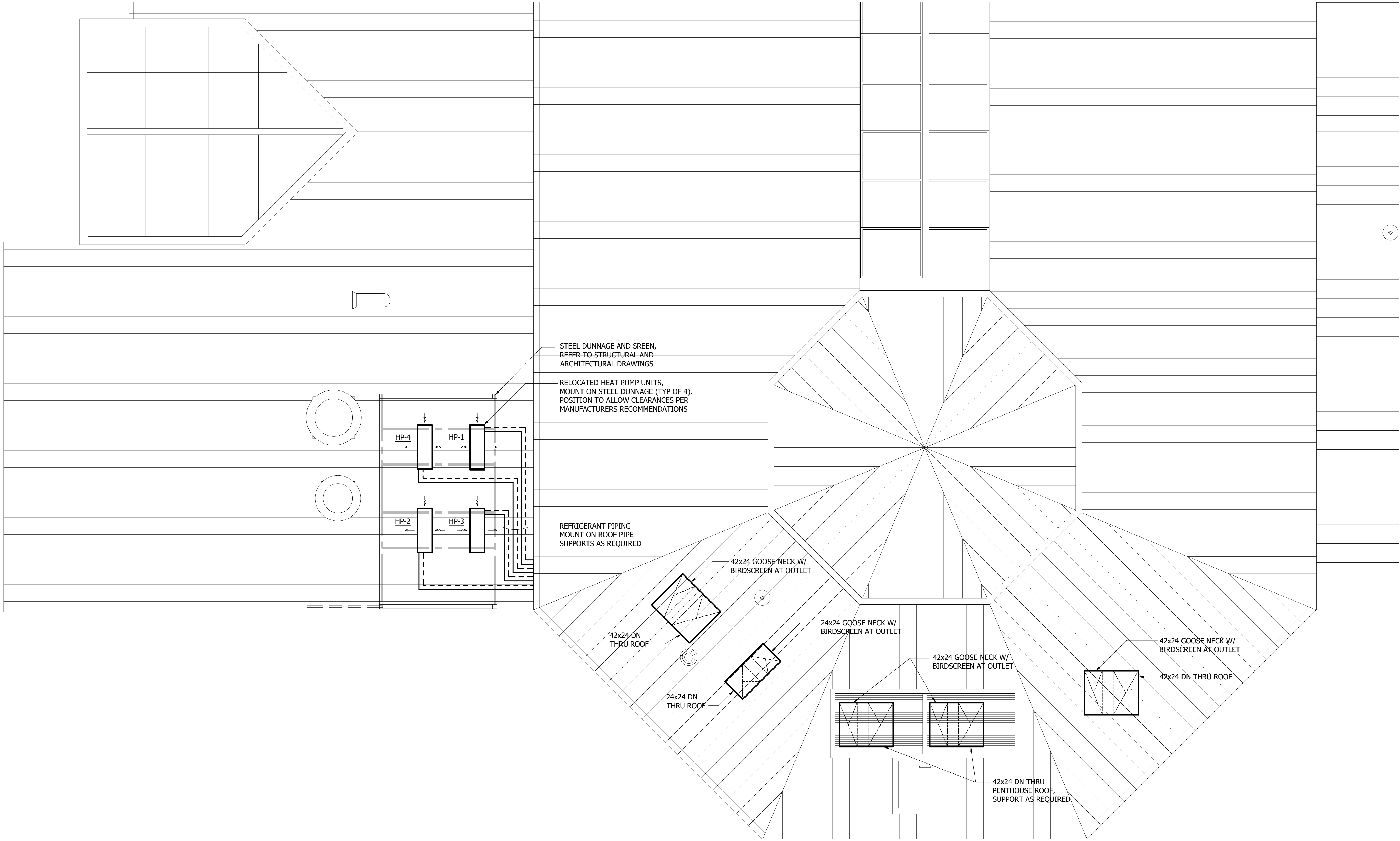
Project  
**Renovations to  
Blackwall Hitch Alexandria**

5 Cameron Street  
Alexandria, VA 22314

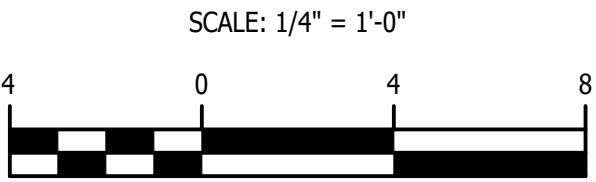
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**ROOF PLAN - NEW WORK**  
SCALE: 1/4" = 1'-0"



Seal

Drawing Title:

North

Scale

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2	11/12/19	OWNER REVISION

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M2





