

**ISSUE:** Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for an addition, alterations and a Waiver of Rooftop Mechanical Screening

**APPLICANT:** Brandon and Maura Ross

**LOCATION:** Old and Historic Alexandria District  
721 South Lee Street

**ZONE:** RM/Townhouse Zone

---

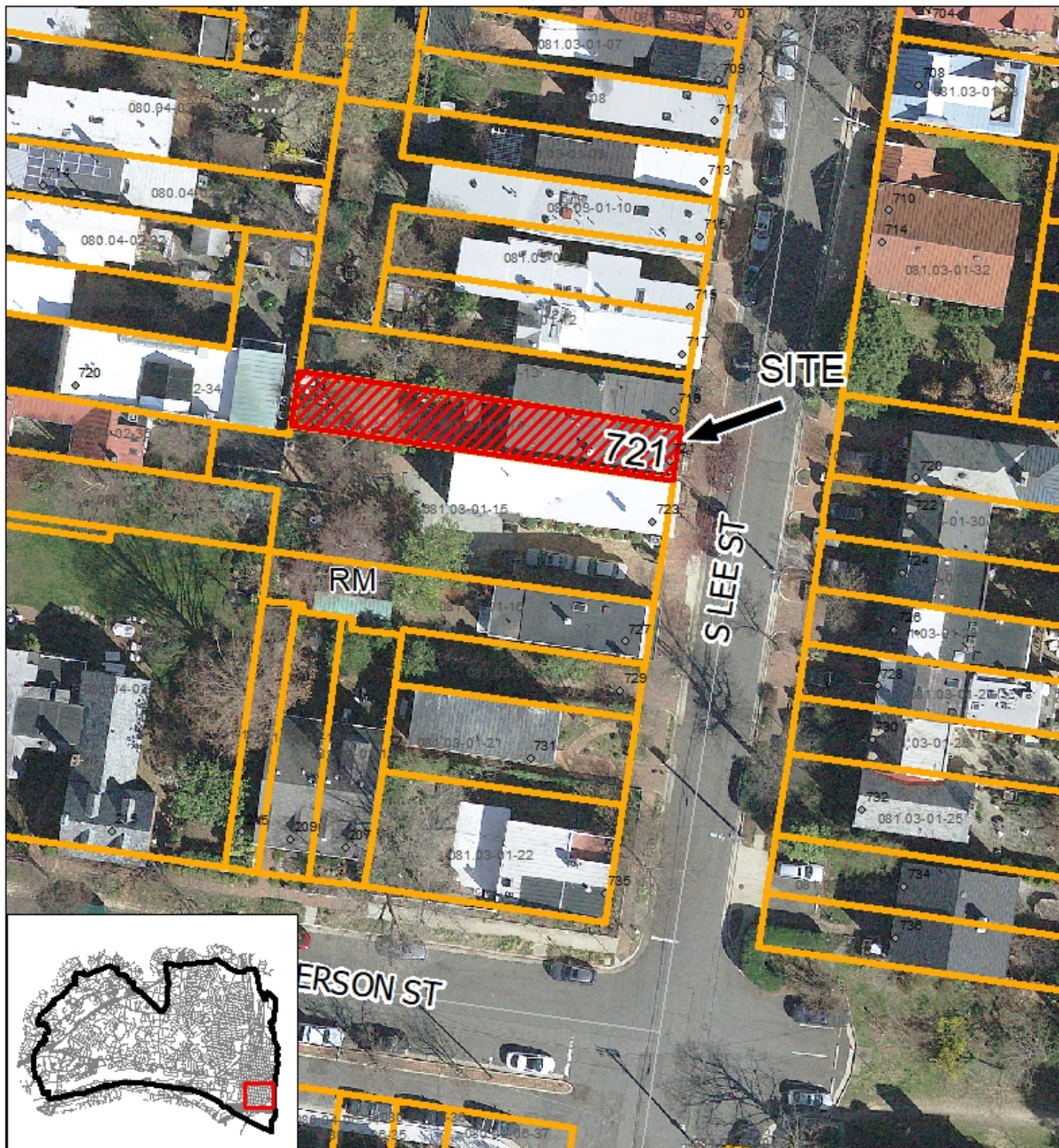
**STAFF RECOMMENDATION**

Staff recommends approval of the Permit to Demolish/Capsulate, Certificate of Appropriateness, and Waiver of Rooftop Mechanical Screening, as submitted, with the following condition:

1. The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
  - a. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
  - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

**GENERAL NOTES TO THE APPLICANT**

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



**BAR #2019-00344 & BAR #2019-00345**  
**721 South Lee Street**



0      20      40      80 Feet

**Note:** *Staff coupled the applications for a Permit to Demolish (BAR2019-00344) and Certificate of Appropriateness (BAR2019-00345) for clarity and brevity. The Permit to Demolish requires a roll call vote.*

## **I. APPLICANT'S PROPOSAL**

The applicant is requesting a Permit to Demolish/Capsulate and Certificate of Appropriateness to demolish the existing one-story masonry addition and portions of the two-story masonry addition in order to construct a two-story rear addition. The request also includes alterations and a waiver of rooftop mechanical screening, at 721 South Lee Street. There are no proposed alterations to the original frame two-story structure.

### **Permit to Demolish/Capsulate**

- Complete demolition of existing one-story addition (158 square feet)
- Demolition of approximately half of the existing two-story addition, including the rear wall and majority of the rear portion of the roof
- Partial demolition of the south elevation of the two-story addition (367 square feet)
- Partial demolition of the west elevation of the two-story addition (95 square feet)

### **Certificate of Appropriateness**

#### *Addition*

The new two-story addition will span the full width of the lot, with a one-story portion accessed from the horse alley. The addition will have a low slope roof and faux closed shutters on the north and south elevations due to their location on the property line. The west elevation will consist of a pair of French multi-light doors with fixed sidelights on the first story and a cantilevered bay with multi-light double-hung windows and all three sides.

Materials on the addition consist of painted wood lap siding (fiber cement siding is permitted by BAR policy), multi-pane clad-wood windows and doors, k-box style aluminum gutters, and an EPDM rubber membrane at the low-slope roof. The proposed alley entry roof will be a standing seam metal roof.

#### *Alterations*

Replacement of existing six-panel alley entrance door with a 5-foot-high painted metal gate

#### *Waiver of Rooftop Mechanical Screening*

Request to waive the rooftop mechanical screening requirement for a roof mounted condenser at the back of the main block two-story structure. The applicant's plans indicate that the condenser will be either be a new unit or will be the condenser relocated from the ground to the roof.

## **II. HISTORY**

721 South Lee Street is a two-story, two-bay Italianate, wood frame semi-detached house that was constructed between **1907 and 1912**. The property first appears on the 1912 Sanborn Fire Insurance Map with a one-story rear ell. In 1966, a building permit "to remodel existing frame dwelling and add rear addition" was approved. The permitted addition was a two-story frame

addition with a flat roof. Staff could not locate any records of approval for the existing rear one-story masonry structure.

*Previous BAR Approvals*

BAR2010-00162: Administrative approval to install vents.

**III. ANALYSIS**

Permit to Demolish/Capsulate

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

<b>Standard</b>	<b>Description of Standard</b>	<b>Standard Met?</b>
(1)	Is the building or structure of such architectural or historical interest that its moving, removing, capsulating or razing would be to the detriment of the public interest?	No
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	No
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

In the opinion of staff, none of the criteria for demolition and capsulation are met and the Permit



to Demolish/Capsulate should be granted. The material that will be demolished on this mid-20th century structure is not of unusual or uncommon design and the affected portions it could be reproduced easily today.

### Certificate of Appropriateness

#### *Addition*

For residential additions, the BAR's *Design Guidelines* state that the Board generally prefers "addition designs that are respectful of the existing structure and which seek to be background statements. Also, an addition should be clearly distinguishable from the original structure." The proposed addition will be 414 square feet larger than the current footprint of the house, five feet wider and nine feet longer, as well as two feet higher than the existing two-story ell (19 feet versus 17 feet). The addition maintains the current setback of the existing ell on the second floor and extends 23 feet beyond the rear wall of 719 South Lee Street and 10 feet from the rear wall of 723 South Lee Street. While the proposed addition will extend into the rear yard substantially farther than the two abutting dwellings (see application drawings sheet A7), there are other dwellings on this blockface that are equally large, the structure complies with the open space requirements and uses only 2/3 of the permitted floor area ratio (FAR) for the RM zone. More importantly, the project is located in the middle of the block and, because this block lacks public alleys, the addition is unlikely to be seen from the public way. As the BAR has noted on many projects in the past, the context of a proposed alteration is a critical element for determining the appropriateness of an alteration and its impact on nearby buildings of historic merit.

The proposed modern materials on the addition, such as fiber cement siding with a narrower exposure and clad-wood clad windows, are compatible, but contrast subtly with the wider wood siding and wood windows on the original building, as recommended by the *Guidelines*. The materials proposed for the addition comply with the Board's adopted policies. Staff supports the proposed addition to the rear of this midblock 20<sup>th</sup> century dwelling in this particular location, finding that the scale and mass do not deter from the historic portion of the property when viewed from South Lee Street. The addition is compatible but significantly different so that the historic building retains its prominence.

#### *Alterations*

Staff supports the proposed replacement of the wood door/gate with an open metal gate, which is architecturally appropriate and allows for views into the property, increasing the visual porosity of the block and improving the pedestrian experience on the sidewalk.

### Waiver of Rooftop Mechanical Screening Requirement

Staff does not believe that the rooftop HVAC unit will be visible from the right of way and supports the requested waiver. The zoning ordinance requires that all rooftop mechanical equipment throughout the city be concealed or screened, however it does not clearly define where the HVAC units must be screened from. Section 6-403(B)(3) of the zoning ordinance permits the BAR to waive the screening requirement for rooftop mechanical equipment, should the BAR find that the screening would be more visually obtrusive than the units themselves, or if the screening would damage a historic structure. As the BAR's purview is limited to what may be seen from a public way, the BAR has, generally, considered the units to be functionally concealed if they were not visible from a pedestrian standing on the sidewalk across the street.

Staff recommends approval of the Permit to Demolish/Capsulate and Certificate of Appropriateness, as submitted.

**STAFF**

Amirah Lane, Historic Preservation Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

**IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

**Zoning**

F-1 Staff recommends approval of the Permit to Demolish/Capsulate and Certificate of Appropriateness, with the noted conditions.

**Code Administration**

C-1 A building permit and plan review is are required prior to the start of construction.

C-2 Windows in addition are not allowed if less than 3 feet from the property line.

**Transportation and Environmental Services**

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)

F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:

For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.

For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)

C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5,

Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)

- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

#### **Alexandria Archaeology**

- F-1 Historical maps indicate 721 South Lee Street is in close proximity to Battery Rodgers, an important Civil War fortification. There is the potential for archaeological resources to be present that could provide insight into the history of the Civil War in Alexandria.
- R-1 The statements in archaeology conditions below shall appear in the General Notes of all site plans and on all site plan sheets that involve demolition or ground disturbance (including Basement/Foundation Plans, Demolition, Erosion and Sediment Control, Grading, Landscaping, Utilities, and Sheeting and Shoring) so that on-site contractors are aware of the requirements:
  - a. The applicant/developer shall call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
  - b. The applicant/developer shall not allow any metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

#### **V. ATTACHMENTS**

*1 – Supplemental Materials*

*2 – Application for BAR2019-00344& BAR2019-00345: 721 South Lee Street*



ADDRESS OF PROJECT: 721 South Lee StreetTAX MAP AND PARCEL: 081.03-01-14ZONING: RMAPPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☒ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☐ Property Owner ☒ Business *(Please provide business name & contact person)*Name: William Cromley Design DevelopmentAddress: 426 N. Columbus StreetCity: Alexandria State: VA Zip: 22314Phone: 703.873.2250 E-mail: wm.cromley@mindspring.comAuthorized Agent *(if applicable)*: ☐ Attorney ☒ Architect ☐ \_\_\_\_\_Name: Erin May, Architect Phone: 703.973.2250E-mail: erin@erinmayarch.com**Legal Property Owner:**Name: Brandon and Maura RossAddress: 721 S. Lee StreetCity: Alexandria State: VA Zip: 22314

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

- ☐ Yes ☒ No Is there an historic preservation easement on this property?  
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?  
☐ Yes ☒ No Is there a homeowner's association for this property?  
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☐ NEW CONSTRUCTION  
☒ EXTERIOR ALTERATION: *Please check all that apply.*  
     ☐ awning                      ☒ fence, gate or garden wall    ☐ HVAC equipment                      ☐ shutters  
     ☐ doors                        ☐ windows                              ☐ siding                                      ☐ shed  
     ☐ lighting                      ☐ pergola/trellis                      ☐ painting unpainted masonry  
     ☐ other \_\_\_\_\_  
☒ ADDITION  
☒ DEMOLITION/ENCAPSULATION  
☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

2-story rear addition, relocate condensing unit to roof, remove front alley door and replace with metal gate.

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.  
☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.  
☒ ☐ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.  
☒ ☐ Description of the reason for demolition/encapsulation.  
☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- N/A
- ☒ ☐ Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- N/A
- ☐ ☒ Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_
- ☐ ☒ Square feet of existing signs to remain: \_\_\_\_\_
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** Check N/A if an item in this section does not apply to your project.

- N/A
- ☒ ☐ Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☒ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

---

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**Signature: Erin MayPrinted Name: Erin MayDate: 08/03/2019

## OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Brandon and Maura Ross	721 S. Lee Street	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 721 S. Lee Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Brandon and Maura Ross	721 S. Lee Street	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Brandon and Maura Ross	n/a	n/a
2.		
3.		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

08/03/2019

Date

Erin May

Printed Name

*Erin May*

Signature



# Department of Planning and Zoning

## Floor Area Ratio and Open Space Calculations

as of 12/20/18

**B**

### A. Property Information

A1.  Street Address  Zone

A2.  Total Lot Area x  Floor Area Ratio Allowed by Zone =  Maximum Allowable Floor Area

### B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	B1. <input type="text"/> Sq. Ft. Existing Gross Floor Area*
First Floor	<input type="text"/>	Stairways**	<input type="text"/>	B2. <input type="text"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor	<input type="text"/>	Mechanical**	<input type="text"/>	B3. <input type="text"/> Sq. Ft. Existing Floor Area Minus Exclusions (subtract B2 from B1)
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	<b>Comments for Existing Gross Floor Area</b> <input type="text"/>
Attic	<input type="text"/>	Porches**	<input type="text"/>	
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>	
Lavatory***	<input type="text"/>	Other**	<input type="text"/>	
Other**	<input type="text"/>	Other**	<input type="text"/>	
B1. <u>Total Gross</u> <input type="text"/>		B2. <u>Total Exclusions</u> <input type="text"/>		

### C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	C1. <input type="text"/> Sq. Ft. Proposed Gross Floor Area*
First Floor	<input type="text"/>	Stairways**	<input type="text"/>	C2. <input type="text"/> Sq. Ft. Allowable Floor Exclusions**
Second Floor	<input type="text"/>	Mechanical**	<input type="text"/>	C3. <input type="text"/> Sq. Ft. Proposed Floor Area Minus Exclusions (subtract C2 from C1)
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	
Attic	<input type="text"/>	Porches**	<input type="text"/>	
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>	
Lavatory***	<input type="text"/>	Other**	<input type="text"/>	
Other	<input type="text"/>	Other**	<input type="text"/>	
C1. <u>Total Gross</u> <input type="text"/>		C2. <u>Total Exclusions</u> <input type="text"/>		

### D. Total Floor Area

D1.  Sq. Ft.  
Total Floor Area (add B3 and C3)

D2.  Sq. Ft.  
Total Floor Area Allowed by Zone (A2)

### E. Open Space

E1.  Sq. Ft.  
Existing Open Space

E2.  Sq. Ft.  
Required Open Space

E3.  Sq. Ft.  
Proposed Open Space

### Notes

\*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

\*\*\*Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

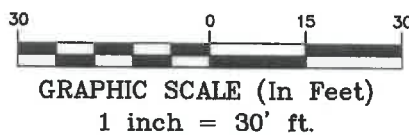
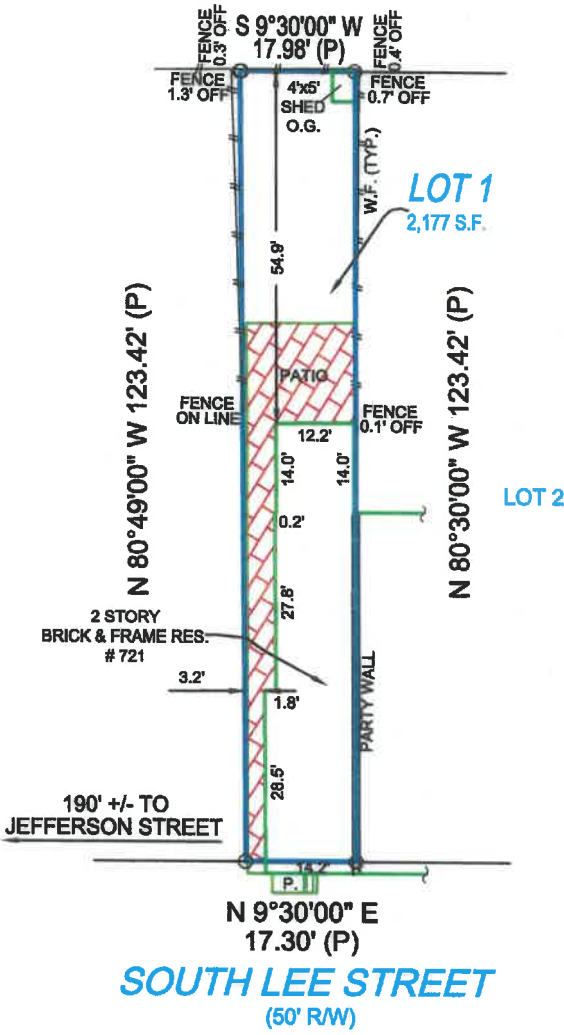
The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

PROPERTY ADDRESS	721 S LEE STREET ALEXANDRIA, VIRGINIA 22314	SURVEY NUMBER	5116
------------------	---------------------------------------------	---------------	------

FIELD WORK DATE: 12/4/2014	REVISION DATE(S): (REV.0 12/10/2014)
----------------------------	--------------------------------------

1412.0197  
LOCATION DRAWING  
LOT 1  
PHILMAR  
CITY OF ALEXANDRIA, VIRGINIA  
12-05-2014 SCALE 1"=30'



NOTES	NONE VISIBLE
-------	--------------

TRANSACTION	CLIENT NUMBER 132934ALE	DATE 12/10/2014
	BUYER: Brandon Ross and Maura Ross,	
	SELLER: JOHN L. RUDY AND GENEVIEVE RUDY,	
	CERTIFIED TO: Brandon Ross and Maura Ross, ; RGS Title, LLC; Title Resources Guaranty Company; TO BE DETERMINED .	



"The Most Trusted Name in Real Estate Settlements"

www.rgstitle.com

**Chris White**

www.nancyandpaulhomes.com  
dcmdrealtor@gmail.com  
c: 301.385.3827  
o: 301.652.0400

Axis Vendor Group (Axis) is a vendor management company specializing in electronic survey coordination for the title insurance and mortgage lending industries. The following product has been prepared by a state licensed land surveying firm as indicated on the 'plat' page of the survey product. Axis provides service coordination services and the digitally encrypted transmission and archiving of these products and is not involved in any aspect of the surveying process. All transmissions of this product are via a secure SHA-1 secure hash message digest authentication code within its signature file. A manually signed and sealed log of this survey's signature file is kept on file at the performing surveyor's office.

PERFORMED BY

LB# 0407005699

www.exactaVA.com  
P 703.258.0630 • F 703.258.0361  
5494 Rodriguez Lane | Haymarket, VA 20169

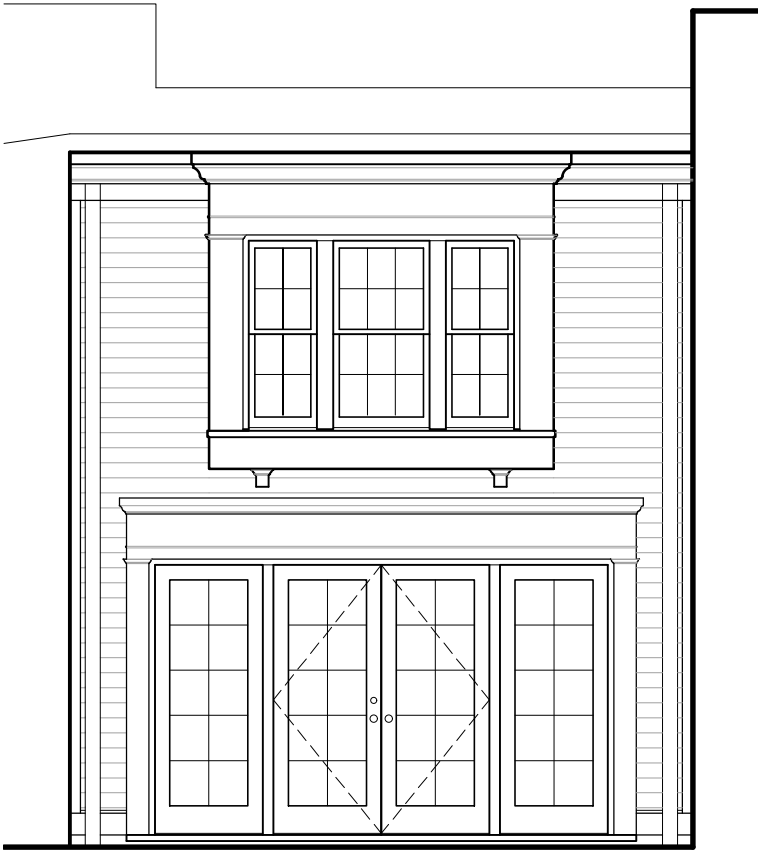


# ROSS RESIDENCE

721 South Lee Street  
Alexandria, Virginia

## BOARD OF ARCHITECTURAL REVIEW

Application Deadline: August 5/19, 2019  
Hearing Date: September 18, 2019



### DRAWING INDEX

C-1	Cover Sheet, Drawing Index
C-2	FAR Worksheet
C-3	Existing Photos
EX-0	Existing Survey
EX-1	Existing Front and Rear Elevations
EX-2	Existing Left-Side (South) Elevation
EX-3	Existing Right-Side (North) Elevation
EX-4	Existing First Floor Plan
EX-5	Existing Second Floor Plan
A-0	Proposed Survey
A-1	Proposed Front and Rear Elevations
A-2	Proposed Left-Side (South) Elevation
A-3	Proposed Right-Side (North) Elevation
A-4	Proposed First Floor Plan
A-5	Proposed Second Floor Plan
A-6	Proposed Roof Plan
A-7	3D Images
A-8	Proposed Window and Door Specifications

Erin May, Architect

703.836.6666 erin@erinmayarch.com



William Cromley Design / Development

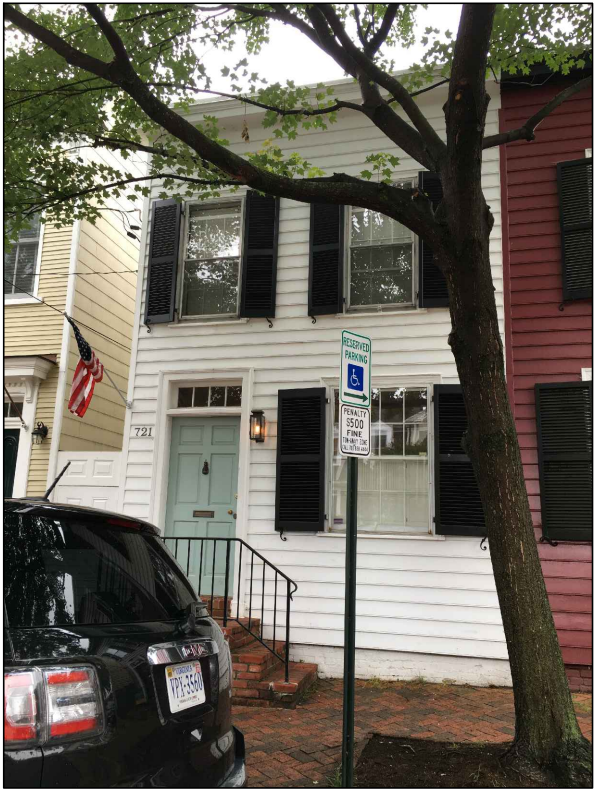
426 N. Columbus St. Alexandria, VA 22314

ROSS RESIDENCE

721 SOUTH LEE STREET ALEXANDRIA, VIRGINIA 22314

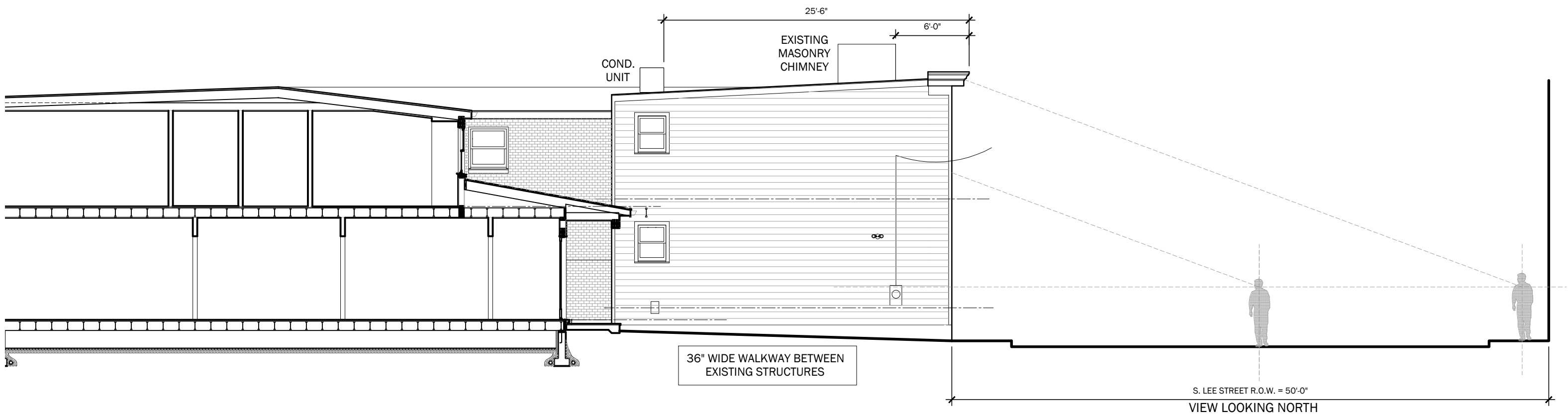
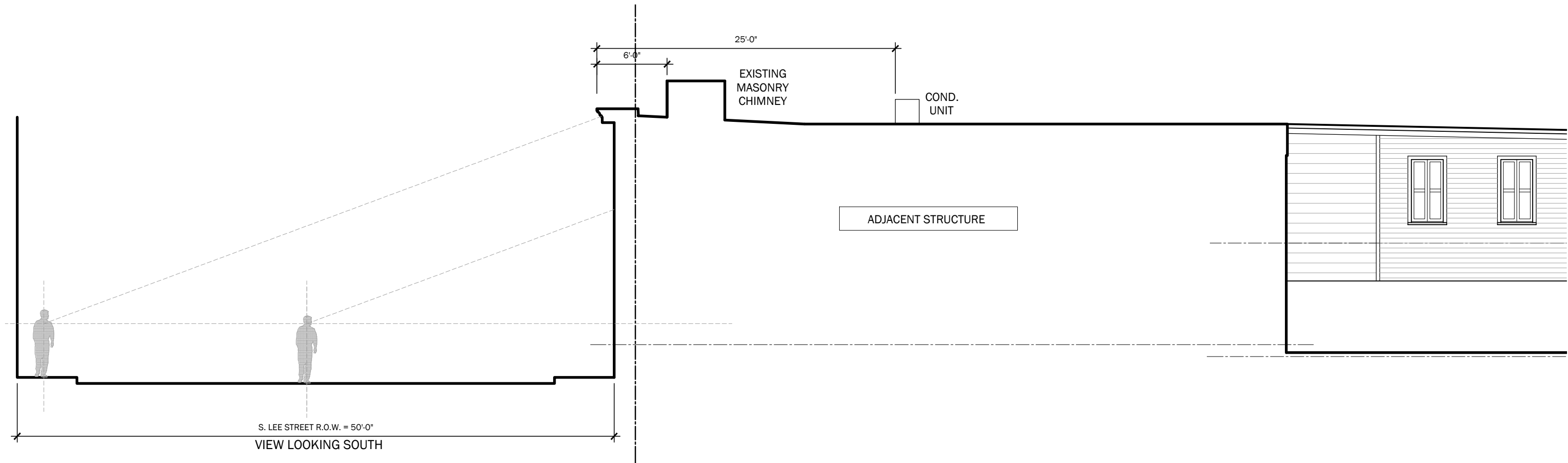
Scale: 3/16" = 1'-0"


CS



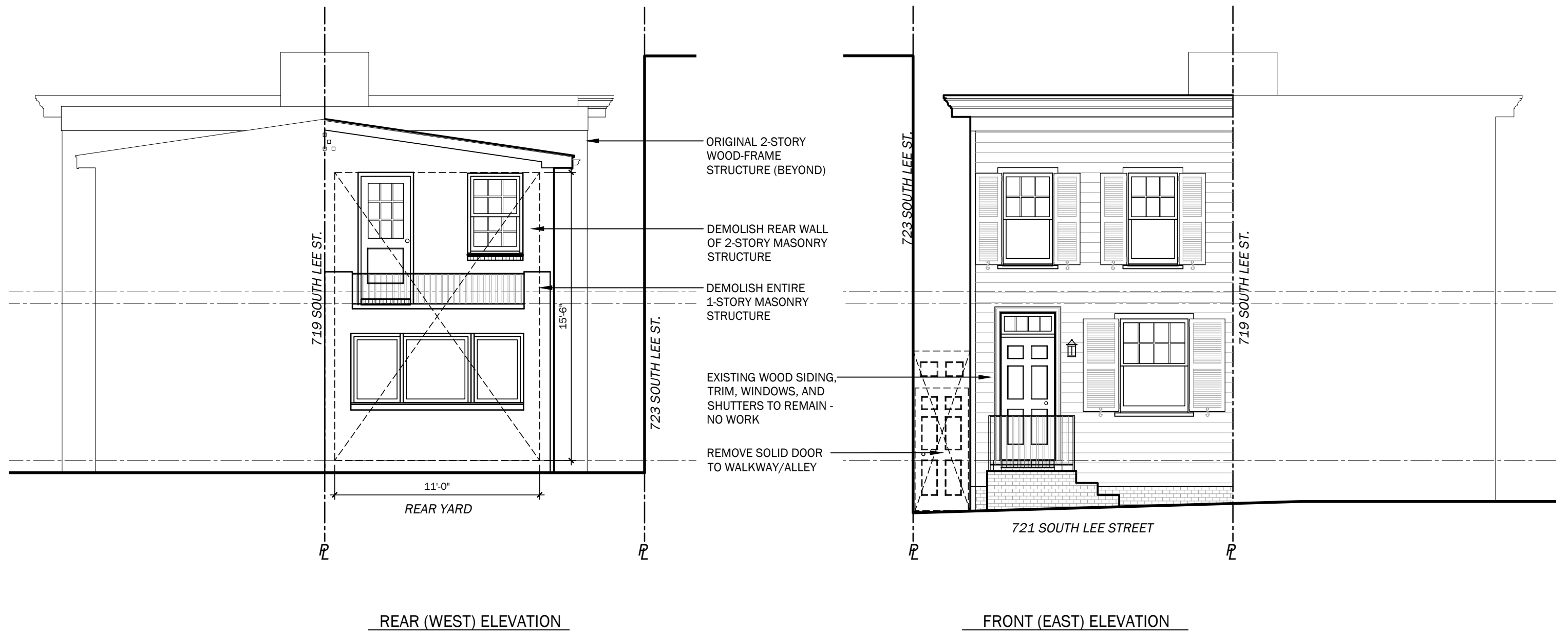
EXISTING PHOTOS - FRONT

EXISTING PHOTOS - REAR

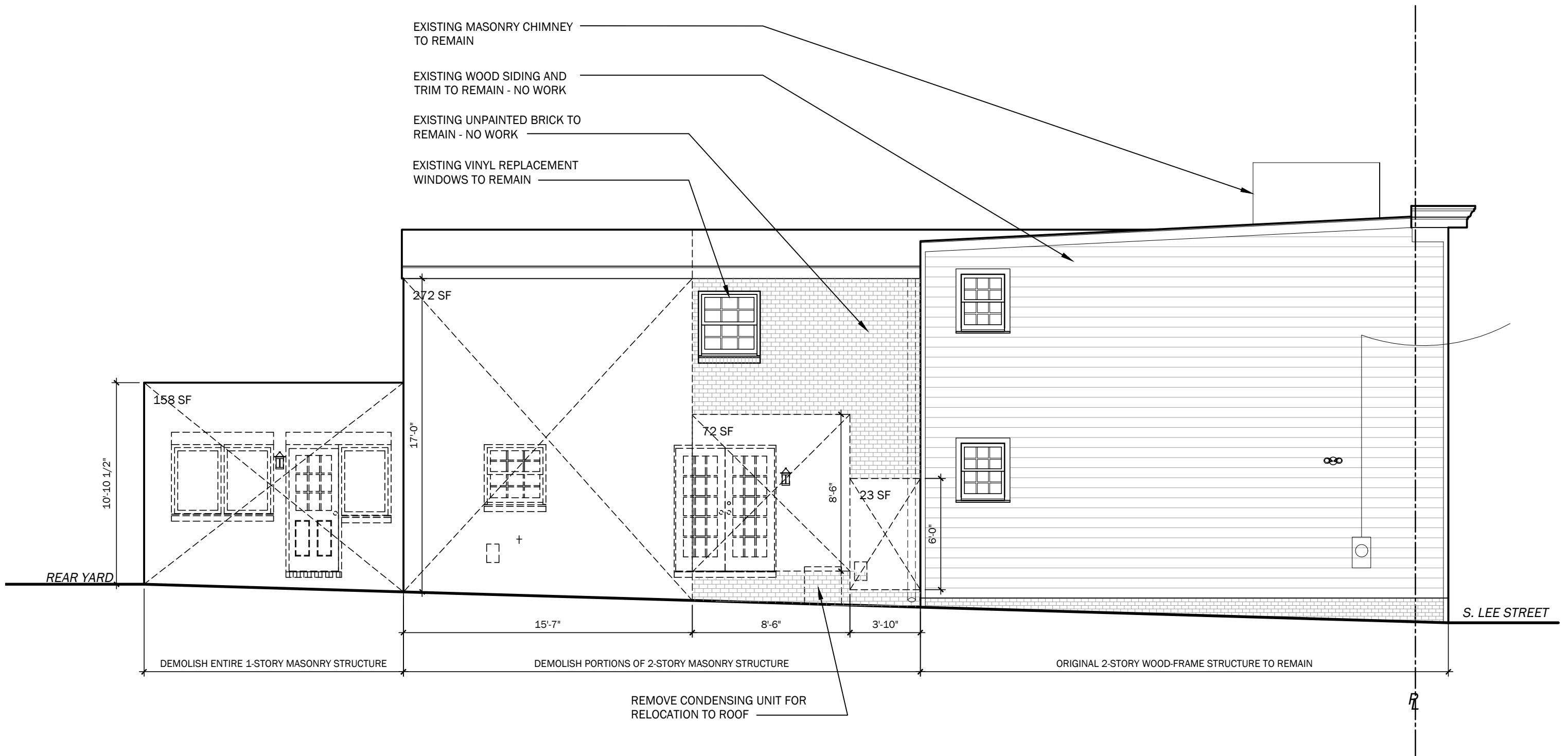



<b>Erin May, Architect</b> 703.836.6666    erin@erinmayarch.com 	<b>William Cromley Design / Development</b> 426 N. Columbus St.    Alexandria, VA 22314	<div>SIGHT LINES</div> <div>ROSS RESIDENCE</div> <div>721 SOUTH LEE STREET    ALEXANDRIA, VIRGINIA 22314</div>		<div></div> <div></div> <div>C4</div>
----------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------	--	---------------------------------------






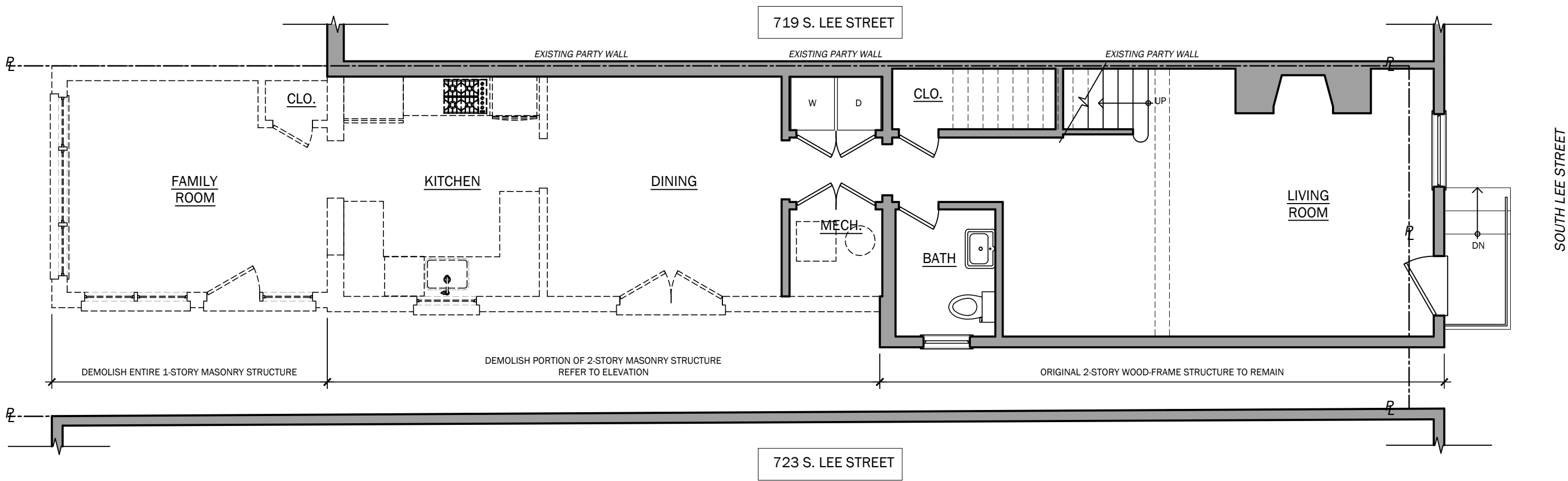
<b>Erin May, Architect</b>	<b>William Cromley Design / Development</b>	EXISTING FRONT AND REAR ELEVATIONS		Scale: 3/16" = 1'-0"	<b>EX1</b>
703.836.6666 erin@erinmayarch.com <i>em</i>	426 N. Columbus St. Alexandria, VA 22314	<b>ROSS RESIDENCE</b> 721 SOUTH LEE STREET      ALEXANDRIA, VIRGINIA 22314			



<b>Erin May, Architect</b> 703.836.6666 erin@erinmayarch.com 	<b>William Cromley Design / Development</b> 426 N. Columbus St. Alexandria, VA 22314	EXISTING LEFT-SIDE (SOUTH) ELEVATION  <b>ROSS RESIDENCE</b> 721 SOUTH LEE STREET      ALEXANDRIA, VIRGINIA 22314	Scale: 3/16" = 1'-0"	<b>EX2</b>
----------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------	----------------------	------------



<div>Erin May, Architect</div> <div>703.836.6666    erin@erinmayarch.com</div> <div></div>	<div>William Cromley Design / Development</div> <div>426 N. Columbus St.    Alexandria, VA 22314</div>	EXISTING RIGHT-SIDE (NORTH) ELEVATION	Scale: 3/16" = 1'-0"	EX3
		ROSS RESIDENCE 721 SOUTH LEE STREET    ALEXANDRIA, VIRGINIA 22314		



Erin May, Architect

William Cromley Design / Development

703.836.6666 erin@erinmayarch.com

426 N. Columbus St. Alexandria, VA 22314



EXISTING FIRST FLOOR PLAN

ROSS RESIDENCE

721 SOUTH LEE STREET ALEXANDRIA, VIRGINIA 22314



WALL LEGEND

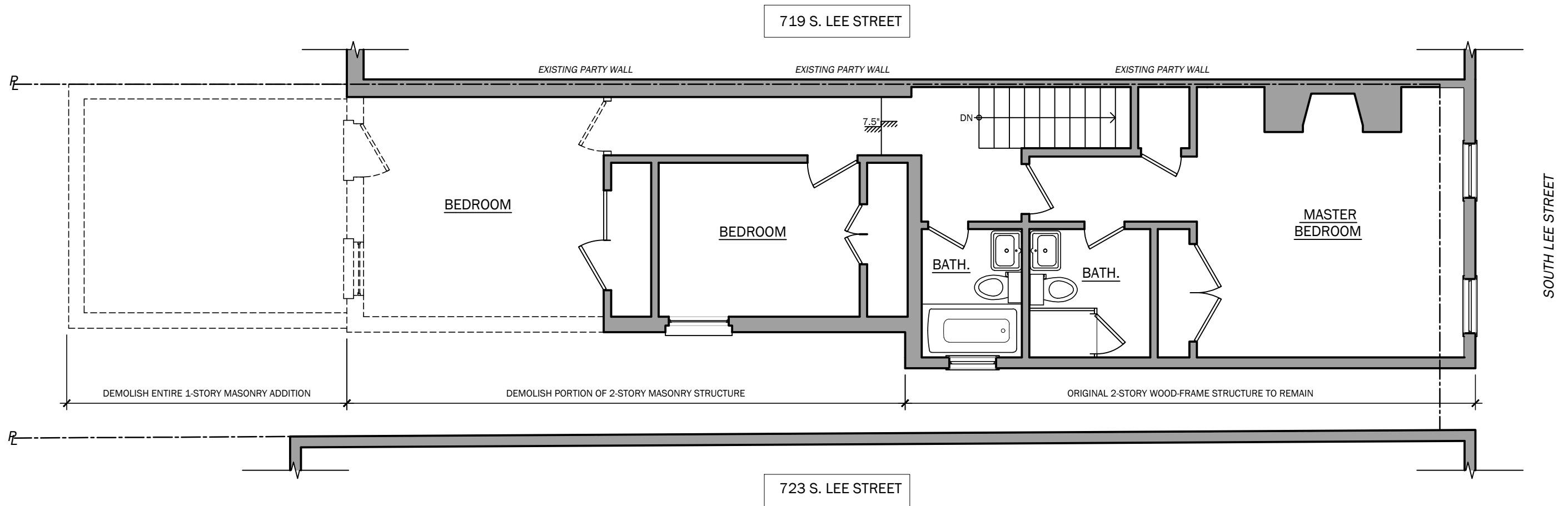
WALL TO REMAIN

WALL TO DEMOLISH

Scale: 3/16" = 1'-0"

EX4





WALL LEGEND	
<span style="display: inline-block; width: 15px; height: 10px; background-color: #808080; border: 1px solid black;"></span>	EXISTING WALLS TO REMAIN
<span style="display: inline-block; width: 15px; height: 10px; border: 1px dashed black;"></span>	TO BE DEMOLISHED

Scale: 3/16" = 1'-0"

**Erin May, Architect**  
 703.836.6666 erin@erinmayarch.com  


**William Cromley Design / Development**  
 426 N. Columbus St. Alexandria, VA 22314

EXISTING SECOND FLOOR PLAN

**ROSS RESIDENCE**  
 721 SOUTH LEE STREET ALEXANDRIA, VIRGINIA 22314

EX5

PROPERTY ADDRESS

721 S LEE STREET ALEXANDRIA, VIRGINIA 22314

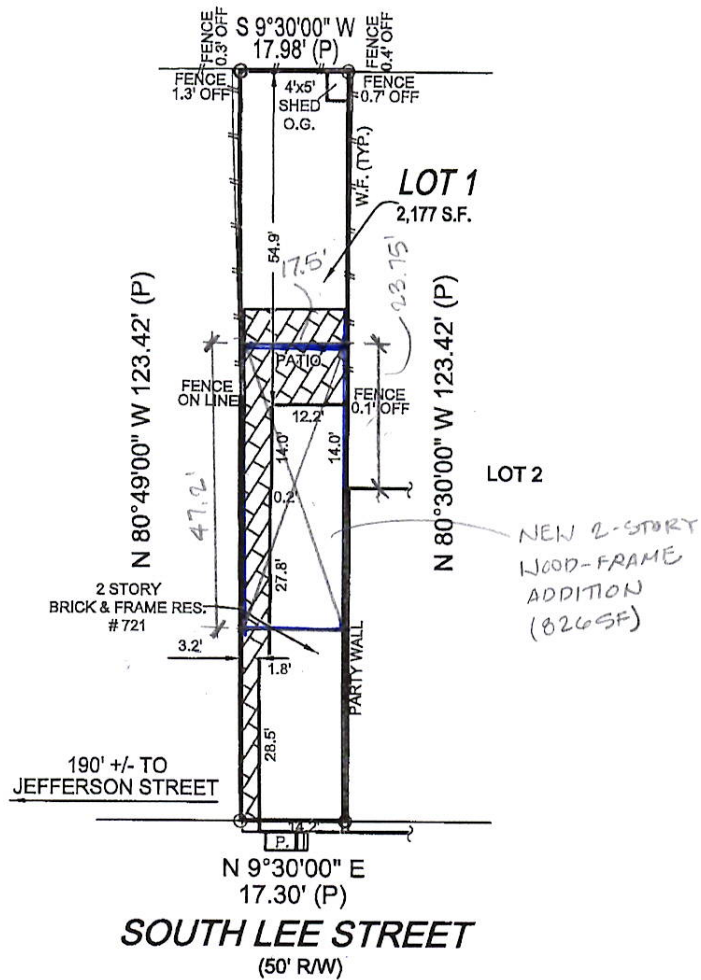
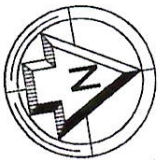
SURVEY NUMBER

5116

FIELD WORK DATE: 12/4/2014

REVISION DATE(S): (REV.0 12/10/2014)

1412.0197  
LOCATION DRAWING  
LOT 1  
PHILMAR  
CITY OF ALEXANDRIA, VIRGINIA  
12-05-2014 SCALE 1"=30'



GRAPHIC SCALE (In Feet)

1 inch = 30' ft.

NOTES

CLIENT NUMBER 132934ALE


DATE 12/10/2014

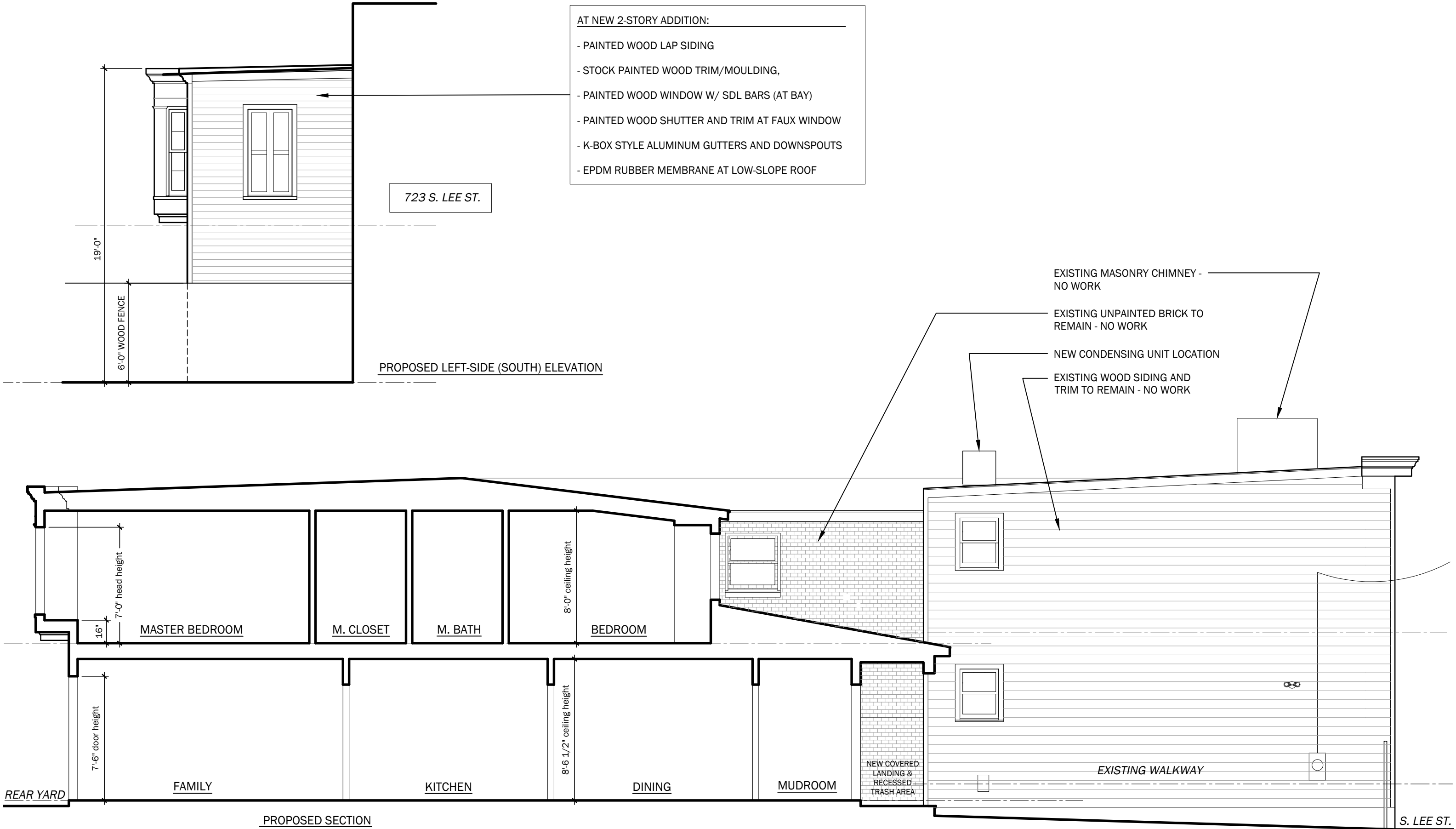
AP



Hamilton St

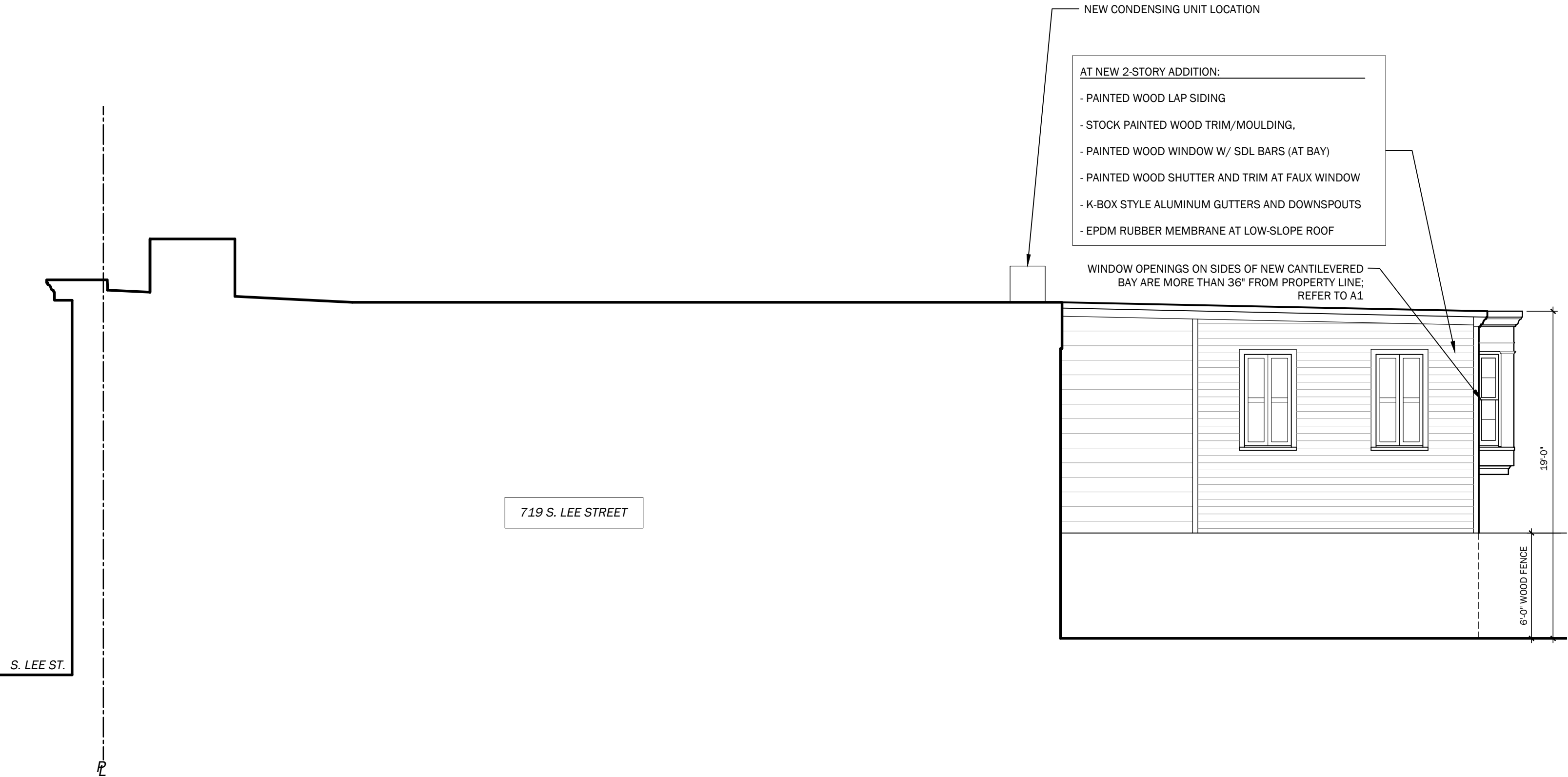
TURE



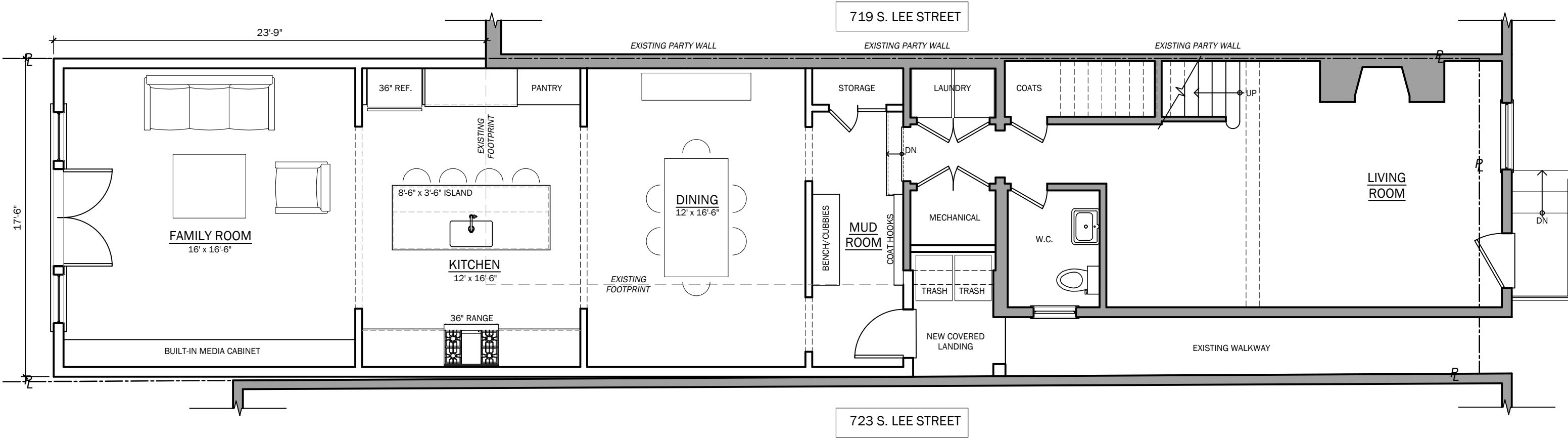
<b>Erin May, Architect</b>	<b>William Cromley Design / Development</b>	PROPOSED FRONT AND REAR ELEVATIONS		Scale: 3/16" = 1'-0"	<b>A1</b>
703.836.6666 erin@erinmayarch.com	426 N. Columbus St. Alexandria, VA 22314	ROSS RESIDENCE			
		721 SOUTH LEE STREET ALEXANDRIA, VIRGINIA 22314			



Erin May, Architect		William Cromley Design / Development		PROPOSED LEFT-SIDE (SOUTH) ELEVATION & SECTION		Scale: 3/16" = 1'-0"			A2
703.836.6666	erin@erinmayarch.com	426 N. Columbus St.	Alexandria, VA 22314	ROSS RESIDENCE					
				721 SOUTH LEE STREET		ALEXANDRIA, VIRGINIA 22314			



<b>Erin May, Architect</b> 703.836.6666 erin@erinmayarch.com 	<b>William Cromley Design / Development</b> 426 N. Columbus St. Alexandria, VA 22314	PROPOSED RIGHT-SIDE (NORTH) ELEVATION	Scale: 3/16" = 1'-0"	<b>A3</b>
		ROSS RESIDENCE 721 SOUTH LEE STREET ALEXANDRIA, VIRGINIA 22314		



WALL LEGEND

EXISTING WALLS TO REMAIN

NEW

Scale: 3/16" = 1'-0"

A4

Erin May, Architect

703.836.6666erin@erinmayarch.com

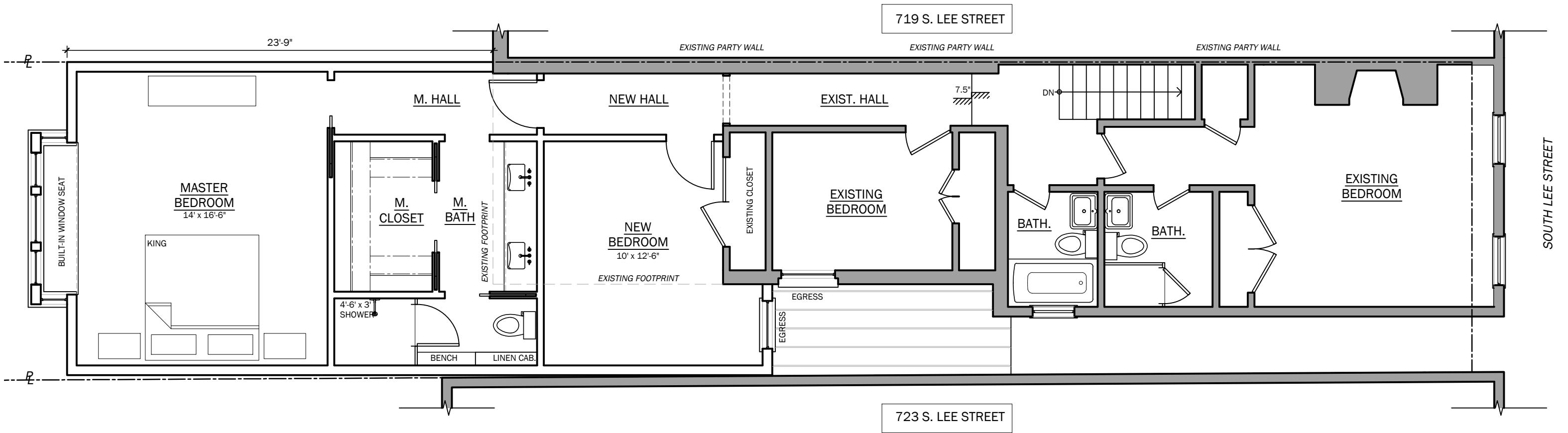
William Cromley Design / Development


426 N. Columbus St.Alexandria, VA 22314

PROPOSED FIRST FLOOR PLAN

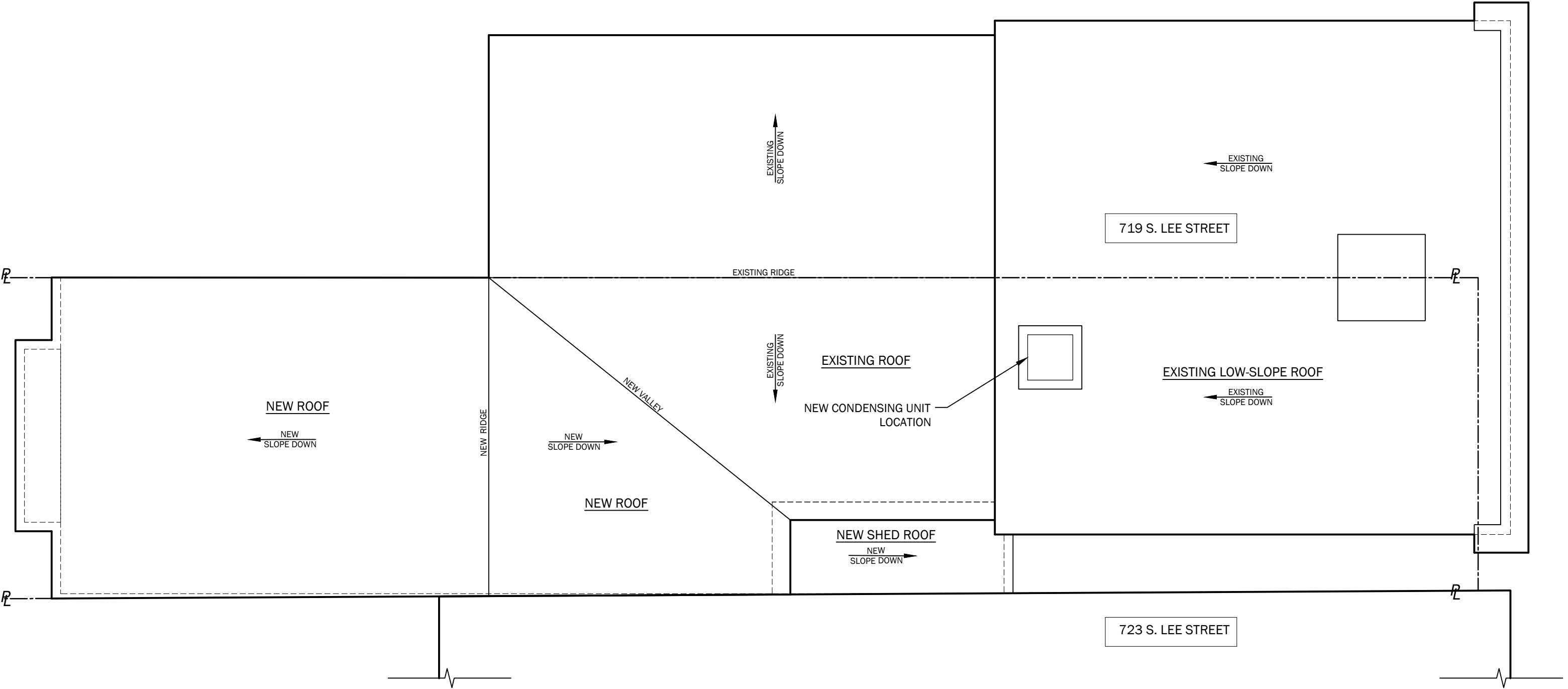
ROSS RESIDENCE

721 SOUTH LEE STREETALEXANDRIA, VIRGINIA 22314



<b>Erin May, Architect</b> 703.836.6666    erin@erinmayarch.com 	<b>William Cromley Design / Development</b> 426 N. Columbus St.    Alexandria, VA 22314	<b>PROPOSED SECOND FLOOR PLAN</b>  <b>ROSS RESIDENCE</b> 721 SOUTH LEE STREET    ALEXANDRIA, VIRGINIA 22314	<b>WALL LEGEND</b> <div> <div style="display: inline-block; width: 15px; height: 10px; background-color: gray; border: 1px solid black;"></div> EXISTING WALLS TO REMAIN </div> <div> <div style="display: inline-block; width: 15px; height: 10px; background-color: white; border: 1px solid black;"></div> NEW </div> Scale: 3/16" = 1'-0"	<div style="font-size: 2em; font-weight: bold; text-align: center;">A5</div>







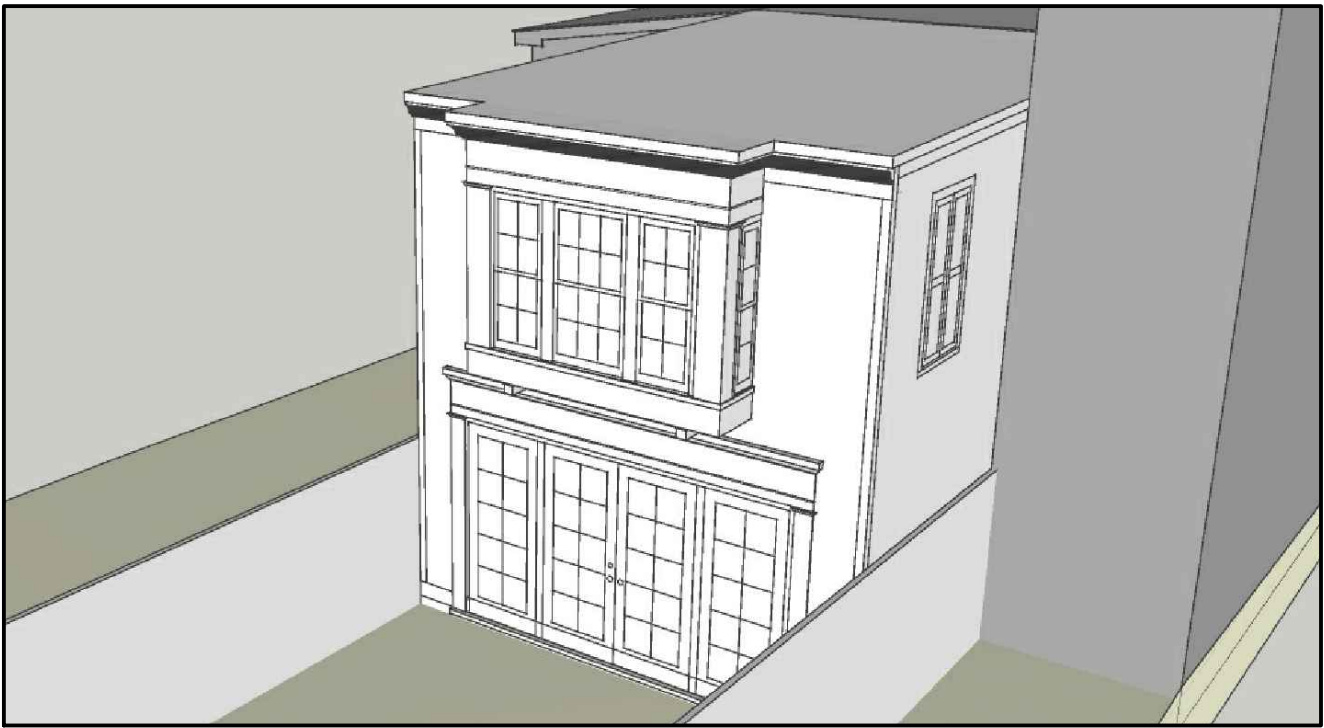
NORTH WEST VIEW - BIRD'S EYE



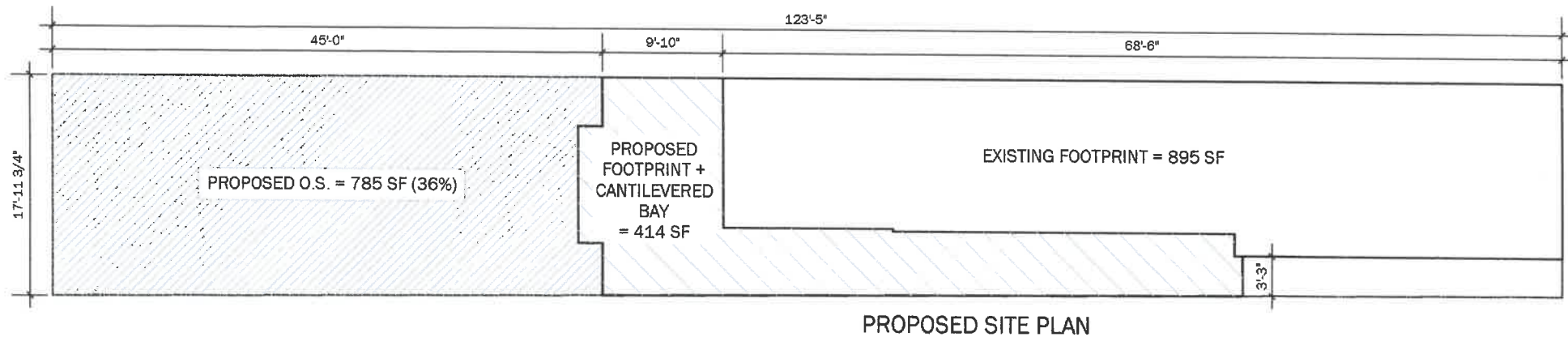
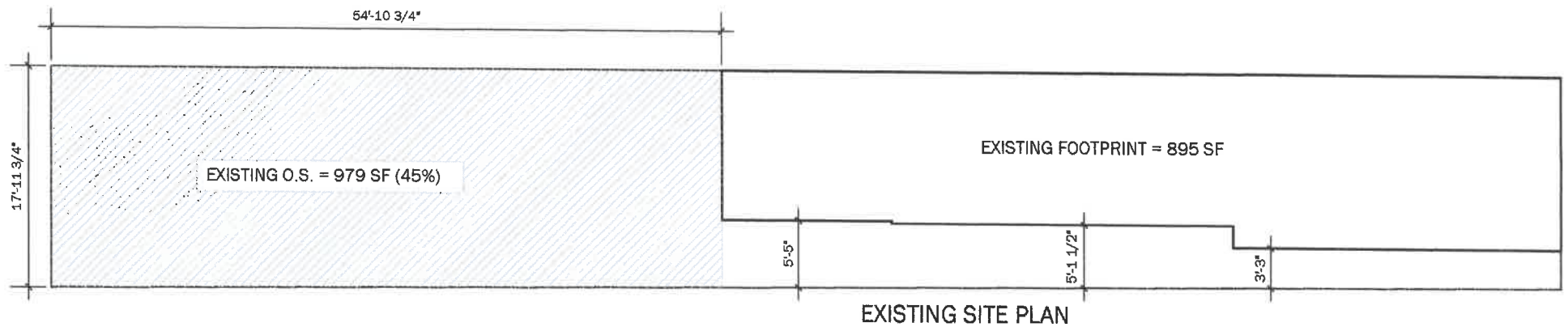
WEST VIEW - BIRD'S EYE



WEST VIEW - GROUND



SOUTH WEST VIEW - BIRD'S EYE



LOT AREA = 2,177 SF  
REQ'D O.S. = 762 SF (35%)

REFER TO SURVEY FOR PROPERTY LINE  
AND EXISTING BUILDING DIMENSIONS

<b>Erin May, Architect</b> 703.836.6666 erin@erinmayarchitect.com 	<b>William Cromley Design / Development</b> 426 N. Columbus St. Alexandria, VA 22314	OPEN SPACE DIAGRAM ROSS RESIDENCE 721 SOUTH LEE STREET ALEXANDRIA, VIRGINIA 22314	Scale: 1/8" = 1'-0" 	OS
---------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------	-------------------------	----

© 2019 Erin May, Architect LLC





**JELD-WEN.**  
WINDOWS & DOORS

**SITELINE®**

WOOD AND CLAD-WOOD  
WINDOWS AND PATIO DOORS



# EXTERIOR CLAD TRIM

Select one of our exterior clad trim options to create the architectural look you want for your windows: historical, transitional, or contemporary.



Adams



3 1/2" Flat



Brickmould

## OTHER OPTIONAL TRIM



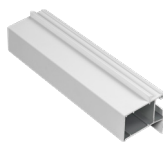
2" Exterior Jamb Extension



Standard



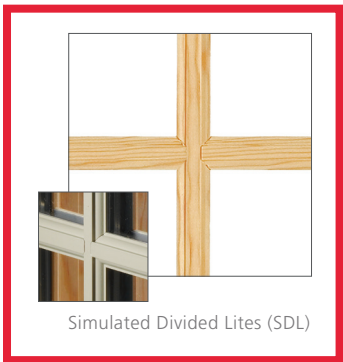
1" Sill Nosing



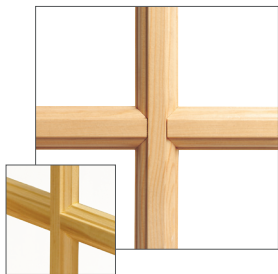
2" Sill Nosing

# DIVIDED LITES

Add architectural interest to your JELD-WEN® Sitaline® wood and clad-wood windows with one of our decorative grille options. These options include traditional or contemporary Simulated Divided Lites (SDL) for an authentic look, Full-Surround (FS) wood grilles that can be removed for easy cleaning, and maintenance-free Grilles Between the Glass (GBG).



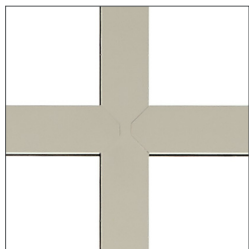
Simulated Divided Lites (SDL)



Full-Surround (FS) Wood Grilles



Grilles Between the Glass (GBG)



Contemporary Simulated Divided Lites (SDL)

## GLASS

### LOW-E INSULATING GLASS

Our standard high-performance Low-E insulating glass enhances energy conservation by helping homes stay cooler in the summer and warmer in the winter. Low-E glass provides greater protection against solar heat gain, reduces condensation, and helps limit fading of interior furnishings. Additional Low-E glass options are available for improved thermal performance.

### DIRT-RESISTANT GLASS

Standard for all Siteline® products, this innovative product harnesses the sun's UV rays to loosen dirt from the glass, so that rainwater can easily rinse away any grime. No manual activation is required.

### PROTECTIVE FILM

Standard for all Siteline® products, this film is factory-applied to both sides of the glass. It protects against debris and scratches during shipping and handling or at a construction site. Easy to remove, it saves clean-up time after installation.

### TEMPERED GLASS

Treated with heat in order to withstand greater force or pressure on its surface, tempered glass will not break into sharp pieces. It is used most frequently on patio doors or windows installed near floor level.

### ENERGY STAR® OPTIONS

Many JELD-WEN® windows and doors are ENERGY STAR certified, which means they exceed the minimum energy efficiency criteria for the climate region in which you live. JELD-WEN has been a proud ENERGY STAR partner since 1998. Please see your local dealer for options in your area.

## SPACERS

### STANDARD

For even more versatility, spacer bar color options enhance the appearance of your windows.



### THERMOPLASTIC

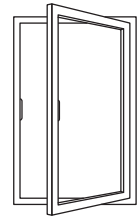
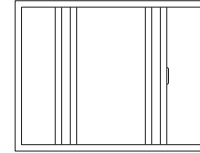
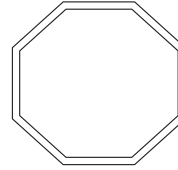
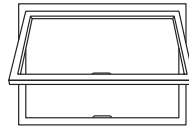
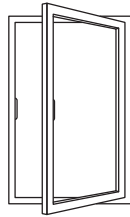
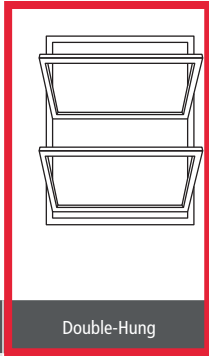
Our insulating glass may now be ordered with a state of the art black thermoplastic spacer that “disappears” into the window while providing the best thermal performance and the lowest seal failure rates of any spacer on the market.

## BLINK® BLINDS

Select Siteline® windows and patio doors are available with Blink® Blinds + Glass. This exceptional blinds-between-the-glass offering delivers a clean, modern design with a choice of six colors, plus performance glass options. Blink blinds never need dusting, and there are no exposed cords.



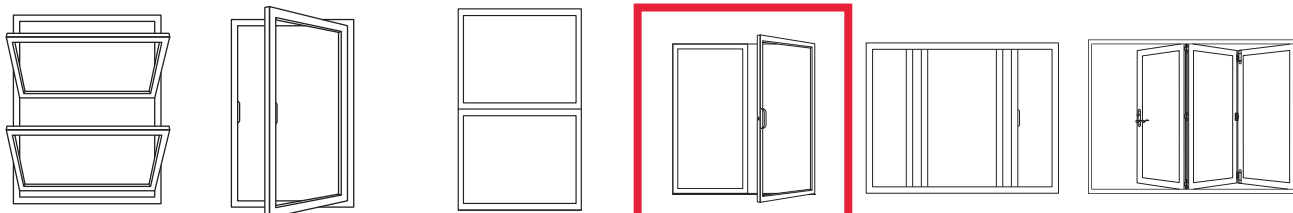
# PRODUCT DETAIL MATRIX



	Double-Hung	Casement	Awning	Geometric	Sliding	Push-out Casement
<b>Hardware</b>	Sash lock with integrated tilt latches	Nesting handle	Nesting handle	N/A	Sash lock	Push-out handle
<b>Hardware Finishes</b>	9 Finishes	9 Finishes	9 Finishes	9 Finishes	9 Finishes	9 Finishes
<b>Glass Options</b>	50+ Choices	50+ Choices	50+ Choices	50+ Choices	50+ Choices	50+ Choices
<b>Sizes: Min Max</b>	21 3/8" x 32" 45 3/8" x 92"	18" x 18" 36" x 84"	18" x 18" 60" x 48"	18" x 18" 108" x 78"	29" x 23" 72" x 60"	18" x 18" 36" x 72"
<b>Grilles</b>	<b>GBG:</b> 5/8" Flat, 23/32" Contoured, 1" Contoured <b>Bead:</b> 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Putty:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Contemporary:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Combination SDL available:</b> mix and match designs	<b>GBG:</b> 5/8" Flat, 23/32" Contoured, 1" Contoured <b>Bead:</b> 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Putty:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Contemporary:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Combination SDL available:</b> mix and match designs	<b>GBG:</b> 5/8" Flat, 23/32" Contoured, 1" Contoured <b>Bead:</b> 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Putty:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Contemporary:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Combination SDL available:</b> mix and match designs	<b>GBG:</b> 5/8" Flat, 23/32" Contoured, 1" Contoured <b>Bead:</b> 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Putty:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Contemporary:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Combination SDL available:</b> mix and match designs	<b>GBG:</b> 5/8" Flat, 23/32" Contoured, 1" Contoured <b>Bead:</b> 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Putty:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Contemporary:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Combination SDL available:</b> mix and match designs	<b>GBG:</b> 5/8" Flat, 23/32" Contoured, 1" Contoured <b>Bead:</b> 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Putty:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Contemporary:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Combination SDL available:</b> mix and match designs
<b>Performance Rating</b>	45 3/8" x 80" - PG 50, WZ3 - PG +50/-65	36" x 72" - PG 50, WZ3 - PG +50/-65	48" x 48" - PG 50, WZ3 - PG +50/-65	84" x 84" - PG 50, WZ3 - PG +50/-65	72" x 60" - PG30	36" x 72" - PG50
<b>Configurations</b>	Special Mulls, Transoms, Bays & Bows, Multiples	Special Mulls, Transoms, Bays & Bows, Multiples	Special Mulls, Transoms, Multiples	Special Mulls, Multiples	N/A	Special Mulls, Transoms, Bays & Bows, Multiples
<b>Spacer Color</b>	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver
<b>Blink® Blinds</b>	N/A	White, Tan, Sand, Espresso, Silver Moon, Slate Gray	White, Tan, Sand, Espresso, Silver Moon, Slate Gray	White, Tan, Sand, Espresso, Silver Moon, Slate Gray	N/A	N/A

Other options available, including impact-rated options (depending on operating type) and screens.  
For more information, please see your JELD-WEN representative or visit [jeld-wen.com](http://jeld-wen.com).





	Double-Hung Pocket	Casement Pocket	Sash Pack	Swinging Patio Doors	Sliding Patio Doors	Folding Patio Doors
<b>Hardware</b>	Sash lock with integrated tilt latches	Nesting handle	Sash lock with integrated tilt latches	Harleston™, Whitby™, Belmar™	Harleston™, Whitby™, Belmar™	Standard
<b>Hardware Finishes</b>	9 Finishes	9 Finishes	9 Finishes	10 Finishes	10 Finishes	10 Finishes
<b>Glass Options</b>	50+ Choices	50+ Choices	50+ Choices	50+ Choices	50+ Choices	50+ Choices
<b>Sizes: Min Max</b>	21 3/8" x 31 7/32" 45 3/8" x 92"	18" x 18" 36" x 72"	20" x 30" 40" x 90"	23 5/8" x 79 1/2" 43" x 98 1/2" (Panel Size)	30" x 79" 48" x 96" (Panel Size)	62 1/2" x 80 3/8" 148" x 96" (Panel Size)
<b>Grilles</b>	<b>GBG:</b> 5/8" Flat, 23/32" Contoured, 1" Contoured <b>Bead:</b> 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Putty:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Contemporary:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Combination SDL available:</b> mix and match designs	<b>GBG:</b> 5/8" Flat, 23/32" Contoured, 1" Contoured <b>Bead:</b> 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Putty:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Contemporary:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Combination SDL available:</b> mix and match designs	<b>GBG:</b> 5/8" Flat, 23/32" Contoured, 1" Contoured <b>Bead:</b> 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Putty:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Contemporary:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Combination SDL available:</b> mix and match designs	<b>GBG:</b> 5/8" Flat, 23/32" Contoured, 1" Contoured <b>Bead:</b> 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Putty:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Contemporary:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Combination SDL available:</b> mix and match designs	<b>GBG:</b> 5/8" Flat, 23/32" Contoured, 1" Contoured <b>Bead:</b> 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Putty:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Contemporary:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Combination SDL available:</b> mix and match designs	<b>GBG:</b> 5/8" Flat, 23/32" Contoured, 1" Contoured <b>Bead:</b> 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Putty:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Contemporary:</b> 5/8", 7/8", 1 1/8", 1 3/8", 2 5/16" <b>Combination SDL available:</b> mix and match designs
<b>Performance Rating</b>	45" x 78" - PG50	36" x 72" - PG35	N/A	<b>Inswing</b> - PG35, PG50 Limited Water <b>Outswing</b> - PG50 WZ3 Available	2-Panel WS - PG65 4-Panel WS - PG25 2-Panel NS - PG40 4-Panel NS - PG25	148" x 96"
<b>Configurations</b>	N/A	N/A	N/A	X, OX, XO, OXXO Sidelites & Transoms Available	OX, XO, OXXO Transoms Available	2-, 3-, or 4-Panel
<b>Spacer Color</b>	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver	Black (Standard), Gray & Silver
<b>Blink® Blinds</b>	N/A	N/A	N/A	N/A	White, Tan, Sand, Espresso, Silver Moon, Slate Gray	N/A