

ISSUE: Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for an addition

APPLICANT: Scott and Cornelia Turyn

LOCATION: Old and Historic Alexandria District
615 South Royal Street

ZONE: RM/Residential Townhouse Zone

STAFF RECOMMENDATION

Staff recommends approval of the Permit to Demolish/Capsulate and Certificate of Appropriateness with the following condition:

1. Work with BAR staff on any minor revisions required to comply with the building code during building permit review.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.

Note: *Staff coupled the applications for a Permit to Demolish/Capsulate (BAR #2019-00143) and Certificate of Appropriateness (BAR #2019-00144) for clarity and brevity. The Permit to Demolish/Capsulate requires a roll call vote.*

I. APPLICANT'S PROPOSAL

The applicant requests a Permit to Demolish/Capsulate and Certificate of Appropriateness to construct a one-story rear sunroom addition at **615 South Royal Street**.

Permit to Demolish/Capsulate

The applicant proposes to encapsulate the rear/west elevation of the house for a new addition. Said rear wall will remain intact on the interior, with no proposed demolition.

Certificate of Appropriateness

Addition

The applicant plans to construct a 13'-5" deep x 24'-0" wide, one-story tall front gable roofed sunroom on an existing concrete pad at the rear/west elevation of the house. The applicant proposes to extend an existing 26³/₄" brick "wing wall" on the south elevation to the west end of the concrete pad, and add a matching wall to the north elevation, creating a 13'-5" deep, 6'-0" tall brick wall on each side of the addition. These brick walls will have one foot tall transoms below the cornice. The proposed rear/west elevation consists of tempered glass kneewalls, windows, and door. The gabled roof, 10' tall at its peak, will have shingles matching those of the existing home, and four, 3'x3' flat glass skylights, two on the north slope and two on the south slope.

Site context

The rear/west elevation of the house is minimally visible from a public alley that terminates three doors south at 621 South Royal Street. (See Figure 1).



Figure 1: Rear of property as seen from public alley. Arrow indicates the approximate location of the roof peak of the proposed addition.

II. HISTORY

The BAR approved the construction of this townhouse over a series of seven BAR meetings from 1973 – 1975. The townhouse was built in **1976** in a shed roofed “Flounder Revival” style. In the second half of the twentieth century, many considered this style an appropriate and compatible design approach in the historic district to recall the iconic Flounder houses in Old Town.

Previous BAR Approvals

On May 18, 2016 the BAR approved BAR2016-0129 and BAR2016-0130 for the demolition of a brick enclosure at the front entry of the townhouse, as well as the removal of a portion of the masonry at the third story to enable the installation of a one-over-one window in that location.

The BAR also approved an alteration in 1983 (4/20/1983) but the meeting minutes provide no description of the work.

III. ANALYSIS

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit to Demolish/Capsulate should be granted. This is a relatively new building well outside of the period of architectural significance for the OHAD, and the wall to be encapsulated will retain its original form and materials.

Certificate of Appropriateness

The *Design Guidelines* state that “An addition to a historic building should be clearly distinguishable from the original structure. An addition should not obscure or dilute the architectural and historic importance of an existing building by creating a false sense of the past.” In the case of 615 South Royal Street, the house itself has little architectural or historic importance, but it is sited within the Old and Historic Alexandria District. As such, any alterations or additions must adhere to the *Design Guidelines* and zoning ordinance requirements to be compatible with the building itself and not detract from nearby buildings of architectural merit. The proposed mid-20th century Ranch House style one-story sunroom addition is clearly distinguishable from the existing house and does not obscure or dilute any architectural features of significance on the rear, though the form and materials of the sunroom are not architecturally compatible with any historic structures in the district. A traditional porch form for an early house would be a simple, shed-form roof sloping toward the rear yard to the west. The proposed roof shingles match those on the existing home and the north and south walls are brick to match the existing house. The glass windows and door comply with the BAR specifications. The glass specifications are within acceptable ranges, and the door and window frames will consist of powder-coated aluminum.

However, with only a ten-foot-tall roof peak, the addition will be barely visible from the public alley located to the south (Figure 1) and the sunroom will not be visible from any of the surrounding streets. Therefore, the BAR’s purview is limited to a small portion of the roofing, two skylights and, perhaps, a glimpse of the top of the glass at the west gable end. The BAR approved a similar, one-story addition four blocks away at 218 Green Street at the July 10, 2019 hearing (BAR2019-00238 & 00239). In that case, as in this one, only a minimal portion of the addition was visible from a public right of way.

Staff notes that the horizontal transom windows at the top of the north and south walls sit on the property line on each side and will require a building code modification to be installed -- residential windows must be 3’ from a property line according to the state construction code. In addition, the eaves, gutters and downspouts overhang into the neighbor’s yard by more than 12” on both sides and this is not permitted. Staff does not believe that alterations in either of these locations will be visible from a public way but recommends that the BAR direct staff to work with Code Administration and the applicant on any minor design revisions that may be required during building permit review.

Based on the limited visibility of the proposed sunroom from a public way, and the capsulation of unremarkable late 20th century brick wall, staff recommends approval of the proposed addition.

STAFF

Susan Hellman, Historic Preservation Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

- C-1 The RM Zone requires 35 percent (1,077 square feet) of open space.
- F-1 The proposal as shown meets minimum open space requirements of the RM zone. The property will have 1,172 square feet of open space as presented.
- F-5 Wall Check survey required.

Code Administration

- C-1 A building permit, plan review, and inspections are required prior to the start of construction.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties

and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)

- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

Alexandria Archaeology

- F-1 No archaeological oversight necessary for this project.

V. ATTACHMENTS

1 – Supplemental Materials

2 – Application for BAR 2019-00143 and 00144: 615 South Royal Street

ADDRESS OF PROJECT: 615 S Royal St, Alexandria, VA 22314
 DISTRICT: ☒ Old & Historic Alexandria ☐ Parker - Gray ☐ 100 Year Old Building
 TAX MAP AND PARCEL: 080-02-06-19 ZONING: RM

APPLICATION FOR: (Please check all that apply)

- ☒ CERTIFICATE OF APPROPRIATENESS
- ☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
 (Required if more than 25 square feet of a structure is to be demolished/impacted)
- ☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
 CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)
- ☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
 (Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☐ Property Owner ☒ Business (Please provide business name & contact person)

Name: Great Day Improvements LLC

Address: 8436 Koa Circle

City: Manassas State: VA Zip: 20110

Phone: 703-690-2000 E-mail: Washington@greatDayImprovements.com

Authorized Agent (if applicable): ☐ Attorney ☐ Architect ☒ Contractor

Name: Gerardo Perez Phone: 703-944-0530

E-mail: GFPerez@live.com

Legal Property Owner:

Name: Scott & Cornelia Turyn

Address: 615 S Royal St

City: Alexandria State: VA Zip: 22314

Phone: 803-466-8762 E-mail: tvryn13@yahoo.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☒ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☒ No Is there a homeowner's association for this property?
- ☐ Yes ☒ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--------------------------------------|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors | <input type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☒ ADDITION
- ☒ DEMOLITION/ENCAPSULATION
- ☐ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

Building a 13.5' x 24' Sunroom on an existing Conc pad with added trench footers.
Existing brick wing walls, will also add one additional brick wing wall on 'A' wall.
Using Coble Stone gray Landmark shingles to match existing home.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- ☒ ^{N/A} Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☒ Description of the reason for demolition/encapsulation.
- ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ ^{N/A} Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ ^{N/A} Linear feet of building: Front: _____ Secondary front (if corner lot): _____.
- ☐ ☐ Square feet of existing signs to remain: _____.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☐ ☐ ^{N/A} Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: Gerardo PerezDate: 9/5/19

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Scott & Cornelia Turyn	615 S Royal St	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 615 S Royal St (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Scott & Cornelia Turyn	615 S Royal St	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

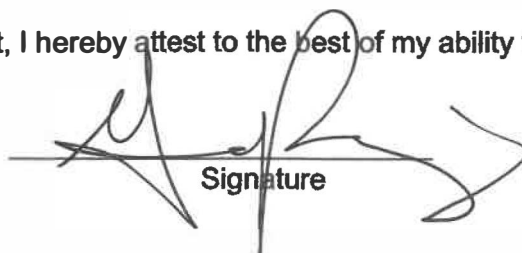
Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Scott & Cornelia Turyn	N/A	N/A
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

9/5/19
Date

Gerardo Perez
Printed Name


Signature



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations for

Single and Two-Family Residential Outside Historic Districts

A

A. Property Information

A1. 615 S ROYAL ST
Street Address

RM
Zone



A2. 3,077.00 x 1.50
Total Lot Area Floor Area Ratio Allowed by Zone

= 4,615.50
Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area

Basement
First Floor 1,220.54
Second Floor 1,220.54
Third Floor 584.40
Attic
Porches
Balcony/Deck
Garage
Other***

Allowable Exclusions**

Basement**
Stairways**
Mechanical**
Attic less than 7**
Porches**
Balcony/Deck**
Garage**
Other***
Other***

B1. 3,025.48 Sq. Ft.
Existing Gross Floor Area*

B2. 0.00 Sq. Ft.
Allowable Floor Exclusions**

B3. 3,025.48 Sq. Ft.
Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

B1. **Total Gross** 3,025.48 B2. **Total Exclusions** 0.00

C. Proposed Gross Floor Area

Proposed Gross Area

Basement
First Floor 324.00
Second Floor
Third Floor
Attic
Porches
Balcony/Deck
Garage
Other***

Allowable Exclusions**

Basement**
Stairways**
Mechanical**
Attic less than 7**
Porches**
Balcony/Deck**
Garage**
Other***
Other***

C1. 324.00 Sq. Ft.
Proposed Gross Floor Area*

C2. 0.00 Sq. Ft.
Allowable Floor Exclusions**

C3. 324.00 Sq. Ft.
Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

C1. **Total Gross** 324.00 C2. **Total Exclusions** 0.00

D. Total Floor Area

D1. 3,349.48 Sq. Ft.
Total Floor Area (add B3 and C3)
D2. 4,615.50 Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space (RA & RB Zones)

E1. 1,593.65 Sq. Ft.
Existing Open Space
E2. 1,076.95 Sq. Ft.
Required Open Space
E3. 1,269.65 Sq. Ft.
Proposed Open Space

Notes

*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

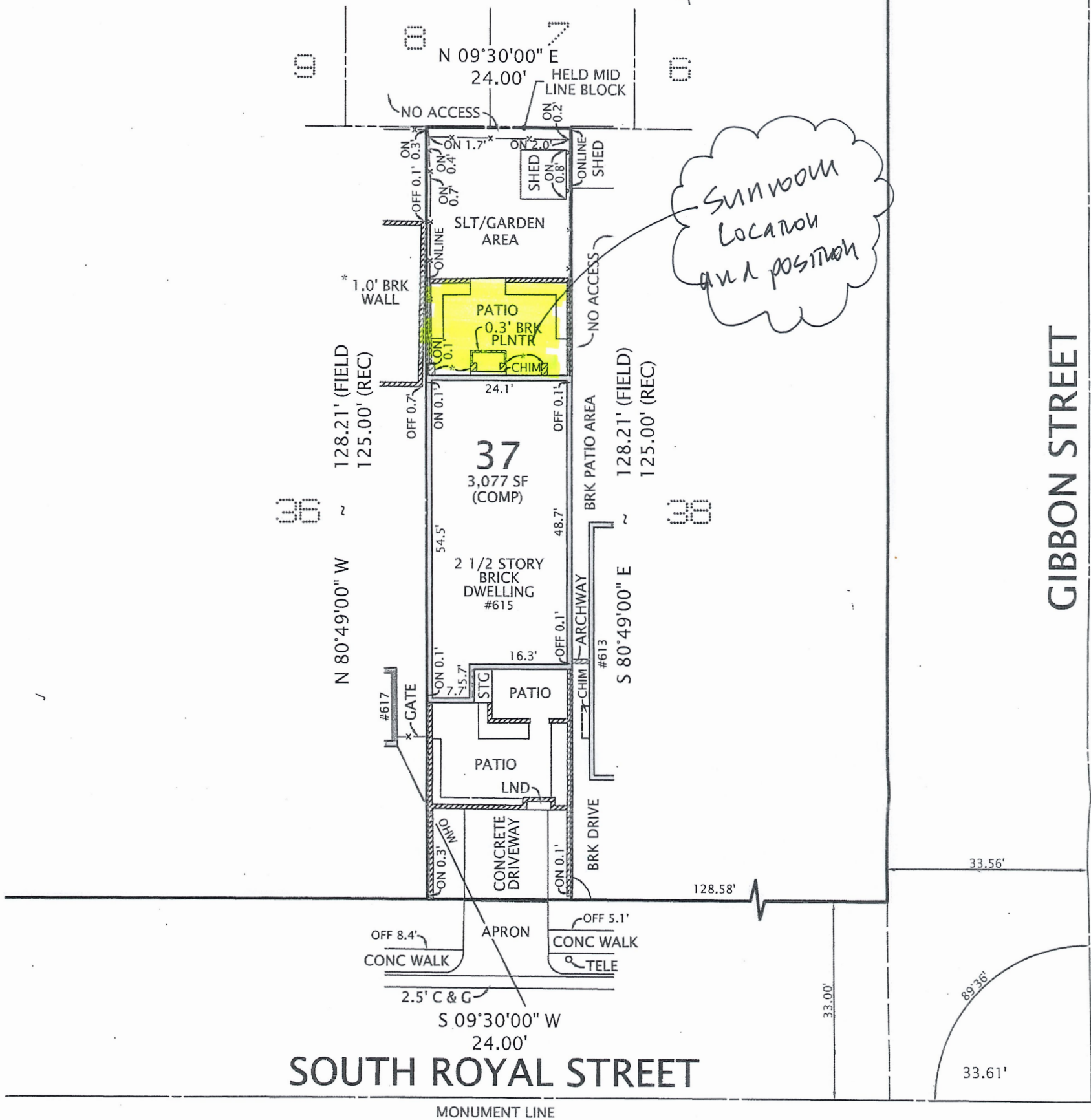
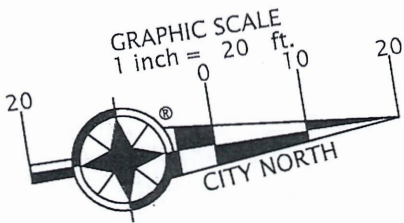
** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

*** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: _____ Date: _____

- NOTES: 1. FENCES ARE FRAME.
2. WALLS ARE 0.7" BRICK UNLESS NOTED.
3. UTILITIES ARE UNDERGROUND.



PLAT
SHOWING HOUSE LOCATION ON
LOT 37
SQUARE BOUNDED BY
PITT, GIBBON, ROYAL AND FRANKLIN STREETS

(DEED BOOK 15, PAGE 219)
CITY OF ALEXANDRIA, VIRGINIA
SCALE: 1" = 20' JANUARY 8, 2019

<p>I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:</p>		<p>ORDERED BY:</p> <p>SCOTT TURYN</p>
<p>THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD. A TITLE REPORT WAS NOT FURNISHED. NO CORNER MARKERS SET.</p>		<p>DOMINION Surveyors Inc.® 8808-H PEAR TREE VILLAGE COURT ALEXANDRIA, VIRGINIA 22309 703-619-6555 FAX: 703-799-6412</p>

ALEXANDRIA CITY COUNTY

MINIMUM DESIGN LOADS: (PER 2012 IRC)

NOTE: COMPONENTS HAVE BEEN CHECKED
AGAINST DESIGN LOADS SHOWN & FOUND
TO BE ACCEPTABLE STRUCTURALLY

SNOW LOADS:

- 1. GROUND SNOW LOAD 30 PSF

BASIC WIND SPEED: 90 MPH, 3 SEC. GUSTS

LIVE LOADS:

- 1. ROOF: 30 PSF
- 2. FLOOR: 40 PSF

DEFLECTION LIMITS:

- 1. ROOF: L/120 (PER 2012 IRC TABLE R301.7 NOTE C)
- 2. WALLS: L/175
- 3. FLOOR: L/240 (TOTAL LOAD), L/360 (LIVE LOAD)

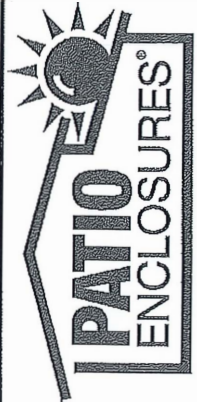
NOTE: THIS ENCLOSURE IS NOT TO BE CONDITIONED
OR USED AS A PERMANENT LIVING AREA.

NOTES:

- 1. COMFORTVIEW (CA8) ROOM; WHITE IN COLOR
- 2. CONSTRUCT ENCLOSURE ON EXISTING CONCRETE
- 3. NO HEAT BY GDI, ELECTRICAL BY GDI
- 4. ALL CONCRETE TO BE 3000 PSI MINIMUM
- 5. ALL LUMBER TO BE SPF #2 OR BETTER, PRESSURE
TREATED WHERE REQUIRED
- 6. WHERE REQUIRED, METALS IN CONTACT WITH PRESSURE
TREATED LUMBER MUST BE ADEQUATELY PROTECTED.
- 7. ROOM CONSIDERED AS NON-CONDITIONED SPACE,
EXEMPT FROM ENERGY REQUIREMENTS (PER 2012
IRC SECTION N1101.6, NOTE 2)
- 8. THERE WILL BE NO DEMOLITION ON REAR WALL

GREAT DAY IMPROVEMENTS, WASHINGTON
TURYN RESIDENCE

DRAWING #	DESCRIPTION
1	COVER
2	ELEVATION "B" WALL
3	ELEVATION "A" & "C" WALL
4	FOUNDATION PLAN
5	ELECTRICAL PLAN
6	FLOOR PLAN
7	ROOF PLAN
8	SYSTEM DETAILS
9	SYSTEM DETAILS



LOCATION
GDI - WASHINGTON
8436 KOA CIRCLE
MANASSAS, VA 20110
703-690-2000

SCOTT & CORNELIA TURYN
615 S ROYAL STREET
ALEXANDRIA, VA. 22314
JOB #38214

REV. B 4/22/19
REV. C 8/22/19
REV. D 9/25/19
REV. E 9/26/19

DATE
3/14/19

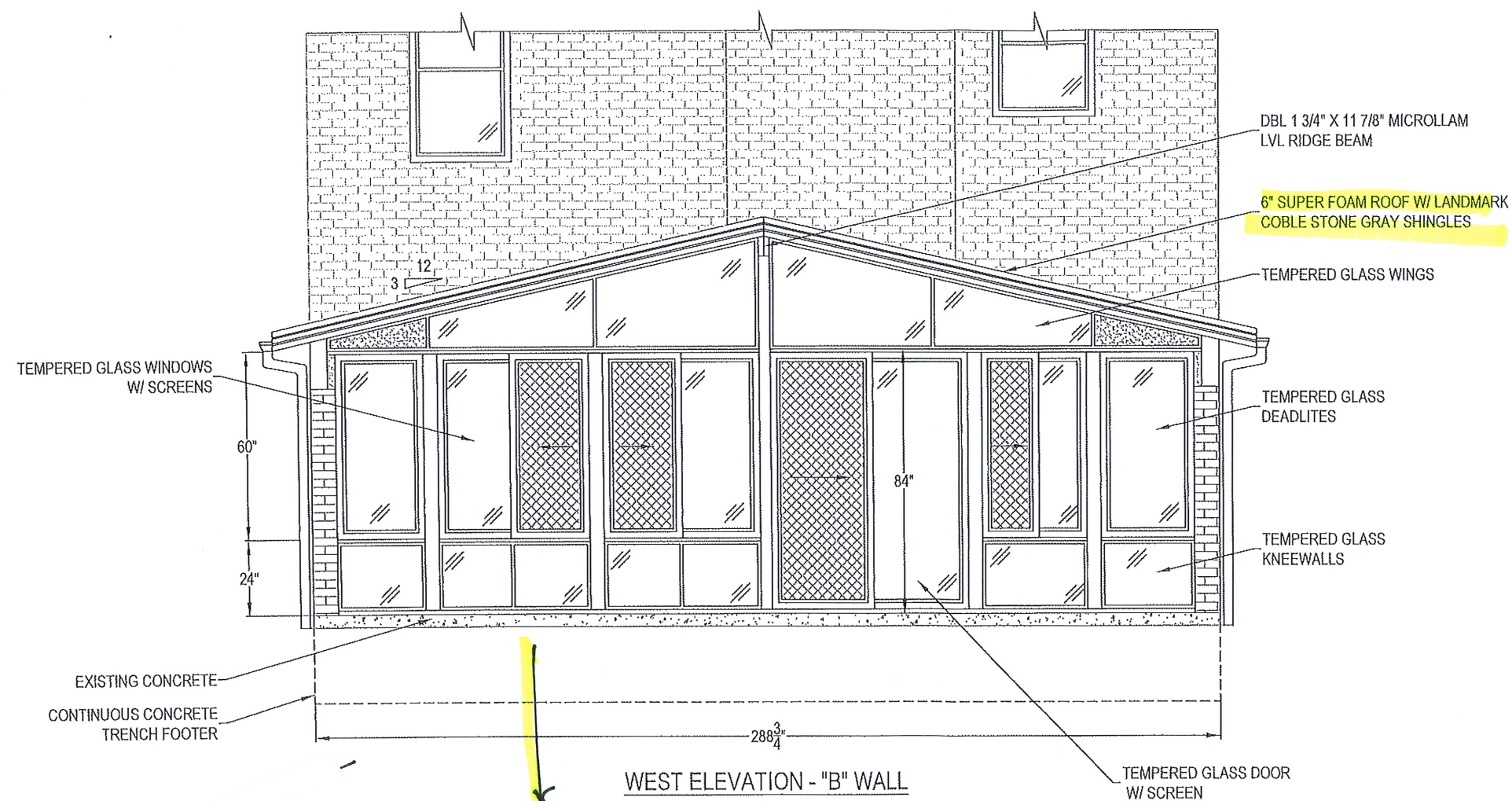
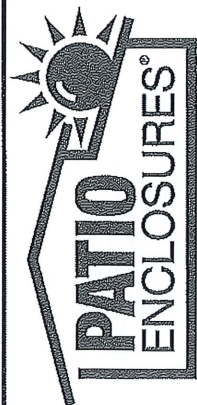
DRAWN
VNG

SCALE
1/4" = 1'-0"

SHEET
1 OF 9

JAMES A. CLANCY P.E., L.S.
VA PROFESSIONAL ENGINEER (VA LIC. # 42464)
601 ASBURY AVENUE
NATIONAL PARK, NJ. 08063
PH. # 856-853-7306

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WEST

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LOCATION GDI - WASHINGTON 8436 KOA CIRCLE MANASSAS, VA 20110 703-690-2000				SCOTT & CORNELIA TURYN 615 S ROYAL STREET ALEXANDRIA, VA. 22314 JOB #38214			
REV. B	4/22/19	REV. C	8/22/19	REV. D	9/25/19	REV. E	9/26/19
DATE 3/14/19				DRAWN VNG			
SCALE 1/4" = 1'-0"				SHEET 2 OF 9			

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703-690-2000

SCOTT & CORNELIA TURYN
615 S ROYAL STREET
ALEXANDRIA, VA. 22314
JOB #38214

REV. B	4/22/19
REV. C	8/22/19
REV. D	9/25/19
REV. E	9/26/19

DATE
3/14/19

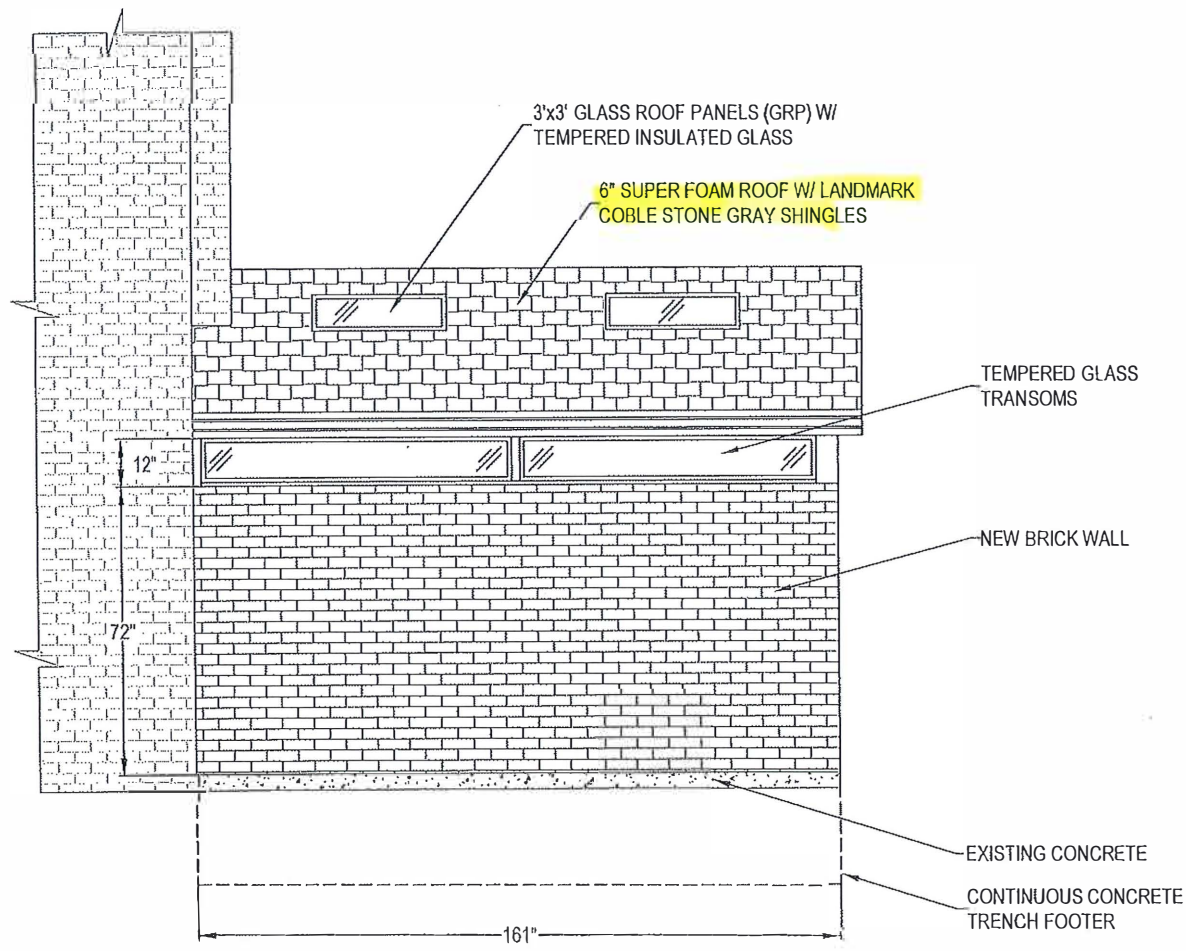
DRAWN
VNG

SCALE
1/4" = 1'-0"

SHEET
3 OF 9

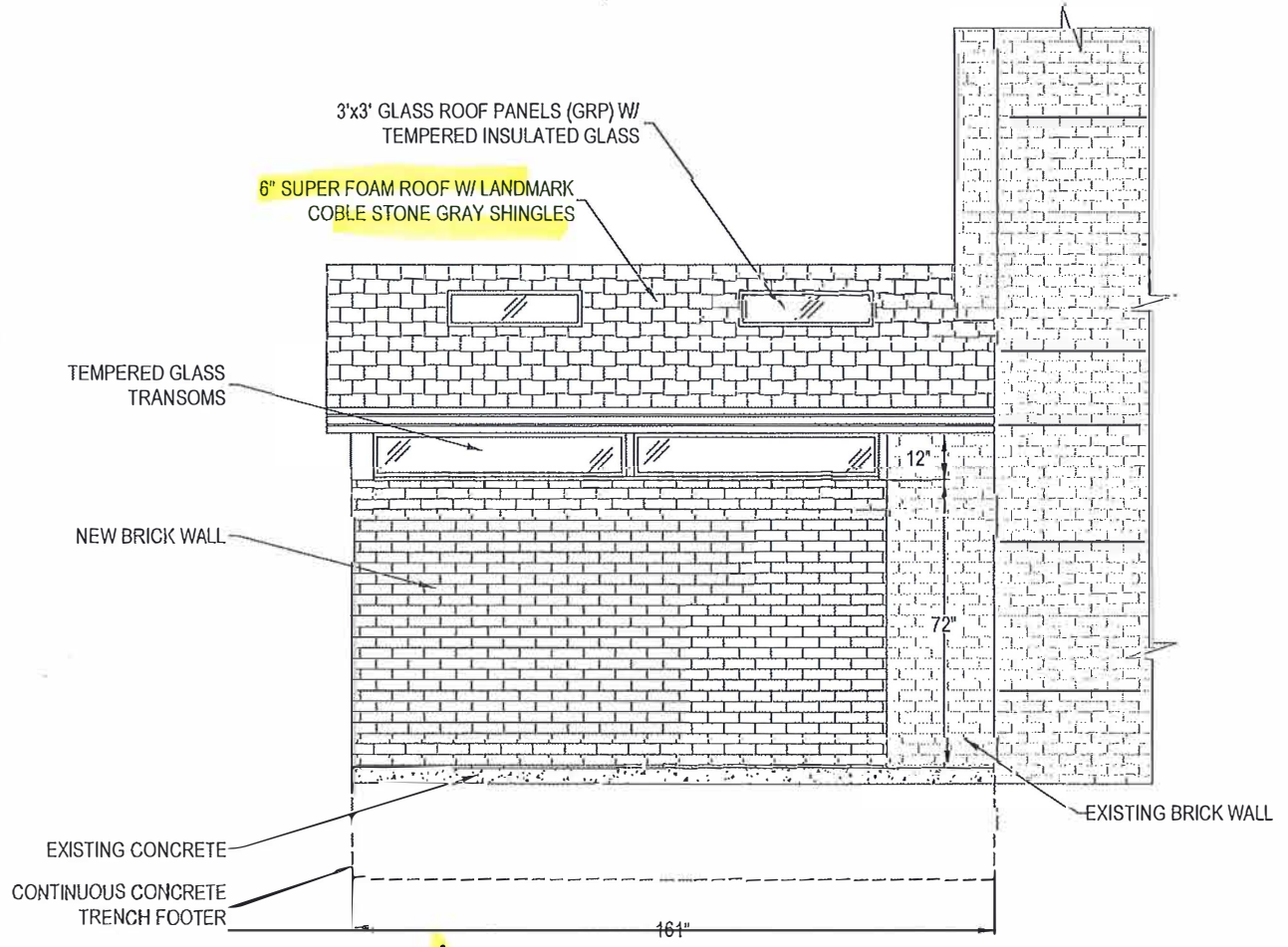
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NORTH ELEVATION - "A" WALL

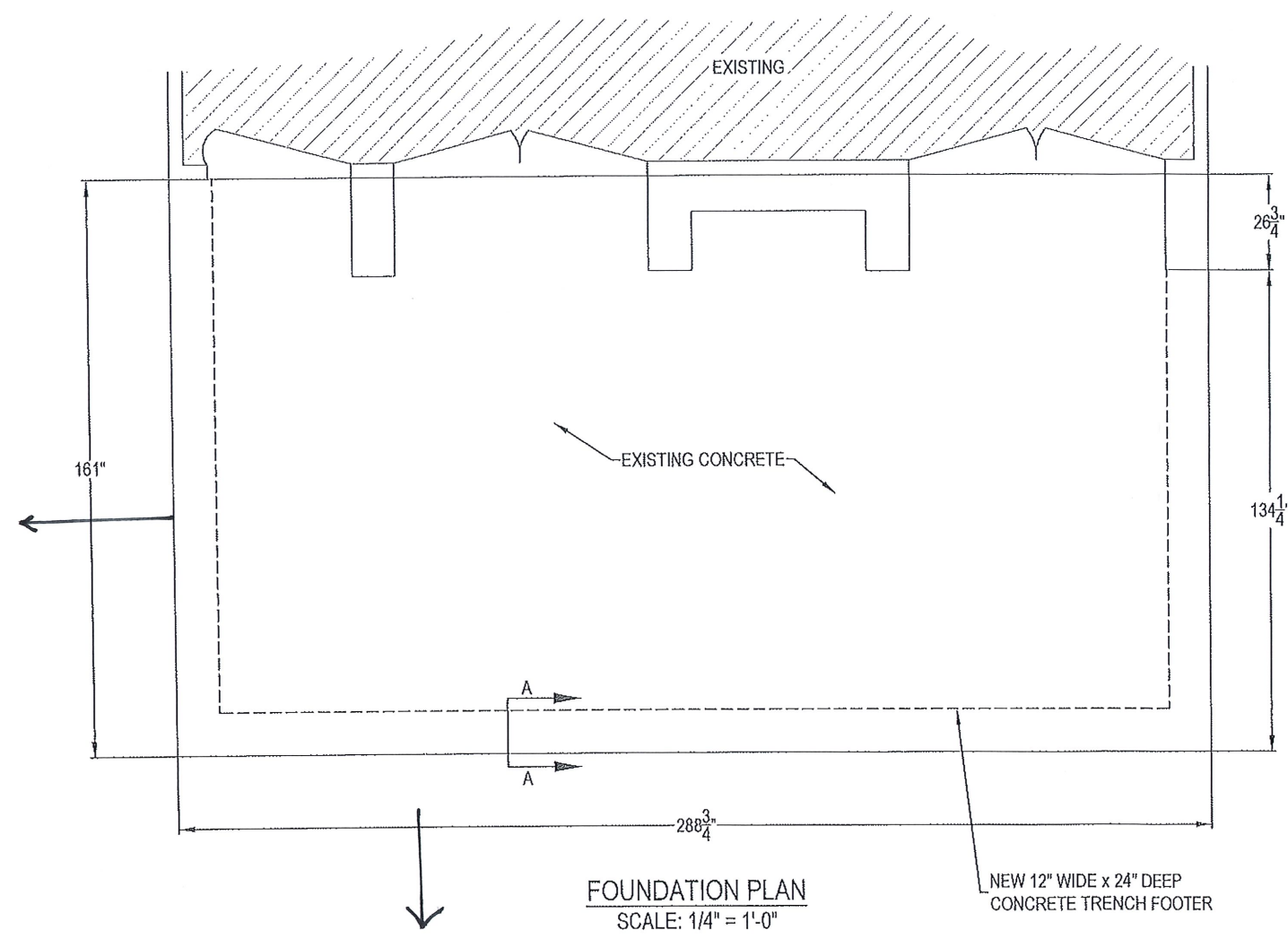
North



SOUTH ELEVATION - "C" WALL

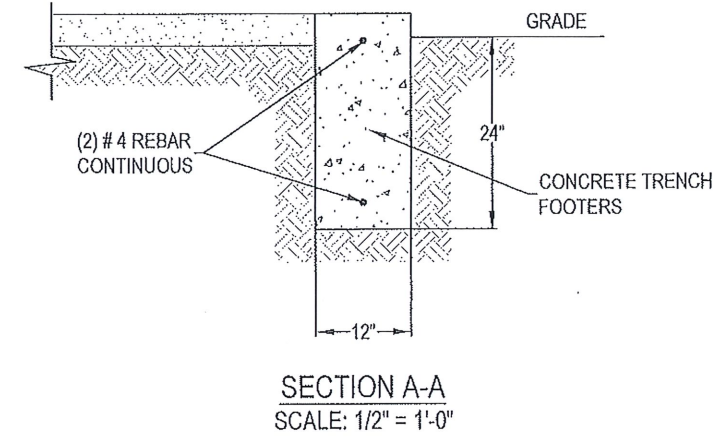
South

North



WEST

→ South



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REV. B 4/22/19	REV. C 8/22/19	REV. D 9/25/19	REV. E 9/26/19
DATE			
3/14/19			
DRAWN			
VNG			
SCALE			
AS NOTED			
SHEET			
4 OF 9			

SCOTT & CORNELIA TURYN
615 S ROYAL STREET
ALEXANDRIA, VA. 22314
JOB #38214

LOCATION
GDI - WASHINGTON
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SCOTT & CORNELIA TURYN

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JOB #38214

REV. B 4/22/19

REV. C 8/22/19

REV. D 9/25/19

REV. E 9/26/19

DATE

3/14/19

DRAWN

VNG

SCALE

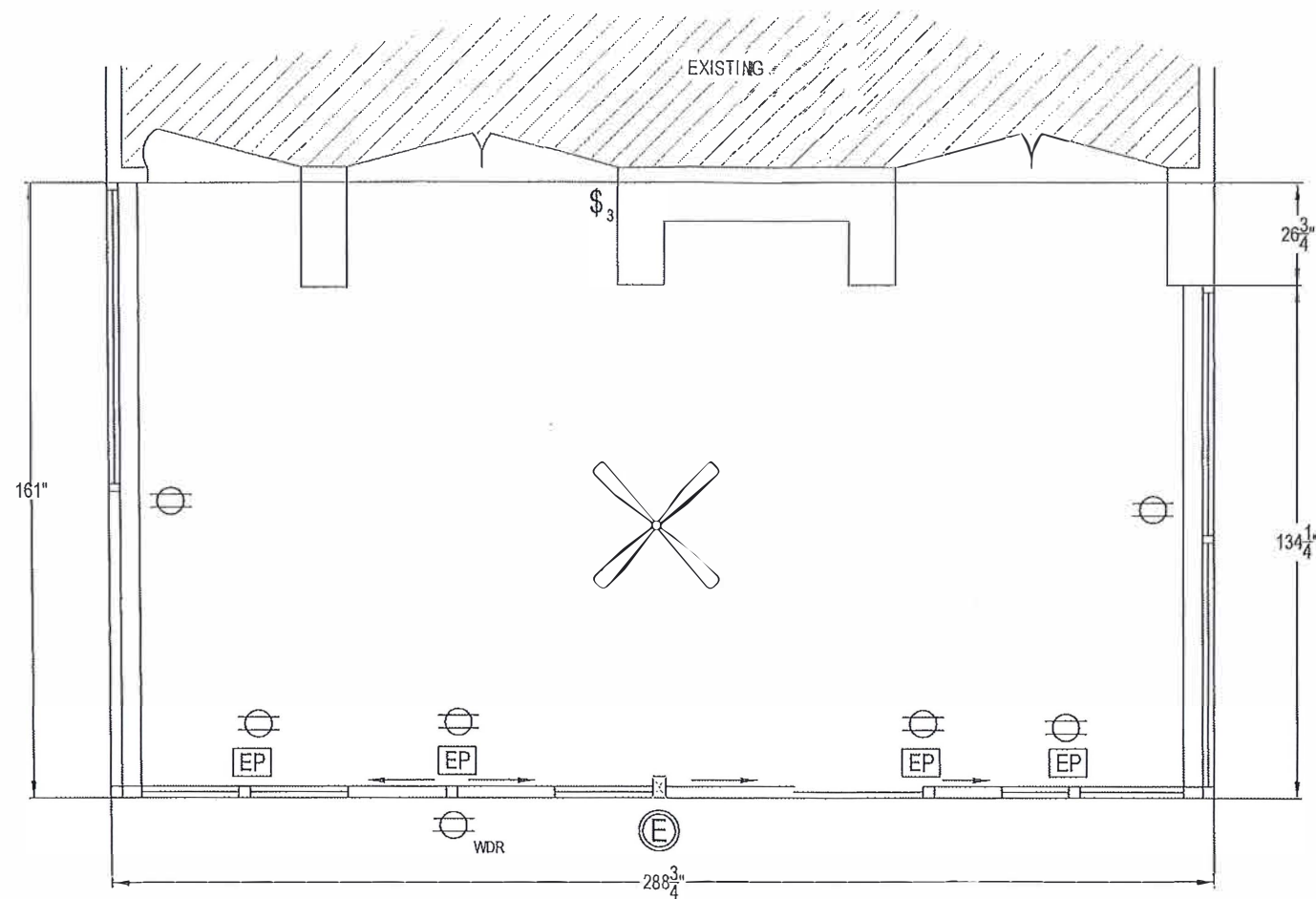
1/4" = 1'-0"

SHEET

5 OF 9

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ELECTRICAL PLAN

GDI ELECTRICAL SYMBOL LEGEND



ELECTRICAL RACEWAY POST



DUPLEX RECEPTACLE



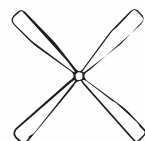
WEATHERPROOF DUPLEX
RECEPTACLE (W/ GFCI)



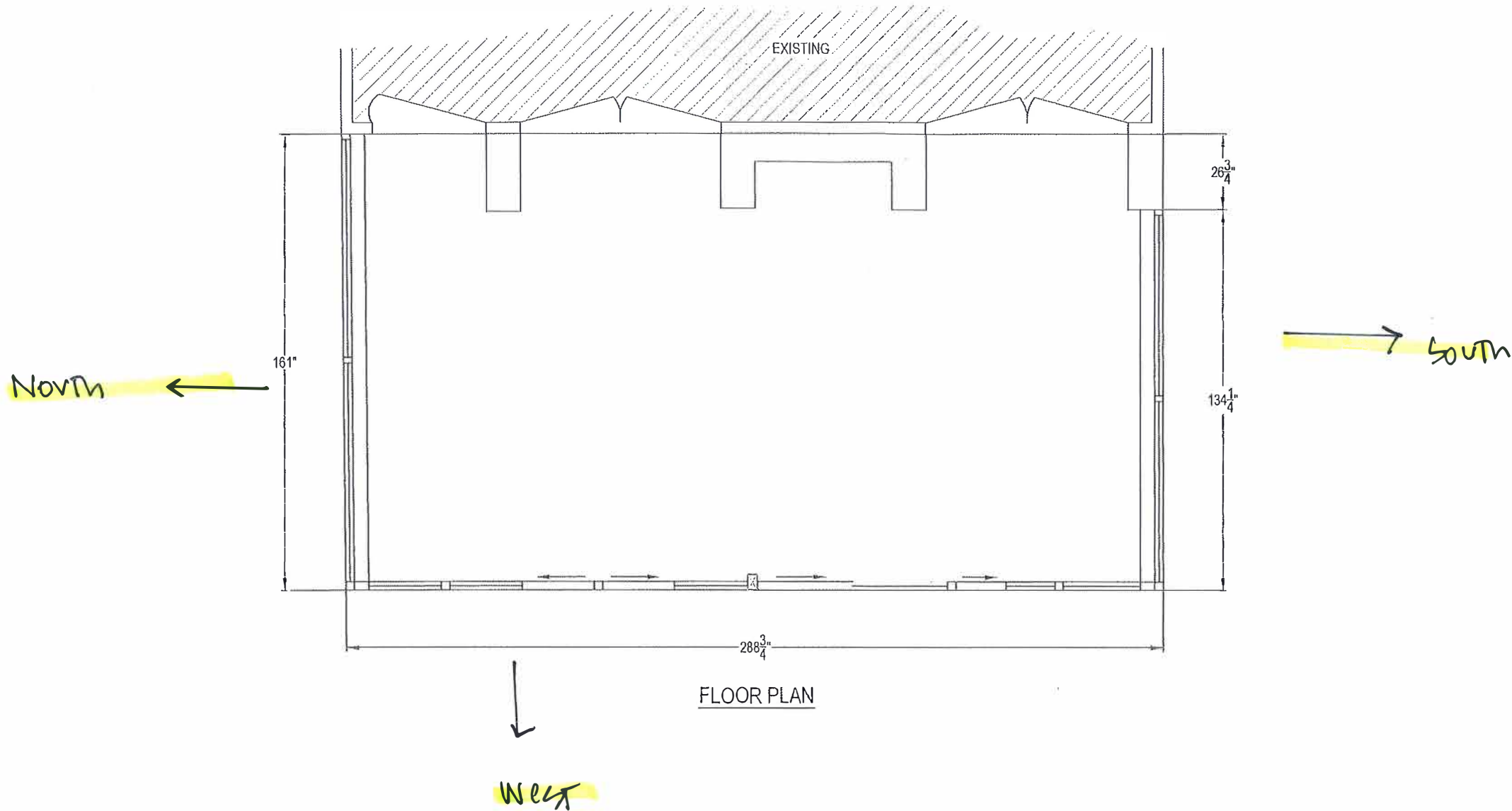
EXIT LIGHT



THREE WAY SWITCH



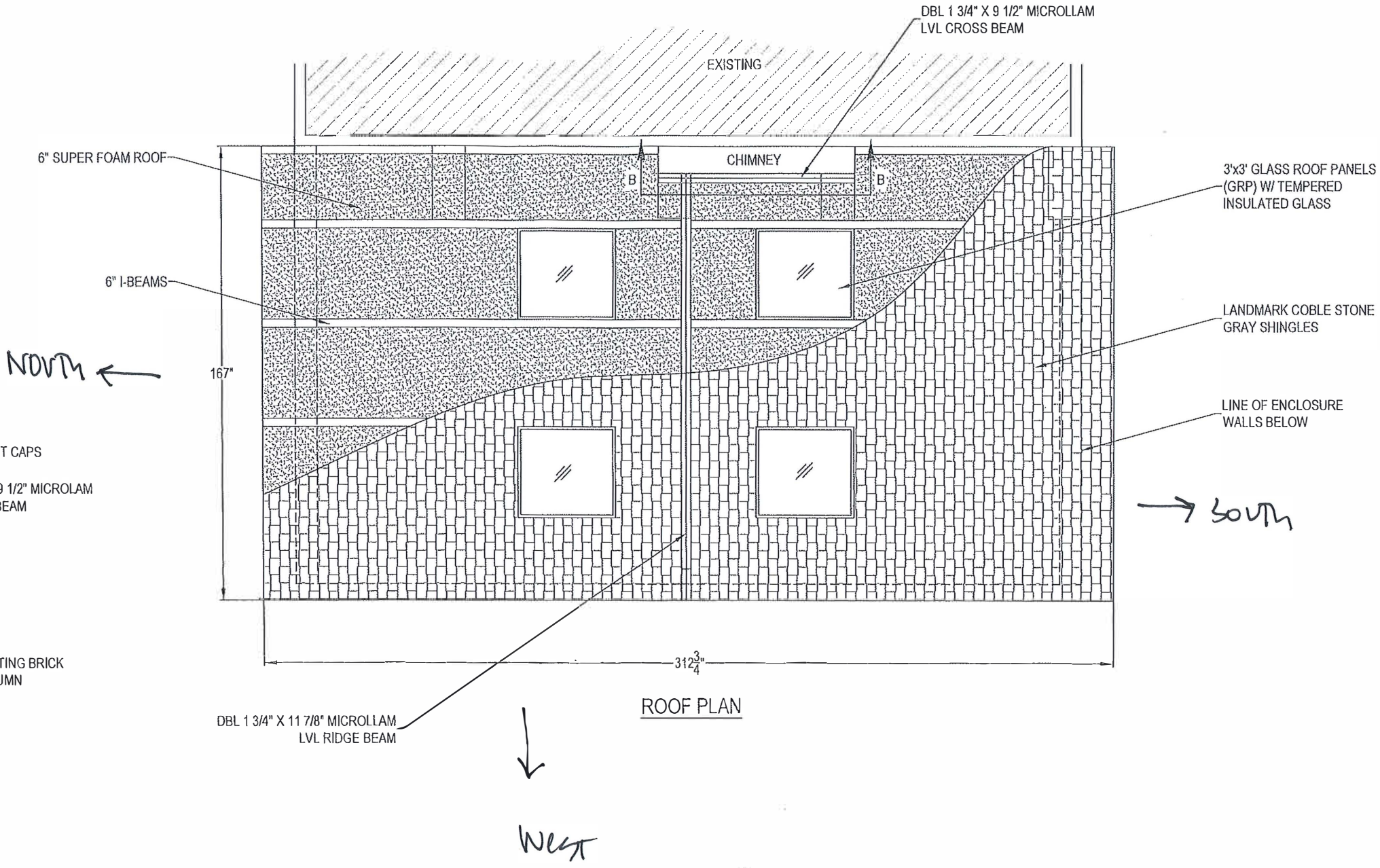
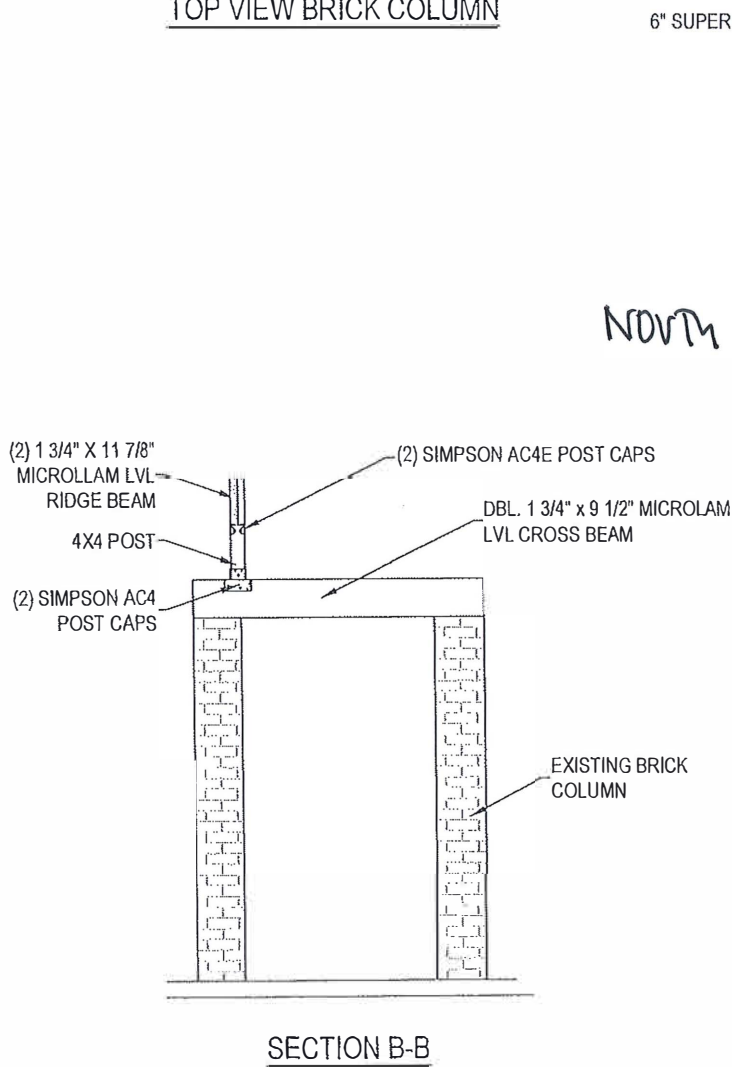
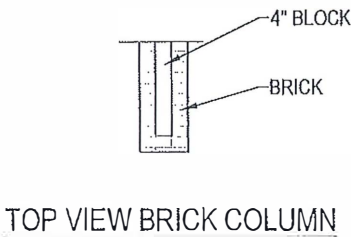
CEILING FAN



LOCATION		GDI - WASHINGTON 8436 KOA CIRCLE MANASSAS, VA 20110 703-690-2000	
SCOTT & CORNELIA TURYN 615 S ROYAL STREET ALEXANDRIA, VA. 22314 JOB #38214		REV. B 4/22/19 REV. C 8/22/19 REV. D 9/25/19 REV. E 9/26/19	
DATE		3/14/19	
DRAWN		VNG	
SCALE		1/4" = 1'-0"	
SHEET		6 OF 9	

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SCOTT & CORNELIA TURYN 615 S ROYAL STREET ALEXANDRIA, VA. 22314 JOB #38214		REV. B 4/22/19	REV. C 8/22/19
		REV. D 9/25/19	REV. E 9/26/19
DATE		3/14/19	
DRAWN		VNG	
SCALE		1/4" = 1'-0"	
SHEET		7 OF 9	

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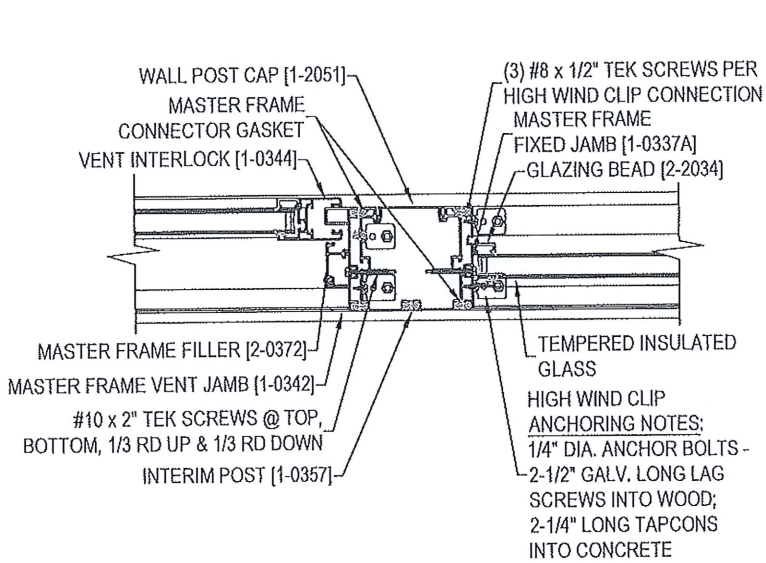
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GDI - WASHINGTON
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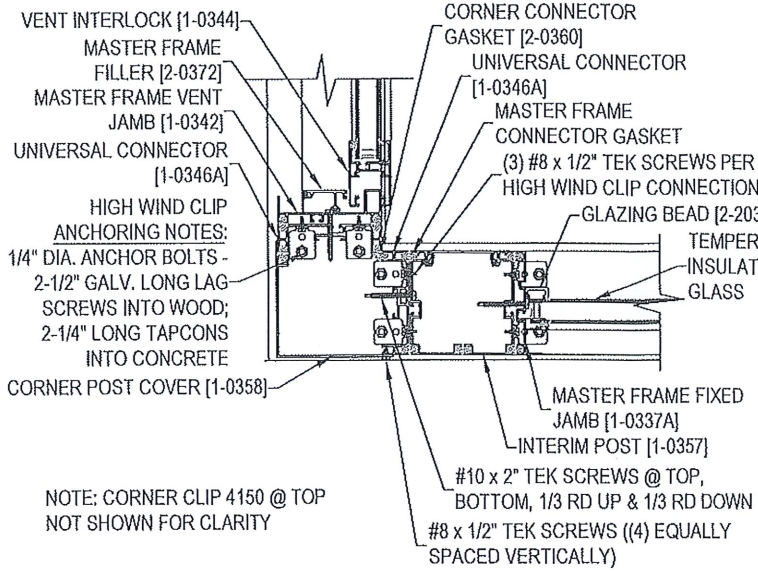
REV. B 4/22/19	REV. C 8/22/19	REV. D 9/25/19	REV. E 9/26/19
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DATE 3/14/19	DRAWN VNG
SCALE 1 1/2" = 1'-0"	SHEET 8 OF 9

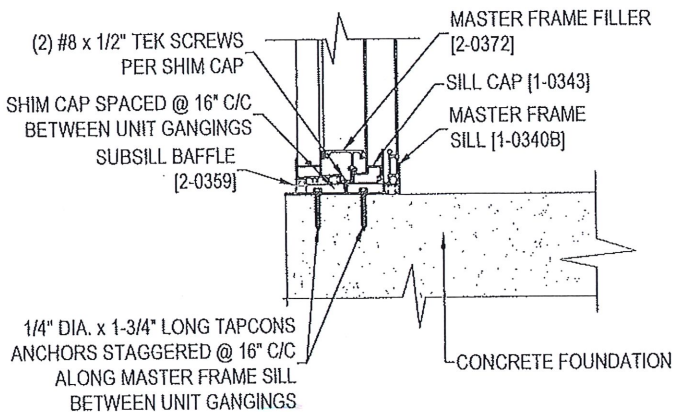
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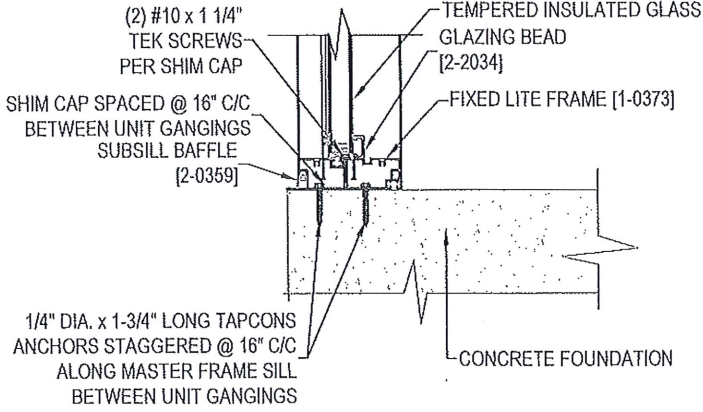
PLAN VIEW OF MASTER FRAME JAMBS
CONNECTION @ INTERIM POST



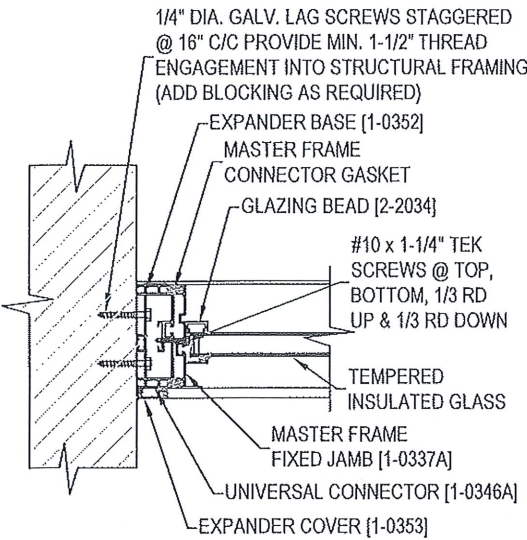
PLAN VIEW OF MASTER FRAME JAMBS & INTERIM
POST CONNECTION @ CORNER POST



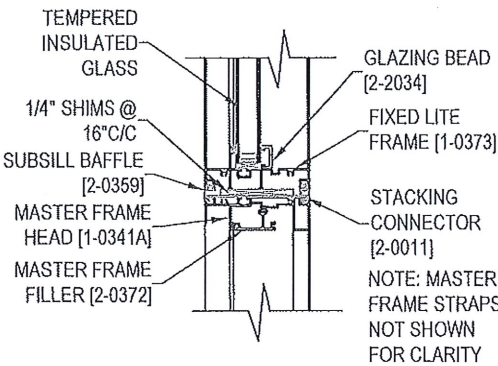
SECTION THROUGH MASTER FRAME SILL
CONNECTION @ CONCRETE FOUNDATION



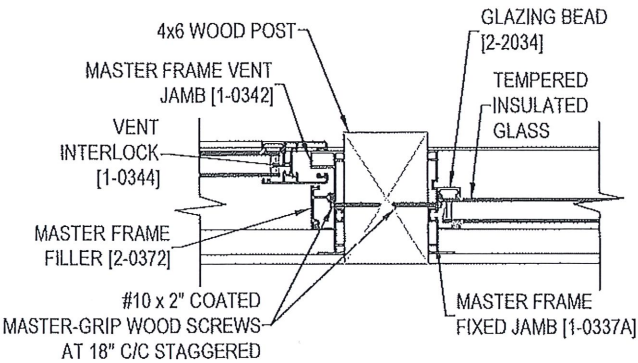
SECTION THROUGH GLASS KNEEWALL
CONNECTION @ CONCRETE FOUNDATION



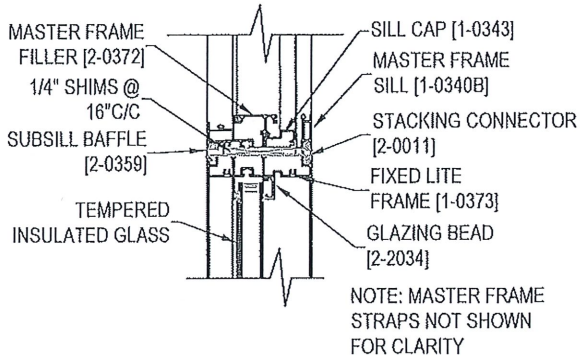
PLAN VIEW OF MASTER FRAME JAMBS
CONNECTION @ EXISTING WALL



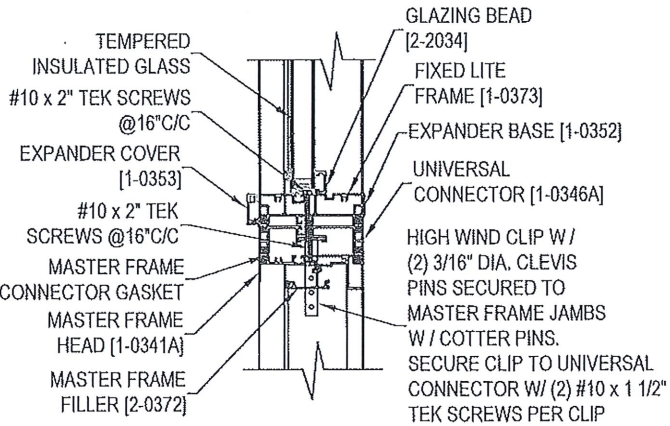
SECTION THROUGH MASTER FRAME HEAD
CONNECTION @ GLASS TRANSOM



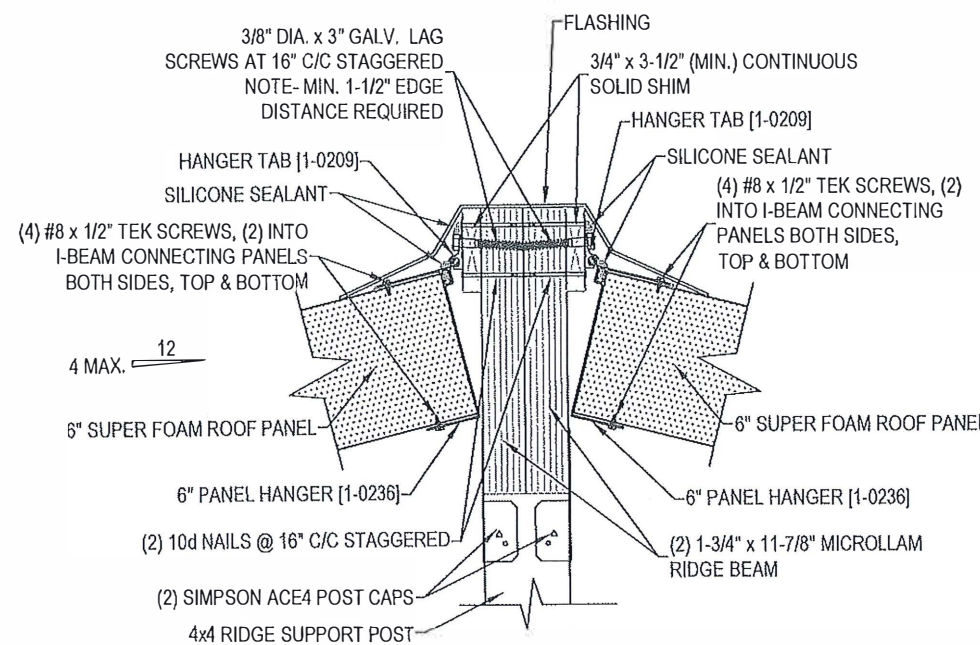
PLAN VIEW OF MASTER FRAME JAMBS
CONNECTION @ 4x6 WOOD POST



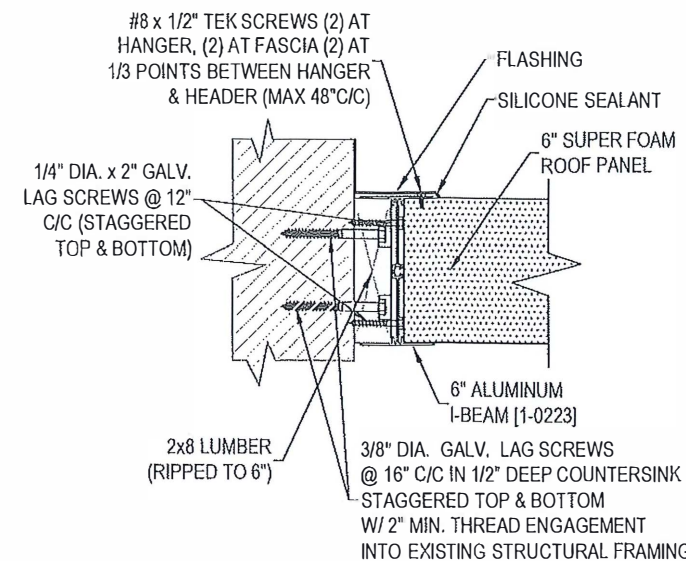
SECTION THROUGH MASTER FRAME SILL
CONNECTION @ GLASS KNEEWALL



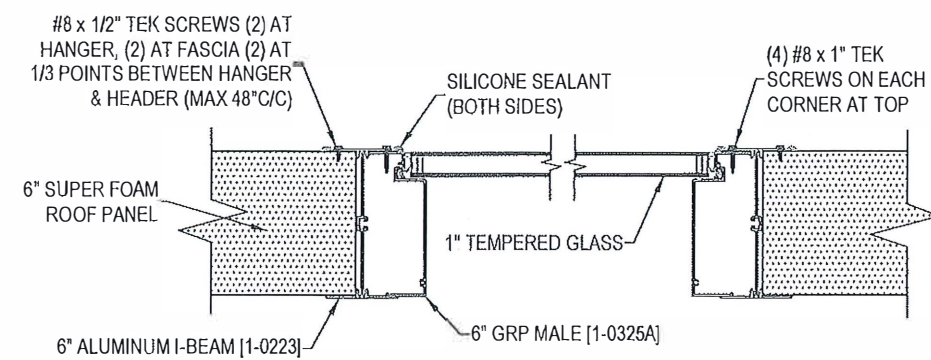
SECTION THROUGH MASTER FRAME
HEAD CONNECTION @ GLASS WING



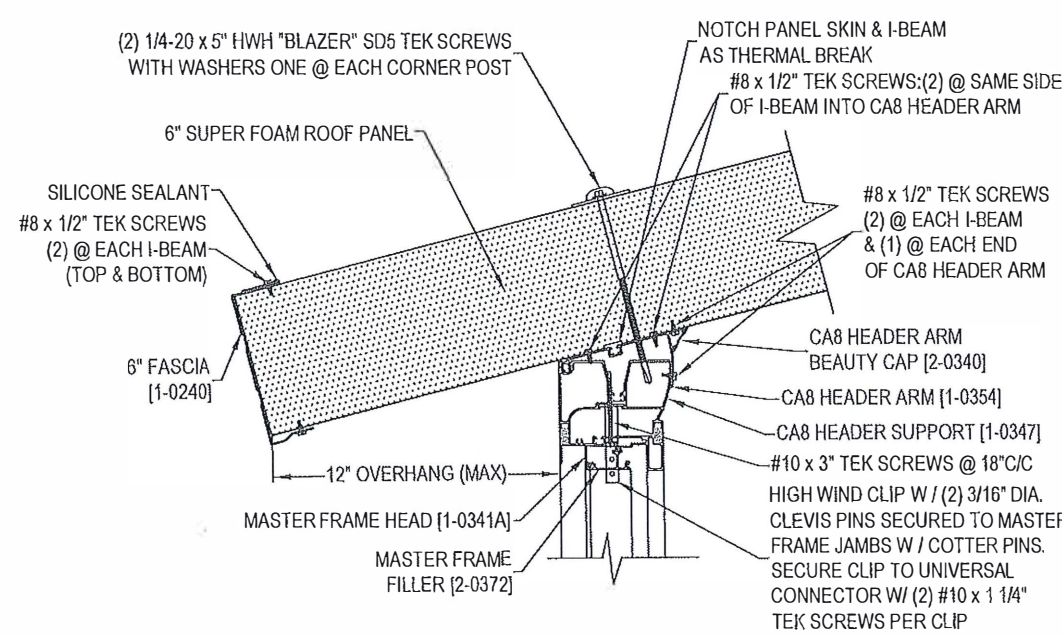
SECTION THROUGH 6" SUPER FOAM ROOF & PANEL
HANGER ASSEMBLY CONNECTION @ RIDGE BEAM



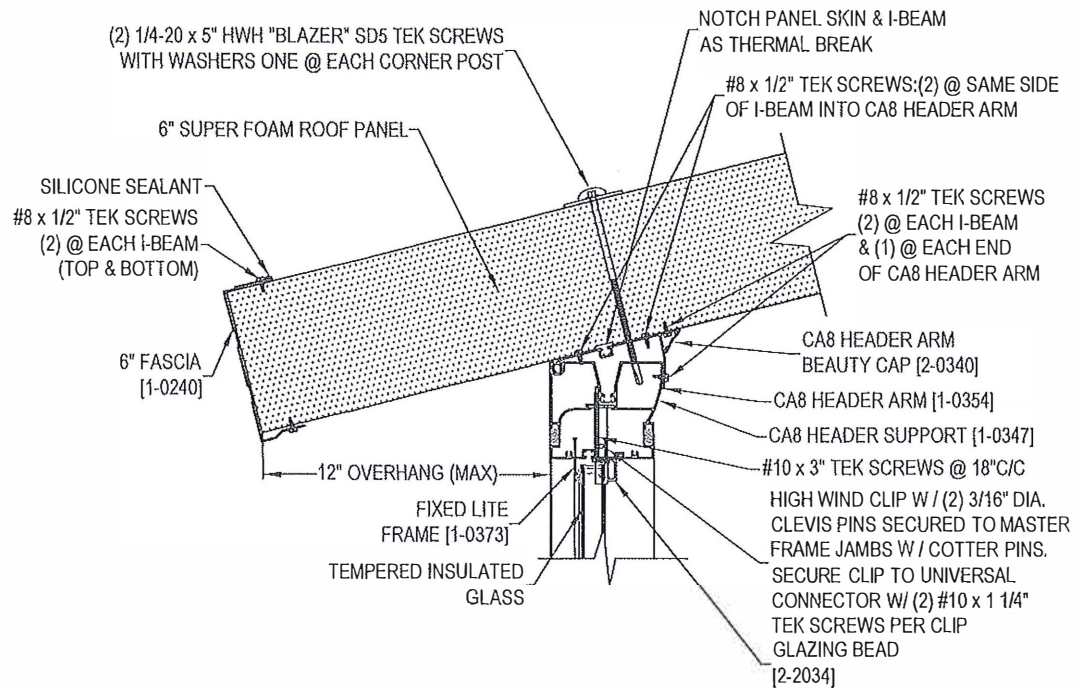
6" ROOF PANEL & I-BEAM
CONNECTION @ EXISTING WALL



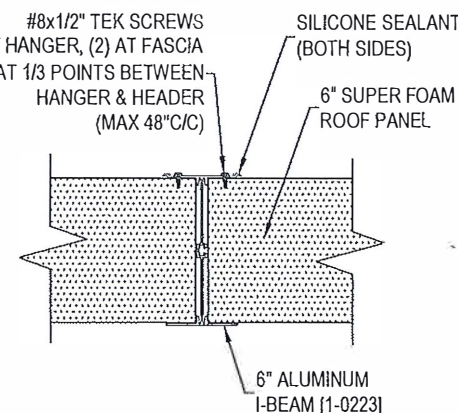
SECTION THROUGH 6" GLASS ROOF PANEL
(GRP) CONNECTION @ I-BEAM & 6" ROOF



SECTION THROUGH MASTER FRAME & HEADER
CONNECTION @ 6" SUPER FOAM ROOF



SECTION THROUGH TRANSOM & HEADER
CONNECTION @ 6" SUPER FOAM ROOF



SECTION THROUGH 6" ROOF
CONNECTION @ I-BEAM



LOCATION

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REV. B 4/22/19

DATE

3/14/19

DRAWN

VNG

SCALE

1 1/2" = 1'-0"

SHEET

9 OF 9

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Revised 10/2/2019

Glass Performance Chart for Sunrooms

3mm GLASS

PRODUCT		GLASS CONSTRUCTION	3mm Single-pane (AVR & AAS)			3mm 5/8" Insulated Glass (AVI & CA5)			3mm 7/8" Insulated Glass (CV7)			3mm 1.0" Insulated Glass (CA8)		
			U Values	Visible Light Transmittance	Solar Heat Gain Coefficient	U Values	Visible Light Transmittance	Solar Heat Gain Coefficient	U Values	Visible Light Transmittance	Solar Heat Gain Coefficient	U Values	Visible Light Transmittance	Solar Heat Gain Coefficient
Single-pane Glass Units														
Clear	Monolithic		1.04	0.90	0.86									
Solarbronze®	Monolithic		1.04	0.67	0.73									
Standard Insulated Glass Units														
Clear / Clear	Double-pane w/Super Spacer® filled with air					0.50	0.81	0.76	0.48	0.81	0.76	0.49	0.81	0.76
Solarbronze / Clear	Double-pane with Super Spacer filled with air					0.50	0.60	0.62	0.48	0.60	0.62	0.49	0.60	0.62
Comfort-Gard® PLUS														
Solarban® 60VT / Gas / Clear	Double-pane with Super Spacer filled with 90% Argon					0.26	0.72	0.40	0.26	0.72	0.40	0.26	0.72	0.40
Solarbronze / Gas / Solarban® 60VT	Double-pane with Super Spacer filled with 90% Argon					0.32	0.54	0.39	0.31	0.54	0.39	0.31	0.54	0.39
Comfort-Gard® PLUS I Insulated Glass Units														
Solarban 70 XL VT / Gas / Clear	Double-pane with Super Spacer filled with 90% Argon					0.25	0.64	0.28	0.25	0.64	0.27	0.26	0.64	0.27
SolarBronze / Gas / Solarban 70 XL VT	Double-pane with Super Spacer filled with 90% Argon					0.32	0.48	0.31	0.31	0.48	0.31	0.31	0.48	0.31

Chart based on the following:

1. All glass 1/8-inch nominal thickness, cut to fit and tempered.
2. All data and values tested against NFRC 100-2010 standards as defined by LBNL Windows software, version 7.7.

