

DOCKET ITEM #2
Special Use Permit #2019-0043
2500 North Van Dorn Street
Our First Steps Day Care Center

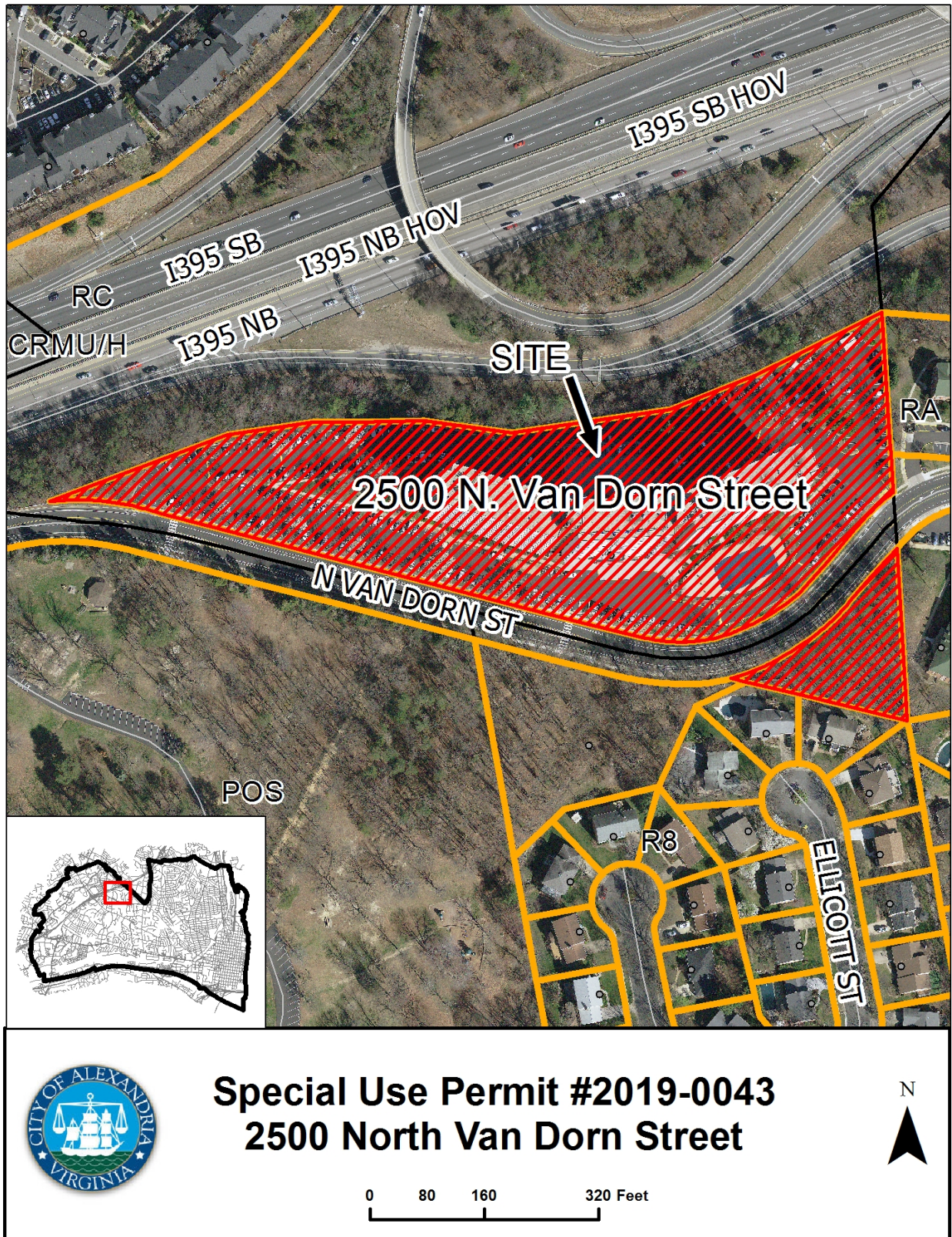
CONSENT AGENDA ITEM

If no one asks to speak about this case prior to the hearing, it will be approved without discussion as part of the Consent Agenda.

Application	General Data	
Request: Public hearing and consideration of a request for a special use permit to operate a day care center	Planning Commission Hearing:	October 3, 2019
	City Council Hearing:	October 19, 2019
Address: 2500 North Van Dorn Street	Zone:	RC/High Density Apartment Zone
Applicant: Zuleima L. Villa	Small Area Plan:	Seminary Hill/Strawberry Hill

Staff Recommendation: APPROVAL subject to compliance with all applicable codes and ordinances and the recommended permit conditions found in Section III of this report.

Staff Reviewer: Max Ewart, max.ewart@alexandriava.gov
Ann Horowitz, ann.horowitz@alexandriava.gov



PROJECT LOCATION MAP

I. REPORT SUMMARY

The applicant, Zuleima L. Villa, requests Special Use Permit approval to operate Our First Steps day care center in one of the first-floor commercial spaces at 2500 North Van Dorn Street. Staff recommends approval of the Special Use Permit request with conditions as described in the report.

SITE DESCRIPTION

The subject property is a lot with approximately 1,300 feet of frontage along North Van Dorn Street, approximately 300 feet in depth and an area of 269,183 square feet. The lot is developed with the 15-story Park Place Condominium building that contains 416 residential units on upper floors and four commercial condominium units on the ground level (Figure 1). The proposed tenant space is located in the northeast corner of the building and faces the rear parking area (Figure 2). A 383-space surface parking lot surrounds the building and an underground 169-space parking garage is located beneath it.

To the southwest, across North Van Dorn Street, is Fort Ward Park. Braddock Lee Apartments and Fairlington Methodist Church are located to the east and the Henry G. Shirley Memorial Highway (Route 395) borders the lot to the north and northwest. Single family homes are located to the south.

BACKGROUND

The Fort Ward Towers apartment building, the original name for the complex, was constructed in 1965 on the subject parcel. On June 7, 1983, City Council approved SUP #1580 for the conversion of the apartments to condominiums which were served by 552 parking spaces located in a surface lot and parking garage in the C-2 zone. A retail grocery operated in the ground level commercial space, where the applicant proposes to locate the day care center, for over 20 years.



Figure 1: Park Place Condominiums



Figure 2 – Tenant space entrance

PROPOSAL

The applicant, Zuleima L. Villa, proposes to operate a day care establishment in a first floor, 2,160 square foot tenant space at 2500 North Van Dorn Street. The business would operate from 7 a.m. to 6 p.m., Monday through Friday. Sixty children would be cared for in four rooms, each accommodating children of similar age ranges. The ages of the children would range from three months to five years old. Six staff members would be employed to care for the children. Parking for staff would be located in an adjacent parking section used by the condominium association for visitor parking (Figure 3). The applicant would satisfy the Virginia Department of Social Services play area requirements at nearby Fort Ward Park.

The peak drop-off hours would be from 7 – 9 a.m. and the peak pick-up hours would be from 3 – 6 p.m. Parents would enter the Park Place Condominium parking lot from either the west or the east entrance and park in one of the three parking spaces, designated for the center use between 7 a.m. and 6 p.m. in front of the tenant space (Figure 3). Parents of younger children would walk them to and from the day care center while staff would escort older children at the pick-up and drop off area to and from the center. Parents would exit the parking lot through either of the two entrances along North Van Dorn Street.

PARKING

Section 8-200(A)(16)(b) requires day care centers outside of the enhanced transit area to provide a minimum of 0.75 parking spaces per 1,000 square feet and a maximum of four spaces per 1,000 square feet of floor area. The applicant, therefore, is required to provide a minimum of three parking spaces and may use up to 12 spaces for a 2,160 square-foot tenant space. The applicant would provide a total of seven parking spaces which satisfies the zoning ordinance requirements. The seven parking spaces would accommodate employee parking and the pick-up and drop-off of children.

ZONING/ MASTER PLAN DESIGNATION



Figure 3 – Employee parking area within yellow outline and pick-up and drop off area within red outline.

The subject site is located in the RC/High density apartment zone. Section 3-903(C) requires Special Use Permit approval for a day care center.

The subject site is situated within the boundaries of the Seminary Hill/Strawberry Hill Small Area Plan which designates the parcel for residential use. Commercial uses on the lot are considered

accessory to the residential use.

II. STAFF ANALYSIS

Staff supports the applicant's request for a day care center at 2500 North Van Dorn Street. Our First Steps day care center would fill a long-vacant commercial space and provide convenient day care options for parents of young children living at the Park Place Condominiums as well as for those in the surrounding area.

Impacts, such as noise and odor, are not anticipated for this use. The Park Place Condominium Association's Board of Directors initially expressed concerns related to the number of children on-site, employee parking, pick-up and drop off and the applicant's early proposal for an on-site playground to satisfy state outdoor play area requirements. The applicant and staff worked closely with the property manager and the board of directors, meeting on August 15 and 22, to develop a mutually agreed upon parking and pick-up and drop off arrangement. After the meetings, the Park Place Board of Directors voted unanimously to support the day care proposal with the conditions proposed in the SUP with an understanding that the Department of Social Services addresses the number of children a day care center can accommodate at a site and the outdoor play area as part of licensing requirements.

In addition to standard SUP conditions for noise, delivery hours, and the promotion of alternative transportation to the site, conditions are included to require the applicant to obtain the required day care center licensing (Condition 4), operate pick-up and drop off as proposed (Condition 6), and limit employee parking to the Park Place visitors' parking area. Although the Department of Social Services oversees the outdoor play area requirement for day care centers, the applicant would be required to make arrangements with the Department of Recreation, Parks and Cultural Activities (RPCA) if she chooses to use Fort Ward Park, as stated in Condition #7.

Subject to the conditions stated in Section III of this report, staff recommends approval of the applicant's Special Use Permit request.

III. RECOMMENDED CONDITIONS

Staff recommends ***approval*** subject to compliance with all applicable codes and ordinances and the following conditions:

1. The Special Use Permit shall be granted to the applicant only or to any business or entity in which the applicant has controlling interest. (P&Z)
2. The hours of operation for the day care operation shall be limited to 7 a.m. to 6 p.m., Monday through Friday. (P&Z)
3. The maximum number of children permitted at the facility is limited to 60 at any one time. (P&Z)
4. The facility shall obtain all required state, federal and local licenses and certificates prior to opening the day care center. (P&Z)
5. The applicant shall conduct employee training sessions on an ongoing basis, including as part of any employee orientation, to discuss all Special Use Permit provisions and requirements. The applicant shall also inform parents, as part of parent orientations and as annual reminders, of all applicable Special Use Permit provisions and of the pick-up and drop off requirements, including the location of the designated parking spaces. (P&Z)
6. The applicant shall provide adequate drop off and pick-up facilities, consistent with its proposed plan. The transfer of children shall not occur in the public right-of-way. The Director of Planning and Zoning reserves the right to revisit this agreement and may impose amended or additional requirements to ensure that adequate pick-up and drop off facilities are maintained. (P&Z)
7. The applicant shall apply to the Department of Recreation to establish times and schedules to use Fort Ward Park. Permission will be granted to the Applicant with a written agreement between the Department of Recreation and the Applicant. (RPCA)
8. Employee parking is limited to available spaces in the visitor parking area as noted in Figure 3 of the staff report. (P&Z)
9. The applicant shall control odors, smoke and any other air pollution from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Department of Transportation & Environmental Services. (T&ES)
10. All loudspeakers shall be prohibited from the exterior of the building, and no amplified sounds shall be audible at the property line. (T&ES)
11. Supply deliveries, loading, and unloading activities shall not occur between the hours of 11:00pm and 7:00am. (T&ES)

12. The applicant shall require its employees who drive to use off-street parking. (T&ES)
13. The applicant shall encourage its employees to use public transportation to travel to and from work. The business shall contact Go Alex at goalex@alexandriava.gov for information on establishing an employee transportation benefits program. (T&ES)
14. The applicant shall provide information about alternative forms of transportation to access the site, including but not limited to printed and electronic business promotional material, posting on the business website, and other similar methods. Contact Go Alex at goalex@alexandriava.gov for more information about available resources. (T&ES)
15. The Director of Planning and Zoning shall review the special use permit after it has been operational for one year, and shall docket the matter for consideration by the Planning Commission and City Council if (a) there have been documented violations of the permit conditions which were not corrected immediately, constitute repeat violations or which create a direct and immediate adverse zoning impact on the surrounding community; (b) the director has received a request from any person to docket the permit for review, as the result of a complaint that rises to the level of a violation of the permit conditions or (c) the director has determined that there are problems with the operation of the use and that new or revised conditions are needed. (P&Z)

STAFF: Tony LaColla, AICP, Division Chief, Land Use Services
Ann Horowitz, Principal Planner
Max Ewart, Urban Planner

Staff Note: In accordance with section 11-506(c) of the zoning ordinance, construction or operation shall be commenced and diligently and substantially pursued within 18 months of the date of granting of a special use permit by City Council or the special use permit shall become void.

IV. CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

Transportation & Environmental Services:

- R-1 The applicant shall control odors, smoke and any other air pollution from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Department of Transportation & Environmental Services. (T&ES)
- R-2 All loudspeakers shall be prohibited from the exterior of the building, and no amplified sounds shall be audible at the property line. (T&ES)
- R-3 Supply deliveries, loading, and unloading activities shall not occur between the hours of 11:00pm and 7:00am. (T&ES)
- R-4 The applicant shall require its employees who drive to use off-street parking. (T&ES)
- R-5 The applicant shall encourage its employees to use public transportation to travel to and from work. The business shall contact Go Alex at goalex@alexandriava.gov for information on establishing an employee transportation benefits program. (T&ES)
- R-6 The applicant shall provide information about alternative forms of transportation to access the site, including but not limited to printed and electronic business promotional material, posting on the business website, and other similar methods. Contact Go Alex at goalex@alexandriava.gov for more information about available resources. (T&ES)
- C-1. The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). In order to comply with this code requirement, the applicant shall provide a completed Recycling Implementation Plan (RIP) Form within 60 days of SUP approval. Contact the City's Recycling Program Coordinator at (703) 746-4410, or via e-mail at commercialrecycling@alexandriava.gov, for information about completing this form. (T&ES)
- C-2. The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3. Section 5-1-42- Collection by Private collectors. (c) Time of collection. Solid waste shall be collected from all premises not serviced by the city at least once each week. No collections may be made between the hours of 11:00 p.m. and 7:00 a.m. (6:00 a.m. from May 1, through September 30) if the collection area is less than 500 feet from a residential area. (T&ES)

Code Administration:

F-1 Code consultation recommended prior to the start of construction.

Fire:

F-1 If requested by Department of Human Services or State licensing, a fire prevention inspection will be required.

Health:

No comments received.

Recreation, Parks & Cultural Activities:

R-1 Applicant shall apply to the Department of Recreation to establish times and schedules to use Fort Ward Park. Permission will be granted to the Applicant with a written agreement between the Department of Recreation and the Applicant.

F-1 The Department of Recreation is currently evaluating the feasibility of a usage policy for childcare businesses that use public parks and playgrounds to fulfill requirements of state and local licensing. The purpose of the policy is to balance uses in parks and playgrounds, particularly in areas where multiple businesses may be using the same parks, and to offset increased maintenance demands due to higher than average expected use of play areas.

Police Department:

No comments received.



APPLICATION

SPECIAL USE PERMIT

SPECIAL USE PERMIT # _____

PROPERTY LOCATION: 2500 N. VAN DORN ST. Alexandria, VA 22304 #100

TAX MAP REFERENCE: 21.01 **ZONE:** R-C

APPLICANT:

Name: Zuleima L. Villa

Address: 9017 Lincolnwood dr. Burke, VA 22015

PROPOSED USE: Dancehall Center

☒ **THE UNDERSIGNED**, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 4-11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

☒ **THE UNDERSIGNED**, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.

☒ **THE UNDERSIGNED**, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

☒ **THE UNDERSIGNED**, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

Zuleima L. Villa
Print Name of Applicant or Agent

9017 Lincolnwood dr.
Mailing/Street Address

Burke, VA 22015
City and State Zip Code

[Signature] 4.22.19
Signature Date

571.205.0560
Telephone # Fax #

zvilla@yahoo.com
Email address

ACTION-PLANNING COMMISSION: _____ **DATE:** _____

ACTION-CITY COUNCIL: _____ **DATE:** _____

SUP # _____

PROPERTY OWNER'S AUTHORIZATION

As the property owner of 2500 N Van Dorn St., Alexandria VA 22314, I hereby
(Property Address)
grant the applicant authorization to apply for the Daycare use as
(use)
described in this application.

Name: Zuleima Villa (with permission)

Phone: 571-205-0556

Please Print

Address: 9617 Linconlwood Dr., Burke, VA 22015

Email: zlvilla@yahoo.com

Signature: _____

Date: 06/10/19

1. Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.

☐ Required floor plan and plot/site plan attached.

☐ Requesting a waiver. See attached written request.

2. The applicant is the (check one):

☐ Owner

☐ Contract Purchaser

☒ Lessee or

☐ Other: _____ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent.

Khem Batra, 8878 Hoes Rd., Lorton, VA 22079, 0%

Zuleima L. Villa, 9617 Lincolnwood Dr., Burke, VA 22015, 80%

Marcela Villa, 249 Old Stone Crossing, Lexington, NC 27292, 10%

Francisco Villa, 249 Old Stone Crossing, Lexington, NC 27292, 10%

Thursday, January 17, 2019

Letter of Representation / Power of Attorney

Re: Property at 2500 N Van Dorn St., Alexandria VA
Tenant: Zuleima L. Villa
Effective: January 17, 2019
Expires: January 31, 2021

I, Khem Batra, , hereby appoint Zuleima L. Villa, and it's agents, to act on my behalf in any lawful way with respect to the following subjects described below.

Ms. Villa shall have full power and authority to act on my behalf in regards to all issues involving my above referenced property, and all aspects to renovate the property, including the solicitation of permits from the appropriate agencies. (the "Scope of Representation").


I hereby authorize you, agent(s), representative(s), and assign(s)s to discuss, negotiate, approve or otherwise communicate regarding any and all issues within the above described Scope of Representation with my Agent.


I also hereby authorize you to release and provide any and all information related to the issues within the above described Scope of Representation to my Agent including but not limited to, any and all blue prints, legal records, disclosure(s), and any and all correspondence to, from, or about me or about the issues within the above described Scope of Representation.

I authorize that a copy or electronic representation of this form, which includes my signature may be deemed to be the equivalent of the original and may be used as duplicate original.

I agree that any third party who receives a copy of this document may act under it.

Your prompt adherence to this request is appreciated.


Khem Batra, on behalf of Rayan & Jayin, LLC


Date:

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Khem Batra	8878 Hoes Rd Lexington, VA 22079	0%
2. Zuleima L. Villa	9017 Lincolnwood dr. Burke, VA 22015	80%
3. Marcela Villa	244 Old Stone Crossing Lexington, NC 27292	10%
4. Francisco Villa	(same as above #)	10%

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at _____ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Khem Batra	8878 Hoes Rd. Lexington, VA 22079	0%
2. Zuleima L. Villa	9017 Lincolnwood dr. Burke, VA 22015	80%
3. Marcela Villa	244 Old Stone Crossing	10%
4. Francisco Villa	Lexington NC 27292	10%

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).**

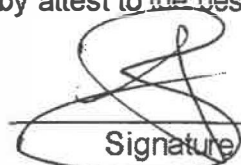
For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Khem Batra	none	none
2. Zuleima L. Villa	none	none
3. Marcela Villa	none	none
4. Francisco Villa	none	none

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

06/10/19 Zuleima Villa
Date Printed Name


Signature

SUP # _____

If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

☐ **Yes.** Provide proof of current City business license

☐ **No.** The agent shall obtain a business license prior to filing application, if required by the City Code.

NARRATIVE DESCRIPTION

3. The applicant shall describe below the nature of the request in detail so that the Planning Commission and City Council can understand the nature of the operation and the use. The description should fully discuss the nature of the activity. (Attach additional sheets if necessary.)

The planned operation and use shall be for childcare. Going through all the licensing requirements by the state and county, we plan to provide childcare services to the local community. For children as young as 3mos through 5yrs of age. We plan to divide the children in the different age groups and provide age-appropriate care for each group through qualified and trained staff. All in accordance with the Department of Social Services of the state of Virginia.

~~The center will have daily schedules and activities planned daily for the children and will assure care and safety for all students.~~

USE CHARACTERISTICS

4. The proposed special use permit request is for (check one):

- ☒ a new use requiring a special use permit,
☐ an expansion or change to an existing use without a special use permit,
☐ an expansion or change to an existing use with a special use permit,
☐ other. Please describe: _____

5. Please describe the capacity of the proposed use:

A. How many patrons, clients, pupils and other such users do you expect?

Specify time period (i.e., day, hour, or shift).

6pm

60 ~~XX~~ Students between 7am - ~~XXXX~~

B. How many employees, staff and other personnel do you expect?

Specify time period (i.e., day, hour, or shift).

10 employees, shifts would alternate a.m. / p.m.

6. Please describe the proposed hours and days of operation of the proposed use:

Day:

Mon-Fri

Hours:

7am - 6pm
~~XXXX~~

7. Please describe any potential noise emanating from the proposed use.

A. Describe the noise levels anticipated from all mechanical equipment and patrons.

Children playing, singing laughing

B. How will the noise be controlled?

through activities with children

8. Describe any potential odors emanating from the proposed use and plans to control them:

Dirty diapers, food from lunch (in trash)
will utilize diaper pails, constant change
of trash bags

9. Please provide information regarding trash and litter generated by the use.

- A. What type of trash and garbage will be generated by the use? (i.e. office paper, food wrappers)

Dirty diapers, paper, crafts, food wrappers

- B. How much trash and garbage will be generated by the use? (i.e. # of bags or pounds per day or per week)

1 trash bag per day

- C. How often will trash be collected?

daily

- D. How will you prevent littering on the property, streets and nearby properties?

have available bins all around entrances/exits

10. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

[] Yes.

☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

SUP # _____

11. Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

[] Yes. ☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

12. What methods are proposed to ensure the safety of nearby residents, employees and patrons?

Follow DSS procedures for children safety,
monthly inspections + chills, logs +
check-in/out of all patrons/employees

ALCOHOL SALES

13.

- A. Will the proposed use include the sale of beer, wine, or mixed drinks?

[] Yes ☒ No

If yes, describe existing (if applicable) and proposed alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales.

PARKING AND ACCESS REQUIREMENTS

14. A. How many parking spaces of each type are provided for the proposed use:

_____ Standard spaces
 _____ Compact spaces
 _____ Handicapped accessible spaces.
 _____ Other.

Planning and Zoning Staff Only

Required number of spaces for use per Zoning Ordinance Section 8-200A _____

Does the application meet the requirement?

☐ Yes ☐ No

- B. Where is required parking located? (check one)

☐ on-site

☐ off-site

If the required parking will be located off-site, where will it be located?

PLEASE NOTE: Pursuant to Section 8-200 (C) of the Zoning Ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

- C. If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) or (5) of the Zoning Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

☐ Parking reduction requested; see attached supplemental form

15. Please provide information regarding loading and unloading facilities for the use:

- A. How many loading spaces are available for the use? 1

Planning and Zoning Staff Only

Required number of loading spaces for use per Zoning Ordinance Section 8-200 _____

Does the application meet the requirement?

☐ Yes ☐ No

See attached
addendum*

Attachment for question 15a:

The daycare does not require daily loading/unloading for operation. The only things that may be unloaded is groceries for the snacks and that would be done on Saturdays, on days that the Daycare is closed.

SUP # _____

B. Where are off-street loading facilities located? _____

N. Van dem st.

C. During what hours of the day do you expect loading/unloading operations to occur?

NA

D. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?

1x per week during non-business hours

16. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

adequate

SITE CHARACTERISTICS

17. Will the proposed uses be located in an existing building? ☒ Yes ☐ No

Do you propose to construct an addition to the building? ☐ Yes ☒ No

How large will the addition be? _____ square feet.

18. What will the total area occupied by the proposed use be?

2,100 sq. ft. (existing) + _____ sq. ft. (addition if any) = 2,100 sq. ft. (total)

19. The proposed use is located in: (check one)

☐ a stand alone building

☐ a house located in a residential zone

☐ a warehouse

☐ a shopping center. Please provide name of the center: _____

☐ an office building. Please provide name of the building: _____

☒ other. Please describe: condominium building

End of Application

City of Alexandria, Virginia, Planning and Zoning Department
Day Care Drop-Off/Pickup Plan for Special Use Permit Staff Review

In addition to completing this form, please submit a site plan that identifies the building, the location of off-street parking spaces, and the movement of vehicles during drop-off and pick-up times.

Return to: SUP Planner, Department of Planning and Zoning, Room 2100, City of Alexandria, VA, 22314.

1. Name of day care establishment:

"OUR FIRST STEPS"

2. Address:

2500 N VAN DORN ST, ALEXANDRIA, VA 22302

3. Business owner:

ZULEIMA L VILLA

4. Business owner phone and email:

571-205-0556 ZLVILLA@YAHOO.COM

5. Description of day care establishment:

DAY CARE CENTRE CATERING TO CHILDREN AGES: 3 MONTHS
5 ~~XXXX~~ YEARS OLD.

14-15

6. Number of children at the site at any one time and their ages:

60 ~~***~~ CHILDREN (~~***~~ CHILDREN PER AGE GROUP)

~~1922-10-19-21-22-23-24-25-26-27-28-29-30-31-32-33-34-35-36-37-38-39-40-41-42-43-44-45-46-47-48-49-50-51-52-53-54-55-56-57-58-59-60-61-62-63-64-65-66-67-68-69-70-71-72-73-74-75-76-77-78-79-80-81-82-83-84-85-86-87-88-89-90-91-92-93-94-95-96-97-98-99-100-101-102-103-104-105-106-107-108-109-110-111-112-113-114-115-116-117-118-119-120-121-122-123-124-125-126-127-128-129-130-131-132-133-134-135-136-137-138-139-140-141-142-143-144-145-146-147-148-149-150-151-152-153-154-155-156-157-158-159-160-161-162-163-164-165-166-167-168-169-170-171-172-173-174-175-176-177-178-179-180-181-182-183-184-185-186-187-188-189-190-191-192-193-194-195-196-197-198-199-200-201-202-203-204-205-206-207-208-209-210-211-212-213-214-215-216-217-218-219-220-221-222-223-224-225-226-227-228-229-230-231-232-233-234-235-236-237-238-239-240-241-242-243-244-245-246-247-248-249-250-251-252-253-254-255-256-257-258-259-260-261-262-263-264-265-266-267-268-269-270-271-272-273-274-275-276-277-278-279-280-281-282-283-284-285-286-287-288-289-290-291-292-293-294-295-296-297-298-299-300-301-302-303-304-305-306-307-308-309-310-311-312-313-314-315-316-317-318-319-320-321-322-323-324-325-326-327-328-329-330-331-332-333-334-335-336-337-338-339-340-341-342-343-344-345-346-347-348-349-350-351-352-353-354-355-356-357-358-359-360-361-362-363-364-365-366-367-368-369-370-371-372-373-374-375-376-377-378-379-380-381-382-383-384-385-386-387-388-389-390-391-392-393-394-395-396-397-398-399-400-401-402-403-404-405-406-407-408-409-410-411-412-413-414-415-416-417-418-419-420-421-422-423-424-425-426-427-428-429-430-431-432-433-434-435-436-437-438-439-440-441-442-443-444-445-446-447-448-449-450-451-452-453-454-455-456-457-458-459-460-461-462-463-464-465-466-467-468-469-470-471-472-473-474-475-476-477-478-479-480-481-482-483-484-485-486-487-488-489-490-491-492-493-494-495-496-497-498-499-500-501-502-503-504-505-506-507-508-509-510-511-512-513-514-515-516-517-518-519-520-521-522-523-524-525-526-527-528-529-530-531-532-533-534-535-536-537-538-539-540-541-542-543-544-545-546-547-548-549-550-551-552-553-554-555-556-557-558-559-560-561-562-563-564-565-566-567-568-569-570-571-572-573-574-575-576-577-578-579-580-581-582-583-584-585-586-587-588-589-590-591-592-593-594-595-596-597-598-599-600-601-602-603-604-605-606-607-608-609-610-611-612-613-614-615-616-617-618-619-620-621-622-623-624-625-626-627-628-629-630-631-632-633-634-635-636-637-638-639-640-641-642-643-644-645-646-647-648-649-650-651-652-653-654-655-656-657-658-659-660-661-662-663-664-665-666-667-668-669-670-671-672-673-674-675-676-677-678-679-680-681-682-683-684-685-686-687-688-689-690-691-692-693-694-695-696-697-698-699-700-701-702-703-704-705-706-707-708-709-710-711-712-713-714-715-716-717-718-719-720-721-722-723-724-725-726-727-728-729-730-731-732-733-734-735-736-737-738-739-740-741-742-743-744-745-746-747-748-749-750-751-752-753-754-755-756-757-758-759-760-761-762-763-764-765-766-767-768-769-770-771-772-773-774-775-776-777-778-779-780-781-782-783-784-785-786-787-788-789-790-791-792-793-794-795-796-797-798-799-800-801-802-803-804-805-806-807-808-809-810-811-812-813-814-815-816-817-818-819-820-821-822-823-824-825-826-827-828-829-830-831-832-833-834-835-836-837-838-839-840-841-842-843-844-845-846-847-848-849-850-851-852-853-854-855-856-857-858-859-860-861-862-863-864-865-866-867-868-869-870-871-872-873-874-875-876-877-878-879-880-881-882-883-884-885-886-887-888-889-890-891-892-893-894-895-896-897-898-899-900-901-902-903-904-905-906-907-908-909-910-911-912-913-914-915-916-917-918-919-920-921-922-923-924-925-926-927-928-929-930-931-932-933-934-935-936-937-938-939-940-941-942-943-944-945-946-947-948-949-950-951-952-953-954-955-956-957-958-959-960-961-962-963-964-965-966-967-968-969-970-971-972-973-974-975-976-977-978-979-980-981-982-983-984-985-986-987-988-989-990-991-992-993-994-995-996-997-998-999-1000-1001-1002-1003-1004-1005-1006-1007-1008-1009-1010-1011-1012-1013-1014-1015-1016-1017-1018-1019-1020-1021-1022-1023-1024-1025-1026-1027-1028-1029-1030-1031-1032-1033-1034-1035-1036-1037-1038-1039-1040-1041-1042-1043-1044-1045-1046-1047-1048-~~

7. Number of classrooms: 5/2 to 4/2 Y

2 * CLASSROOMS

8. Number of employees on-site at any one time:

6 ~~XX~~ EMPLOYEES

9. Overall hours of operation:

7 AM TO 6 PM

10. Peak times of drop-off/pickup

7 AM TO 8:30 AM MORNING 8 PM TO 9 PM AFTERNOON

11. Number of off-street parking spaces available for the day care use:

A. Number for employees: ~~3~~ 4

B. Number for parents/guardians (if parking and walking children into site during drop-off/pickup): ~~4~~ 3

C: Total Number: ~~10~~ 7

12. Method of transferring children between staff and parents/guardians:

100% ~~X25%~~ Parents/guardians will park vehicles and walk children to meet daycare center staff. (PARENTS w/ INFANTS)

ASS Parents/guardians will wait in their vehicles in driveway/parking area and daycare center staff will meet children at vehicle. (PARENTS w/ TODDLERS)

Other, please describe.

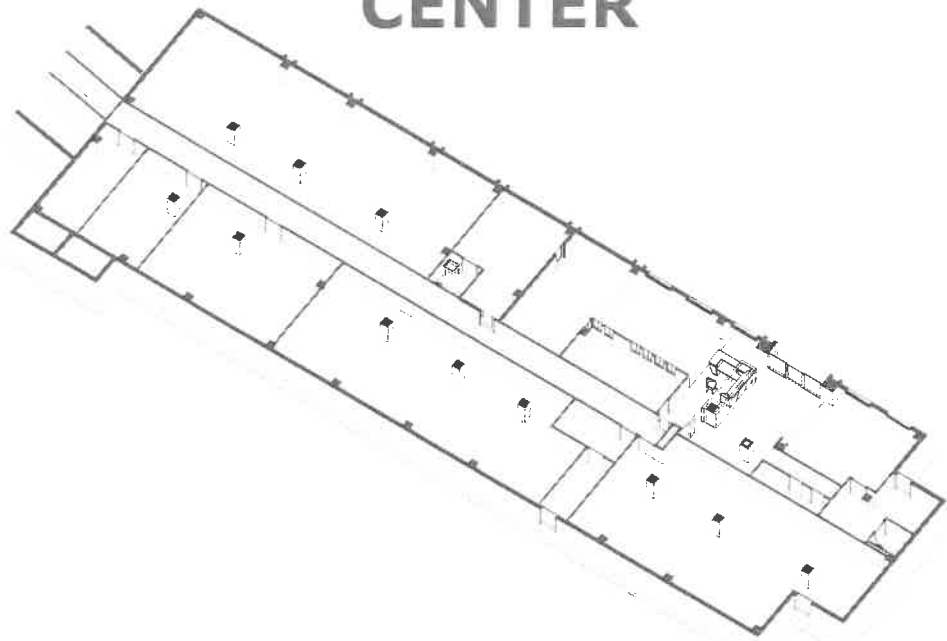
13. Written description of drop-off/pickup plan including direction of travel for vehicles entering/exiting site. Attach a site plan that illustrates the proposed plan including the building, the location of off-street parking spaces, and the movement of vehicles during drop-off and pickup times.

1- VEHICLES WILL ENTER PARKING AREA THROUGH EITHER
ONE OF THE ENTRANCES LOCATED ALONG N VAN DORN ST
AND CIRCULATE TO PICK-UP AND DROP-OFF AREA/SIDEWALK

2- CHILDREN ARE DROPPED-OFF OR PICKED-UP

3- VEHICLES WILL EXIT PARKING AREA THROUGH EITHER
ONE OF THE ENTRANCES LOCATED ALONG N. VAN DORN ST.

2500 N VAN DORN ST DAYCARE CENTER



2019-08-22 - SPECIAL PERMIT USE SET
2500 N VAN DORN ST, ALEXANDRIA, VA 22302

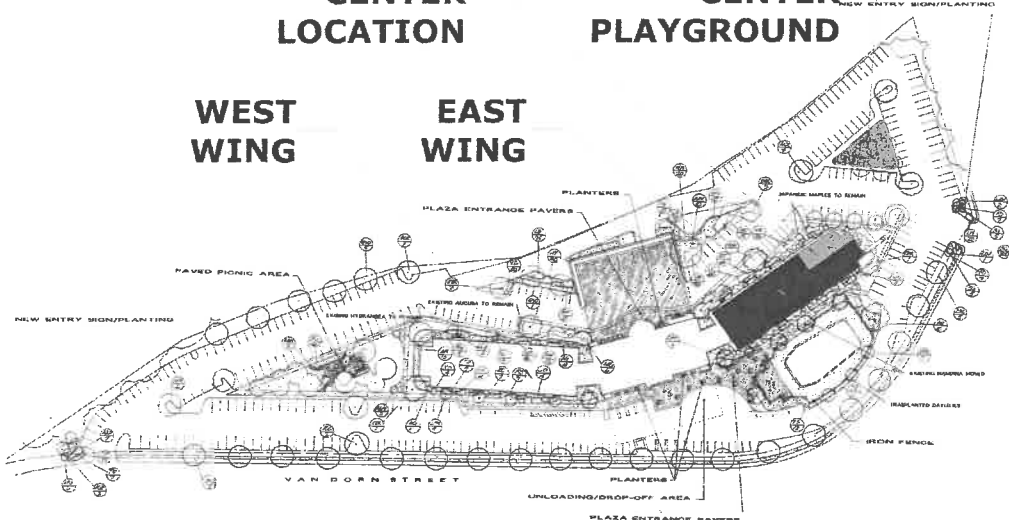
SITE PLAN - EXISTING - DAYCARE CENTER LOCATION

DAYCARE
CENTER
LOCATION

DAYCARE
CENTER
PLAYGROUND

WEST
WING

EAST
WING



CODE'S SUMMARIES

SCOPE OF WORK:
1. NEW DAYCARE CENTER
2. NEW INTERIOR LAYOUT RE-UTILIZING THE PREVIOUS TENANT LAYOUT

2.0 ZONING ANALYSIS SUMMARY

1	<u>PROJECT NAME:</u>	2500 N VAN DORN ST DAYCARE CENTER		
2	<u>PROJECT ADDRESS/UNIT:</u>	2500 N VAN DORN ST, ALEXANDRIA, VA 22302		
3	<u>ZONING CODE:</u>	ALEXANDRIA ZONING ORDINANCE		
		<u>REQUIRED</u>	<u>EXISTING</u>	<u>PROPOSED</u>
4	LEGAL DESCRIPTION	LOT 3856 01 01.1 S/D PAR 3856 01 FT WARD TOWERS		UNCHANGED
5	MAP BLOCK LOT No	021.01-08-00		UNCHANGED
6	DENSITY	Gross density shall not exceed 54.45 dwelling units per acre.		UNCHANGED
7	ZONING	RC		UNCHANGED
8	LOT AREA	800 SF X UNIT	269,183 SF	UNCHANGED
9	LOT SIZE (APPROX)	N/A	WIDTH = 1,200 FT DEPTH = 300 FT FRONT = N/A FT	UNCHANGED
10	UNDEVELOPED OPEN SPACE	320 SF X UNIT	UNCHANGED	UNCHANGED
11	YARDS / SETBACKS	FRONT - 8' SIDE - 11' REAR - 11'	UNCHANGED	UNCHANGED
12	BUILDING HEIGHT	150 FT	UNCHANGED	UNCHANGED
13	FAR	1.25	UNCHANGED	UNCHANGED

1.0 BUILDING CODE ANALYSIS SUMMARY

1. CODE/ EDITION:
2015 Virginia Construction Code
2015 Virginia Existing Building Code
2015 Virginia Maintenance Code
2015 Virginia Amusement Device Regulations
2015 Virginia Certification Standards
2015 Virginia Industrialized Building Safety Regulations
2015 Building and Related Laws Package
2015 Virginia Statewide Fire Prevention Code (Effective 10-16-16)

	REQUIRED	EXISTING	PROPOSED
2	OCCUPANCY/ USE CLASSIFICATION	N/A	B
3	MIXED USE BUILDING:	N/A	RESIDENTIAL OFFICE MERCANTILE
4	CONSTRUCTION TYPE:	N/A	1A
5	OCCUPANT LOAD	N/A	SEE SHEET A101B
6	SCOPE OF WORK AREA :	N/A	2,100 SF
7	NUMBER OF STORIES:	N/A	15 STORIES
8	BUILDING HEIGHT	UNLIMITED	145 FT
9	BUILDING SPRINKLED	YES - PARKING / STORAGE	YES - DAYCARE AREA
10	FIRE ALARM	YES	YES
11	STANDPIPES	YES	YES
12	OTHER FIRE PROTECTION SYSTEM	NO	NO
13	ACCESSIBILITY REQUEST	YES	YES
14	MODIFICATION REQUEST	NO	NO
15	MEANS OF EGRESS	FOUR EXITS	UNCHANGED
16	INTERIOR PARTITION	RATED (1 HR RATED)	RATED (1 HR RATED)
17			
18			

GENERAL NOTES

- A. GENERAL NOTES:
1. COMPLY WITH ALL APPLICABLE BUILDING CODE, REGULATION, & ORDINANCE REQUIREMENTS. OCCUPANTS ADJACENT TO THE PROJECT AREA BOUNDARIES SHALL CONTINUE UNINTERRUPTED OCCUPANCY DURING CONSTRUCTION OF THE PROJECT.
 2. VERIFY FIELD CONDITIONS AND COORDINATE WITH THE PROJECT DOCUMENTS PRIOR TO PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES, OMISSIONS, AMBIGUITIES OR CONFLICTS IN OR AMONG THE CONTRACT DOCUMENTS TO THE OWNER/ARCHITECT/DESIGNER FOR DIRECTION. CLARIFICATION, RESOLUTION OR RESOLUTION BEFORE PROCEEDING WITH ANY OF THE WORK IN QUESTION.
 3. COORDINATE THE WORK WITH ALL REQUIREMENTS INDICATED IN THE PROJECT DOCUMENTS.
 4. THESE GENERAL NOTES AND TYPICAL WRITTEN DETAILS APPLY THROUGHOUT THE DRAWINGS UNLESS OTHERWISE NOTED OR SHOWN.
- B. DEFINITIONS:
1. "TYPICAL" OR "TYP" INDICATES IDENTICAL COMPLETE SYSTEM SHALL BE PROVIDED FOR EACH OCCURRENCE OF THE CONDITION NOTED.
 2. "SIMILAR" INDICATES COMPLETE SYSTEM AND COMPONENTS SHALL BE PROVIDED COMPARABLE TO THE CHARACTERISTICS FOR THE CONDITION NOTED.
 3. "AS REQUIRED" INDICATES COMPONENTS REQUIRED TO COMPLETE THE NOTED, SYSTEM AS INDICATED IN THE PROJECT DOCUMENTS. SHALL BE PROVIDED.
 4. "ALOK" INDICATES ACCURATELY PROVIDE FINISH FACES OF MATERIALS IN STRAIGHT, TRUE, AND PLUMB RELATION TO ADJACENT MATERIALS.
- C. DIMENSIONS:
1. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HIS/HER SUBCONTRACTORS. INFORM THE OWNER/ARCHITECT/DESIGNER OF ANY DISCREPANCIES.
 2. DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.
 3. DIMENSIONS ARE INDICATED TO THE CENTERLINE OF THE STRUCTURAL GRID, FACE OF CONCRETE WALL, NORMAL FACE OF CMU WALL, FACE OF PARTITION TYPE AS SCHEDULED, UOM
 4. ALIGNMENT OF PARTITIONS AND FINISHES AS SCHEDULED SHALL BE STRAIGHT, TRUE & PLUMB. THE
 5. PROPERTY FOR PROJECT DIMENSIONS SHALL BE IN THE FOLLOWING ORDER: 1) MIN DIMENSION FOR ACCESSIBILITY CLEARANCE & BUILDING CODE REQUIREMENT, 2) LARGE SCALE DETAILS, 3) SMALL SCALE DETAILS, 4) ENLARGED VIEWS, 5) FLOOR PLANS AND ELEVATIONS.
 6. FLOOR ELEVATIONS ARE INDICATED TO THE FACE OF THE STRUCTURAL SLAB, UNLESS OTHERWISE NOTED.
 7. VERTICAL DIMENSIONS ARE INDICATED FROM THE FLOOR ELEVATION TO FACE OF FINISHED MATERIAL AT THE GIVEN POINT, UNLESS NOTED ABOVE FINISH FLOOR - "AFF".
 8. CEILING HEIGHTS ARE INDICATED FROM THE FLOOR ELEVATION TO THE FACE OF SUSPENDED
 9. SUSPENDED CEILING SYSTEM OR FACE OF FINISH MATERIAL AS SCHEDULED
 10. DIMENSIONS SHOWN ON THE DRAWINGS SHALL INDICATE THE REQUIRED SIZE, CLEARANCE, AND
 11. DIMENSIONAL RELATIONSHIP BETWEEN PROJECT SYSTEMS AND COMPONENTS. DIMENSIONS SHALL NOT BE DETERMINED BY SCALING THE DRAWINGS.
- D. EXECUTION:
1. PERFORM THE WORK AT THE PROJECT SITE DURING NORMAL BUSINESS HOURS, UNLESS OTHERWISE NOTED.
 2. COORDINATE THE WORK WITH EQUIPMENT, FURNISHINGS, AND SYSTEMS PROVIDED BY THE OWNER.
 3. IN AREAS WHERE THE DRAWINGS DO NOT ADDRESS METHODOLOGY, THE CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND/OR RECOMMENDATIONS.
 4. THE DRAWINGS ARE INTENDED FOR OBTAINING A PERMIT TO CONSTRUCT FOR THAT PURPOSE AND IN NO WAY ARE TO BE CONSTRUED AS TOTALLY COMPREHENSIVE CONSTRUCTION DOCUMENTS. ELECTRICAL AND PLUMBING WORK IS CONSIDERED DESIGN-BUILD BY THE CONTRACTOR.
 5. THE CONTRACTOR WARRANTS THE OWNER THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THE CONTRACT WILL BE NEW AND THAT ALL WORK SHALL BE PERFORMED BY LABOR SKILLED IN THE TASK BEING PERFORMED AND THAT THE WORK WILL BE OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS, AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS.
 6. THE CONTRACTOR IS RESPONSIBLE TO MAKE ALL NECESSARY PENETRATIONS THROUGH WALLS, FLOORS, ROOFS AND CEILINGS FOR ALL PIPES, ETC., WHETHER OR NOT SUCH PENETRATIONS ARE SPECIFICALLY SHOWN ON THE ARCHITECTURAL DRAWINGS.
 7. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION, DIRECTION, EXECUTION AND PROTECTION OF ALL OPERATIONS NECESSARY TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 8. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE SCOPE OF WORK AND THE CONTRACT.
 9. THE CONTRACTOR SHALL PAY ALL APPLICABLE TAXES AND FEES AND SHALL SECURE AND PAY FOR ALL PERMITS NECESSARY FOR COMPLETION OF THE WORK.
 10. AT THE COMPLETION OF THE JOB, THE CONTRACTOR SHALL PROVIDE GUARANTEES COVERING ALL MATERIALS AND WORKMANSHIP PERFORMED BY HIM AND HIS SUBCONTRACTORS FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL TURN OVER TO THE OWNER ALL GUARANTEES OF ALL MATERIALS USED IN THE WORK OF THE CONTRACT.
 11. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR CHANGES MADE BY THE CONTRACTOR, HIS FORCE, OR THE OWNER DURING CONSTRUCTION. THE PROJECT IS NOT SUBJECT TO SUPERVISION BY THE ARCHITECT DURING CONSTRUCTION.
- E. BIDDING:
1. BEFORE SUBMITTING PROPOSALS BIDDERS SHALL CAREFULLY EXAMINE THE DRAWINGS AND NOTES, RESPECT THE SITE AND ACCOUNT THEMSELVES WITH ALL GOVERNING ORDINANCES, LAWS, ETC., AND OTHERWISE FAMILIARIZE THEMSELVES WITH ALL MATTERS WHICH AFFECT PERFORMANCE OF THE WORK. THE ACT OF SUBMITTING A PROPOSAL SHALL BE CONSIDERED AS MEANING THAT THE BIDDERS HAS SO FAMILIARIZED HIMSELF AND THEREFORE NO CONCESSION WILL BE GRANTED BECAUSE OF ANY CLAIM OF MISUNDERSTANDING OR LACK OF INFORMATION.
- F. ROUGH CARPENTRY:
1. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, AND SUPERVISION NECESSARY TO COMPLETE THE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.
 2. ALL SILLS, HEADER BEAMS AND BASE PLATES ON MASONRY AND/OR CONCRETE FOUNDATIONS SHALL BE LOCATED WITHIN 3" OF THE GROUND TO BE PRESSURE TREATED PINE, SIZE AS SHOWN INSTALL OVER A LAYER OF SILL FOAM AND ATTACH SECURELY.
 3. STUDS TO BE NOMINAL 2X4, 2X6, 2X8 WHERE INDICATED, 16" OR SHORTER, "STUD" OR NO. 2 STRUCTURAL LIGHT FRAMING GRADE, ANY SPECIES GRADED UNDER NFWFA, WCLB, SPIR OR NFA RULES.
 4. PLYWOOD: PROVIDE APA GRADED PANELS COMPLYING WITH PS 1/ANSH A190, FOR TYPE OF APPLICATIONS INDICATED.
 5. FASTENERS: HOT DIPPED GALVANIZED, ASTM A 153 STEEL FOR HIGH HUMIDITY AND TREATED WOOD LOCATIONS.
- G. DESIGN LOADS:
1. GROUND ROOF SNOW LOAD: 25 PSF
 2. WIND SPEED: 80 MPH
 3. SEVERE DESIGN CATEGORY: SEVERE
 4. WEATHERING: SLIGHT TO MOD
 5. DECAY: MODERATE TO HEAVY
 6. TERNITE: 15 F
 7. WINTER DESIGN TEMPT: 24 INCHES
 8. FROST LINE DEPTH: 24 INCHES
 9. ICE SHIELD UNDERLAY: YES
 10. AIR FREEZING INDEX: -1500 F
 11. MEAN ANNUAL TEMP: 58 F
 12. FLOOD HAZARD: 50-100
 13. LINE LOAD: 40 PSF
 14. SOIL BEARING CAPACITY: 1,500 LBS
 15. CONC FOUNDATION AND SLAB: 3,000 PSI
 16. CONC EXPOSED TO WEATHER AND GARAGE: 3,500 PSI

CONSULTANTS

Contractor:

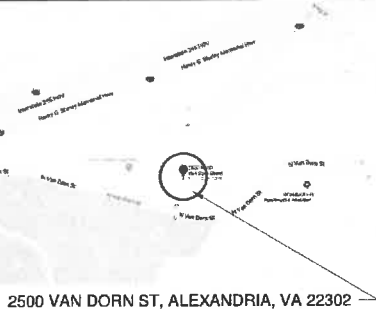
Civil and Structural Engineer:

Mechanical Lien's Agent:

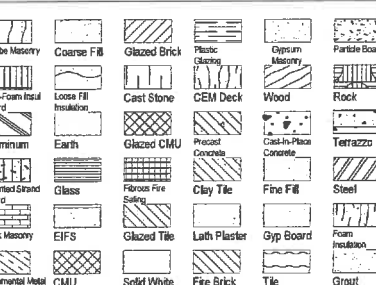
DRAWING LIST

DRAWING LIST	
Sheet Number	Sheet Name
A100	COVER SHEET
A102	EXISTING PHOTOS
A103	WING PLAN
A104	DAYCARE PLAN DETAILS - PHASE 1
A101	OCCUPANT LOAD AND EXIT
A105	DAYCARE PLAN DETAILS - PHASE 2

LOCATION MAP



MATERIALS LEGEND



Architect:
ARIMSE ARCHITECTS
ARIMSEARCHITECTURE.COM
703-662-1115

Project Name:
2500 N VAN DORN ST DAYCARE CENTER
2500 N VAN DORN ST, ALEXANDRIA, VA 22302

Client:
LIZ VILLA

Drawing Title:
COVER SHEET

North:

Stamp:

Drawing No.:
A100

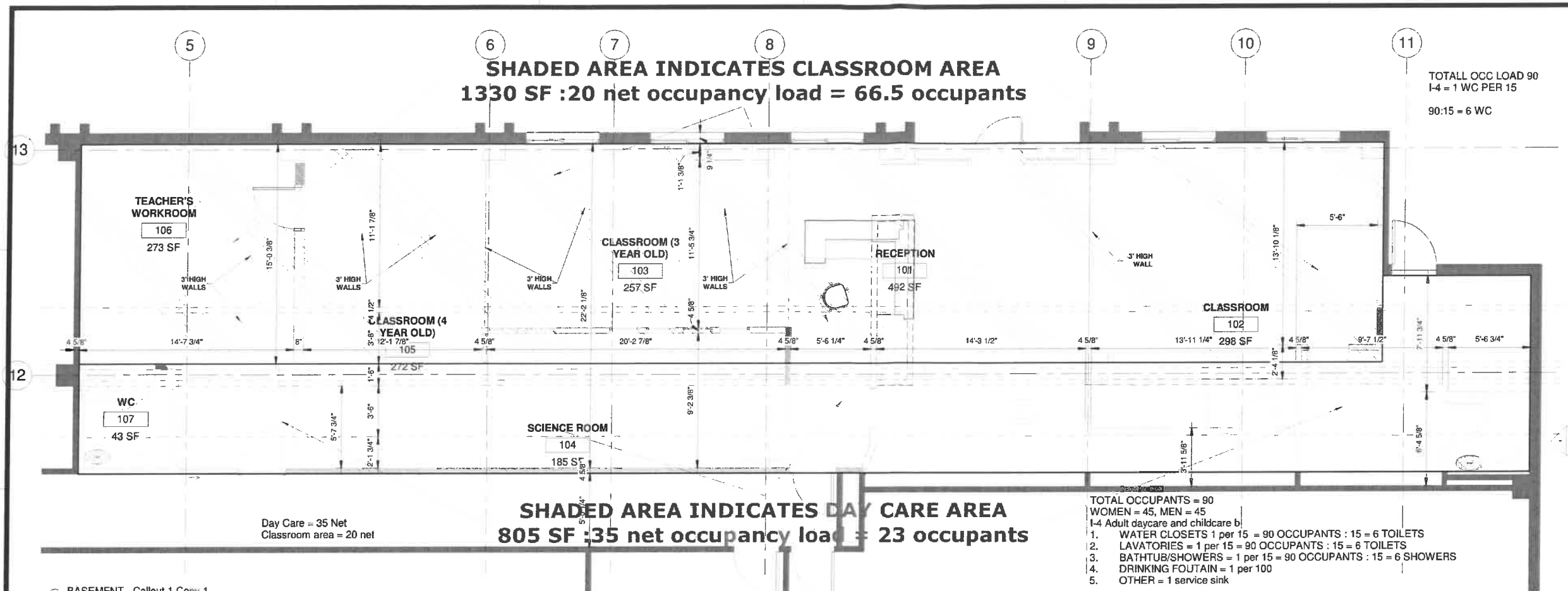
Project No.:
Project Number

Drawn by:
Author

Checked by:
Checker

Scale:
As indicated

Date:
8/22/2019 2:04:46 AM



Architect:
ARIMSE ARCHITECTS
 ARIMSEARCHITECTURE.COM
 703-662-1115

Project Name:
**2500 N VAN DORN ST
 DAYCARE CENTER**
 2500 N VAN DORN ST, ALEXANDRIA, VA 22302

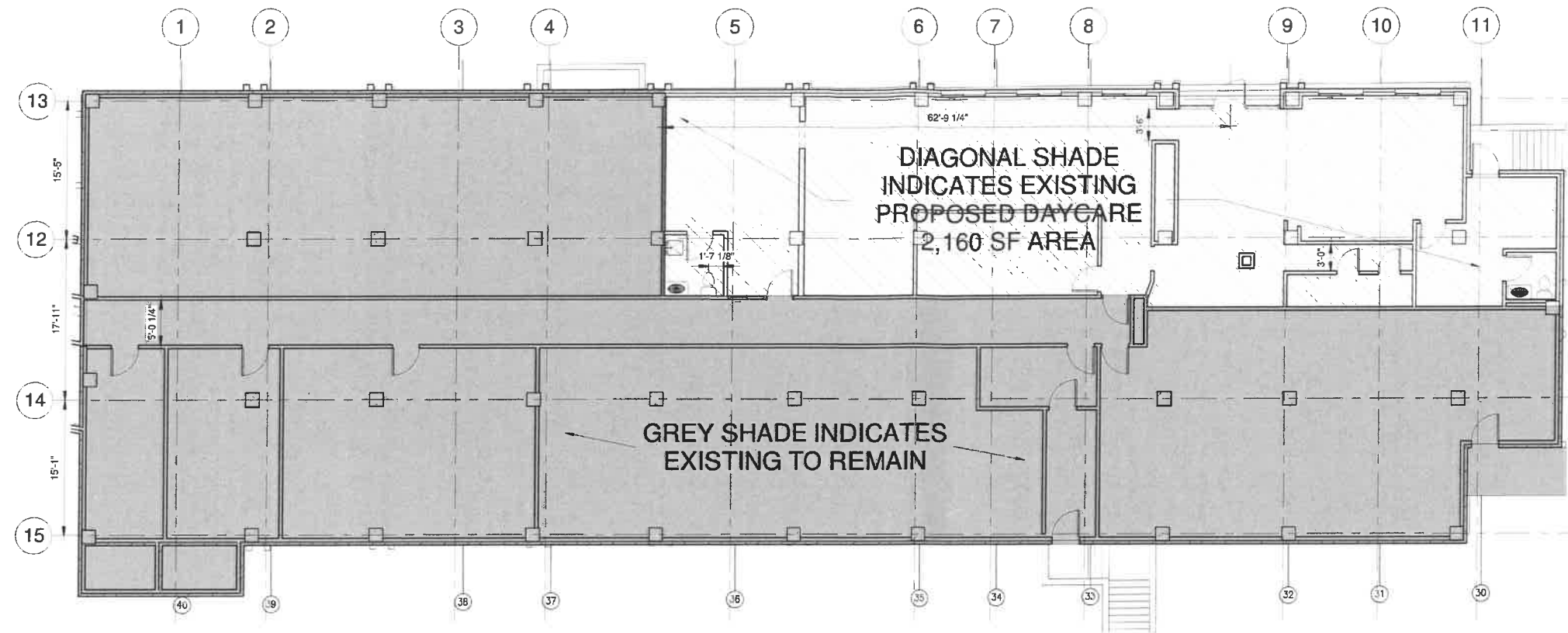
Client:
LIZ VILLA

Drawing Title:
**OCCUPANT LOAD AND
 EXIT**

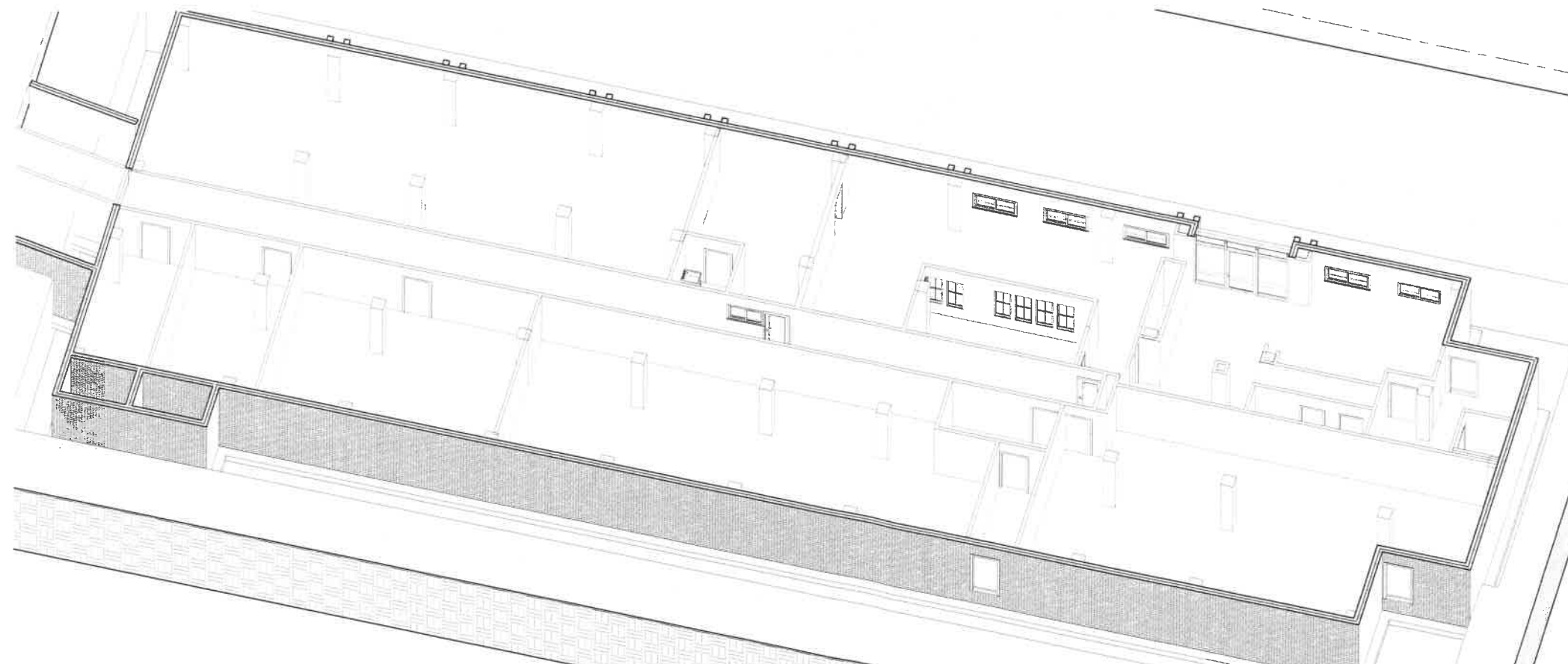
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Drawing No.:
A101

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 2007



① BASEMENT
1/8" = 1'-0"



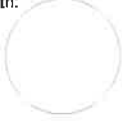
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Architect:
ARIMSE ARCHITECTS
ARIMSEARCHITECTURE.COM
703-662-1115

Project Name:
**2500 N VAN DORN ST
DAYCARE CENTER**
2500 N VAN DORN ST, ALEXANDRIA, VA 22302

Client:
LIZ VILLA

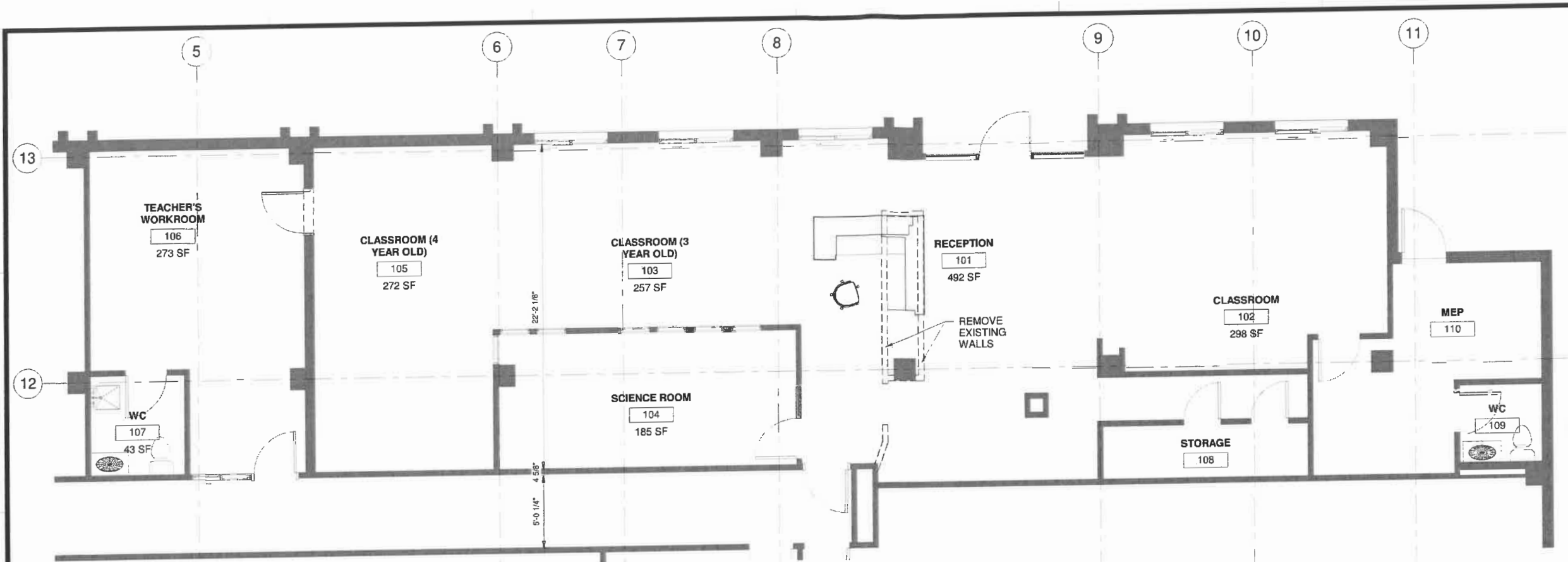
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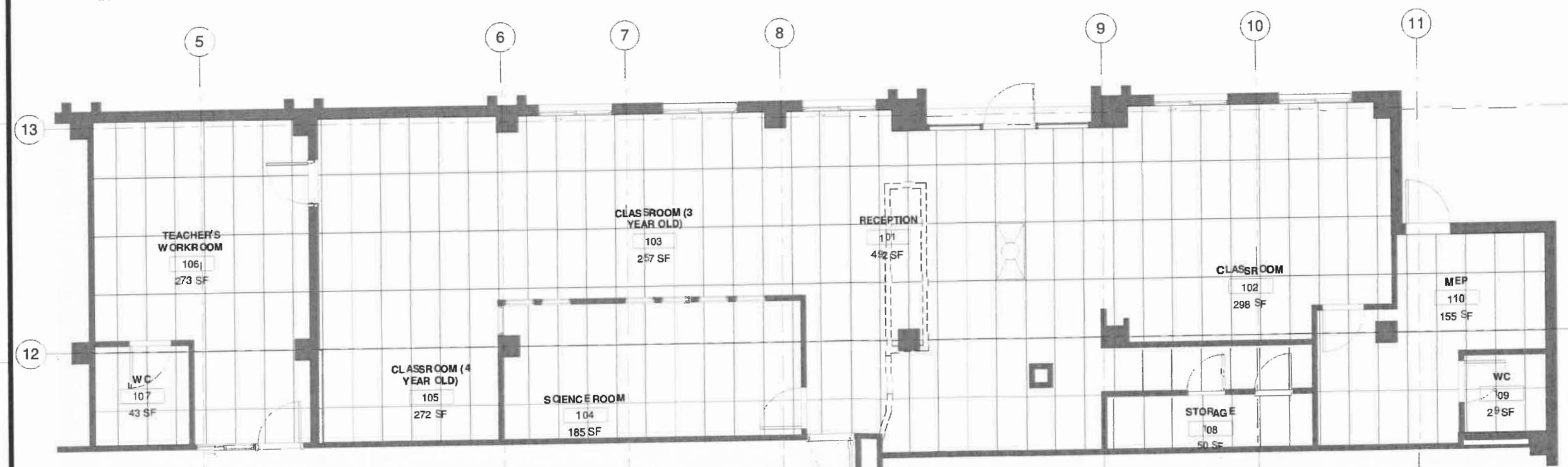
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Project Name:
**2500 N VAN DORN ST
 DAYCARE CENTER**
 2500 N VAN DORN ST, ALEXANDRIA, VA 22302

Client:
LIZ VILLA



① DAYCARE PLAN DETAILS - PHASE 1
 1/4" = 1'-0"



② DAYCARE RCP DETAILS - PHASE 1
 1/4" = 1'-0"

Drawing Title:
**DAYCARE PLAN
 DETAILS - PHASE 1**

North:

Project No.: **Project Number**

Drawn by: **Author**

Checked by: **Checker**

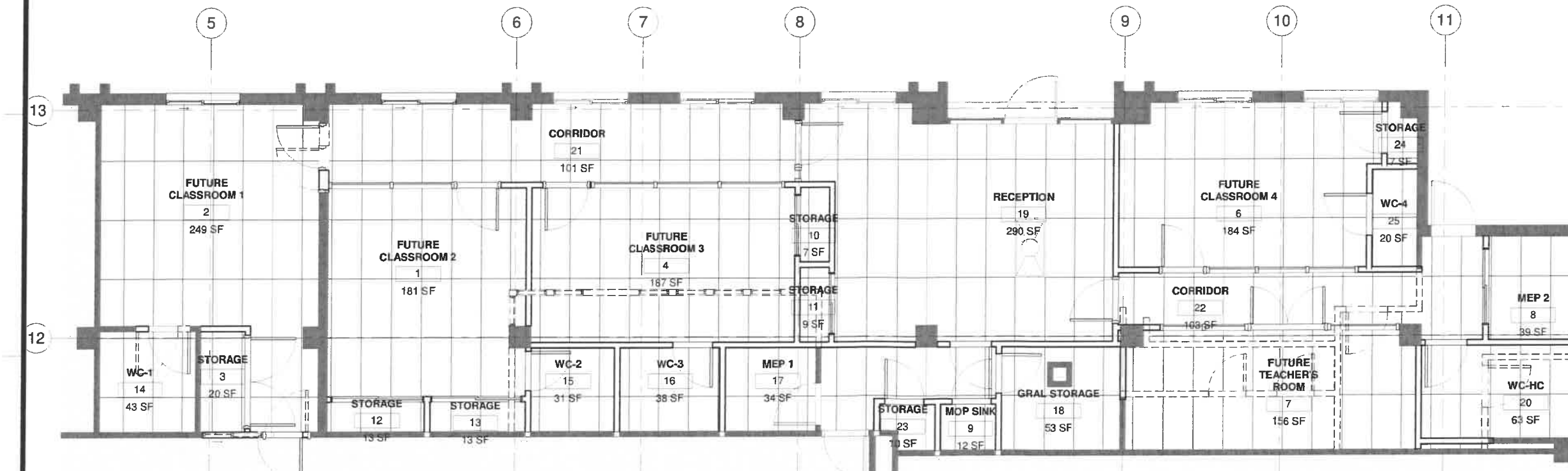
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Date: **8/22/2019 2:04:57 AM**

Drawing No.:
A104

① DAYCARE PLAN DETAILS - PHASE 2
 1/4" = 1'-0"



② DAYCARE RCP DETAILS - PHASE 2
 1/4" = 1'-0"

Drawing Title:
**DAYCARE PLAN
 DETAILS - PHASE 2**

North:	Project No.:	Project Number
	Drawn by:	Author
	Checked by:	Checker
Stamp:	Scale:	1/4" = 1'-0"
	Date:	8/22/2019 2:05:01 AM

Drawing No.:
A105

FW: Feedback: Special Use Permit #2019-0043

Max Ewart

Thu 8/8/2019 10:06 AM

To: Patrick Silva <Patrick.Silva@alexandriava.gov>;

Cc: Ann Horowitz <ann.horowitz@alexandriava.gov>;

Hey Patrick,

Here is one comment from the public regarding 2500 North Van Dorn.

Max

From: Sara Abdel Rahim [mailto:saraabdelrahim@gmail.com]

Sent: Wednesday, August 07, 2019 9:41 PM

To: Max Ewart <Max.Ewart@alexandriava.gov>

Subject: Feedback: Special Use Permit #2019-0043

Dear Mr. Ewart,

I'm writing to share my feedback as an owner and resident at Park Place Condos, regarding the special permit request #: #2019-0043 for a daycare.

Park Place is my primary residence, and I've been a full-time resident since purchasing my condo in 2016. I strongly believe that approving this permit and allowing a daycare to operate out of the this location would deteriorate services that our community/governance board and management are working hard to address. Additionally, it would greatly inconvenience many of us who this is the primary residence for.

Our community currently suffers from a parking issue that would only be exasperated further by the addition of a daycare traffic with an estimate 75 families at full capacity. As a commuter into Washington DC the added traffic on our parking exit at peak commuter rush hours would be an added burden to me and my fellow residents. Equally so, the proposed pick-up times of the day care would conflict with commuting hours. I can only imagine the back-logged parking lot situation during pick ups + return residents from work.

Additionally, our management while has improved still faces challenges in responding to the daily issues of managing/responding to maintenance of an older building with over 200 units. I believe that the addition of a daycare will on cause undue burden on management as it continues to work to address daily pressing management, repair, improvements to our building, which a significant monthly allowance for comes from residents monthly *high* condo fees.

Thank you for taking the time to read my concerns.

Best,
Sara

FW: Proposal for day care car at Park Place condo, 2500 N Van Dorn St Alexandria

Max Ewart

Thu 8/8/2019 10:06 AM

To: Patrick Silva <Patrick.Silva@alexandriava.gov>;

Cc: Ann Horowitz <ann.horowitz@alexandriava.gov>;

And here is one more.

Max

-----Original Message-----

From: GINA CORTESELLI [<mailto:corteselli@aol.com>]

Sent: Thursday, August 08, 2019 7:24 AM

To: Max Ewart <Max.Ewart@alexandriava.gov>

Subject: Proposal for day care car at Park Place condo, [2500 N Van Dorn St Alexandria](#)

Dear Mr Ewart,

I'm writing as a long time owner of a unit at Park Place (unit 1424) to express my concern and non support for a day care center on the condo's premises. I feel that this business is NOT conducive to the residence in general. It will increase congestion in and around the building, it will likely increase our insurance liability, and it will be disruptive to the overall community at Park Place.

While I appreciate the need, perhaps, for day care centers in the area, I do not support putting such a facility in the Park Place condo.

I would be happy to discuss these concerns further with you, but would hope you'll take them into account as you review the petition for this facility.

Thank you,

Gina M. Corteselli

Sent from my iPhone

FW: 2500 N Van Dorn Street Special Permit. Park Place

Max Ewart

Fri 8/9/2019 9:13 AM

To: Patrick Silva <Patrick.Silva@alexandriava.gov>;

Cc: Lia Niebauer <lia.niebauer@alexandriava.gov>; Ann Horowitz <ann.horowitz@alexandriava.gov>;

Another comment regarding 2500 North Van Dorn

From: Sandy Wheeler [mailto:sandra-wheeler@comcast.net]

Sent: Thursday, August 08, 2019 8:09 PM

To: Max Ewart <Max.Ewart@alexandriava.gov>

Subject: 2500 N Van Dorn Street Special Permit. Park Place

Plans to open a day care in this high rise building is not sensible or appropriate . There are two day care, pre-school facilities in churches that are within eye shot on King Street. These are churches that have little activity during the week, have classroom facilities, multiple rest rooms, large play areas and parking. Park Place is a residence. People live here. The space that is proposed is in a basement and with limited exits. It was a convenience store. There is no area for drop off or pick up and very limited outside space. Mostly dog walks. Our concern is not just for the residences but for the children.

Sandra Wheeler

Unit 1002

703-379-0943



From: Park Place Board of Directors
2500 North Van Dorn Street
Suite 118
Alexandria, VA 22302
bod@parkplaceva.com

To: Department of Planning and Zoning
City of Alexandria
Room 2100
City Hall
301 King Street
Alexandria, VA 22314
Max.Ewart@alexandriava.gov

Date: August 9, 2019

Subject: SUP #2019-0043, an application for a daycare center in Unit #100 of Park Place Condominium.

Dr. Mr Ewart,

The Park Place Board of Directors would like to file comments on SUP #2019-0043, an application for a daycare center in Unit #100 of Park Place Condominium.

Park Place Condominium currently consists of 399 residential units, a management office, and commercial units. The operating businesses on the property include medical offices for periodontal, pediatric, and physical therapy/industrial rehabilitation practices. In addition to the vacancy in Unit 100, where the applicant seeks to permit a daycare center, there are commercial units adjacent to the lobby which currently lack an operating business.

Park Place seeks sustainable business operations in its commercial units. Our community benefits in numerous ways when vibrant businesses are on-site, especially those that serve its residents. The Board is not opposed in concept to a daycare center at the facility, however, we have observations about the current application that cause concern.

The Board offers the following observations about the application:

- **Density:** The application does not appear to be consistent with VA law on indoor space requirements. See **22VAC40-185-310. Areas** at <https://law.lis.virginia.gov/admincode/title22/agency40/chapter185/section310/>. Specifically, the application indicates 75 children will utilize 4 classrooms, with up to 19 kids per age group. These proposed classrooms would be 136, 164, 193, and 296 square feet in size and expected to hold up to 19 children each, plus instructors.
- **Traffic, Loading, and Parking:**
 - **Traffic:** Traffic is a concern in the morning, as northbound North Van Dorn Street is often backed up due to northbound cut-through traffic bypassing the hill and lane reduction on I-395, along with signal timing at the intersection of N Van Dorn Street and Menokin Drive. Additional traffic

2500 North Van Dorn Street ~ Alexandria, VA 22302 Phone: 703.578.4400 ~ Fax: 703.824.0684



exiting Park Place at this time could impact wait times for residents to enter traffic on Van Dorn Street. (The applicant indicated peak drop-off time of 7 AM to 8:30 AM.)

- **Loading:**

Per question 12 of the Day Care Drop-Off/Pickup Plan, the 75% majority of the patrons, specifically parents with toddlers, will wait in their vehicle and daycare center staff will meet them. On page 8 of the application (pdf page 9), in question 15a, the applicant indicates use of only one parking space for loading these 57 children. The Association does not currently have a loading area appropriate for this activity. One parking spot, rather than a larger loading zone seems inappropriate for this use. As a result of insufficient loading facilities, it is likely a significant number of cars arriving at peak times will either double park and impede traffic, or park in resident non-commercial spaces near the daycare center. A lack of a proper loading zone creates concerns not only for blocked traffic, but also for children's safety going to and from cars across parking lanes. It may be possible for the Association to reserve a few spots near the entrance for a more appropriate loading zone, but the applicant has not yet asked the Association to provide any type of loading area for this activity (or for the additional parking spaces that get the applicant to the number proposed in its Special Use Permit application).

- **Parking:** The applicant states they would have 10 employees, but only need 3 parking spaces for the staff (per question 12 of the Day Care Drop-Off/Pickup Plan). As City Staff may be aware, Park Place does not have all-day bus service at this time. Consequently, we do not believe there is ample transit service from transit hubs at appropriate times to expect 7 of the 10 staff to be able to rely on public transport.

The 7 parking spaces for the up to 19 parents with infants specified in questions 11.b and the first subpart of question 12 in the Drop-Off/Pickup Plan are likely sufficient for the limited group of parents walking the smaller group of infants into the site.

Should parents of the remaining larger group of older children need to park rather than load, the 7 spaces for patrons do not seem sufficient. Such patrons will desire to park as close to the daycare center entrance as possible, which is a concern in the peak pickup time (5 PM to 7 PM per the applicant) while residents are arriving home from work. The likely result will force residents further into the parking lot.

The Board is concerned about additional communications between the applicant and City Staff regarding supposed agreements that the applicant has for parking spaces at Park Place. Mr. Ewart, we understand from a conversation and email with Park Place Manager Shawn O'Quinn on August 7th that "The applicant has indicated that they have come to an agreement to use 7 parking spaces on-site for the operation." The Board has made no such agreement. The applicant has not petitioned nor engaged the Board to request those spots, and inheritance of the prior owner's commercial parking spots, under the loosest interpretation, would not provide for more than 3 parking spots, along with a loading spot (a wide spot that cannot handle more than one car or truck, but not a passenger loading zone). It already has been concerning that the application proposes parking plans that have not been approved by the Board, and the new communications create additional concern since the applicant is conveying information about agreements that don't exist. These discrepancies call into question what else might not be factual in the application.



As part of the exchange with Mr. O'Quinn, Mr. Ewart stated:

We typically condition day care center uses to have some sort of marker in the parking spaces that indicate that they are to be used for pick up and drop off. We have done this in the past with paint on the spot or through signage. Is there a process currently in place for the site for situations like this? Do you prefer a specific method.

Park Place's governing documents stipulate a certain amount of parking spaces are available to commercial owners in the aggregate but they do not state where those spots shall be, how they will be allocated among the commercial owners, and are silent on what must be provided for signage. The Board needs to see a specific parking and loading plan that includes a loading zone, employee parking, and customer parking. The Board's consideration of this plan would need to balance the needs of the whole Association in making its decision. The proposal needs to include specifics on how many spots need to be reserved, where the spots would be desired, the requested days of the week and hours of reservation, and a painting/signage plan.

- **Playground:** The application seeks a playground on the Association's common element grounds. The Board specifically discussed this idea in a previous meeting and collectively declined to support it. For the Board to reconsider, we would need to see a specific plan to include where the playground would be placed, how it would be funded (installation and maintenance), how the Association would be indemnified from liability, and how children would be safely escorted to and from the playground. Additionally, this potential use would need to be considered against other potential uses of common grounds to serve residents and the community. Finally, The Board of Directors needs to approve any activity to be conducted on the common elements.
- **Inconsistencies:** The Board notes inconsistencies within the application with regard to the age groups of children. Page 4 of the Special Use Permit (pdf page 5) indicates that the children will range from 3 months to 5 years of age; the Daycare Drop-Off/Pickup Plan (pdf pages 12-14) indicates an upper age bound of 4.5 years. While the Board suspects this is simply an inconsistency, we'd want to clarify whether there are additional proposed children for the 4.5 to 5 age group or is this an extension in age for the highest age group.

The Board believes a daycare center would bring life and vibrancy to the community. Park Place is often the first home for new couples and they often have their first children while living here. Having a daycare center on premises is an amenity that might better retain families in the community. However, residents may pause at the idea of using this daycare center when the density is so high.

Thank you for the opportunity to comment. The Board looks forward to a sustainable business occupying this space. We look forward to hearing the outcome of this application.

Don Burke

A handwritten signature in blue ink that reads "Donald Burke".

President

Park Place Board of Directors