

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for addition and alterations

APPLICANT: Tim Dekeyser and Ellen Dangelo

LOCATION: Old and Historic Alexandria District
214 South Henry Street

ZONE: CL/Commercial Low Zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and approval of the Certificate of Appropriateness for with the following conditions:

1. Windows on the front façade and all masonry walls must be double-glazed, painted wood windows in a historically appropriate, multi-light (six-over-six light) configuration. Windows on the wood frame portions of the side and rear of the building may be multi-light or two-over-two at the applicant's option. All replacement windows must comply with the BAR's New and Replacement Window Performance Specifications.
2. Include the conditions below in the General Notes of all site plans and on all construction documents that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
 - a. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



N



0 20 40 80 Feet

Note: *Staff coupled the applications for a Permit to Demolish (BAR #2019-00418) and Certificate of Appropriateness (BAR #2019-00419) for clarity and brevity. The Permit to Demolish requires a roll call vote.*

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for an addition and alterations at 214 South Henry Street.

Permit to Demolish/Capsulate

The following features will be demolished:

- angled portion of existing roof deck and the six-foot fence surrounding the deck
- rooftop greenhouse enclosure and adjacent chimney
- the one-story mechanical room/shed

On the south and east elevations minor demolition is proposed for fenestration modifications.

Certificate of Appropriateness

Addition

A 7'-5" by 20'-0" addition will be constructed on the open rooftop deck adjacent to the third-floor rear (east) wall to accommodate a stair and bathroom. On the exterior, the addition will have a flat roof, a four-light window on the south elevation and a single door on the east providing access to the roof deck. The addition will be clad with fiber cement siding.

Alterations

Rooftop alterations consist of new deck flooring, railings with simple pickets and Chippendale style panels and a wood pergola. On the south elevation of the ell, the single door will be replaced with a two-over-two window and the window to the west of the door will be replaced with a larger window. On the rear elevation, a pair of French doors will be installed on each floor, providing access to a new stair and landing on the first floor and a balcony on the second floor.

Site context

The subject property is located on a block with a private east-west alley to the north (Cherry Alley) and a public east-west alley (Makeley Alley) to south. Most of the block is zoned CL - Commercial Low, with a mix of office and residential uses. The property is located across Henry Street from the old coal yard, now used for surface parking and storage, which will eventually be redeveloped.

II. HISTORY

According to Ethelyn Cox's *Historic Alexandria, Street by Street*, the two-story, three-bay masonry townhouse with a steep, side-gable roof was constructed around **1818** in a simple, Federal architectural style. The home was originally freestanding but in the 1970s the abutting commercial

office building was constructed, which is likely when the front dormers were added. The subject property was not included in the boundaries of the historic district until 1984.



Figure 1: Mid-20th century photo of 214 S. Henry Street
from *Historic Alexandria, Street by Street*, p.58

Previous BAR Approvals

- BAR Case #2005-00057: Approval of fiber cement siding, four panel wood door and two-over-to double-hung wood windows.
- BAR Case #2010-00028: Approval of a Permit to Demolish to remove a brick wall.
- BAR Case #2010-00085: Administrative approval for a fence replacement.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	No
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. The material that will be demolished does not date to the first period of construction and is limited to secondary elevations. Further, the materials are not of unusual or uncommon design and the affected portions could be reproduced easily today.

Certificate of Appropriateness

The proposed addition and alterations are minor in nature and limited to the rear of the property. Multiple design and material changes in the mid-20th century and the early 21st century altered the property such that the rear of the building does not retain its original form or materials. The proposed alterations will allow for a more cohesive design vocabulary and staff has no objection to the addition or the alterations on the rear ell.

The applicant proposes to replace the two-over-two windows on the house with new aluminum clad wood, simulated-divided-light windows in the same configuration. Although the proposed windows are the same style as the exiting windows, they are historically inappropriate for this

circa 1818 Federal period house. In 2005, the BAR approved replacement in-kind of the Victorian style four-panel doors and two-over-two windows. These are what is shown in the mid-20th century photo and were likely replacements of the original windows in the late-19th century. However, the side-gable form roof, dentiled cornice and brick jack arches are clearly much earlier architectural forms that confirm the 1817-1818 date shown in *Historic Alexandria, Street by Street* and staff believes the early 19th century to be the period of significance of the building.

Therefore, based on the direction in the BAR's *Design Guidelines*, the windows on the front façade should be a multi-light (either six-over-six or nine-over-nine), consistent with the earlier period of significance of this portion of the house. The Board's window policy for both districts requires painted wood, multi-light window sash to be single-glazed on the street facing elevations of Early buildings but permits double glazed multi-light sash on non-street-facing elevations and permits modern materials on portions of buildings constructed after 1935 in the OHAD.

While it is in conflict with the BAR's current policy, staff is comfortable in this specific instance with the installation of double-glazed, multi-light, SDL wood windows on the street facing elevation because the existing windows – approved by the prior Board in 2005 – are double-glazed. Although staff has not been able to confirm the age of this portion of the house, the wood frame rear ell has, obviously, been altered many times and it appears to have lost much of its historic architectural integrity. Further, the visibility of the rear ell is limited and the front and side elevation cannot be seen at the same time, so staff has no objection to the use of aluminum clad windows with either a six over six or two-over-two configuration on the wood frame portions of the side and the rear ell.

Although the applicant does not propose to replace the front door currently, when replacement is necessary staff strongly encourages the applicant to reinstall a transom window and a six-panel wood door consistent with the architectural style of the townhouse. The ghost of the original brick jack arch is clearly visible above the original transom location. In addition, while not a part of the applicant's proposal, staff also encourages the applicant to either remove the dormers on the front gable roof entirely, to return the front façade to its original condition (Figure 1 shows the house without dormers in the early 1970s), or to reconstruct the façade of the dormers when the new windows are installed so that their style and proportions are more appropriate to this early 19th century townhouse. In particular, the dormers are set directly above the façade, resulting in an unusually tall wall area below the windows, which is not historically appropriate.

With the conditions noted above, and Alexandria Archaeology conditions below, staff recommends approval of the application.

STAFF

Stephanie Sample, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

F-1 The proposed project meets zoning requirements.

Code Administration

No conditions provided.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 According to Ethelyn Cox's *Historic Alexandria Virginia, Street by Street: A Survey of Existing Early Buildings*, the house on this lot was constructed around 1818. The property therefore has the potential to yield archaeological resources that could provide insight in domestic activities in the 19th century.
- C-1 The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- C-2 The applicant/developer shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.
- C-3 The statements in archaeology conditions above marked with an asterisk "*" shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

V. ATTACHMENTS

1 – Supplemental Materials

2 – Application for BAR 2019-00418 & 2019-00419: 214 South Henry Street

BAR Case # _____

ADDRESS OF PROJECT: 214 S Henry Street

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker - Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 074.01-08-25 ZONING: CL

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: Tim Dekeyser & Ellen D'Angelo

Address: 214 S Henry St

City: Alexandria State: VA Zip: 22314

Phone: 804-334-8418 E-mail: ellendangelo@gmail.com

Authorized Agent *(if applicable):* ☐ Attorney ☒ Architect ☐ _____

Name: Daniel Jacobson - Adams Architects Phone: 703-549-0650

E-mail: daniel@adamsarchitects.com

Legal Property Owner:

Name: Tim Dekeyser & Ellen D'Angelo

Address: 214 S Henry St

City: Alexandria State: VA Zip: 22314

Phone: 804-334-8418 E-mail: ellendangelo@gmail.com

- | | | |
|------------------------------|--|--|
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | Is there an historic preservation easement on this property? |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | If yes, has the easement holder agreed to the proposed alterations? |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | Is there a homeowner's association for this property? |
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | If yes, has the homeowner's association approved the proposed alterations? |

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|---|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input checked="" type="checkbox"/> doors | <input checked="" type="checkbox"/> windows | <input checked="" type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input checked="" type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☒ ADDITION
- ☒ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

- Rebuild existing roof deck & pergola
- 3rd floor addition for stair and bathroom
- modify & replace windows & door
- Interior renovations of basement entry stair
- remove rear mech. room & replace w/ steps & balcony

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- ☒ N/A ☐ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☒ ☐ Description of the reason for demolition/encapsulation.
- ☒ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☐ ☐ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: _____

Daniel Jacobeen

Date: _____

10/5/2019

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Tim Deykesser Ellen D'Angelo	214 S Henry	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 214 S Henry (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Tim Deykesser Ellen D'Angelo	214 S Henry	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Bud Adams Adams Architects	Architect	B.A.R.
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

10/13/2014 Daniel Jacobson 

Date Printed Name Signature



Department of Planning & Zoning

Floor Area Ratio and Open Space Calculations

A. Property Information

A1. 214 S Henry Street
Street Address

CL
Zone

A2. 1,793.00 x 0.75
Total Lot Area Floor Area Ratio Allowed by Zone

= 1,344.75
Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area

Basement	320.00
First Floor	876.00
Second Floor	830.00
Third Floor	252.00
Attic	0.00
Porches	0.00
Balcony/Deck	206.25
Lavatory***	
Other**	

Allowable Exclusions**

Basement**	320.00
Stairways**	107.00
Mechanical**	12.00
Attic less than 7***	50.00
Porches**	0.00
Balcony/Deck**	0.00
Lavatory***	150.00
Other**	206.25
Other**	

B1. 2,484.25 Sq. Ft.
Existing Gross Floor Area*

B2. 897.25 Sq. Ft.
Allowable Floor Exclusions**

B3. 1,587.00 Sq. Ft.
Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

Demolition of rooftop enclosure.

B1. **Total Gross** 2,484.25 B2. **Total Exclusions** 897.25

C. Proposed Gross Floor Area

Proposed Gross Area

Basement	52.50
First Floor	18.00
Second Floor	0.00
Third Floor	133.87
Attic	0.00
Porches	18.00
Balcony/Deck	0.00
Lavatory***	0.00
Other	0.00

Allowable Exclusions**

Basement**	52.50
Stairways**	31.50
Mechanical**	0.00
Attic less than 7***	50.00
Porches**	18.00
Balcony/Deck**	0.00
Lavatory***	100.00
Other**	0.00
Other**	0.00

C1. 222.37 Sq. Ft.
Proposed Gross Floor Area*

C2. 252.00 Sq. Ft.
Allowable Floor Exclusions**

C3. -29.23 Sq. Ft.
Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

C1. **Total Gross** 222.37 C2. **Total Exclusions** 252.00

D. Total Floor Area

D1. 1,557.77 Sq. Ft.
Total Floor Area (add B3 and C3)

D2. 1,344.75 Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space (RA & RB Zones)

E1. Existing Open Space Sq. Ft.

E2. Required Open Space Sq. Ft.

E3. Proposed Open Space Sq. Ft.

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

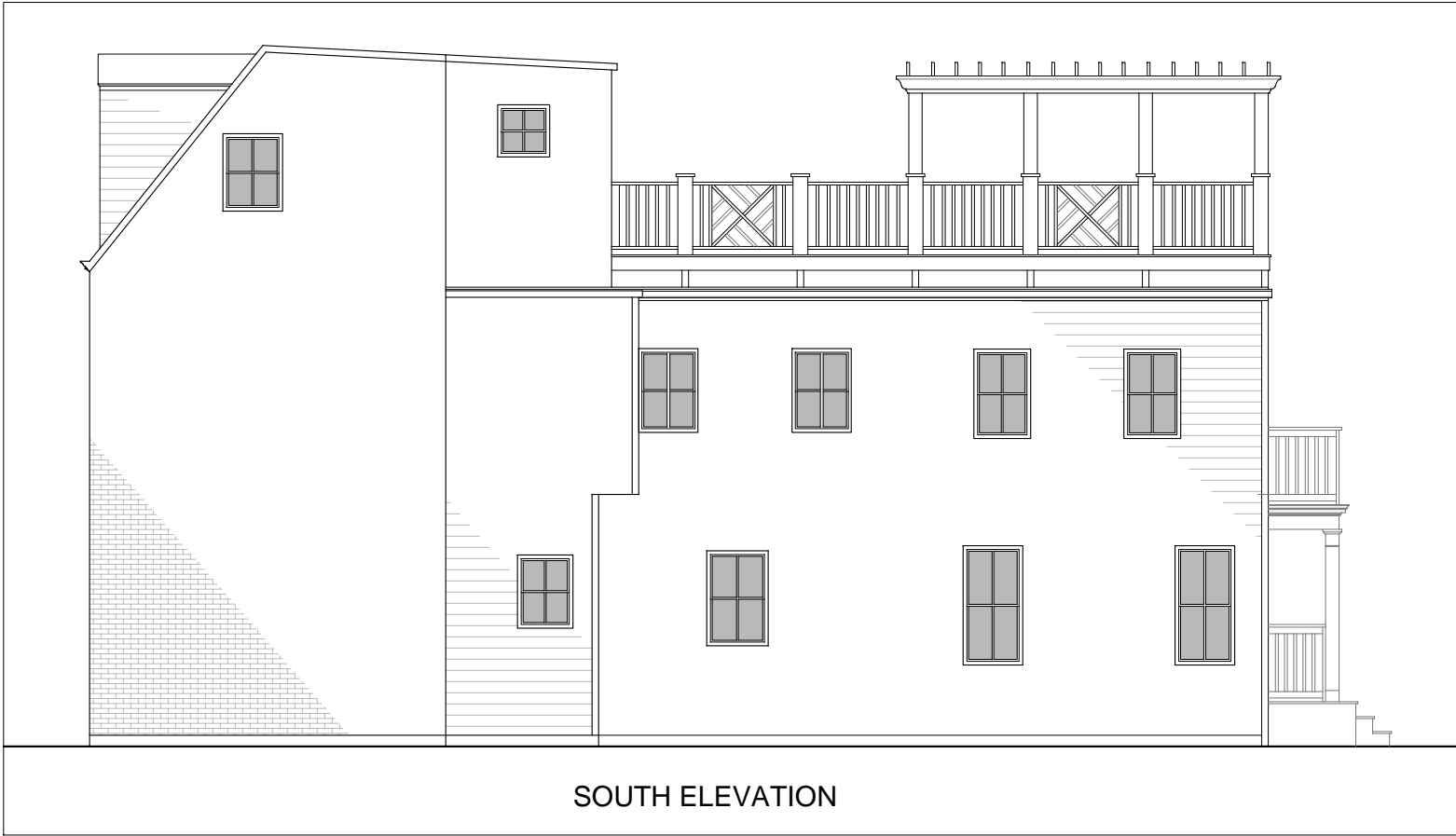
The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____

15

Date: _____

11/7/2019



DRAWING INDEX:	
C101	COVER SHEET
C102	DOOR AND WINDOW SCHEDULE
C103	PLAT AND VICINITY PLAN
C104	FAR CALCS. AND MATERIAL SPECS.
C105	PHOTOGRAPHS
X100	EXISTING FLOOR PLAN
X101	EXISTING FLOOR PLAN
X102	EXISTING FLOOR PLAN
X103	EXISTING FLOOR PLAN
X201	EXISTING EXTERIOR ELEVATIONS
X202	EXISTING EXTERIOR ELEVATIONS
A100	PROPOSED FLOOR PLAN
A101	PROPOSED FLOOR PLAN
A102	PROPOSED FLOOR PLAN
A103	PROPOSED FLOOR PLAN
A201	PROPOSED EXTERIOR ELEVATIONS
A202	PROPOSED EXTERIOR ELEVATIONS

EXTERIOR FINISH SPECIFICATIONS

ROOFING: EPDM ROLL MEMBRANE ROOFING

FLASHING: PAINTED WHITE ALUMINUM FLASHING

GUTTER/DOWNSPOUTS: WHITE ALUMINUM
K-STYLE GUTTERS AND MATCHING
DOWNSPOUTS

SIDING: EXISTING TO REMAIN WHERE POSSIBLE
MATCH EXISTING WITH PAINTED CEMENTITIOUS
SIDING


DOORS/WINDOWS: SEE SCHEDULE

TRIM/RAILINGS/PERGOLA: PAINTED WOOD OR
SYNTHETIC WOOD MATERIALS, PVC POST
WRAPS AND RAILINGS. PAINTED WOOD
PERGOLA.

DECKING: SYNTHETIC TREX DECKING

PROJECT DESCRIPTION

- REBUILD EXISTING ROOF DECK AND PERGOLA
OVER EXISTING ROOF FOOTPRINT. ANGLED
PORTION OF ROOF DECK TO BE COMPLETELY
REMOVED.
- NEW 3RD FLOOR ADDITION TO HAVE NEW
STAIR TO ACCESS THE 3RD FLOOR AND ROOF
DECK. ADDITION WILL ALSO HAVE A NEW
BATHROOM.
- RELOCATE EXISTING AND NEW WINDOW AND
DOOR OPENINGS ON SIDE AND REAR FACADE
- NEW INTERIOR ALTERATIONS
- REMOVE EXISTING MECHANICAL ROOM AT
REAR OF HOUSE AND CREATE A SMALL PORCH
AND BALCONY AT THE REAR OF THE
PROPERTY., REMOVE EX. BRICK CHIMNEY.
- NEW STAIRWELL TO BASEMENT

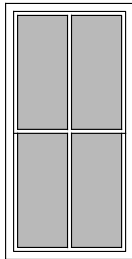


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ADAMS ARCHITECTURE PLANNING INTERIORS

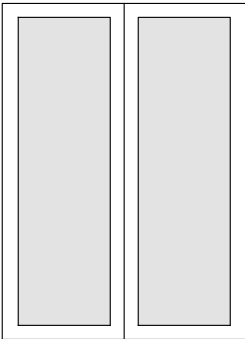
D'ANGELO - DEKEYSER RESIDENCE
214 S. HENRY STREET
ALEXANDRIA, VIRGINIA 22314

DATE	SHEET
OCTOBER 6, 2019	C101



NEW WINDOWS

TYPE:	DOUBLE HUNG
MANUFACTURER:	PELLA
MODEL:	ARCHITECT SERIES
FRAME SIZE:	2-4 x 5-0
OPERATION:	LIFT
MATERIAL:	DOUGLAS FIR
FINISH:	PRIMED INTERIOR WHITE CLAD EXTERIOR
GLAZING:	INSULATED LOW-E ARGON FILLED
MUNTIN BARS:	7/8" SDL
SCREEN:	NONE
EXT. TRIM:	NONE
SILL:	STANDARD
HARDWARE:	TBD
NOTES:	NONE



NEW DOORS

TYPE:	IN-SWING DOOR
MANUFACTURER:	PELLA
MODEL:	ARCHITECT SERIES
FRAME SIZE:	5-0 x 6-8
OPERATION:	IN-SWING
MATERIAL:	DOUGLAS FIR
FINISH:	PRIMED INTERIOR WHITE CLAD EXTERIOR
GLAZING:	INSULATED LOW-E ARGON FILLED
MUNTIN BARS:	7/8" SDL
SCREEN:	NONE
EXT. TRIM:	NONE
SILL:	STANDARD
HARDWARE:	TBD
NOTES:	NONE

REPLACE ALL EXISTING WINDOWS ON
FRONT SIDE AND REAR OF HOUSE

REPLACEMENT WINDOWS

TYPE:	DOUBLE HUNG
MANUFACTURER:	PELLA
MODEL:	ARCHITECT SERIES
FRAME SIZE:	MATCH EXISTING
OPERATION:	LIFT
MATERIAL:	DOUGLAS FIR
FINISH:	PRIMED INTERIOR WHITE CLAD EXTERIOR
GLAZING:	INSULATED LOW-E ARGON FILLED
MUNTIN BARS:	7/8" SDL
SCREEN:	NONE
EXT. TRIM:	NONE
SILL:	STANDARD
HARDWARE:	TBD
NOTES:	NONE



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ARCHITECTURE PLANNING INTERIORS

D'ANGELO - DEKEYSER RESIDENCE
214 S. HENRY STREET
ALEXANDRIA, VIRGINIA 22314

DATE	SHEET
OCTOBER 6, 2019	C102

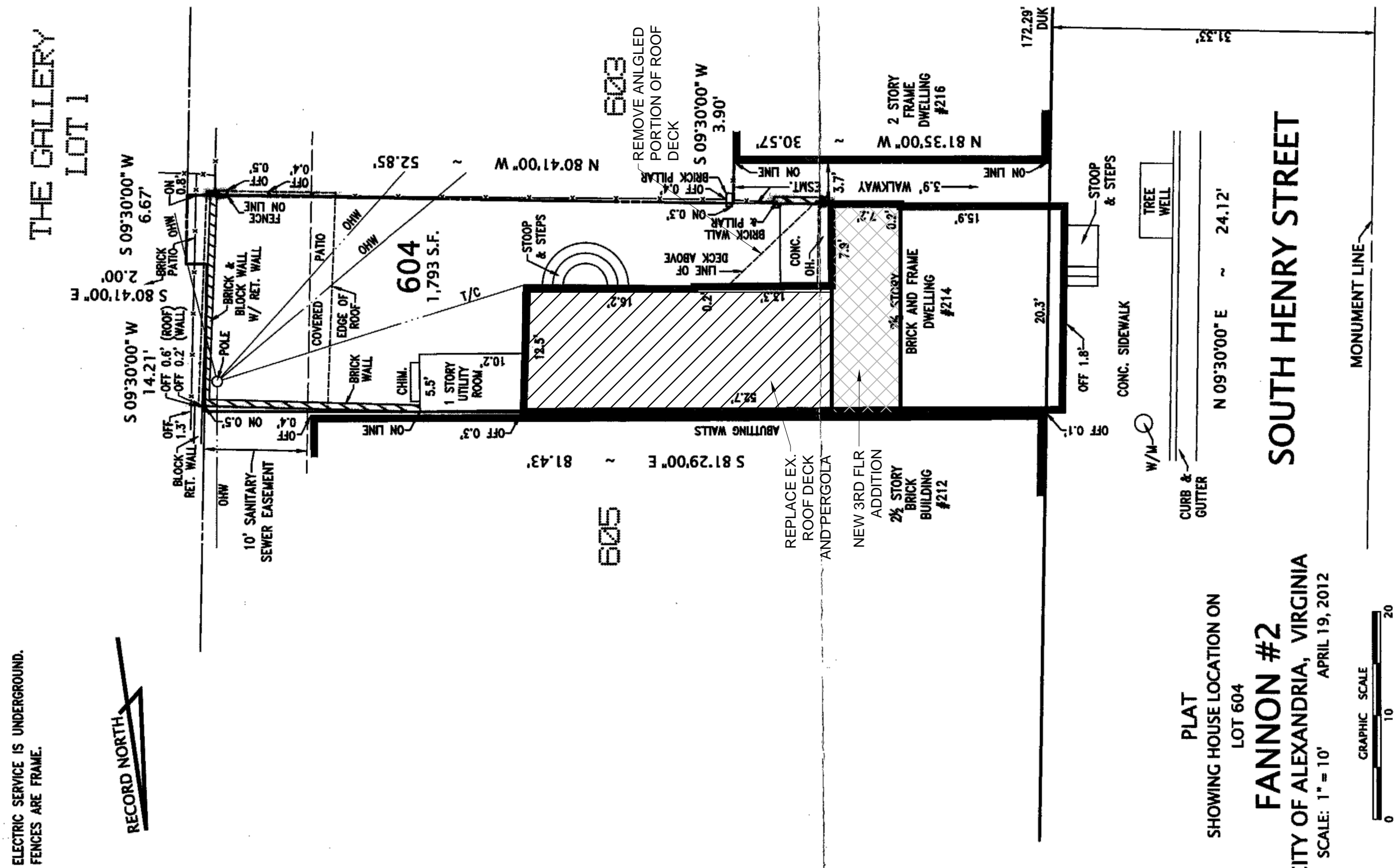


ARCHITECTURE PLANNING INTERIORS

18

SHEET

C103





Department of Planning and Zoning
Floor Area Ratio and Open Space Calculations

VOID

B

A. Property Information

A1. 214 S Henry Street CL
Street Address Zone

A2. 1,793.00 x 0.75 = 1,344.75
Total Lot Area Floor Area Ratio Allowed by Zone Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area		Allowable Exclusions**	
Basement	320.00	Basement**	320.00
First Floor	876.00	Stairways**	110.00
Second Floor	830.00	Mechanical**	72.00
Third Floor		Attic less than 7'***	50.00
Attic	200.00	Porches**	
Porches		Balcony/Deck**	
Balcony/Deck	288.00	Lavatory***	176.00
Lavatory***		Other**	
Other**		Other**	
B1. Total Gross	2,514.00	B2. Total Exclusions	728.00

B1. 2,514.00 Sq. Ft. Existing Gross Floor Area*

B2. 728.00 Sq. Ft. Allowable Floor Exclusions**

B3. 1,786.00 Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)

Comments for Existing Gross Floor Area

C. Proposed Gross Floor Area

Proposed Gross Area		Allowable Exclusions**	
Basement		Basement**	
First Floor		Stairways**	70.00
Second Floor		Mechanical**	
Third Floor		Attic less than 7'***	
Attic	120.00	Porches**	18.00
Porches		Balcony/Deck**	18.00
Balcony/Deck	36.00	Lavatory***	50.00
Lavatory***		Other**	
Other		Other**	
C1. Total Gross	156.00	C2. Total Exclusions	156.00

C1. 156.00 Sq. Ft. Proposed Gross Floor Area*

C2. 156.00 Sq. Ft. Allowable Floor Exclusions**

C3. 0.00 Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)

D. Total Floor Area

D1. 1,786.00 Sq. Ft. Total Floor Area (add B3 and C3)

D2. 1,344.75 Sq. Ft. Total Floor Area Allowed by Zone (A2)

E. Open Space (RA & RB Zones)

E1. Existing Open Space

E2. Required Open Space

E3. Proposed Open Space

Notes

*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

** Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

***Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____ Date: _____



City of Alexandria, Virginia

Map Title

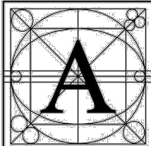


188.1 0 94.04 188.1 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
City of Alexandria, VA

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THIS MAP IS NOT TO BE USED FOR NAVIGATION



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C104



VIEW FROM REAR PARKING LOT / ALLEY



VIEW FROM S. HENRY STREET AND DUKE STREET




VIEW OF FRONT ELEVATION



VIEW OF SIDE ELEVATION FROM REAR YARD



VIEW OF REAR ELEVATION

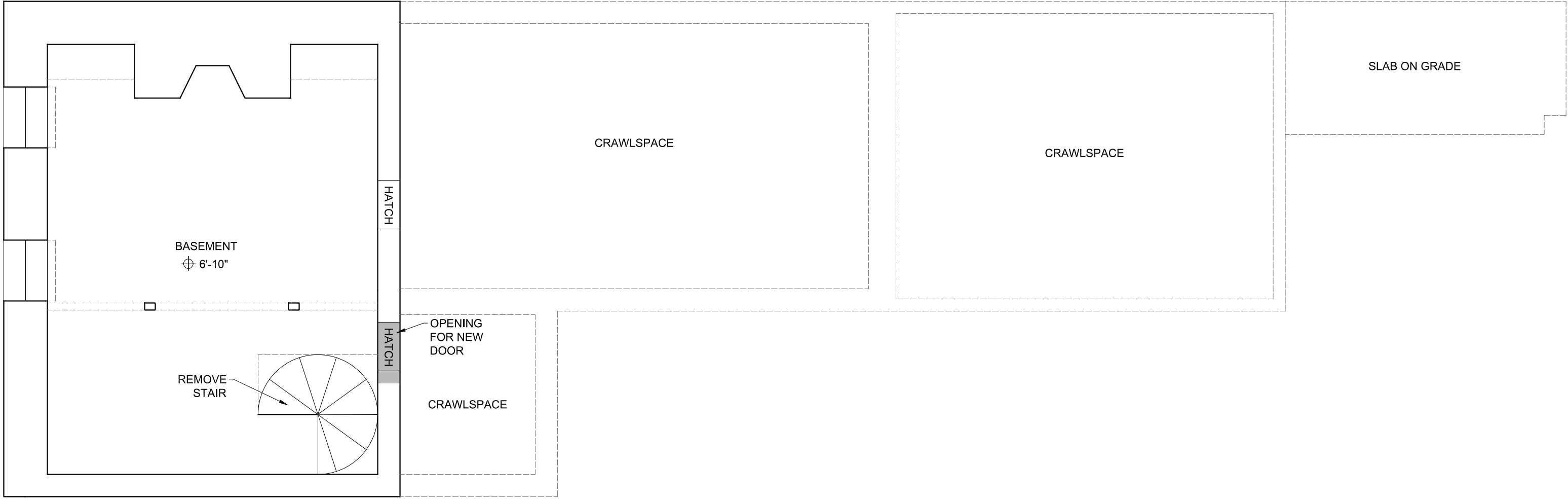


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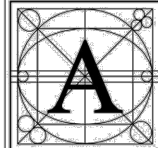
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1 EXISTING BASEMENT PLAN
X100 SCALE: 1/4" = 1'-0"
SHADED AREAS INDICATE DEMOLITION



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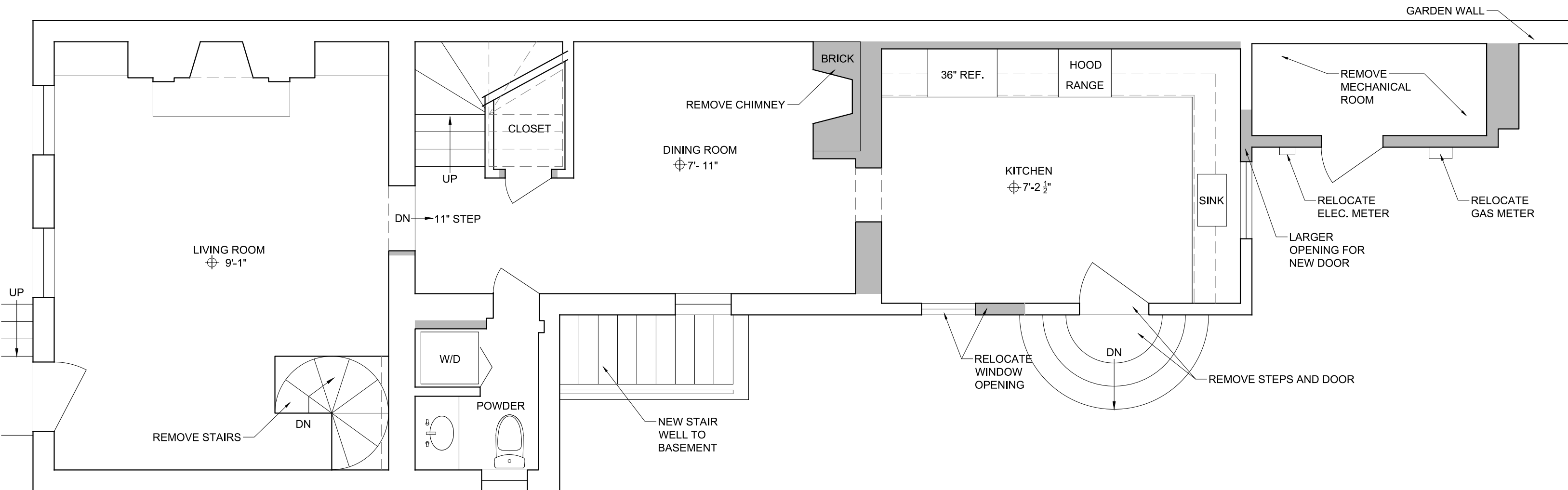
ADAMS ARCHITECTURE PLANNING INTERIORS

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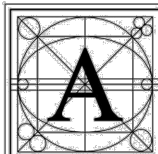
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X100



1 EXISTING FIRST FLOOR PLAN
X101 SCALE: 1/4" = 1'-0"

SHADED AREAS INDICATE DEMOLITION



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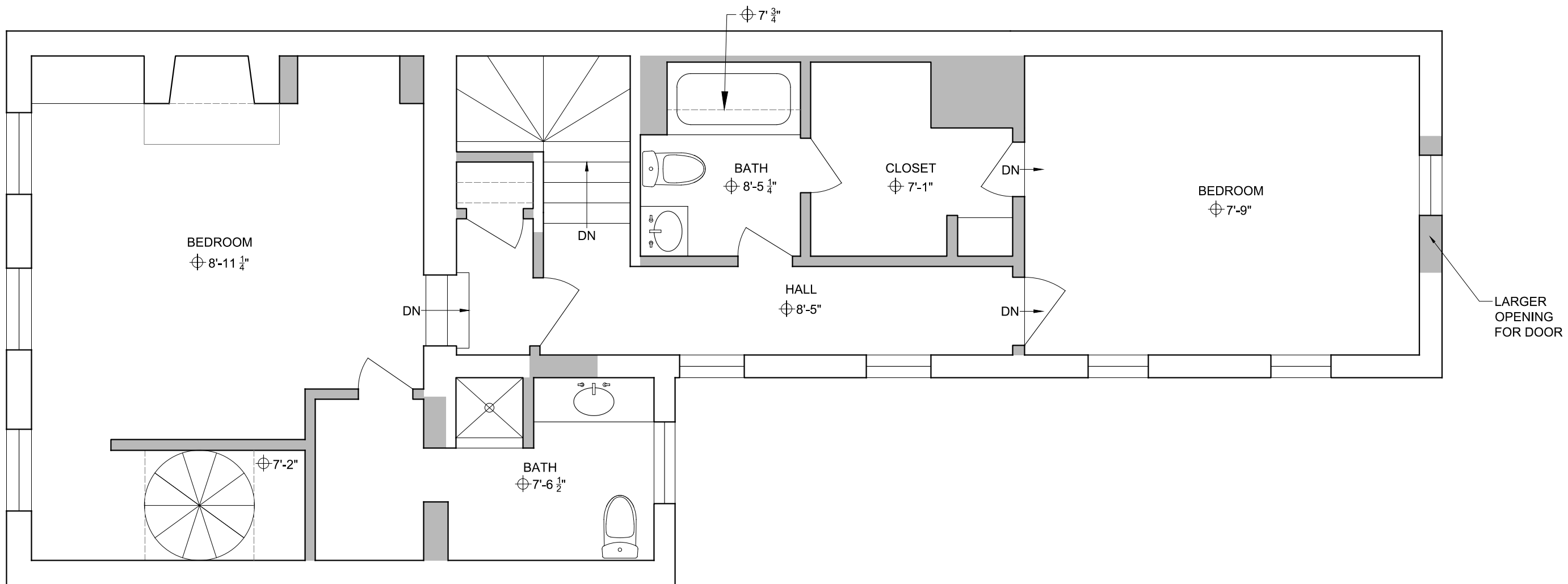
ADAMS ARCHITECTURE PLANNING INTERIORS

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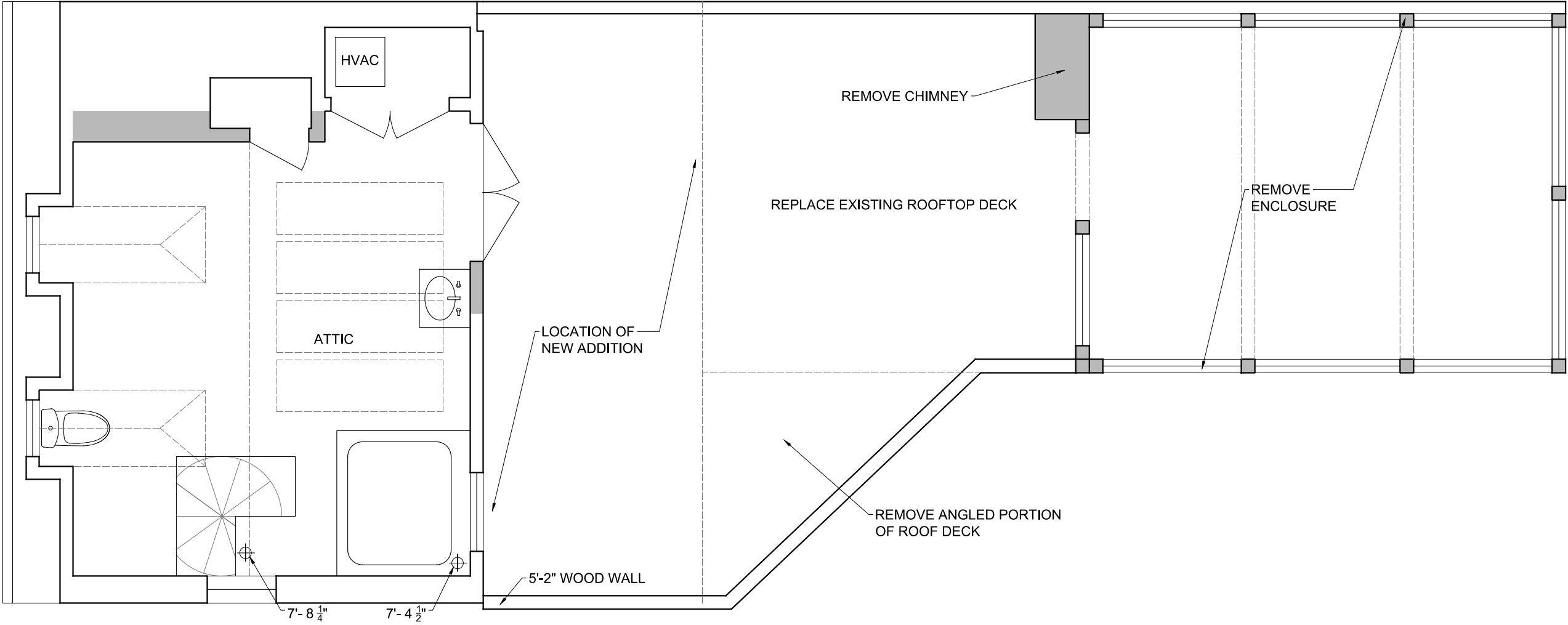
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SHEET
X101



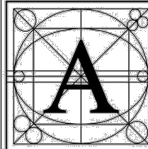
1 EXISTING SECOND FLOOR PLAN
X102 SCALE: 1/4" = 1'-0"

■ SHADED AREAS INDICATE DEMOLITION



1 EXISTING THIRD FLOOR PLAN
X103 SCALE: 1/4" = 1'-0"

SHADED AREAS INDICATE DEMOLITION



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DATE	SHEET
OCTOBER 6, 2019	X103

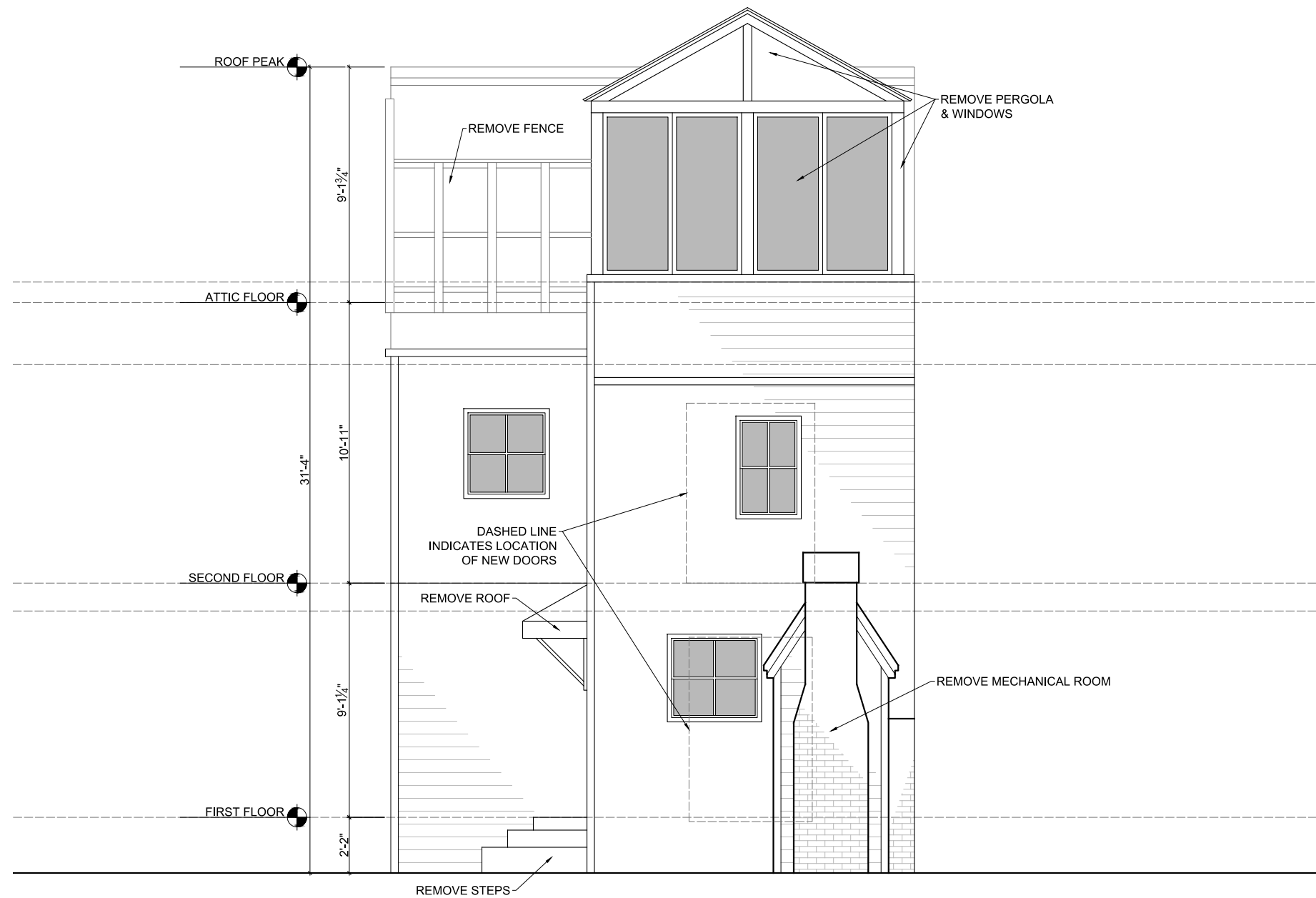


1 EXISTING SOUTH ELEVATION
X201 SCALE: $\frac{3}{16}$ " - 1'-0"

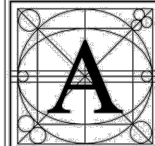
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DATE	SHEET
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1 EXISTING EAST ELEVATION
X202 SCALE: $\frac{3}{16}$ " - 1'-0"



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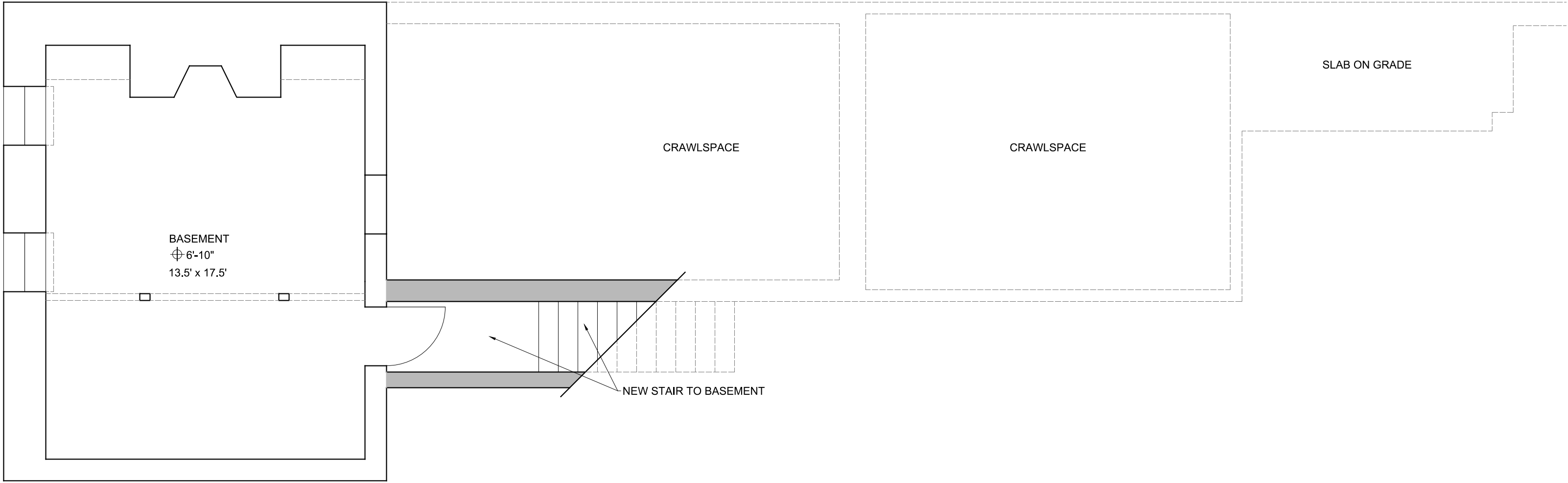
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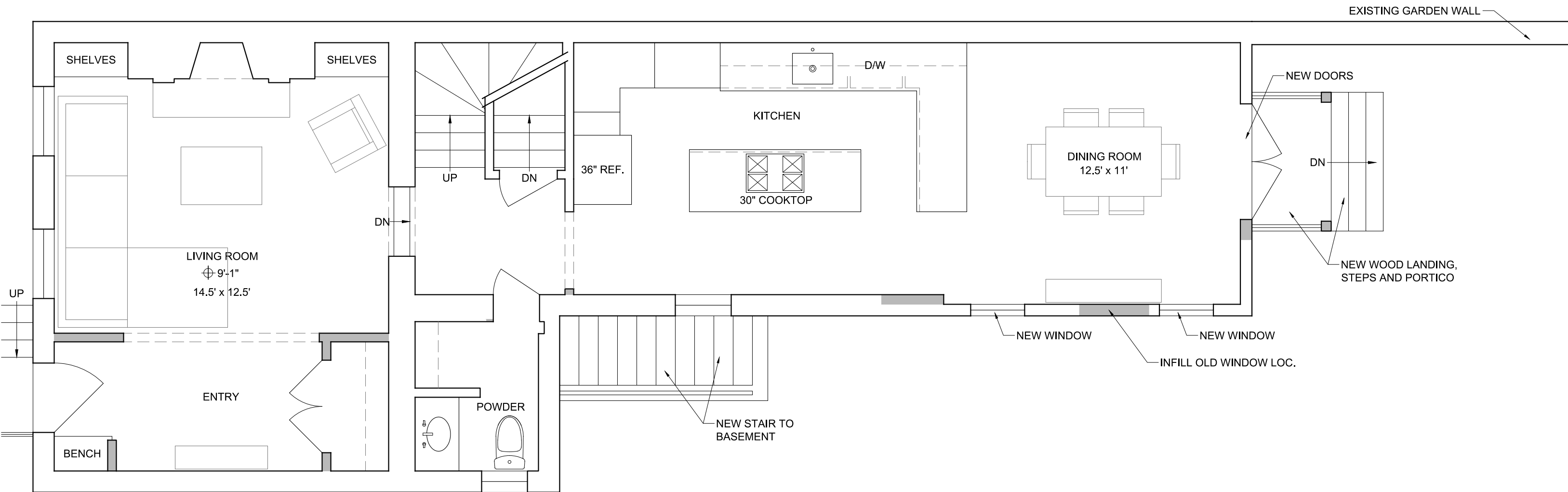
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X202



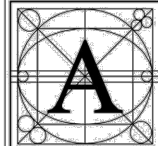
1 PROPOSED BASEMENT PLAN
A100 SCALE: 1/4" = 1'-0"

SHADED AREAS INDICATE NEW CONSTRUCTION



1 PROPOSED FIRST FLOOR PLAN
A101 SCALE: 1/4" = 1'-0"

SHADED AREAS INDICATE NEW CONSTRUCTION



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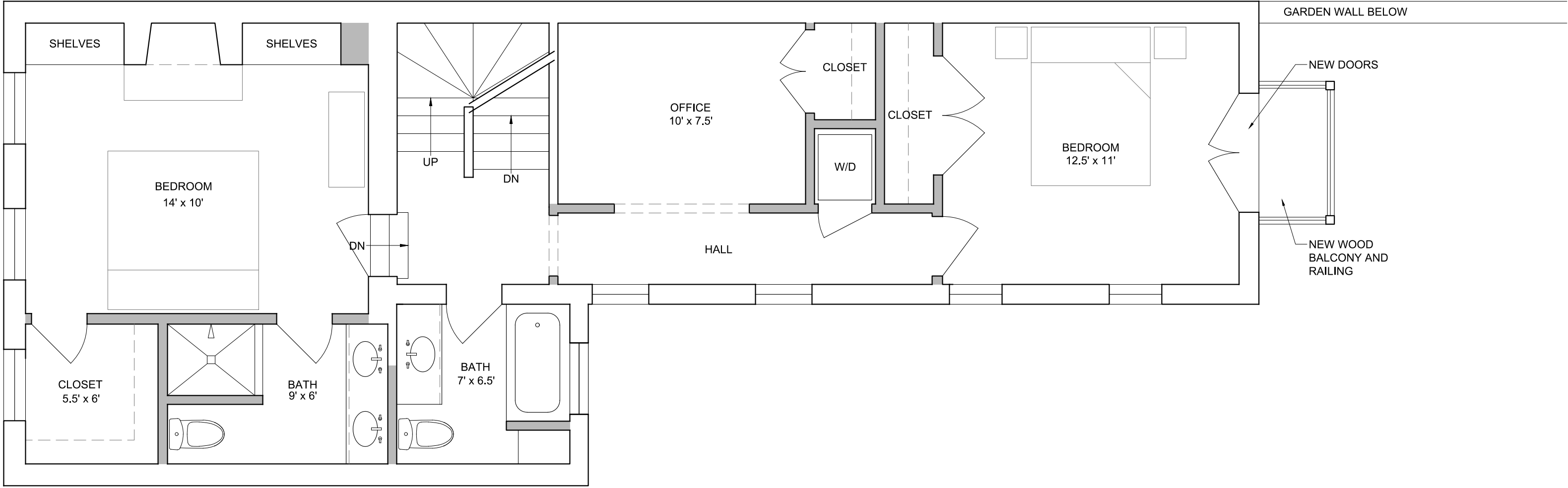
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SHEET

A101



1 PROPOSED SECOND FLOOR PLAN
A102 SCALE: 1/4" = 1'-0"

SHADED AREAS INDICATE NEW CONSTRUCTION



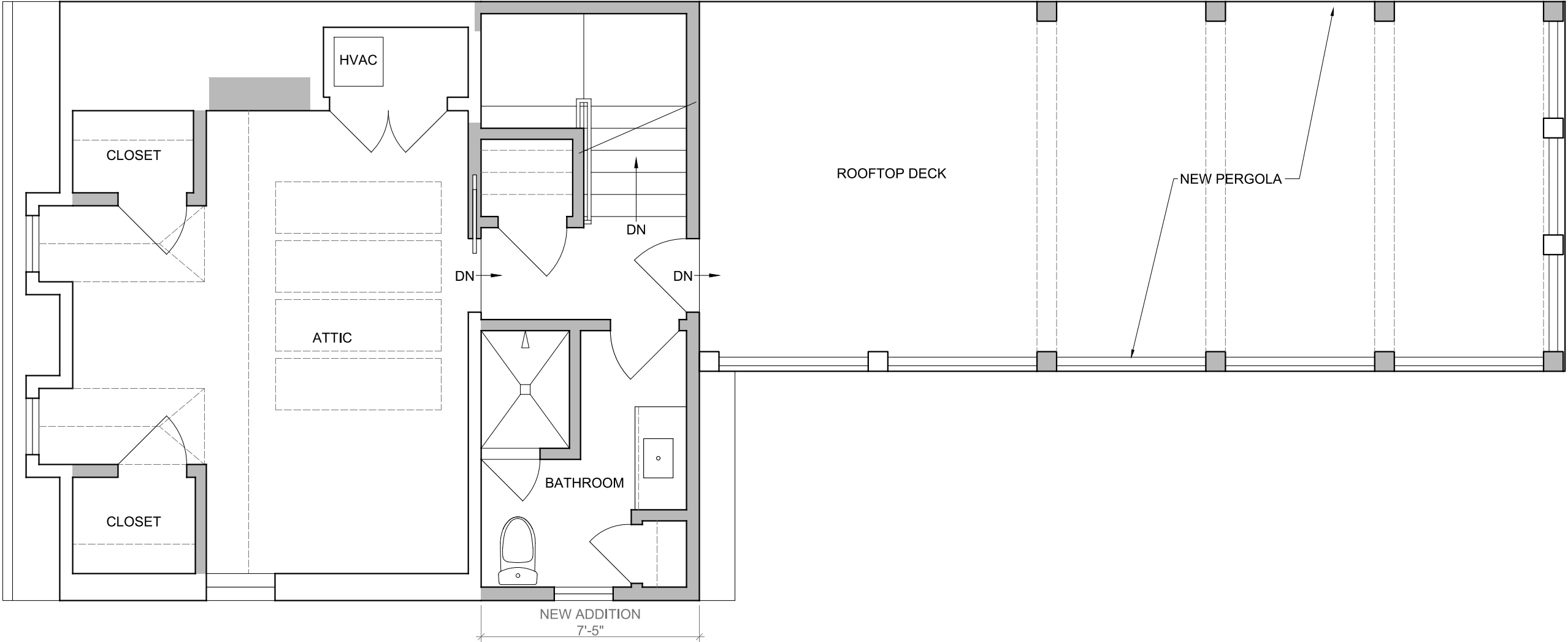
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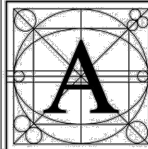
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A102



1 PROPOSED THIRD FLOOR PLAN
A103 SCALE: 1/4" = 1'-0"
SHADED AREAS INDICATE NEW CONSTRUCTION

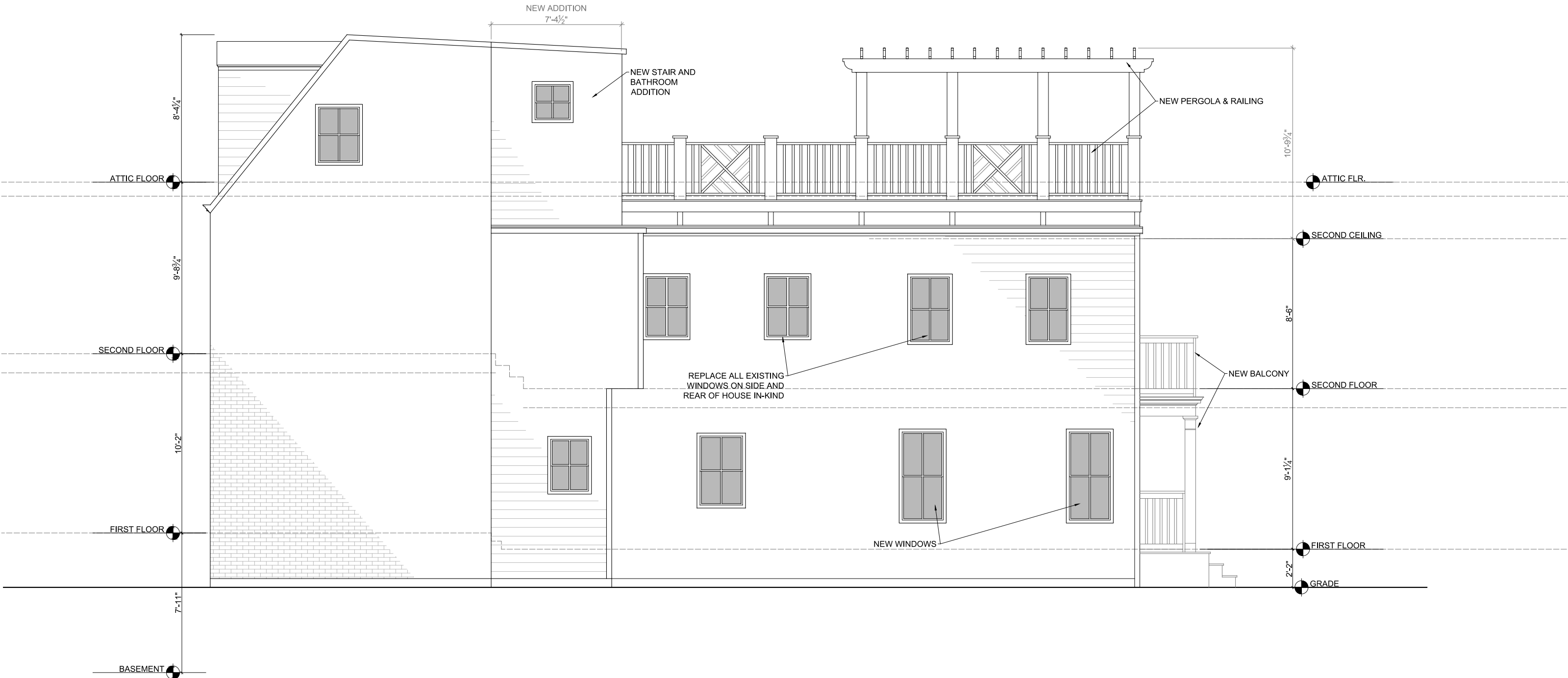


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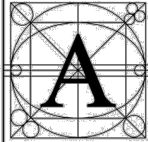
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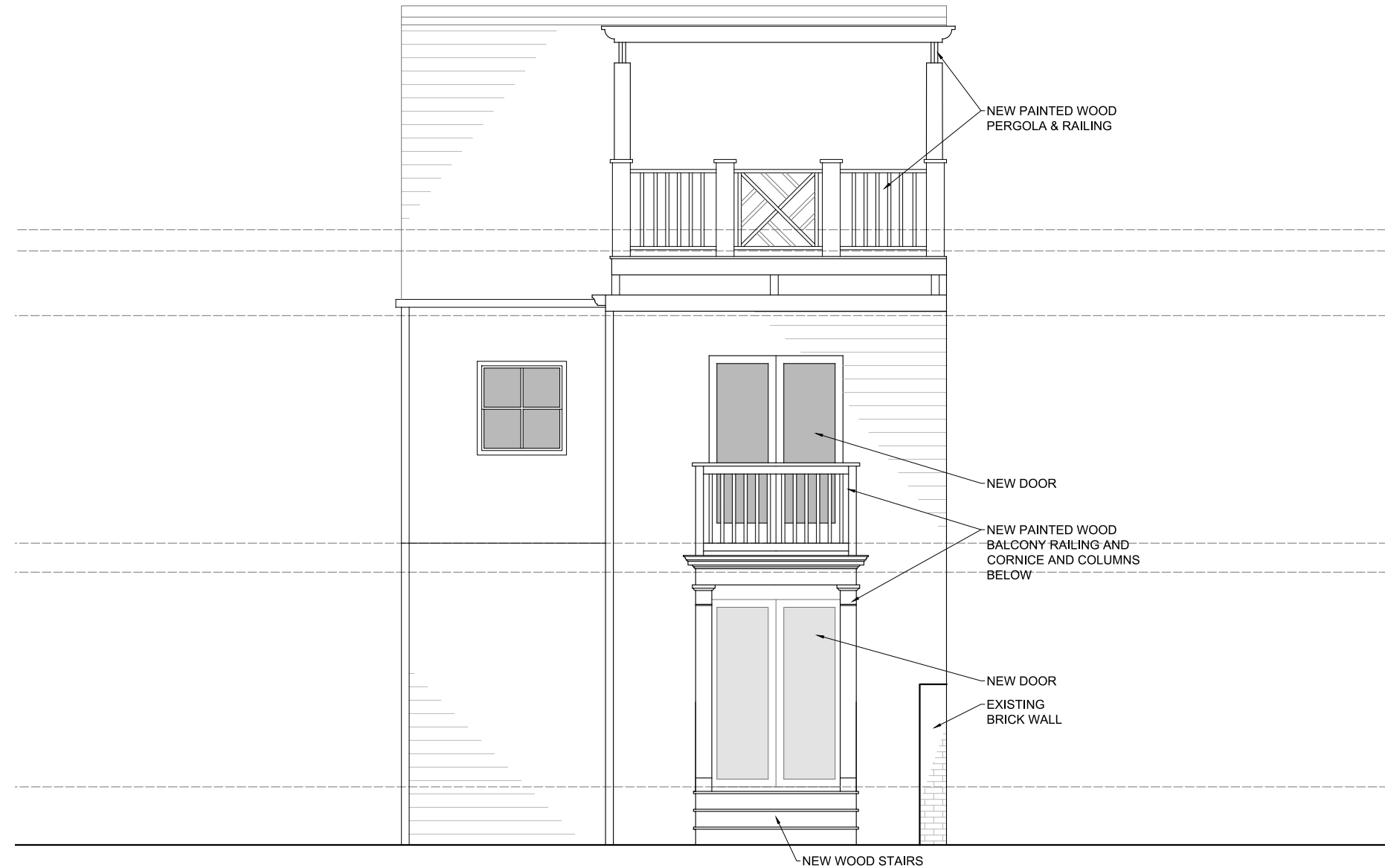


1 PROPOSED SOUTH ELEVATION
A201 SCALE: $\frac{3}{16}$ " - 1'-0"

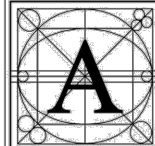
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1 PROPOSED SOUTH ELEVATION
A202 SCALE: $\frac{3}{16}$ " - 1'-0"



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A202