

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations

APPLICANT: Brian Fowler

LOCATION: Old and Historic Alexandria District
417 North Washington Street

ZONE: CL/Commercial Low Zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate (partial) and approval of the Certificate of Appropriateness for alterations with the following conditions:

1. New windows must be constructed of painted wood and meet the *Alexandria New and Replacement Window Performance Specifications in the Historic Districts*;
2. Fill existing openings with brick reclaimed from new openings and use butt joints at the perimeter to reference the historic openings.
3. Replace the existing composition shingle roof with a slate roof to match the original. Obtain a building permit for the new slate roof prior to, or included with, the building permit for the proposed alterations;
4. Replace the inappropriate doors (front basement and rear) with wood door in an appropriate style, as approved by BAR staff; and,
5. Paint all utilities and vents to match the adjacent roof or wall material.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



Note: *Staff coupled the applications for a Permit to Demolish (BAR #2019-00390) and Certificate of Appropriateness (BAR #2019-00391) for clarity and brevity. The Permit to Demolish requires a roll call vote.*

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for alterations at 417 North Washington Street.

On September 9, 2019, the applicant received a variance from the Board of Zoning Appeals to convert the building from a commercial use back to a residential use (BZA2019-00005). The applicant has also sought a Special Use Permit for a parking reduction, which was approved by the Planning Commission on October 3, 2019 and is docketed for the October 12th City Council hearing (SUP2019-00066). BAR approval of the case is contingent on City Council approval of the SUP prior to the BAR hearing.

Permit to Demolish/Capsulate

Demolition is limited to three sections of the roof where skylights will be installed, as well as portions of the north and east (rear) elevations for fenestration changes. The area of demolition is:

Roof:	18.9 square feet
North elevation:	66.4 square feet
East elevation:	86.5 square feet

Certificate of Appropriateness

Alterations

The applicant proposes fenestration changes on two elevations – the north side and the rear (east) – and no changes to the front (west) façade or south (drive aisle) elevation.

On the first floor of the north elevation (side) the applicant will install a triple window under a segmental arch and a full-light double-door with fixed sidelights under a segmental arch. The single window located between the first and second floors (formerly above the stair landing) will be removed, and the opening will be infilled with brick.

On the east elevation (rear) the first-floor door will be removed and replaced with a window, with masonry in-filled below. A new door will be installed in the existing window opening to the south and the metal stoop and railing will be extended to the proposed new entrance. On the second floor a new triple window under a segmental arch will be installed in the same general location as the existing fan light. A new attic vent will also be added.

Three skylights will be installed on the roof, two on the north-facing shed roof and one on the rear roof slope of the main block. A deck will be constructed in part of the existing open space adjacent to the rear ell and a wood screen will obscure the ground mounted HVAC condensers.

Site context

The drive aisle between 413 and 417 North Washington Street is owned by the subject property and the owners in the Lee Mews Condominium have an easement over the property to access their parking lot in the interior of the block. Views to the impacted areas are limited to what can be seen from North Washington Street and from Oronoco Street over the open space of the Lee-Fendall House museum.



Figure 1: Site context

II. HISTORY

The two-story, four-bay masonry building with copper clad projecting bay was constructed sometime between **1891 and 1896**, according to the Sanborn Fire Insurance Maps. The Richardson Romanesque style building has many of the character defining features of the style, such as: semi-circular arches over windows, material variety, a recessed entrance, asymmetrical facades and a copper bay window. Staff was unable to find a building permit for the dwelling but it shares many of the characteristics of some of the other Richardsonian Romanesque buildings in Old Town designed by native Alexandria architect Glenn Brown (1854-1932) who once worked for Henry Hobson Richardson. The house was used for residential purposes until 1964, when it was converted to a dental office.

Previous BAR Approvals

Staff gave administrative approval for repointing on March 18, 2019 (BAR Case #2019-00102).

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	No
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit

to Demolish/Capsulate should be granted. The material that will be demolished is limited to secondary elevations with limited visibility from the right-of-way and is not of unusual or uncommon design and the affected portions it could be reproduced easily today.

Certificate of Appropriateness

Staff is pleased that the applicant proposes to rehabilitate this well-preserved but largely neglected historic house and return it to its original residential use. Staff has met with the applicant's architects on more than one occasion and the program has evolved to impart a minimal impact on this historic building. Staff supports the proposed fenestration changes on the two least visible building elevations because they are relatively minor and will help to activate this long-neglected property. Staff recommends that where infill brick is required that it be done using historic brick salvaged from other areas on the building proposed for demolition and that existing openings be filled in with butt joints at the perimeter to reference the historic openings.

Prior to receiving the current proposal, in February 2019, BAR staff was notified by a Code Administration inspector that work was being undertaken without BAR approval. Staff visited the site and noted inappropriate repointing with Portland cement and the replacement of two doors with inappropriate new doors. The slate roof had also been replaced with an asphalt shingle roof without a building permit. Staff notified the property owner of the violations at the time and a qualified mason was hired to repoint the building. The inappropriate doors and the roof material have not been replaced and staff recommends that the Board's approval of the proposed alterations be conditioned on the replacement of these features with historically appropriate materials (wood for the doors and slate for the roof).

The application materials do not identify the proposed new window material, so staff recommends that they be painted wood, consistent with the *Alexandria New and Replacement Window Performance Specifications in the Historic Districts*. In addition, staff notes that nearly all the wood windows on the property are likely original and contain cylinder glass and that they must be carefully repaired and the cylinder glass retained, rather than replaced. Staff can assist the applicant with names of companies that restore historic windows and reminds the applicant that storm windows can be installed to provide additional insulation without BAR approval.

With the conditions noted above, staff recommends approval of the application.

STAFF

Stephanie Sample, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

- F-1 Proposed scope of work is in line with zoning ordinance regulations and the approved set of variances as part of BZA#2019-00005.

Code Administration

- F-1 This is a change of use. A building permit and plan review are required prior to the start of construction. Alterations are required to comply with the building code. Plans submitted for building permit will need to be prepared by a registered design professional due to the scope of work listed in the BAR application.

Transportation and Environmental Services

- C-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- C-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- C-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property

line. (T&ES)

- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 No archaeological oversight is needed for this project as proposed.

V. ATTACHMENTS

1 – Supplemental Materials

2 – Application for BAR 2019-00390& 20109-00391: 417 North Washington Street

ADDRESS OF PROJECT: 417 N WASHINGTON STREET ALEXANDRIA VA 22314

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☒ 100 Year Old Building

TAX MAP AND PARCEL: 064.02-09-13 ZONING: CL

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: BRIAN FOWLER

Address: 17090 QUAIL CREEK CIRCLE

City: HAMILTON State: VA Zip: 20158

Phone: 703-967-1161 E-mail: bfowler@ffcproperties.com

Authorized Agent *(if applicable)*: ☐ Attorney ☒ Architect ☐ _____

Name: JAMES PALMER (AGENT) Phone: 703-549-4033

E-mail: jpalmer@sanchezpalmerarchitects.com

Legal Property Owner:

Name: BRIAN FOWLER

Address: 17090 QUAIL CREEK CIRCLE

City: HAMILTON State: VA Zip: 20158

Phone: 703-967-1161 E-mail: bfowler@ffcproperties.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☒ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- | | | | |
|--|--|---|-----------------------------------|
| <input type="checkbox"/> NEW CONSTRUCTION | | | |
| <input checked="" type="checkbox"/> EXTERIOR ALTERATION: <i>Please check all that apply.</i> | | | |
| <input type="checkbox"/> awning | <input checked="" type="checkbox"/> fence, gate or garden wall | <input checked="" type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input checked="" type="checkbox"/> doors | <input checked="" type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
| <input type="checkbox"/> ADDITION | | | |
| <input checked="" type="checkbox"/> DEMOLITION/ENCAPSULATION | | | |
| <input type="checkbox"/> SIGNAGE | | | |

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

The structure at 417 N Washington St was built in 1907 as a residence and has most recently been used as a commercial office use. The current owner now wants to return the use to a single family residence. Ways of living and commuting have changed since 1907 and the proposed interior layout necessitates some changes to selected windows and doors, particularly on the north and east sides facing the rear of the property and the rear open area. The front of the house facing Washington street will be unaltered. A interior secondary service stair connecting the 1st and 2nd floors will be removed as it is very narrow and takes up otherwise valuable floor area. Removing this stair allows for the rooms in the area to be reconfigured and consequently the windows in those spaces. An exterior deck<24" above grade will be added to open area to the north east of the property which will not be visible from public space. The Board of Zoning Adjustment has approved (Sept 09, 2019) the necessary zoning variances which are required by the proposed.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- | | | |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | Survey plat showing the extent of the proposed demolition/encapsulation. |
| <input type="checkbox"/> | <input type="checkbox"/> | Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation. |
| <input type="checkbox"/> | <input type="checkbox"/> | Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished. |
| <input type="checkbox"/> | <input type="checkbox"/> | Description of the reason for demolition/encapsulation. |
| <input type="checkbox"/> | <input type="checkbox"/> | Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible. |

Additions & New Construction: *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.*

- ☐ ^{N/A} ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ^{N/A} ☐ Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet or bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: *Check N/A if an item in this section does not apply to your project.*

- ☐ ^{N/A} ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:Signature: Printed Name: JAMES PALMER (AGENT)Date: 09/11/19

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. JAMES PALMER (AGENT)		0%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 417 N Washington St Alexandria, VA 22314 (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. BRIAN FOWLER	17090 QUAIL CREEK CIRCLE HAMILTON VA 20158	100
2.		
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. JAMES PALMER	NONE	
2. BRIAN FOWLER	NONE	
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

07/10/2019

Date

JAMES PALMER

Printed Name

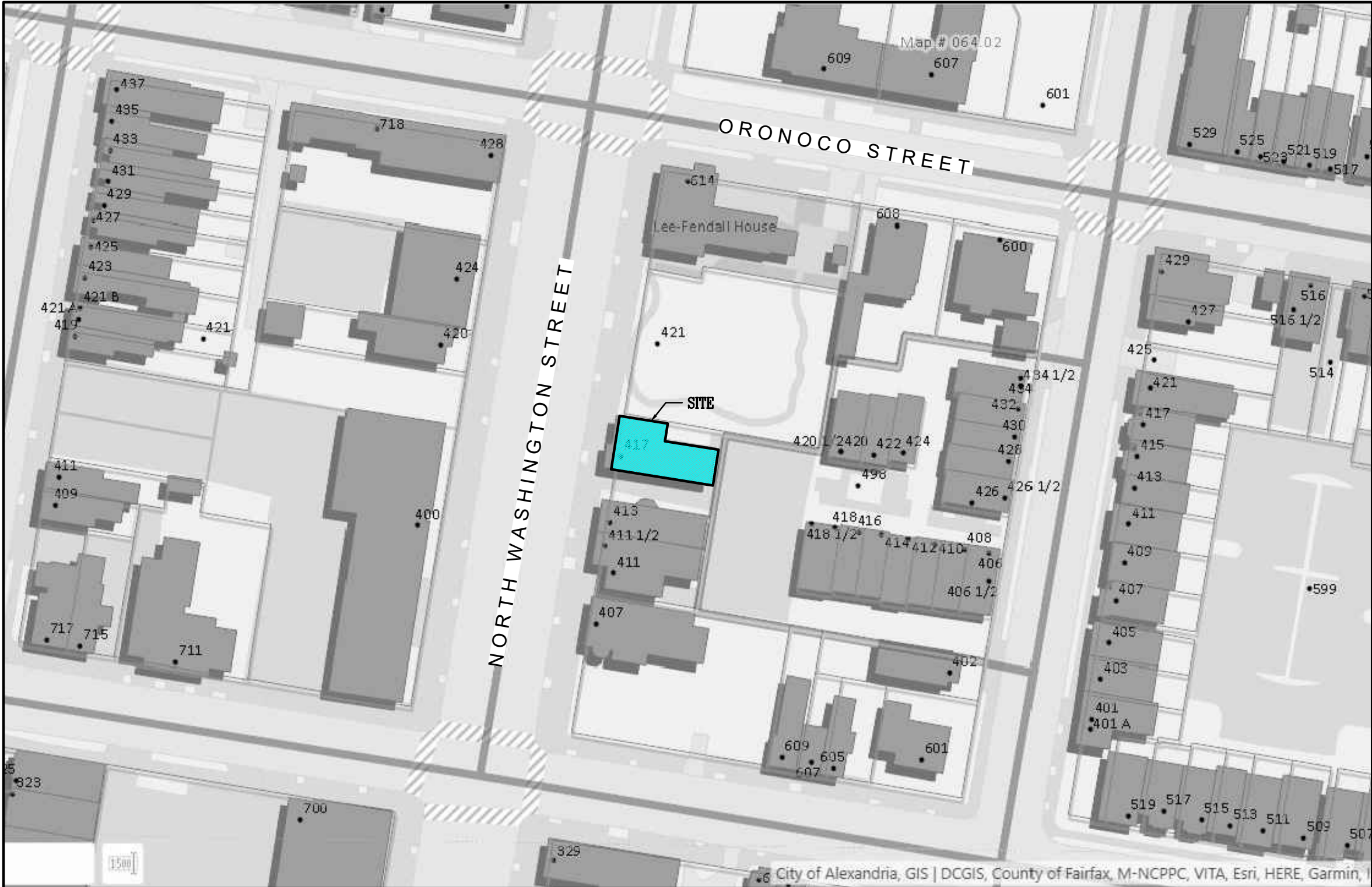
Signature

FFC Properties LLC
Renovation

417 N Washington Street
Alexandria, VA 22314

SANCHEZ PALMER
ARCHITECTS, PC

911 King Street
Alexandria, Virginia 22314
703 549 4033
FAX 703 548 4305



No.: Revision: Date:

Sheet Title:

Location Plan

Project No.: 19-195 Date: Sept 12, 2019

SHEET NO.

A01

1 LOCATION PLAN
A01 SCALE: NTS

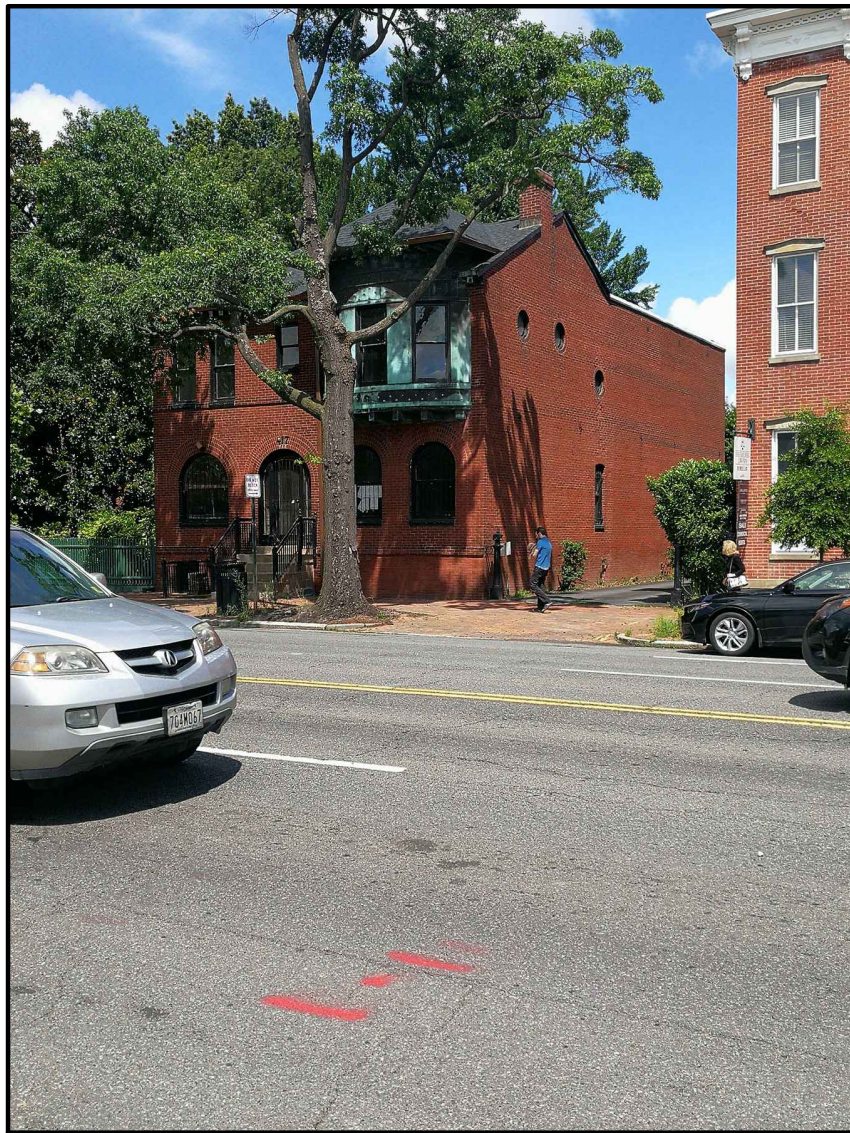


**FFC Properties LLC
Renovation**

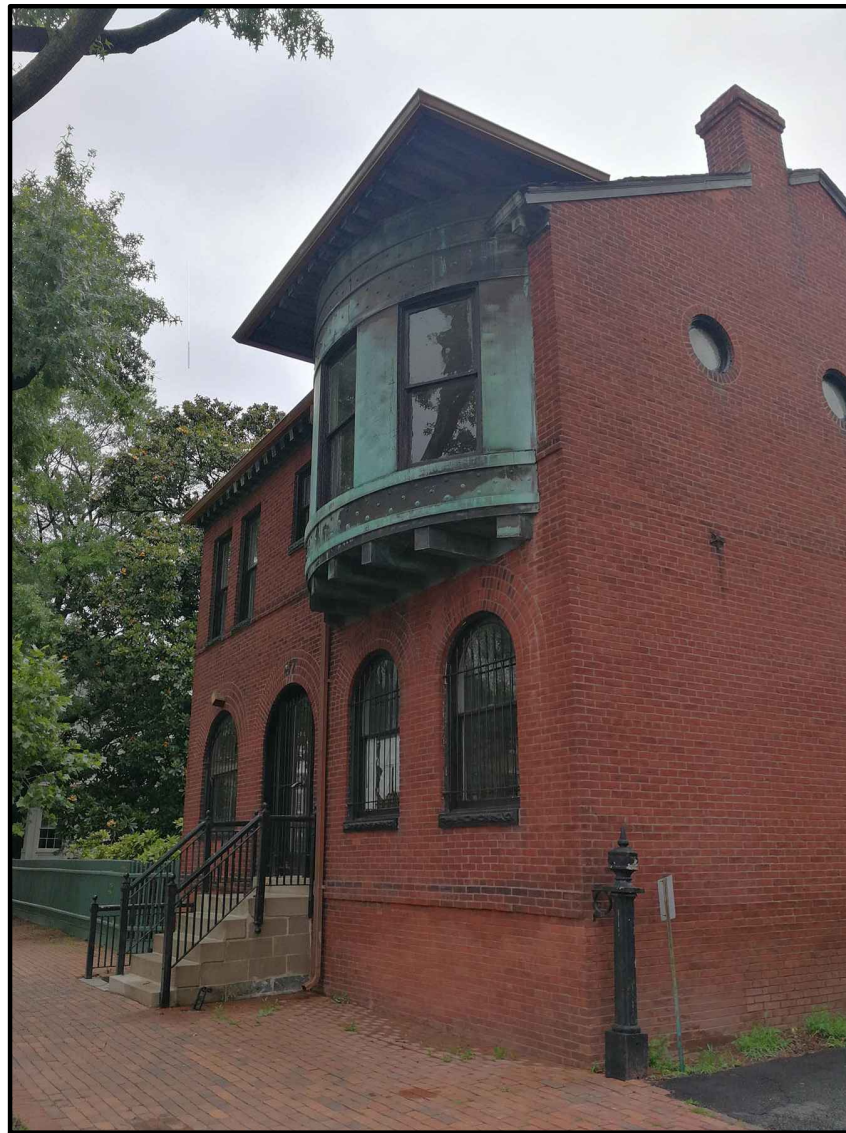
417 N Washington Street
Alexandria, VA 22314

**SANCHEZ PALMER
ARCHITECTS, PC**

911 King Street
Alexandria, Virginia 22314
703 549 4033
FAX 703 548 4305



1
A02 **VIEW FROM WASHINGTON ST**
SCALE: N/A



2
A02 **WEST ELEVATION**
SCALE: N/A



3
A02 **OPEN AREA @ NORTH-EAST**
SCALE: N/A

No.: Revision: Date:

Sheet Title:

**Photos of
Existing
Conditions**

Project No.: Date:
19-195 Sept 12, 2019

SHEET NO.

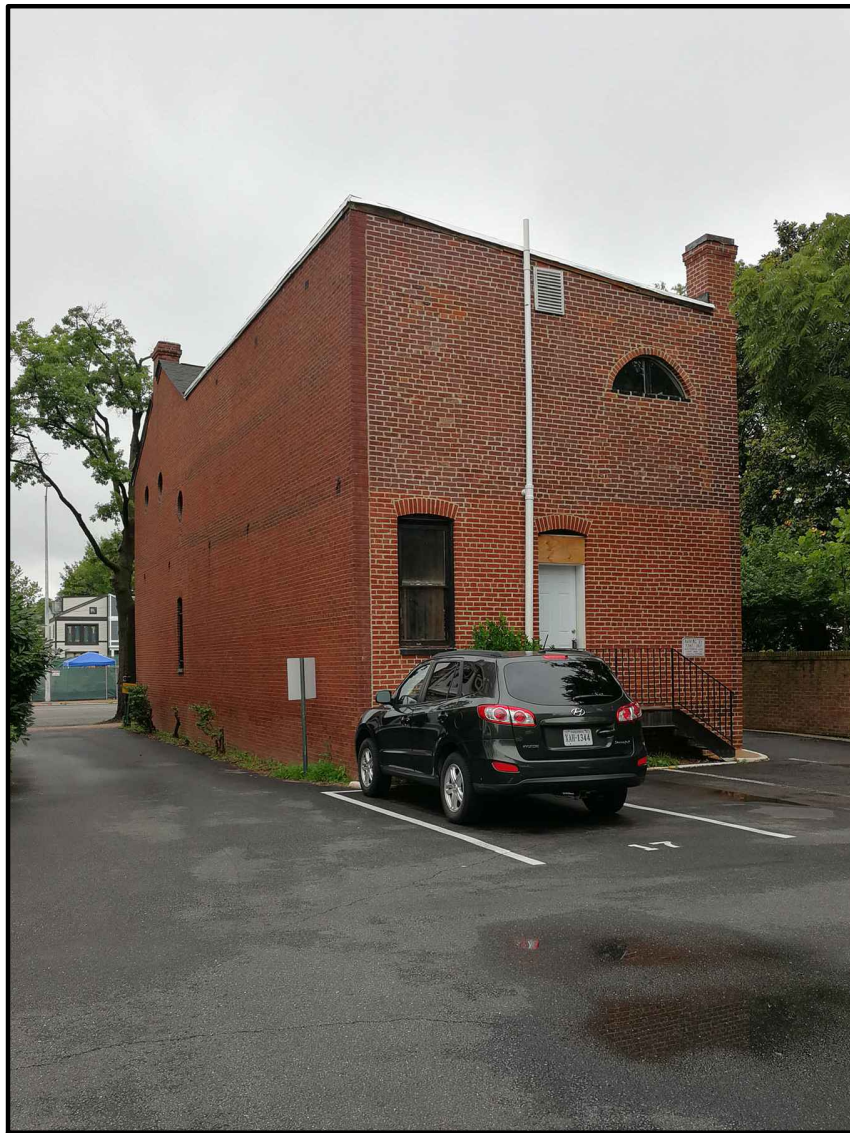
A02

**FFC Properties LLC
Renovation**

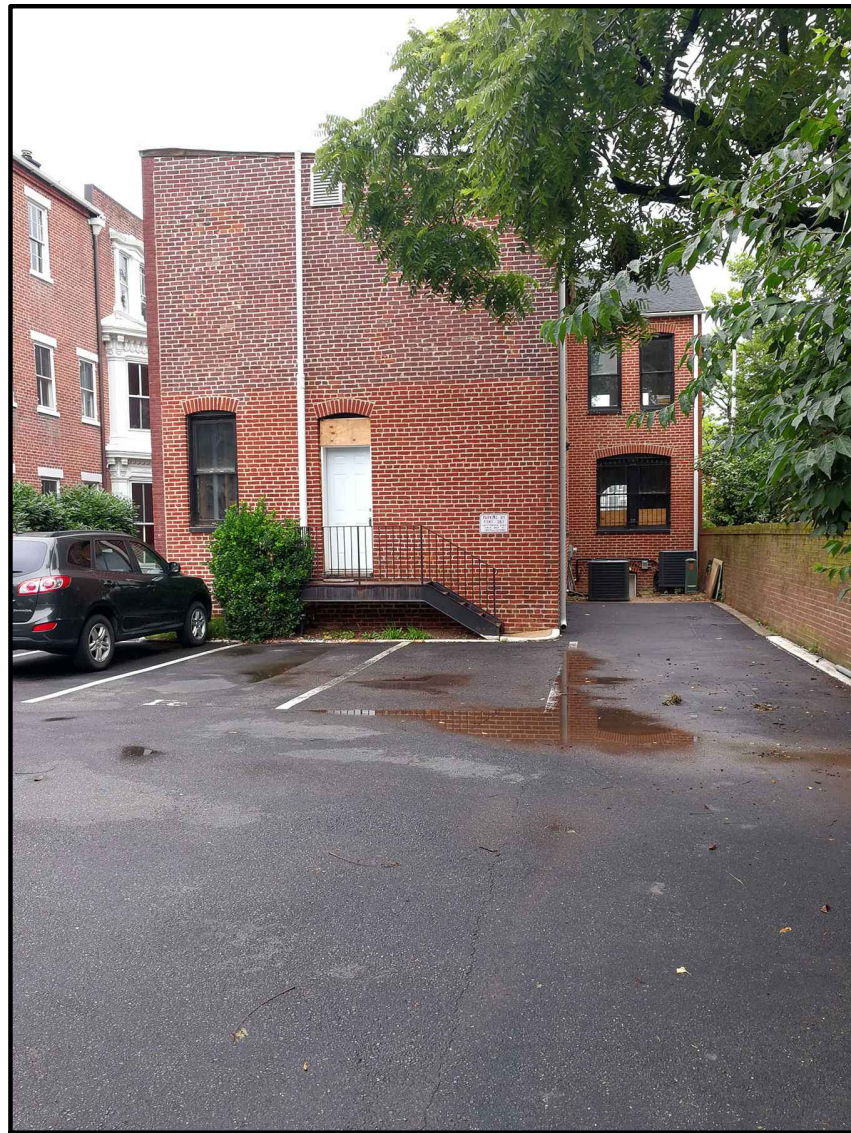
417 N Washington Street
Alexandria, VA 22314

**SANCHEZ PALMER
ARCHITECTS, PC**

911 King Street
Alexandria, Virginia 22314
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FAX 703 548 4305



1 VIEW FROM SOUTH-WEST CORNER
A03 SCALE: N/A



2 EAST ELEVATION
A03 SCALE: N/A



3 VIEW FROM LEE-FENDALL PROPERTY
A03 SCALE: N/A

No.: Revision: Date:

Sheet Title:

**Photos of
Existing
Conditions**

Project No.: Date:
19-195 Sept 12, 2019

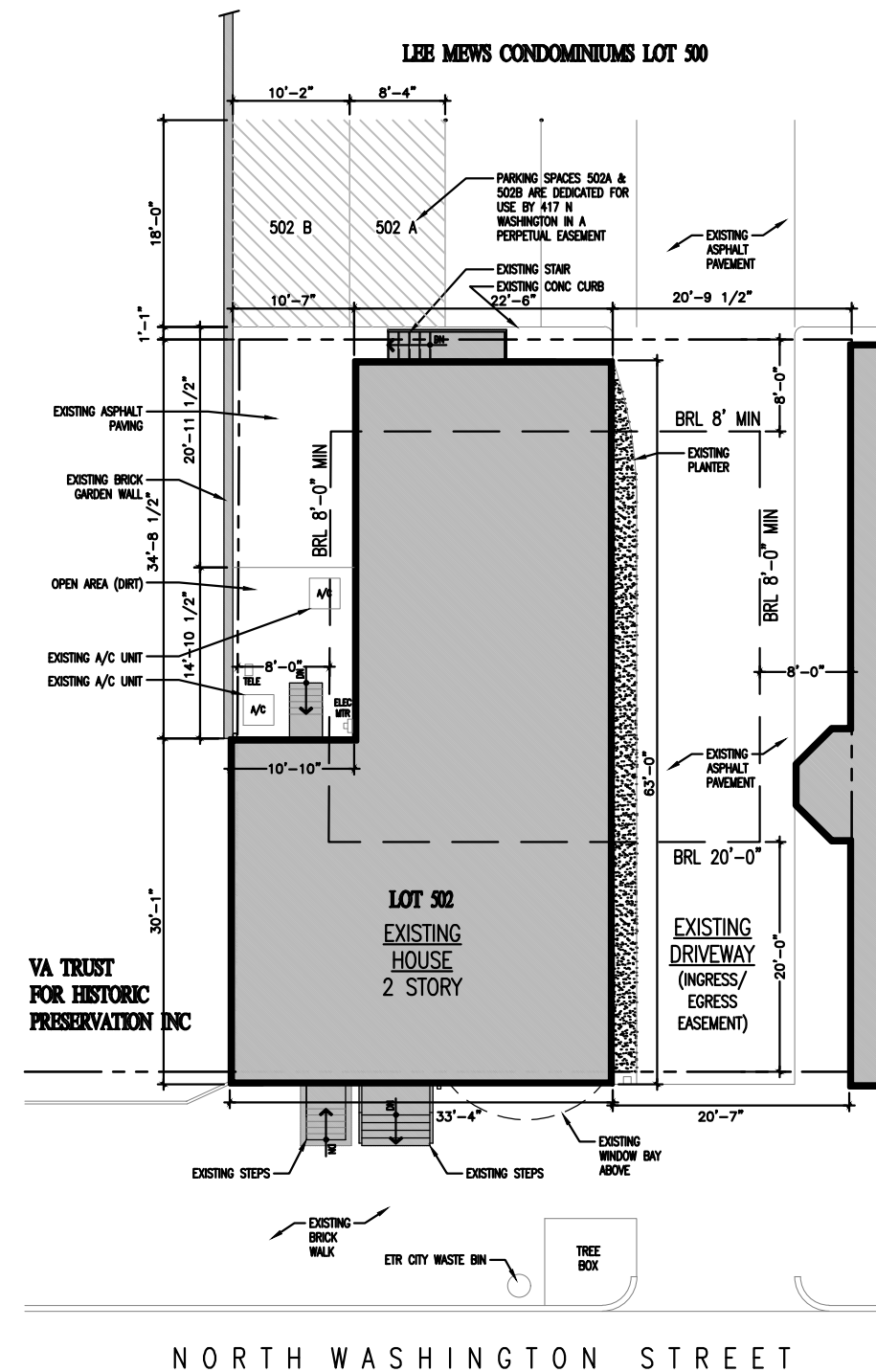
SHEET NO.

A03



417 N Washington Street
Alexandria, VA 22314


SANCHEZ PALMER
ARCHITECTS, PC
911 King Street
Alexandria, Virginia 22314
703 549 4033
FAX 703 548 4305

SANCHEZ PALMER ARCHITECTS IS NOT RESPONSIBLE FOR THE
ACCURACY OF THE SITE SURVEY INFORMATION.



1
A11 **ARCHITECTURAL SITE PLAN - EXISTING**
1/16"=1'-0"

 EXISTING
 EXISTING PARKING

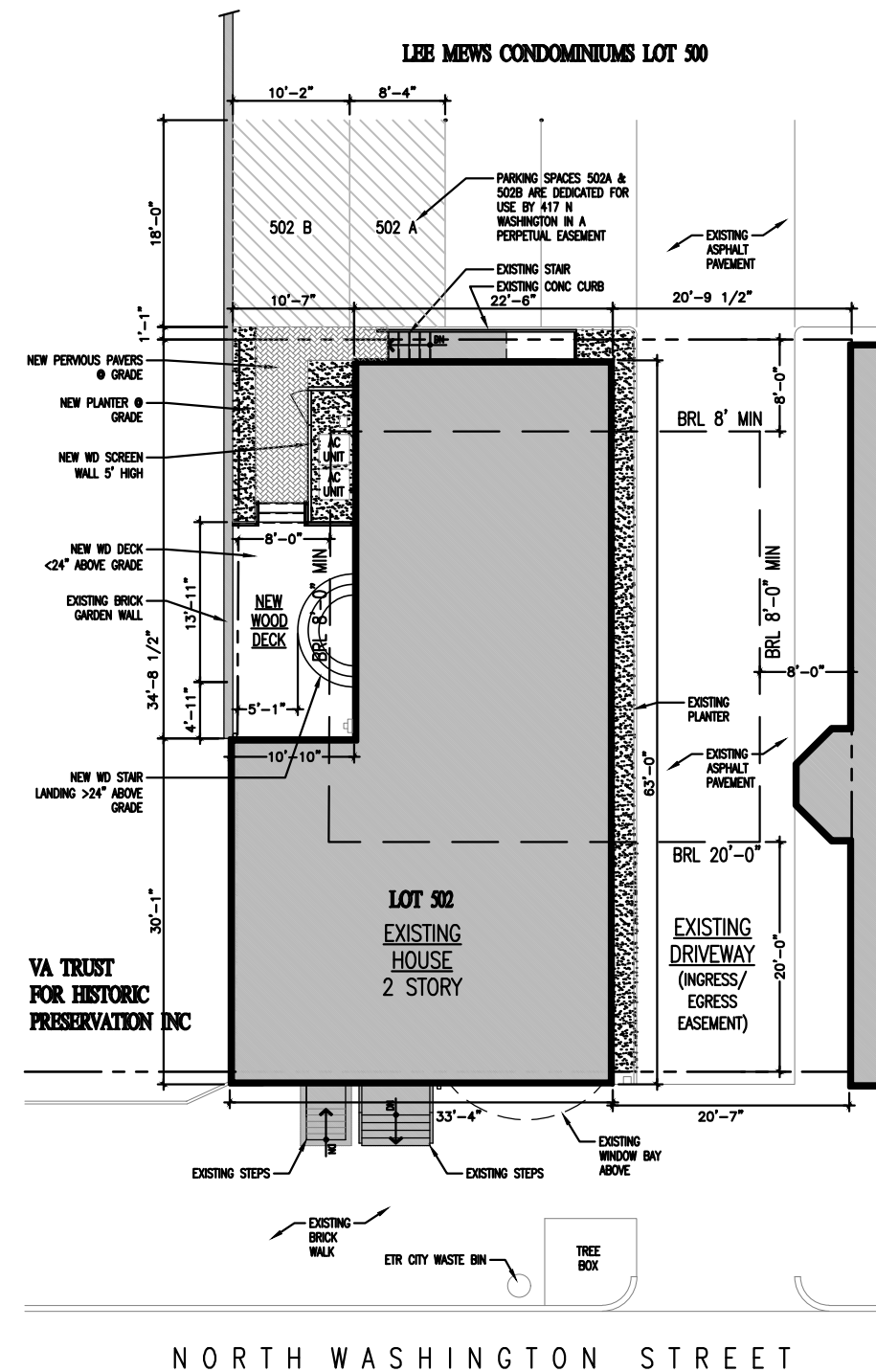


A11 E

417 N Washington Street
Alexandria, VA 22314

SANCHEZ PALMER
ARCHITECTS, PC
911 King Street
Alexandria, Virginia 22314
703 549 4033
FAX 703 548 4305

SANCHEZ PALMER ARCHITECTS IS NOT RESPONSIBLE FOR THE
ACCURACY OF THE SITE SURVEY INFORMATION.



1
A11 **ARCHITECTURAL SITE PLAN – PROPOSED**
1/16"=1'-0"

 EXISTING

 EXISTING PARKING



A11 P

FFC Properties LLC
Renovation

417 N Washington Street
Alexandria, VA 22314

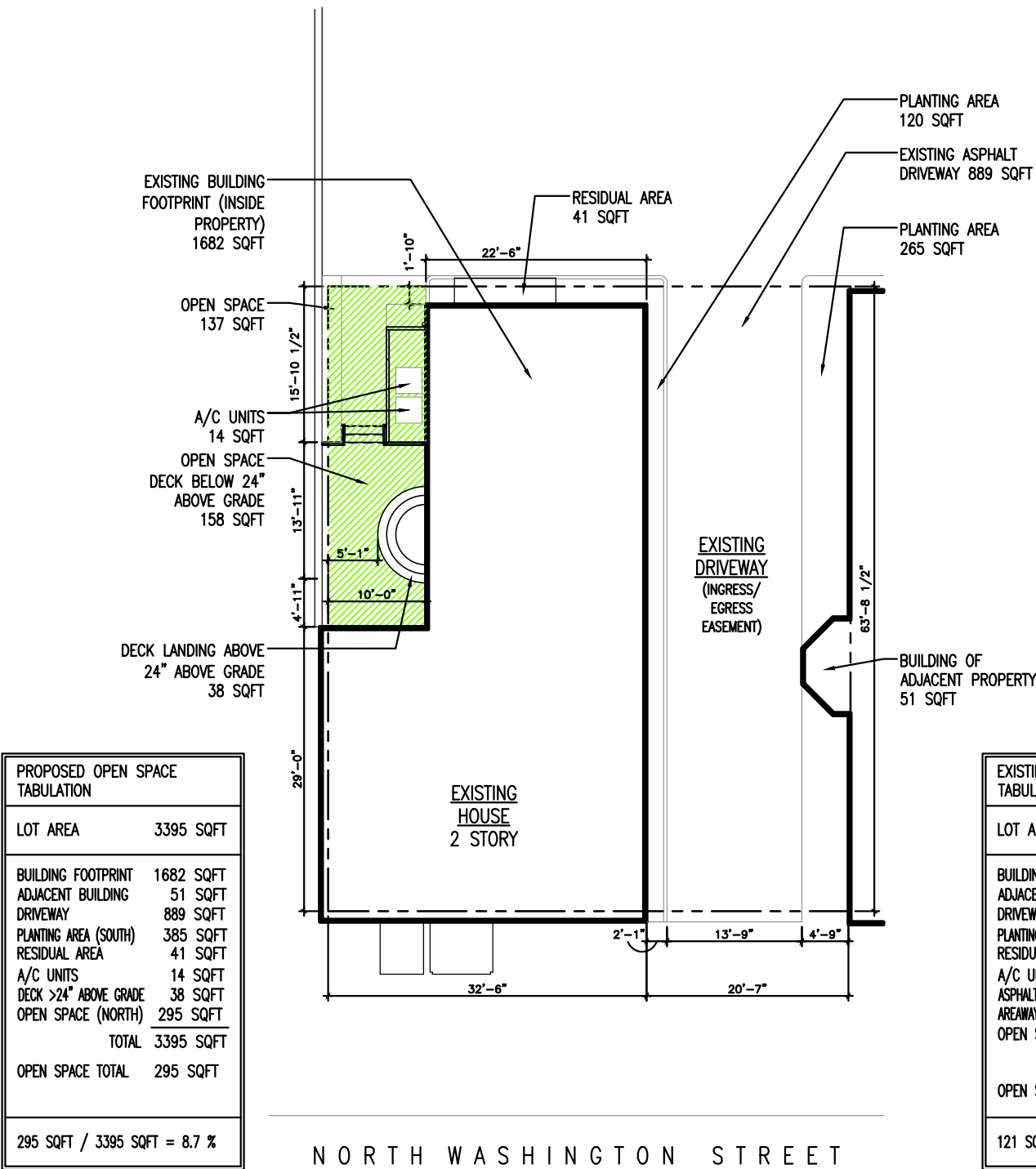
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No.: Revision: Date:

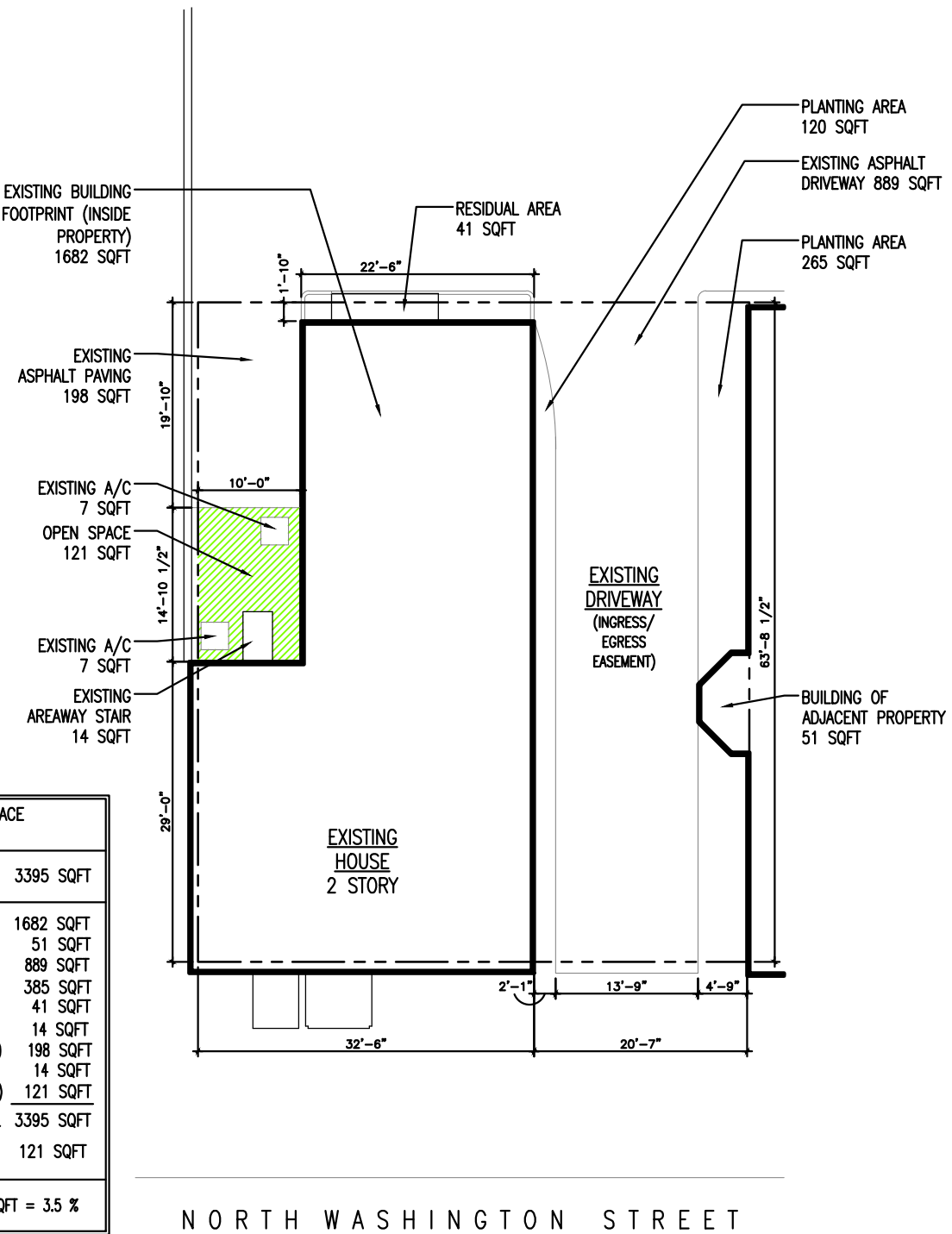
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Open Space
Diagrams

Project No.: 19-195
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2 OPEN SPACE DIAGRAM - PROPOSED
A12 1/16"=1'-0" OPEN SPACE



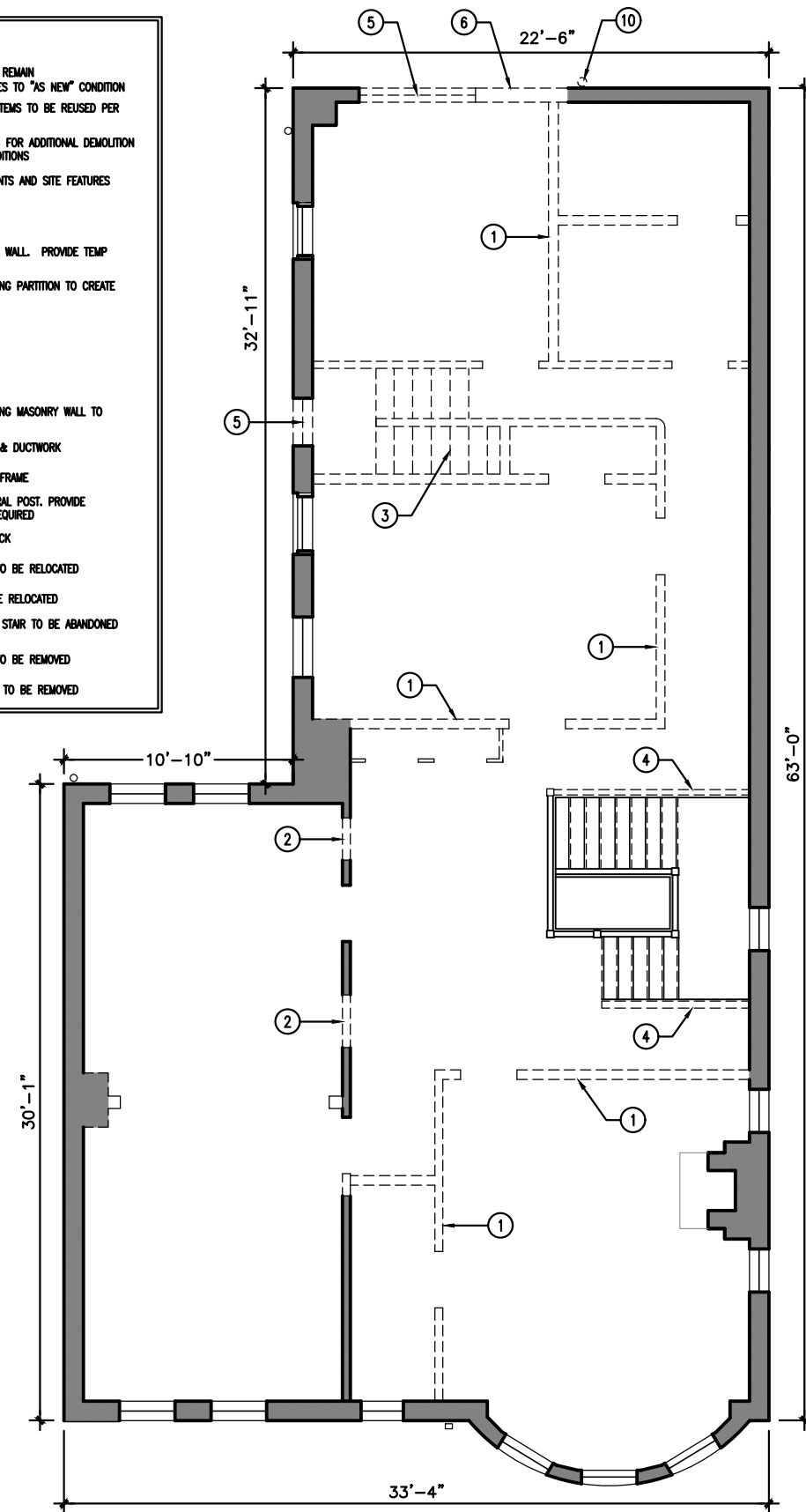
1 OPEN SPACE DIAGRAM - EXISTING
A12 1/16"=1'-0" OPEN SPACE

GENERAL DEMOLITION NOTES

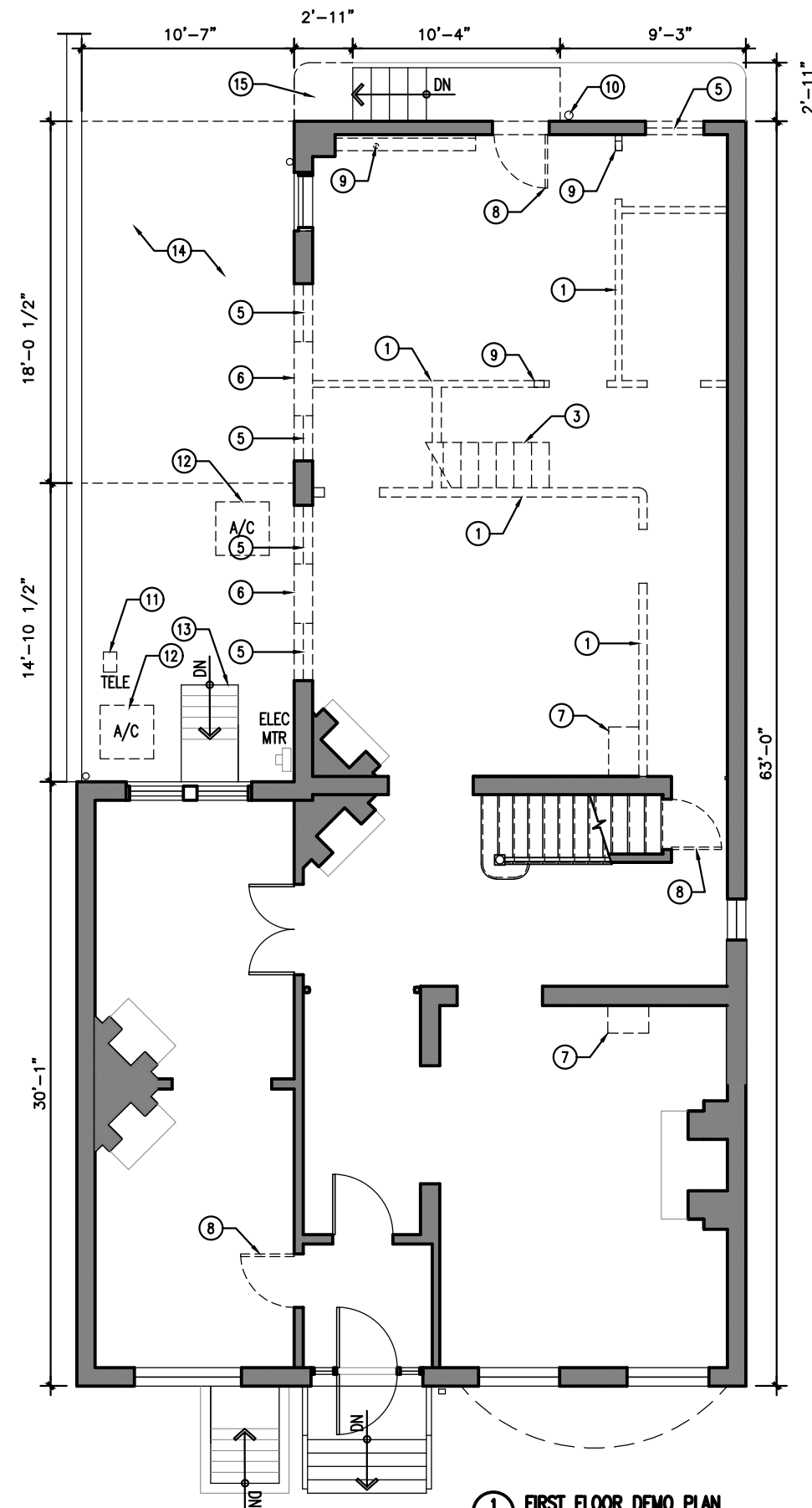
- (A) PROTECT ALL FINISHES TO REMAIN
RESTORE IMPACTED FINISHES TO "AS NEW" CONDITION
- (B) SALVAGE AND STORE ALL ITEMS TO BE REUSED PER
OWNERS DIRECTION
- (C) SEE ARCHITECTURAL PLANS FOR ADDITIONAL DEMOLITION
NOTES FOR SPECIFIC CONDITIONS
- (D) PROTECT ALL GARDEN PLANTS AND SITE FEATURES
NOT IMPACTED BY WORK

DEMOLITION PLAN NOTES

- (1) REMOVE EXISTING PARTITION WALL. PROVIDE TEMP
SHORING AS REQUIRED
- (2) REMOVE PORTION OF EXISTING PARTITION TO CREATE
NEW OPENING AS SHOWN
- (3) REMOVE EXISTING STAIR
- (4) REMOVE EXISTING RAILING
- (5) REMOVE EXISTING WINDOW
- (6) REMOVE PORTION OF EXISTING MASONRY WALL TO
CREATE NEW OPENING
- (7) REMOVE EXISTING FURRING & DUCTWORK
- (8) REMOVE EXISTING DOOR & FRAME
- (9) REMOVE EXISTING STRUCTURAL POST. PROVIDE
TEMPORARY SHORING AS REQUIRED
- (10) REMOVE EXISTING VENT STACK
- (11) EXISTING TELEPHONE BOX TO BE RELOCATED
- (12) EXISTING CONDENSER TO BE RELOCATED
- (13) EXISTING STAIR TO REMAIN. STAIR TO BE ABANDONED
UNDER NEW DECK
- (14) EXISTING ASPHALT PAVING TO BE REMOVED
- (15) EXISTING CONCRETE PAVING TO BE REMOVED



2 SECOND FLOOR DEMO PLAN
1/8"=1'-0"
EXISTING WALL
--- DEMO AS NOTED



1 FIRST FLOOR DEMO PLAN
1/8"=1'-0"
EXISTING WALL
--- DEMO AS NOTED

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First & Second Floor Demolition Plans

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A17

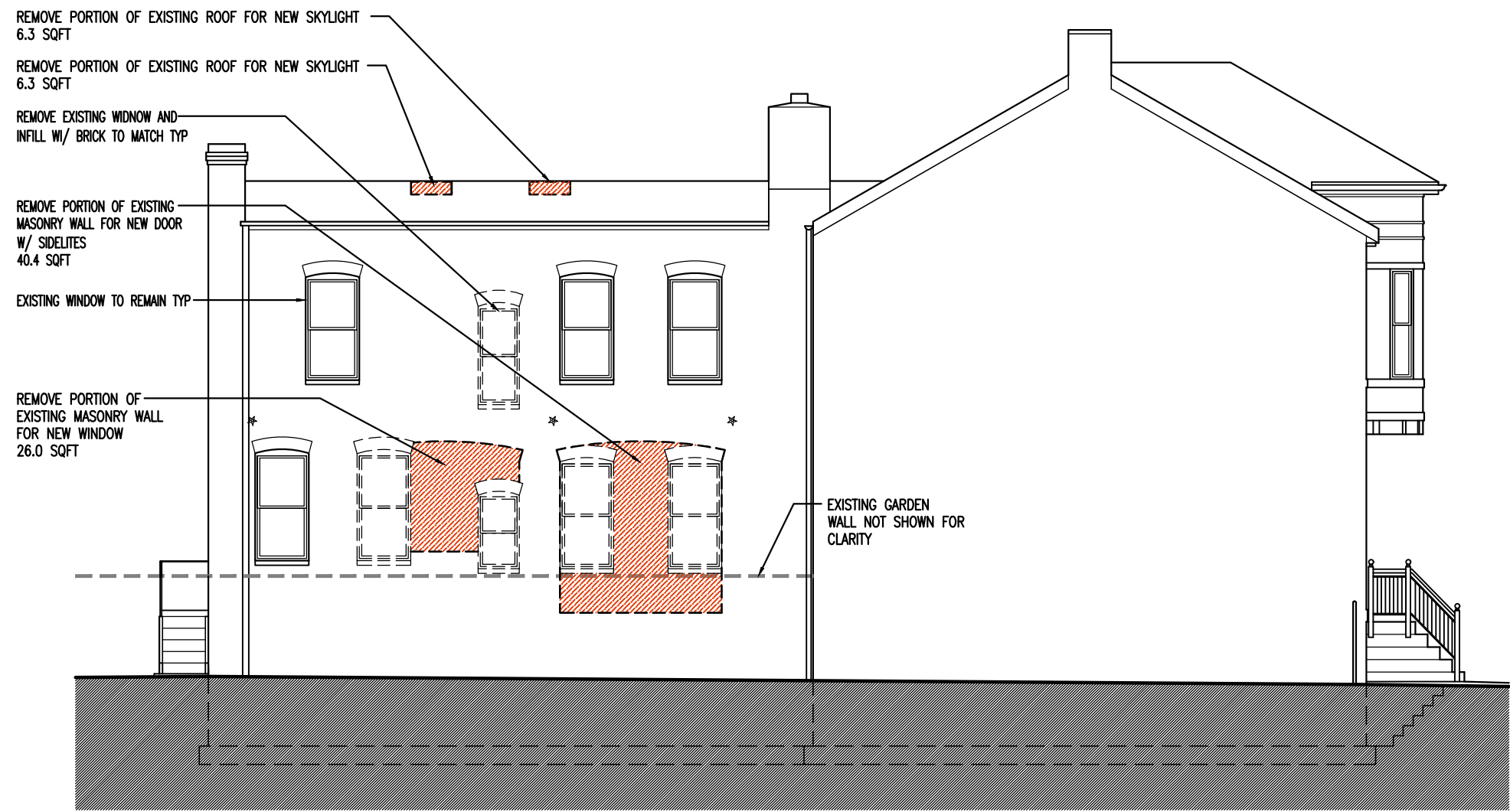
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NOTE:
TOTAL DEMOLITION AREA @ NORTH ELEVATION:
79.0 SQFT



1
A18
DEMOLITION NORTH ELEVATION
1/8"=1'-0"

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Existing
/Demolition
North
Elevation

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A18

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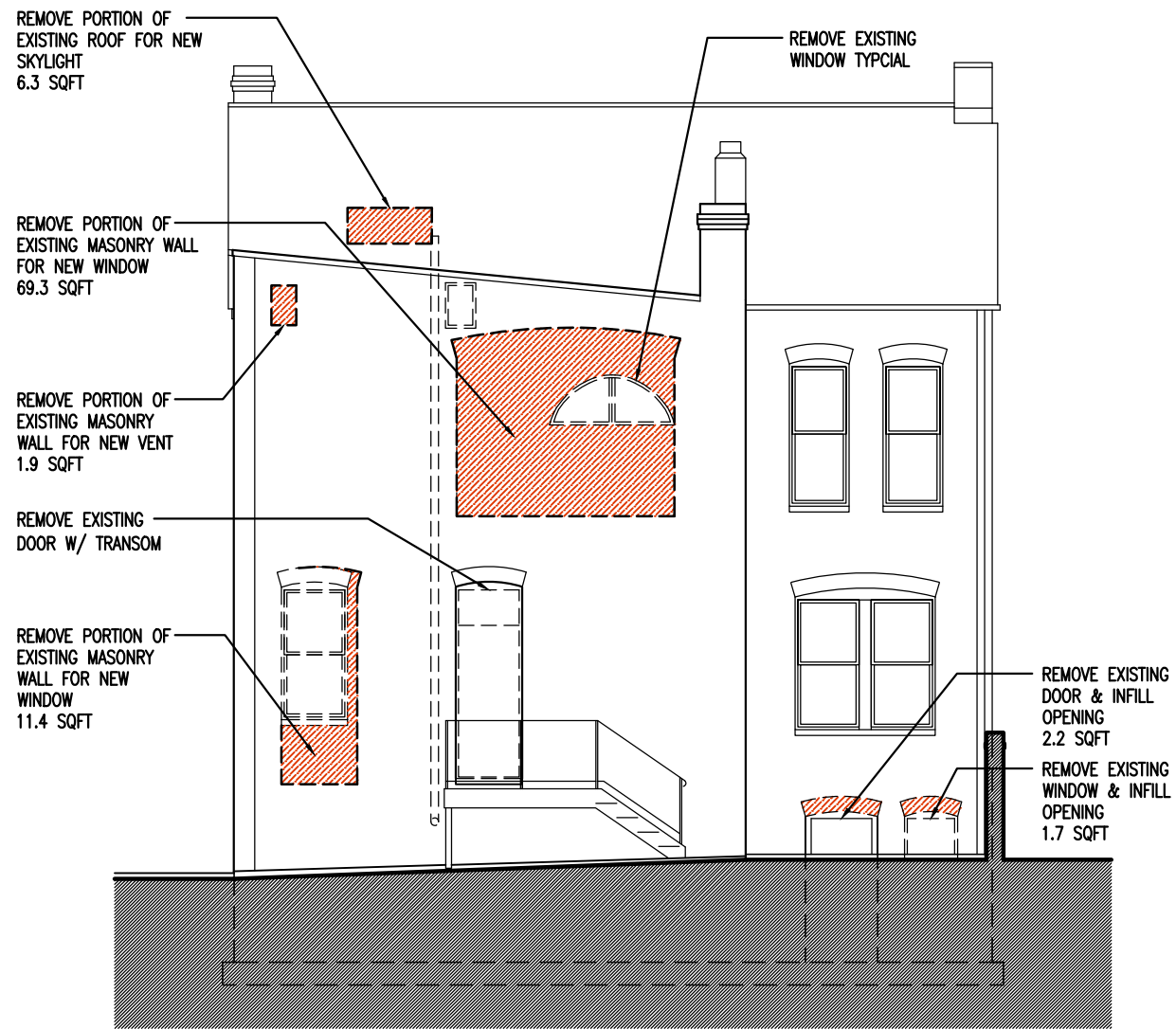
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NOTE:
TOTAL DEMOLITION AREA @ WEST ELEVATION:
0.0 SQFT



1 DEMOLITION WEST ELEVATION
A19 1/8"=1'-0"

NOTE:
TOTAL DEMOLITION AREA @ EAST ELEVATION:
92.8 SQFT



2 DEMOLITION EAST ELEVATION
A19 1/8"=1'-0"

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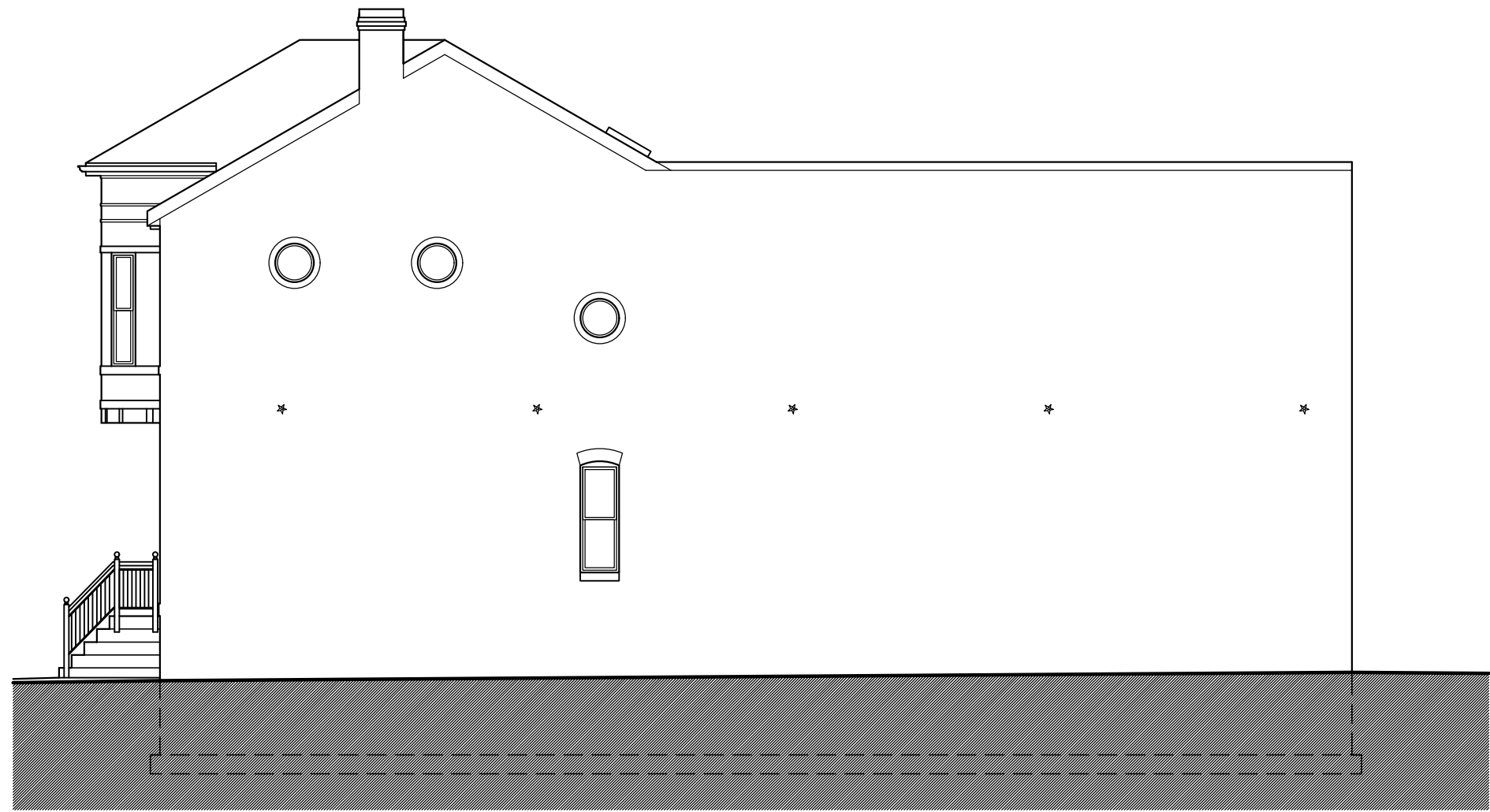
Existing/
Demolition
West & East
Elevations

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NOTE:
TOTAL DEMOLITION AREA @ SOUTH ELEVATION:
0.0 SQFT



1
A20
DEMOLITION SOUTH ELEVATION
1/8"=1'-0"

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Existing/
Demolition
South
Elevation

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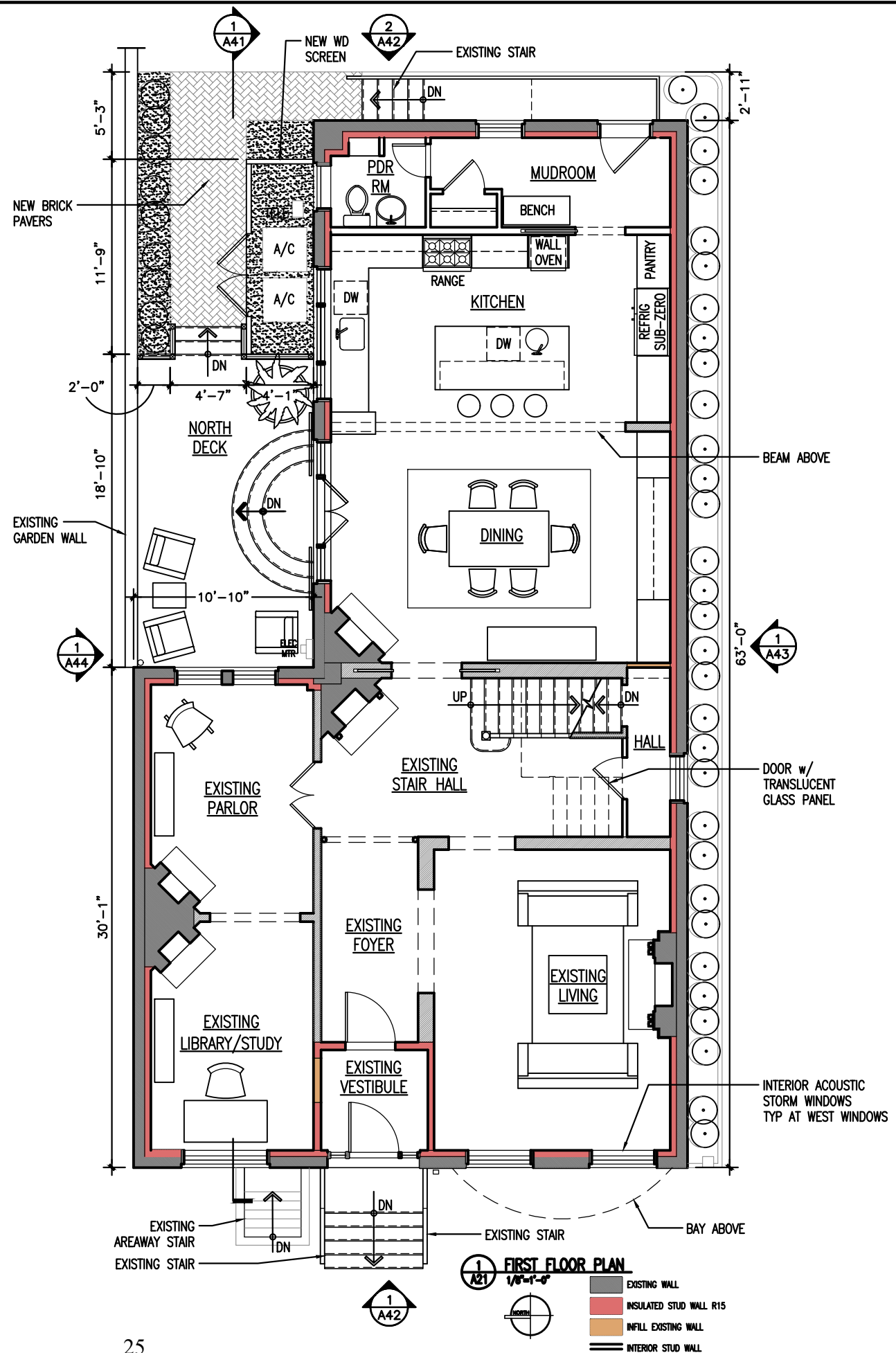
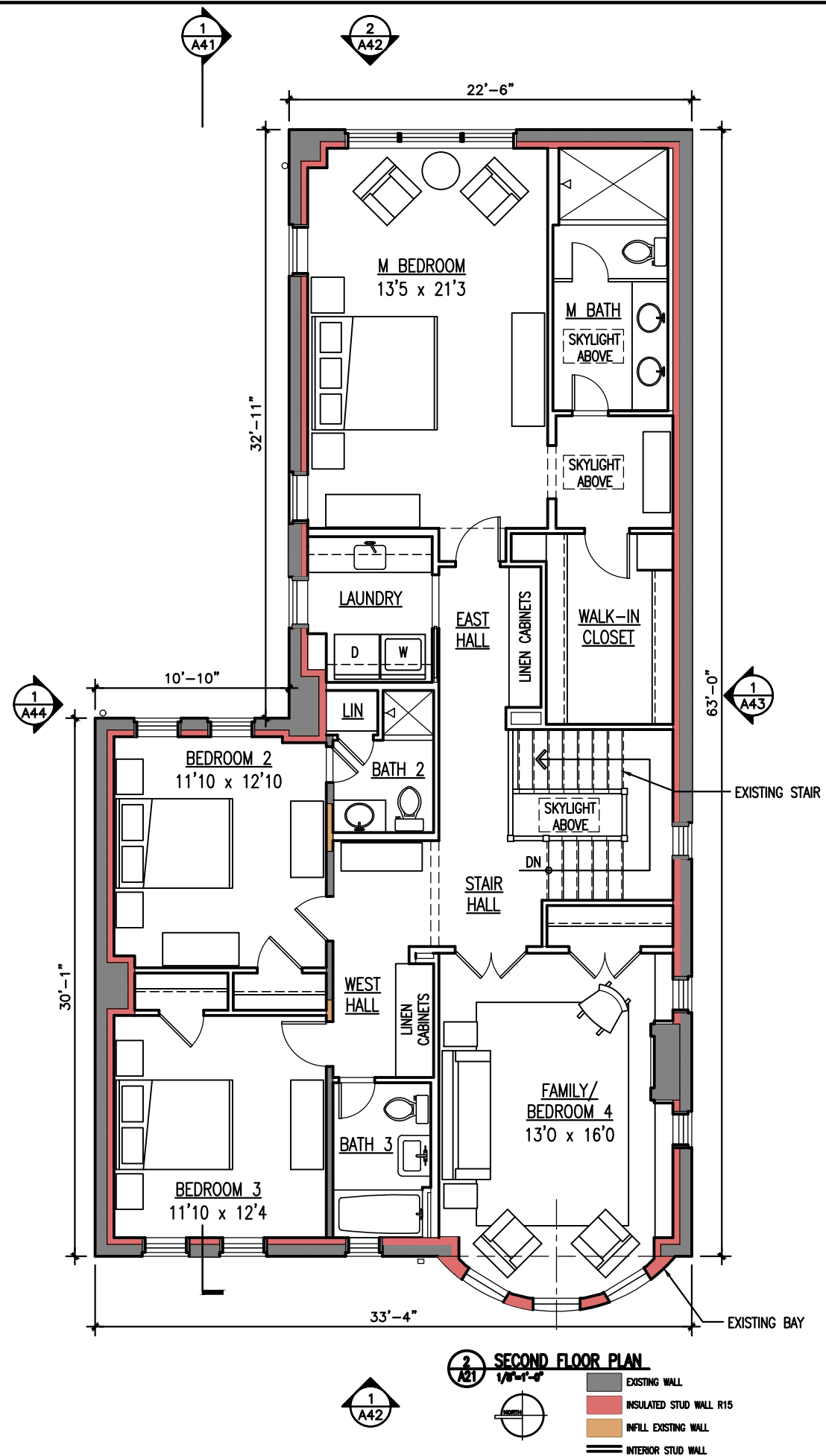
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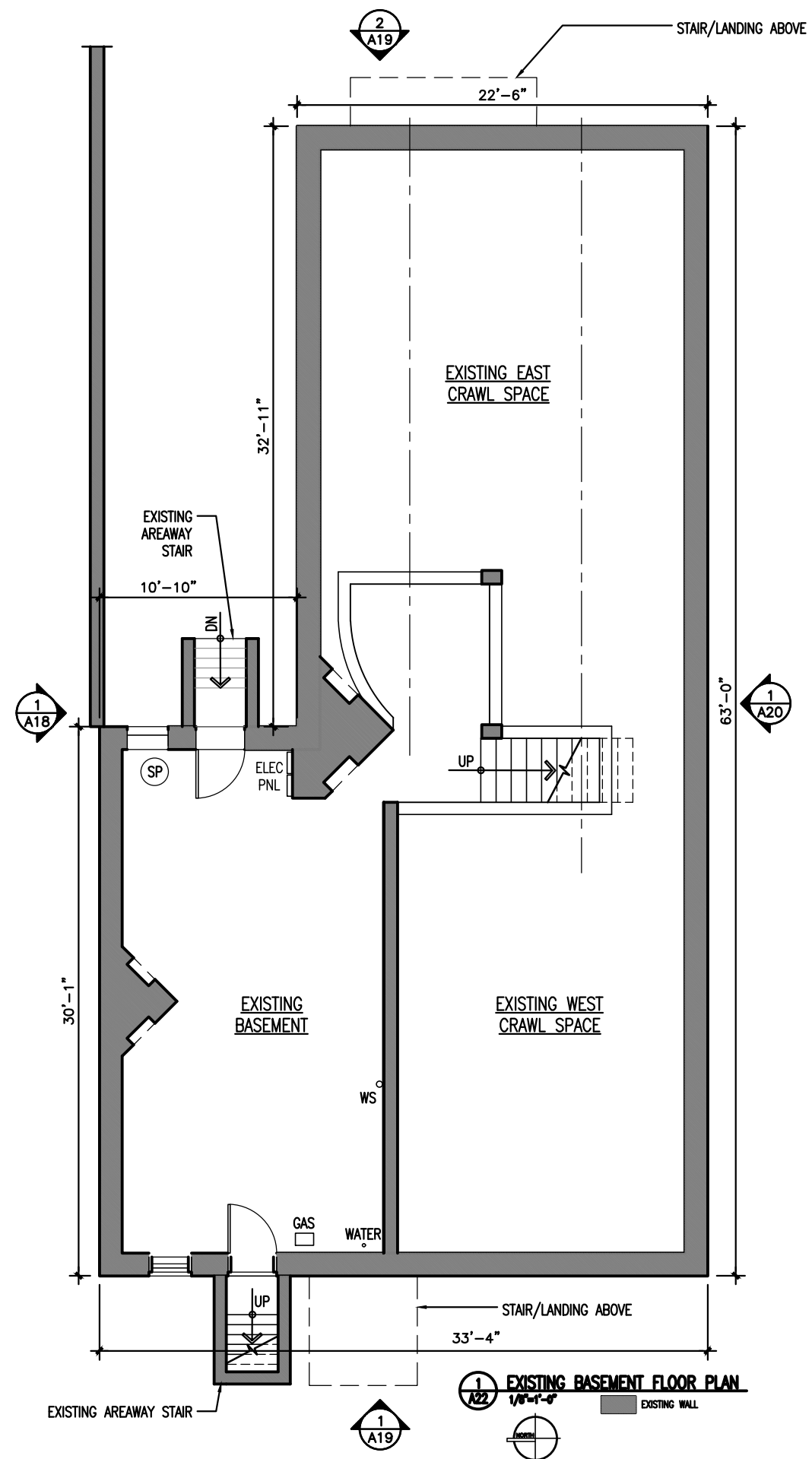
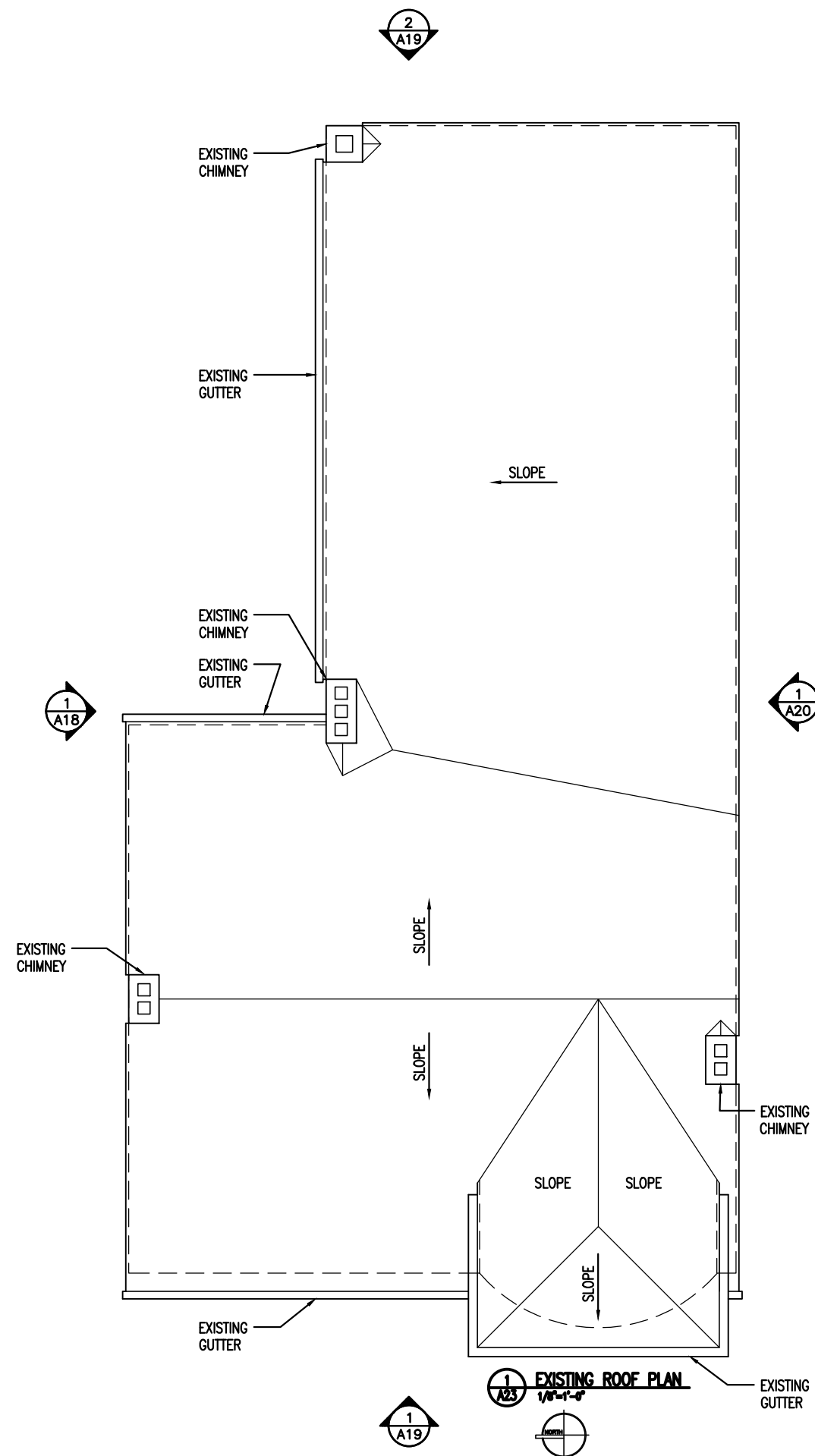
Proposed First
& Second
Floor Plans

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Existing Basement & Roof Plans

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A22

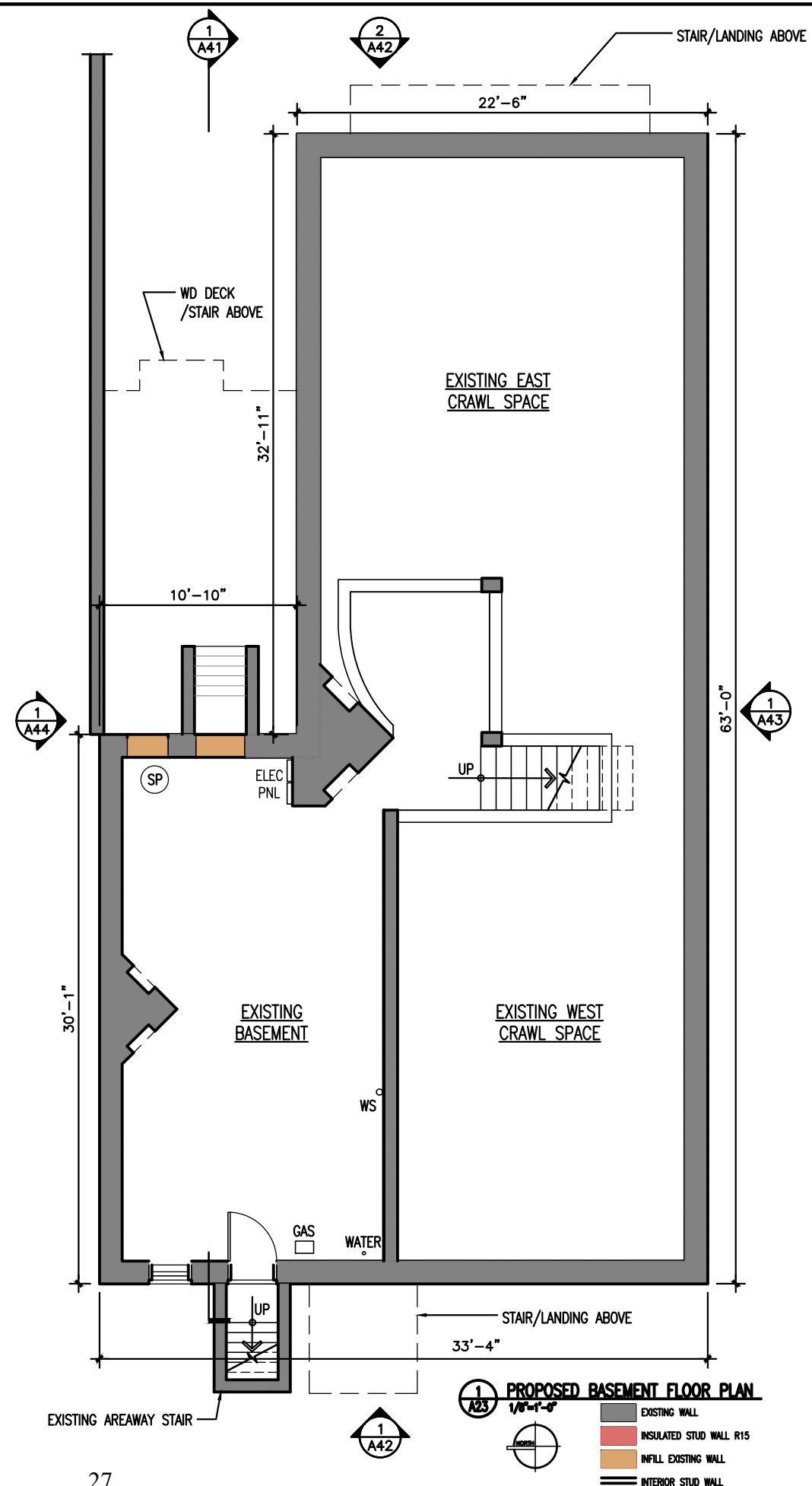
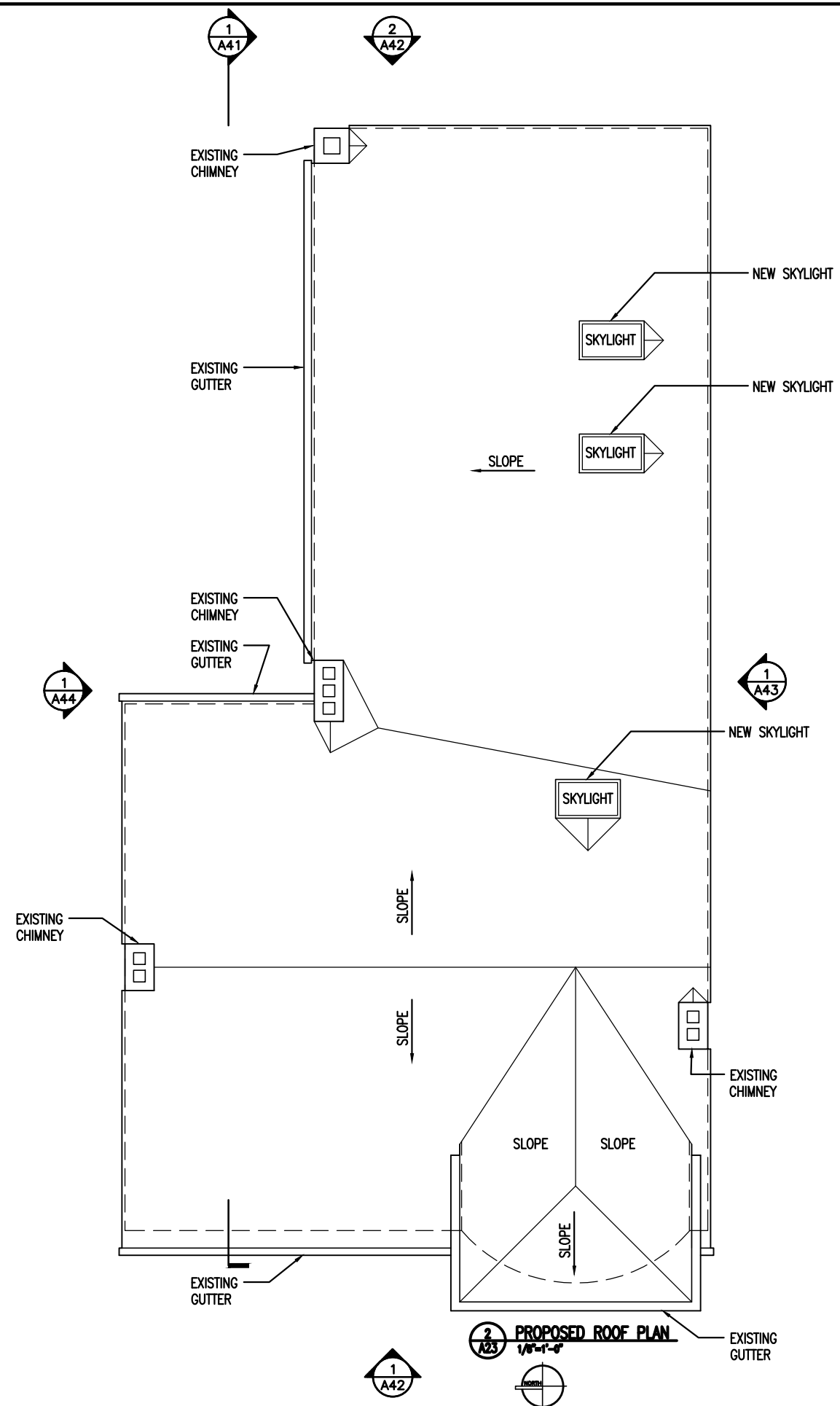
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Proposed Basement & Roof Plans

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A23



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Proposed
North
Elevation /
Section

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Proposed West
& East
Elevations

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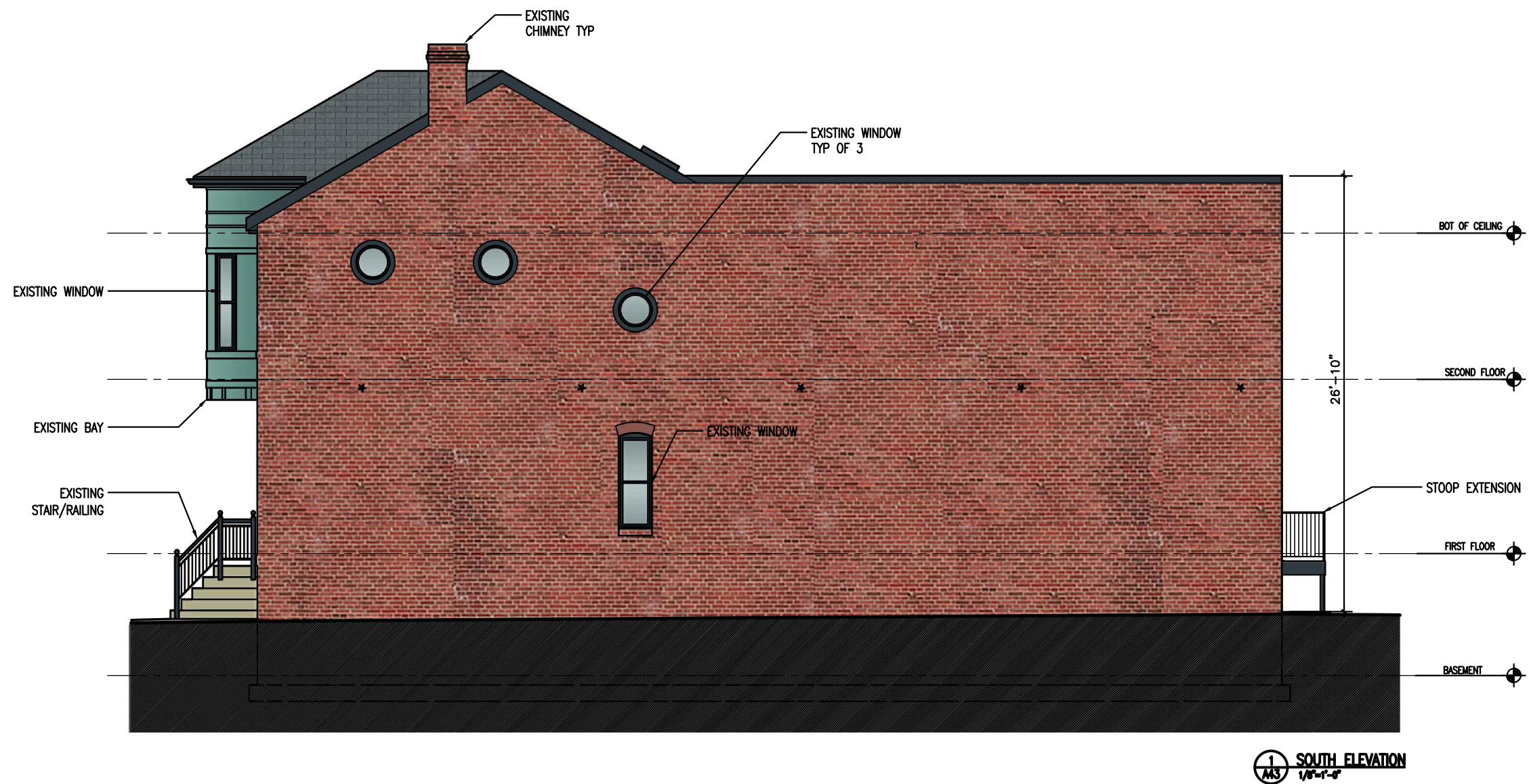
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Proposed South
Elevation

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A43

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Proposed North
Elevation

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