

ISSUE: Certificate of Appropriateness for alterations

APPLICANT: Emily Lapp

LOCATION: Parker-Gray District
415 North Peyton Street

ZONE: RB/Residential Townhouse Zone

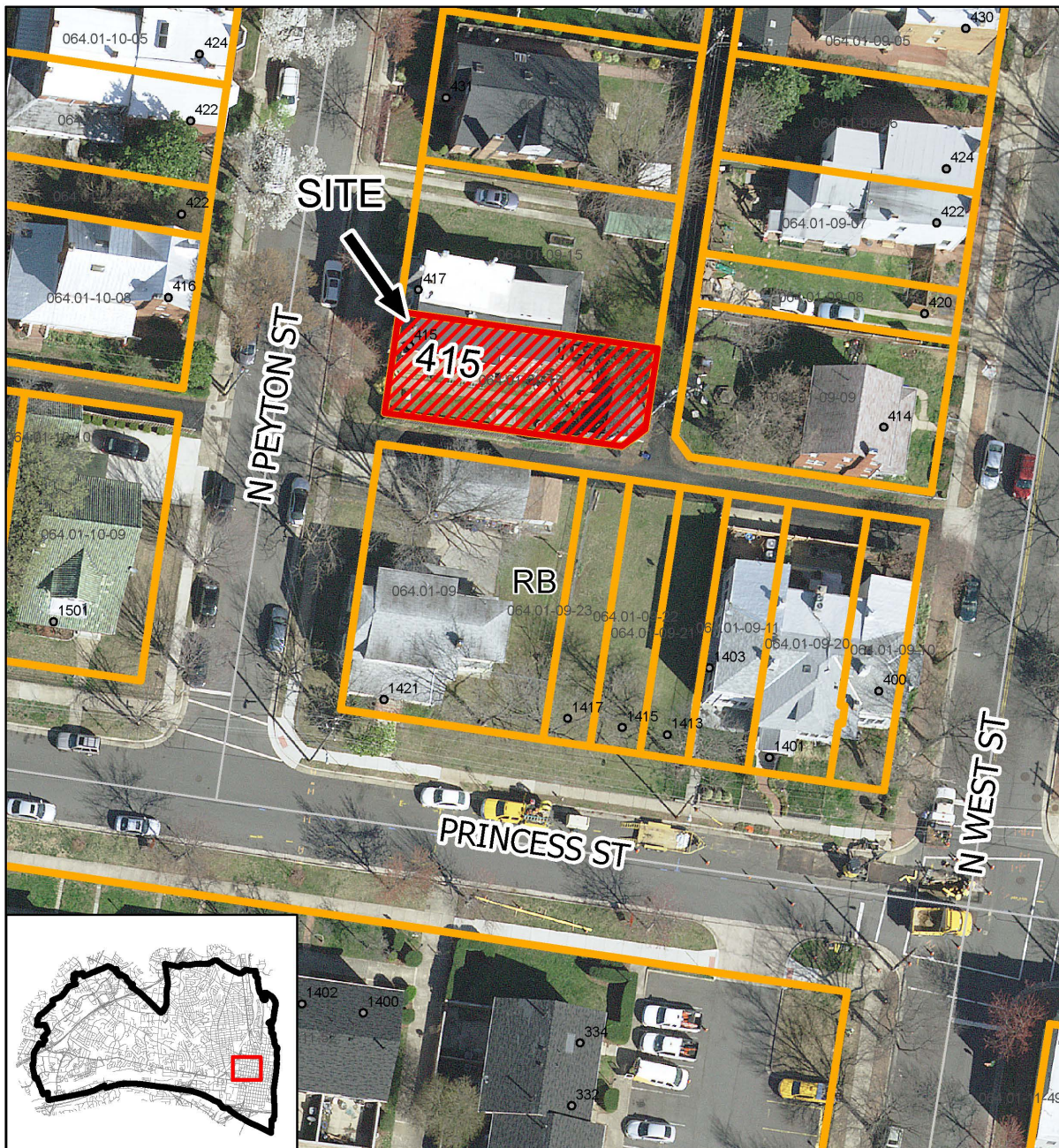
STAFF RECOMMENDATION

Staff recommends approval of the Certificate of Appropriateness for alterations with the following conditions:

1. Submit final window specifications to confirm that the window glazing complies with the Alexandria New and Replacement Window Performance Specifications in the Historic Districts before ordering the windows or applying for building permits.
2. Include the conditions below in the General Notes of all site plans and on all construction documents that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
 - a. Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
 - b. The applicant/developer shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.

GENERAL NOTES TO THE APPLICANT

1. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
2. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
3. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
4. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B), 10-206(B) and 10-307 of the Zoning Ordinance, any Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



BAR #2019-00448
415 North Peyton Street



0 20 40 80 Feet

I. APPLICANT'S PROPOSAL

The applicant requests a Certificate of Appropriateness to install two safety egress windows and one window well on the front elevation, at 415 North Peyton Street.

Certificate of Appropriateness

The applicant requests to replace the two existing basement level windows on the façade of 415 North Peyton Street with two wood safety egress casement windows. The egress windows will retain the existing window width of 27" and the height will increase by 20" to 48". A proposed 68" wide window well will encompass both egress windows. The white, egress window well walls will be nearly flush with the existing grade and will not be functionally visible. It will include a metal safety grate with a clear, polycarbonate cover underneath. The metal grate and any above-grade portions of the proposed window well will be painted black to match the handrails on the façade.

The proposed alterations will include the demolition of 7.5 square feet of wall area, the majority of which will be below-grade. A separate Permit to Demolish is not required to demolish wall area less than 25 square feet.

II. HISTORY

415 North Peyton Street was constructed between **1912** and **1921**, when the townhouse first appears on the Sanborn Fire Insurance Map. The footprint of the two-bay, two-story Victorian style brick townhouse has not changed since it was constructed.

Previous BAR Approvals

In 1985, a number of alterations to the property were completed as part of the City of Alexandria Home Rehabilitation Loan and Grant Program. The alterations included new vinyl windows, a handrail and light fixtures (Permit #41223, 10/21/85).

In 2005 (BAR2005-00280), the BAR approved the after-the-fact replacement windows with the condition that the vinyl windows be replaced with new painted wood one-over-one windows. More recently, in 2011 (BAR2011-00348), staff administratively approved a wood fence.

III. ANALYSIS

Certificate of Appropriateness

The *Design Guidelines* state that windows are a principal character defining feature of a building and serve both functional and aesthetic purposes. The proposed alterations include the conversion of the existing basement windows into two egress windows, as required by code for all sleeping rooms. The replacement windows will retain the width of the existing windows (27") and the lintels will remain fully intact. The existing window sills will be removed to allow for the window openings to be lowered 20" and, as previously stated, the egress window well retaining walls will be nearly flush with the existing grade and will not be incompatible with the architectural character of the building as viewed from the sidewalk.

Staff notes that, although the building façade is set back approximately 12' from the sidewalk, the window well will still project 1.3' into the public right of way. However, basement windows wells covered by flush grates are frequently approved by the BAR that are entirely within the public sidewalk and the proposed alterations will have a minimal visual impact on this particular site. The new window openings will also retain the existing window pattern and relationship with the windows on the upper stories. Since a large portion of each egress window will be below grade, the windows will not overpower the existing façade, enabling the current windows on the first floor and bay window on the second floor to remain the prominent architectural features on the façade. The proposed metal grate is also minimally visible.

While staff compliments the very clear and thorough application materials, the applicant must, nevertheless, submit final window order form from the vendor to confirm that the window glazing complies with the Alexandria New and Replacement Window Performance Specifications in the Historic Districts with respect to materials and glass color before ordering or applying for the necessary building permits.

With the conditions above, staff recommends approval of the project.

STAFF

Amirah Lane, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

F-1 All proposed changes are structural in nature and comply with zoning requirements.

Code Administration

No Comments Received.

Transportation and Environmental Services

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be

included in the review. (T&ES)

- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 The lot appears to have been vacant until the construction of the current house in the early twentieth century. During the Civil War the subject lot was part of an enormous cattle yard west of West Street that spanned between Cameron Street on the south and Oronoco Street on the north. After the Civil War the property was situated outside the city limits of Alexandria, and therefore likely remained undeveloped. By the late nineteenth century Charles and William Hellmuth owned property that encompassed the subject lot. In the early 1890s the Hellmuth brothers sold the entire block between Earl Street and Peyton Street to Wheat and Suter, a real estate investment firm who established a subdivision on the block. Gradually the lots were sold. Therefore, the likelihood that significant archaeological materials are present on the subject property is fairly low.

- R-1 *The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
- R-2 *The applicant/developer shall not allow any metal detection or artifact collection to be conducted on the property, unless authorized by Alexandria Archaeology.
- R-3 The statements in archaeology conditions above marked with an asterisk “*” shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements.

V. ATTACHMENTS

1 – Supplemental Materials

2 – Application for BAR 2019-00448: 415 North Peyton Street

ADDRESS OF PROJECT: 415 N. Peyton St.DISTRICT: ☐ Old & Historic Alexandria ☒ Parker - Gray ☐ 100 Year Old BuildingTAX MAP AND PARCEL: 064.01-09-14 ZONING: RB

APPLICATION FOR: (Please check all that apply)

☒ CERTIFICATE OF APPROPRIATENESS☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☒ Property Owner ☐ Business (Please provide business name & contact person)Name: Emily LappAddress: 415 N. Peyton St.City: Alexandria State: VA Zip: 22314Phone: 425-246-5987 E-mail: emilylapp@gmail.comAuthorized Agent (if applicable): ☐ Attorney ☐ Architect ☐ _____

Name: _____ Phone: _____

E-mail: _____

Legal Property Owner:

Name: Emily Lapp

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ E-mail: _____

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☒ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--------------------------------------|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input checked="" type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☐ ADDITION
- ☐ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Please see attached.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☒ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ ☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☒ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☐ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: Emily Lapp

Printed Name: Emily Lapp

Date: 10/14/19

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Emily Lapp	415 N Peyton St.	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 415 N Peyton St. (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Emily Lapp	415 N Peyton St.	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose **any** business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Emily Lapp	None	
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

10/21/1

Date

Emily Anne Lapp

Printed Name

Emily Anne Lapp
Signature

I am requesting approval of a Certificate of Appropriateness for the installation of two safety egress windows and one window well on the basement level on the North Peyton Street façade of the residential semi-detached house located at 415 North Peyton Street.

The two identical windows to be installed will be located on the basement level, with the same width as the two existing 27¼" basement windows. The historical window lintel will remain fully intact, while the existing window sills will be removed and lowered approximately 20" into a dug-out window well. The proposed windows to be installed measure approximately 27" in width and 48" in height, and will be WeatherShield Casement 6204 windows. They will be secondary in size to the first floor windows, which are 60" tall. In keeping with the historical appropriateness of the 1910 Victorian house, the windows will be made of wood and have no muntins. Although double-hung windows are period appropriate, in order to meet International Residential Code (IRC) Section R310 requirements for egress window square footage of 5.7 square feet while maintaining the historical width of the basement windows, the proposed egress windows must be casement windows to enable all glass area to serve as egress square footage. However, the casement window will have minimal visual impact on the building's façade as the casement windows will appear as a single, small window, nearly identical in presentation to the existing single pane basement windows. The majority of the expanded window height will be underground in the window well, hidden from view to street traffic, with no perceptible increase in window dimension as seen from the street.

A new, single window well will encompass both egress windows, and will measure 68" in width, with a 36" rounded projection from the front brick wall to meet egress requirements, and be approximately 36" in height (note: the final window well depth will be shallower due to required drainage materials at the bottom the well) . The proposed window well will be a Bowman Kemp Easy Well brand and made from heavy-duty 18-gauge galvanized steel, with a white enamel paint finish. The egress well will be installed nearly flush with the existing soil level, such that it will be minimally visible from the street. For safety purposes, a high quality, safety window well grate, also from Bowman Kemp, will be installed to keep children and animals from falling into the window well. The safety grate is metal, made of rolled angle iron steel, with steel safety bars, and is designed to hold up to 600 pounds. It easily slides off on a rubber grommet so that even a small child can remove the safety grate and climb out of the basement window in the event of an emergency. The metal safety grate and any above-ground street visible portion of the window well itself will be painted black in order to match historical wrought iron design elements of the property and neighborhood, such as the nearby front stair hand rail and neighboring wrought iron fences. In order to keep snow, leaves, excess water, debris, and other material from entering the window well, while still enabling natural light into the basement, a clear, polycarbonate cover will be located immediately underneath the safety grate. The polycarbonate cover also easily slides off with the window grate for easy egress in the event of an emergency, as per IRC code.

An example of this exact product installed on a front façade basement window in the same manner as this proposal is visible one block from my property at 1333 Oronoco Street. As with

this proposal, only the upper portion of the window is visible from the street, with the remaining window hidden from the street behind the window well.

As part of my research to ensure this alteration best preserves the historical appearance of my 1910 Victorian semi-detached house, I consulted the District of Columbia Historical Preservation Review Board's document titled "Preservation and Design Guidelines for Basement Entrances and Windows." On the topic of basement window wells, it states that "basement windows should be compatible with the architectural character of the building, and window wells should have minimal visual impact on the site." It goes on to explain that "Alterations to basement window openings should be done in a manner that does not change the basic window pattern, apparent size, or relationship with upper story windows." It suggests that "Lowering the sills of existing basement windows can be achieved when it has minimal visual impact on the building's façade, and does not result in a perceptible increase in window dimension as seen from the street." It notes that raising the lintel height and/or widening the basement window is generally not compatible with historic properties. The guide provides a sketch of a Victorian style rowhouse that is nearly identical in style to my property at 415 North Peyton St. and illustrates an acceptable method for altering the existing windows by lowering the window sill, while keeping the historical lintel intact. It summarizes why the changes are acceptable, stating:

"The proposed plan illustrates the existing windows being lowered into a shallow light well. The elongated windows allow greater light into the basement remaining secondary in size to the first floor windows. The cross section shows that the majority of the front yard remains unaltered and that the well is screened by landscaping."

Although not outlined in this proposal, if the BAR desires that I install landscaping to screen the egress window well, I am happy to comply.

Please see the following Figures 1 through 16 for applicable photos, drawings, technical specifications and property plat.

Thank you.

Figure 1: Photo showing existing front façade with two basement windows (27 ¼" x 22")



Figure 2: Close-up view of existing basement windows



Figure 3: Photo showing existing front facade of the property.



Figure 4: Photo showing existing side view of the property.



Figure 5: Photo showing existing facade with view of the sidewalk.



Figure 6: To-scale drawing showing existing front façade. One square (1/4") equals 1 foot.

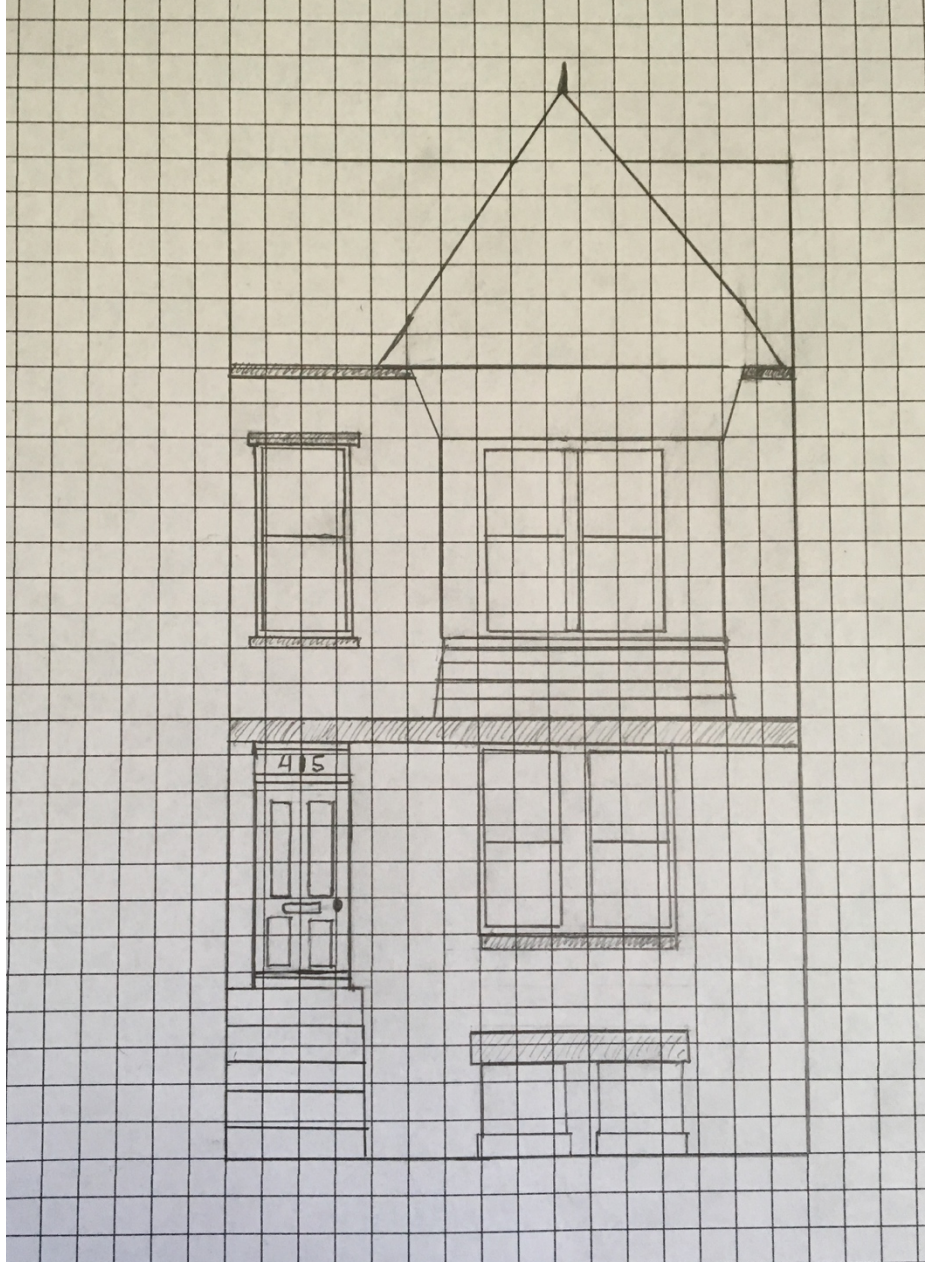


Figure 7: To-scale drawing showing proposed alterations to front façade. One square (1/4") equals 1 foot.

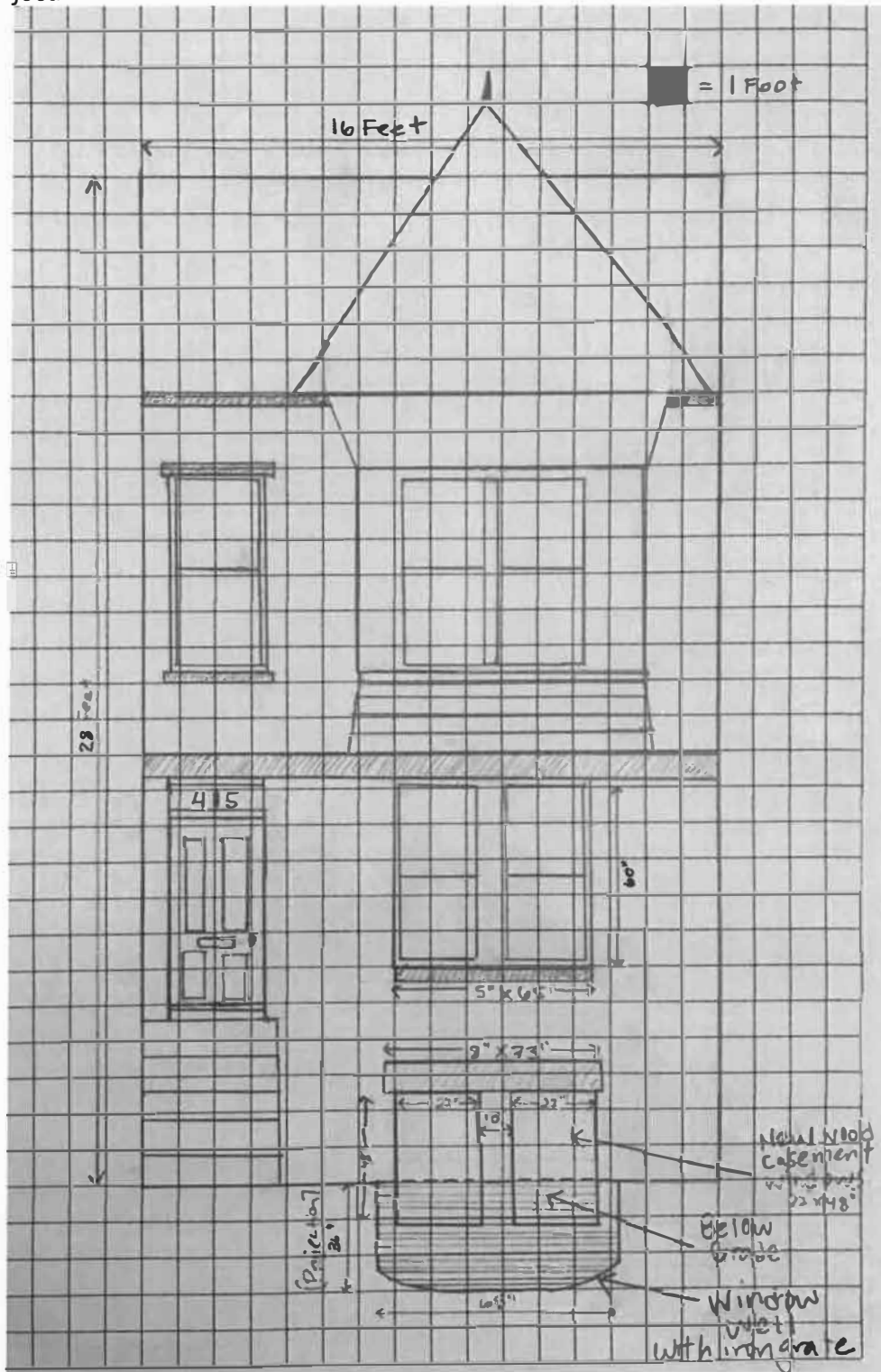
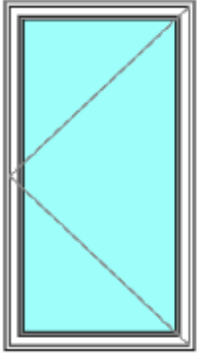


Figure 8: Technical Specifications for the all wood Weather Shield Window to be installed.

LINE #	QUANTITY	ATTRIBUTES
1	1	<p>P.O.: Lapp Emily Location: Custom 26 x 48-1/8 Job: Emily Lapp</p>  <p>Weather Shield Casement Rectangle 6204 1 Wide Complete Unit — Mfg Date 11/1/2005 to Present — Frame Style Casement/Awning See weathershield.com for PG/DP information Sizing Method Jb to Jb/Frame Size — R/O Size 27" X 49 3/8" — Jamb Size 26" X 48 1/8" — Glass Size 22" X 44" Operating Code - Left Primed - Colonial Sash Profile - Primed — Exterior Panel/Sash Color Primed W/Aluminum Sill Cladding — No Exterior Casing - — No Subsill - — 5 1/2" Installation Clips - Shipped Loose 6 9/16" Jamb Depth - Pine - Primed - White Insulated Low E — W/Out Neat Clean Glass Glazing Bead Type - Colonial — W/Out Protective Film — Black Spacer — W/Inert Airspace Gas 1 Lite - W/Standard Hardware - White - Double Locks - — 10" Adjustable Hinge - — Split Arm Operator — No Reinforced Keeper — Handle/Cover/Kit Ship Separate W/Screen - White - NO-SEE-UM Mesh - Shipped Loose Standard Unit No Field Prepping</p>

(Viewed from Exterior)

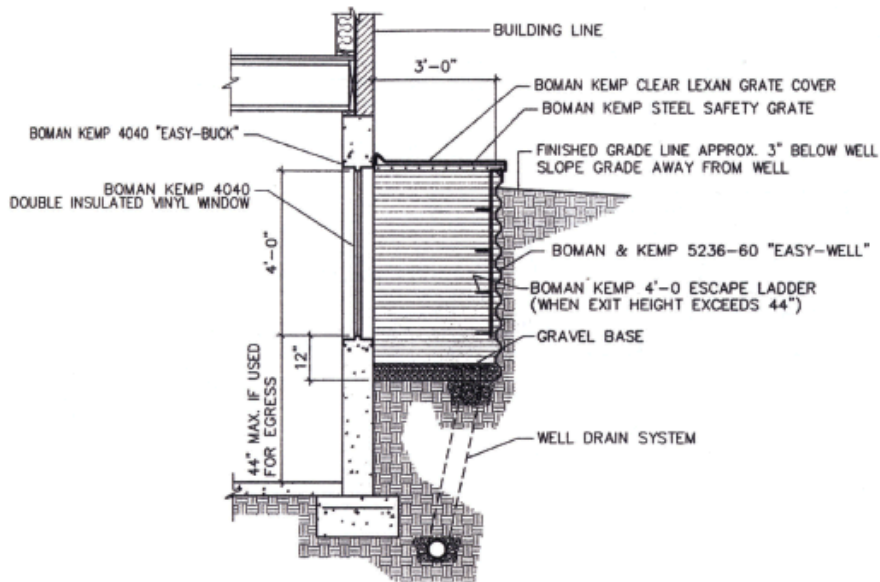
Rough Opening 27" x 49-3/8"
Overall Jamb 26" x 48-1/8"

Figure 9: Bowman Kemp Easy Well general installation specifications (Please ignore any mention of vinyl windows, window installed will be wood. Easy Well installed will be 68" wide x 36" tall with 36" projection.)

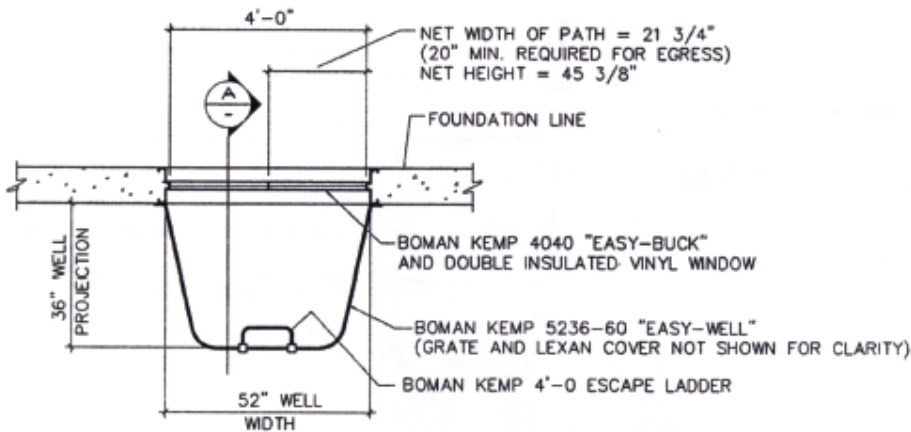


BASEMENT WINDOW SYSTEMS

www.boman-kemp.com



A WALL SECTION THRU. WINDOW WELL



B PLAN VIEW WINDOW WELL
36" PROJECTION REQUIRED FOR EGRESS

Figure 10: Stock photo showing Bowman Kemp Easy Well installed.

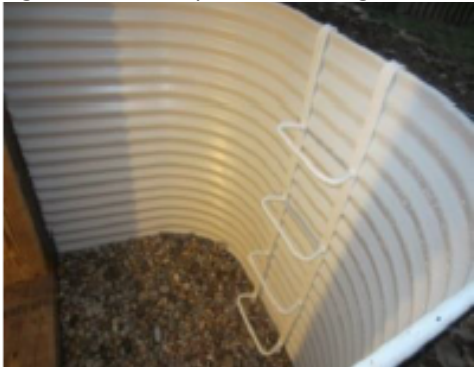


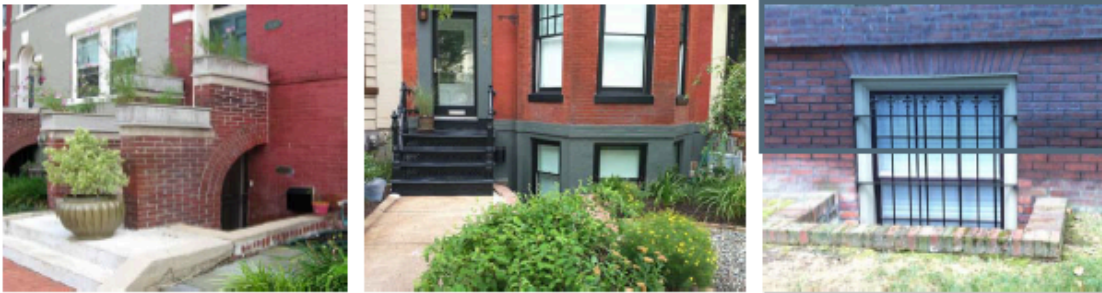
Figure 11: Neighboring property with identical Bowman Kemp Easy well with window, metal grate and plastic cover, installed in the same manner as this proposal.



Figure 12: Neighboring property with identical Bowman Kemp Easy well with window, metal grate and plastic cover installed in the same manner as this proposal.



Figure 13: Washington, D.C. Preservation and Design Guidelines for Basement Entrances and Windows cover page. Pages 5 and 6 are excerpted in the following two Figures to demonstrate this request adheres to the historic design guidelines for similar houses in the local area.



PRESERVATION AND DESIGN GUIDELINES FOR BASEMENT ENTRANCES AND WINDOWS



D.C. HISTORIC PRESERVATION REVIEW BOARD



Figure 14: Page 5 of the Washington, D.C. Preservation and Design Guidelines for Basement Entrances and Windows discussing the historically appropriate manner in which window wells should be constructed.

- 3.7 Evergreen landscape plantings are encouraged to screen or lessen the visual impact of basement stairs and areaways and may be required as a condition of approval.



Evergreen planting in front of this basement stair effectively screens it from the street.

4. BASEMENT WINDOWS SHOULD BE COMPATIBLE WITH THE ARCHITECTURAL CHARACTER OF THE BUILDING, AND WINDOW WELLS SHOULD HAVE MINIMAL VISUAL IMPACT ON THE SITE

Basement windows are typically organized as part of the overall composition of a façade, but are usually smaller than upper story windows. Alterations to basement window openings should be done in a manner that does not change the basic window pattern, apparent size, or relationship with upper story windows. Like basement areaways, window wells should be the minimum size necessary and clearly subordinate to a property's site.

- 4.1 Lowering the sills of existing basement windows can be achieved when it has minimal visual impact on the building's façade and does not result in a perceptible increase in window dimensions as seen from the street.

- 4.2 Windows should remain smaller than and subordinate to upper story windows even if basement sills are lowered.

- 4.3 Raising the lintel height and widening basement window openings are generally not compatible alterations for historic property.

- 4.4 Creating new basement windows may be appropriate if they are unobtrusive and aligned with fenestration of upper stories.

- 4.5 New or replaced basement windows should be compatible with the character of the property and consistent with the requirements for replacement windows on historic property, matching the general appearance, profiles and dimensions of historic windows.

- 4.6 Window wells for basement windows should be kept to the minimum dimensions required by code.

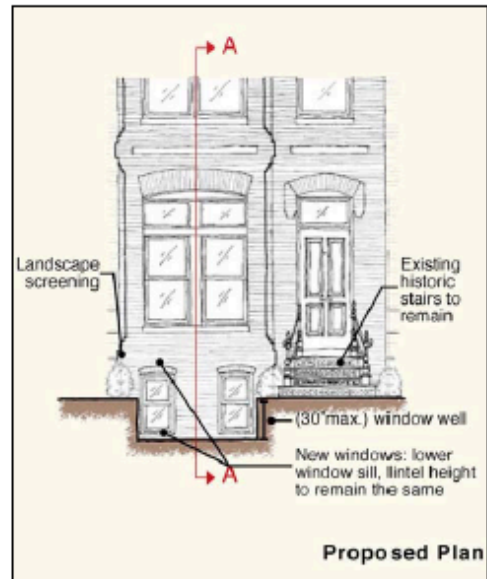
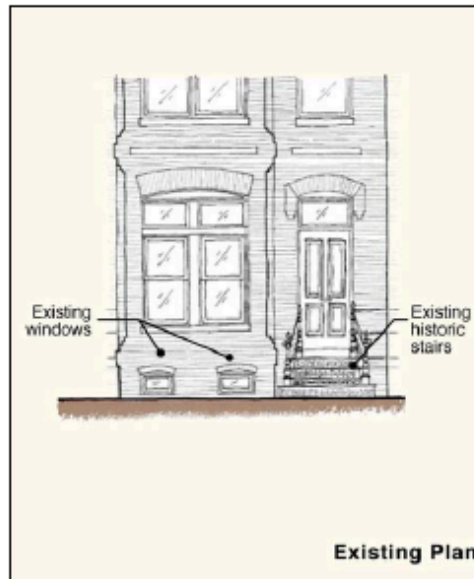
- 4.7 Fences around window wells are discouraged. Decreasing the depth of a window well or providing an alternative means of protection may be required.



The windows on this school building have been lowered within new window wells that are unobtrusive to the building and site.

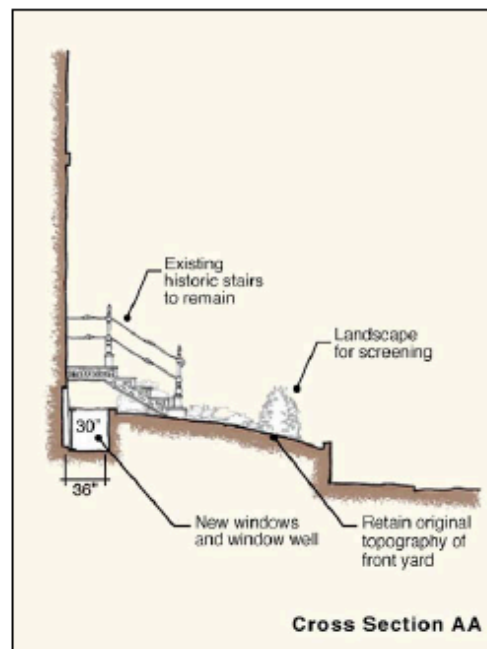
Figure 15: Page 6 of the Washington, D.C. Preservation and Design Guidelines for Basement Entrances and Windows demonstrating historically appropriate egress windows in a very similar style house.

BASEMENT WINDOW WELLS

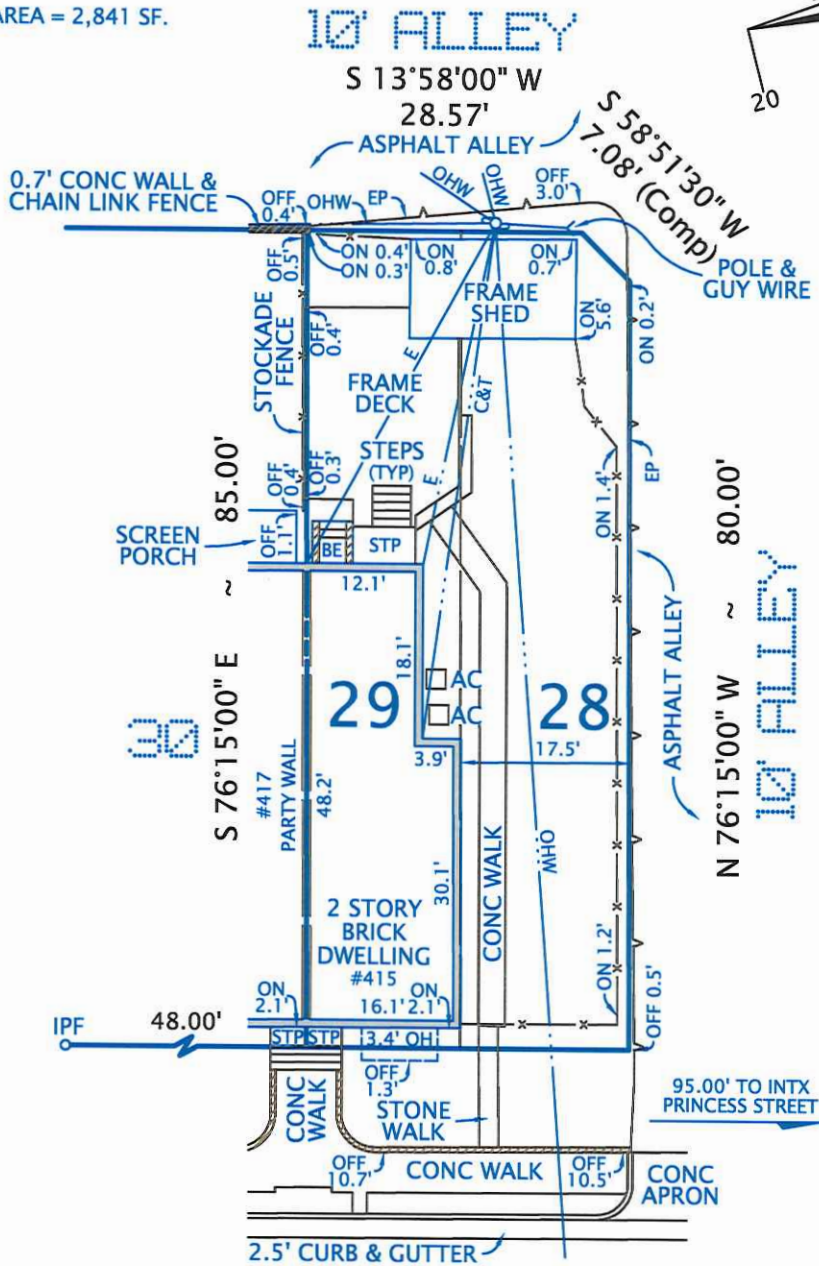
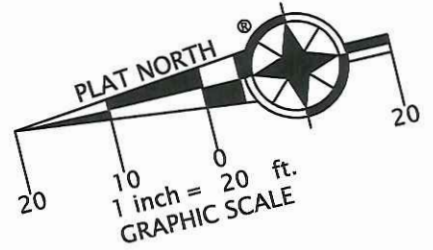


The **proposed plan** illustrates the existing windows being lowered into a shallow light well. The elongated windows allow greater light into the basement while remaining secondary in size to the first floor windows.

The **cross section** shows that the majority of the front yard remains unaltered and that the well is screened by landscaping.



- NOTES: 1. FENCES ARE FRAME UNLESS NOTED.
2. WALLS ARE 0.5' CONCRETE UNLESS NOTED.
3. BE RET WALLS ARE 0.7' BRICK.
4. TOTAL AREA = 2,841 SF.

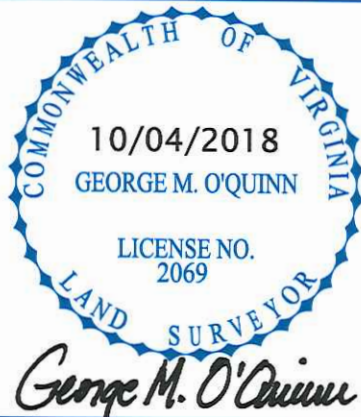


NORTH PEYTON STREET
56' WIDE

PLAT
SHOWING HOUSE LOCATION ON
LOTS 28 AND 29, BLOCK 1
WHEAT AND SUTER'S
ADDITION TO ALEXANDRIA, VIRGINIA
(DEED BOOK 29, PAGE 365)
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 20' OCTOBER 4, 2018

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.
A TITLE REPORT WAS NOT FURNISHED.
NO CORNER MARKERS SET.



Ordered by:

MONUMENT 700 S Washington Street Suite 216
TITLE Alexandria, Virginia 22314
COMPANY, INC. Phone: (703) 548-8666 Fax: (703) 548-8667

DOMINION Surveyors Inc.®
8808-H PEAR TREE VILLAGE COURT
ALEXANDRIA, VIRGINIA 22309
703-619-6555
FAX: 703-799-6412

Figure 17: Plat showing location of window well

