

Special Use Permit #2019-0035 413 West Windsor Avenue

Issue: Public hearing and consideration	Planning Commission	June 25, 2019
of a request for a special use permit to	Hearing:	
construct a new single-family dwelling on	City Council Hearing:	July 9, 2019
a developed substandard lot.		
Address: 413 West Windsor Avenue	Zone:	R-8 / Single-family zone
Applicant: Daryl and Carolyn Andrews,	Small Area Plan:	North Ridge/Rosemont
represented by Gaver Nichols, Architect.		

Staff Recommendation: APPROVAL subject to compliance with all applicable codes, ordinances and the recommended permit conditions found in Section III of this report.

Staff Reviewers: Chrishaun Smith, Urban Planner, shaun.smith@alexandriava.gov Ann Horowitz, Principal Planner, ann.horowitz@alexandriava.gov

<u>PLANNING COMMISSION ACTION, JUNE 25, 2019:</u> On a motion by Vice Chair Wasowski and seconded by Commissioner Lyle, the Planning Commission voted to recommend the approval of Special Use Permit #2019-0035 with an amendment to condition #2. The motion carried on a vote of 7 - 0.

Reason: The Planning Commission generally agreed with the staff analysis.

Commissioner Brown asked if there is a mandatory requirement that a dwelling unit have a front porch of 10 feet in depth. Staff stated that is not a requirement and is a design feature proposed by the applicant for the proposed dwelling unit. Commissioner Brown asked if locating the proposed home at the current setback of the existing dwelling unit would affect the root system of the existing white oak tree. Staff stated that this particular siting may damage the root system of tree, threatening the health of the tree. Commissioner Brown requested additional information from the applicant on the submitted landscape plan. Robert Weinig, landscape architect for the applicant, stated that the landscape plan had been amended with a total of five canopy trees. Mr. Weinig stated that the five trees were selected in coordination with the North Ridge Civic Association. Commissioner Brown stated that he was troubled if the contextual blockface regulations resulted in the loss of the white oak tree if it meant the proposed dwelling unit could not be located at the same setback as the existing dwelling unit. Staff stated that the contextual blockface provisions allow for a new dwelling unit to be sited at the same setback as the existing dwelling unit's setback. Commissioner Brown stated that because the North Ridge Civic Association supported the request in light of the inclusion of additional canopy trees, he did not object to the proposal.

Commissioner Wasowski commented that there may be unusual circumstances that may occur in the enforcement of the infill regulations and may lend themselves to be difficult in regulating. She believed that the proposed dwelling unit would meet the character of the neighborhood and appreciated that the applicant provided additional crown coverage in excess of the minimum required per the City's landscape guidelines.

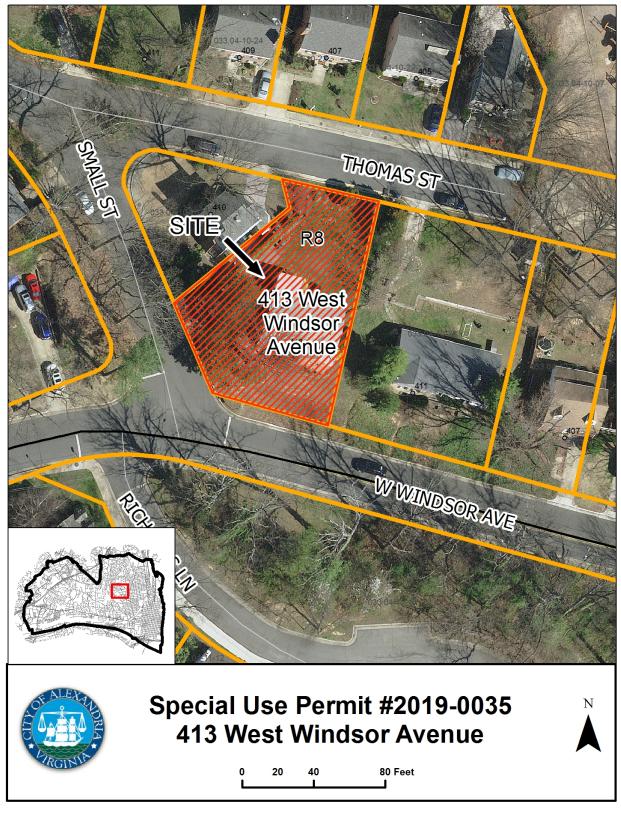
Because many City neighborhoods include mature trees, Commissioner McMahon suggested that the community may see more instances in the future when all trees cannot be saved during the redevelopment of a residential property.

Speakers:

Gaver Nichols, architect for the applicant, spoke in support of the project.

Robert Weinig, engineer for the applicant, spoke in support of the project and provided Planning Commission members with an updated landscape plan that increased the tree coverage to 54% at the request and approval of the North Ridge Civic Association.

Lyn Gubser, Chair of the Planning and Zoning Committee of the North Ridge Civic Association, spoke in support of the project.



PROJECT LOCATION MAP

I. REPORT SUMMARY

The applicants, Daryl and Carolyn Andrews, request Special Use Permit approval to construct a new single-family dwelling on a developed substandard lot at 413 West Windsor Avenue.

SITE DESCRIPTION

The subject property is one irregularly shaped lot of record located within the North Ridge neighborhood of the City. The property has three frontages, with the primary frontage facing West Windsor Avenue and with secondary frontage along Small Thomas and Streets to the southwest and the north respectively. The property has approximately 63 feet of frontage along West Windsor Avenue, 55 feet of frontage along Small Street, and approximately 51 feet of lot frontage along Thomas Street. The property has approximately 63 feet



Figure 1: Existing Dwelling Unit

of lot width along West Windsor Avenue, 53 feet of frontage along Small Street, and approximately 48 feet of lot frontage along Thomas Street. Furthermore, the lot has 100 feet of depth along the northern and northwestern side property lines and 130 feet of depth along the eastern side property line. The property has a total square footage of 9,107 square feet. The subject property is currently improved with a one-story single-family dwelling unit. The property is surrounded by single-family dwelling units.

BACKGROUND

The existing 2,488 gross square-foot, one-story dwelling was constructed in 1950 on a substandard lot that is noncomplying as to lot width requirements. The applicant entered under contract to acquire the property in order to redevelop the property with a new single-family dwelling unit with modern amenities in keeping with the architectural style of the surrounding neighborhood.

PROPOSAL

The applicant requests approval to redevelop a developed substandard lot with a new two-story single-family dwelling unit. The existing one-story structure would be demolished to be replaced with a new two-story structure with a basement and detached garage. The proposed dwelling would have a net floor area of 3,177 square feet (gross floor area of 5,422 square feet) and a building height of 29 feet, measured from the average finished grade. The existing dwelling unit is 2,488 gross square feet. The applicant proposes to construct a detached garage, with a driveway connecting to Thomas Street. The applicant proposes to improve the existing driveway by removing a portion to the northwest of the proposed dwelling unit.

A two-story Craftsman-style house is proposed as the new dwelling. The proposed dwelling would be clad with hardiplank horizontal siding on the first and second floor on all facades. The structure would also incorporate two dormers within the front (south) and secondary front (north) elevations. On the first-floor façade, the proposed dwelling unit would incorporate a 16 square-foot bay window within its eastern elevation and a large 402 square foot front porch along the primary front façade (Figure 2).



Figure 2: Proposed Dwelling – Front Elevation

PARKING

Pursuant to Section 8-200(A)(1) of the Zoning Ordinance, a minimum of two standard size parking spaces is required for single-family detached dwellings. The property would continue to remain in compliance with this standard as the applicant proposes to maintain the existing driveway that accommodates two standard sized tandem parking spaces. The applicant also proposes to include a detached garage with the corresponding driveway which would provide for two additional parking spaces for residents and visitors.

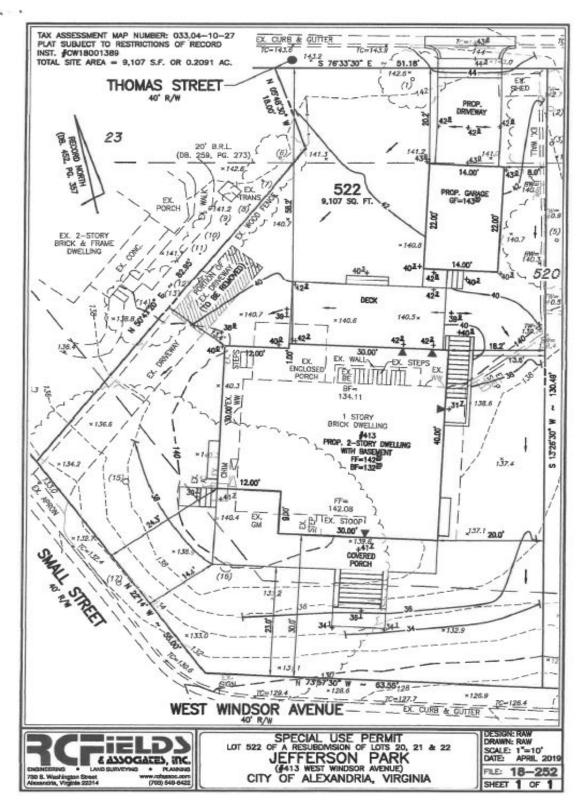


Figure 3: Survey Plat of Proposed Dwelling

ZONING

The subject property is located in the R-8/Single-family residential zone, which requires a minimum lot area of 8,000 square feet, a minimum lot frontage of 40 feet and a minimum lot width of 65 feet at the building line. The subject lot meets the minimum for lot frontage and lot area but is substandard in lot width along its yard frontages facing West Windsor Avenue, Small Street, and Thomas Street.

Requirement for a Special Use Permit (SUP)

Given that the substandard lot is developed with an existing home, Section 12-900 of the Zoning Ordinance applies to this SUP request. Section 12-901(C) of the Zoning Ordinance states that a SUP is required when residential construction is proposed that would exceed the gross floor area (as defined in Section 2-145[A]) of the existing dwelling by more than ten percent. The gross floor area of the existing home is 2,488 square feet whereas the proposed gross square foot of the replacement home is 5,422 square feet or 46% larger than the current dwelling unit, primarily due to the inclusion of a basement and second story. Section 12-901(C) also requires a SUP if the proposed dwelling would taller in height than the existing dwelling. The proposed dwelling would be 29.00 feet in height, whereas the existing dwelling unit is 16 feet. A request for SUP approval is required for the proposed dwelling to be constructed. Additionally, Section 12-901(C)(2) requires that an analysis of the proposed dwelling and its compatibility with the bulk, height, and design of the existing neighborhood is included within the SUP analysis for residential dwellings proposed on substandard lots to ensure that the structure is compatible with the neighborhood character.

The applicants' proposal meets Zoning Ordinance requirements for development within the R-8 zone, including setbacks, FAR, building height, and threshold height. Additional zoning elements of the proposal are indicated in Table 1:

Zoning	Requi	rement	Proposal	Existing
Tabulations				Dwelling
Lot Size	8,000 sq. ft.		9,107 sq. ft.	
Lot Width	65.00 feet		W Windsor: 63.00 ft.	
			Small: 53.00 ft.	
			Thomas: 48.00 ft.	
Lot Frontage	40.00 feet		W Windsor: 63.55 ft.	
			Small: 55.00 ft.	
			Thomas: 51.18 ft.	
Primary Front Yard (W Windsor Ave)	Contextual	Min: 25.90 ft. Max: 31.30 ft.	30.00 ft.	31.30 ft.
(w windsof Ave)		wiax. 51.50 it.		

Zoning Tabulations	Requi	rement	Proposal	Existing Dwelling
Secondary Front Yard (Small Street)	Contextual	Min: 20.30 ft. Max: 87.80 ft.	24.30 ft.	24.30 ft.
Secondary Front Yard (Thomas Street)	Contextual	Min: 20.00 ft. Max: 71.40 ft.	58.20 ft.	54.00 ft.
Side Yard (west)	1:2 with 8 ft. min	10.75 ft.	13.40 ft.	21.40 ft.
Side Yard (east)	1:2 with 8 ft. min	10.75 ft.	18.20 ft.	13.50 ft
Building Height	30 feet		29.00 ft.	
Threshold Height	Contextual	Min: 2.50 ft. Max: 3.00 ft.	2.50 ft.	
FAR	.35		.348	.269 (gross sq. ft.)
Tree Canopy Coverage	.2	25	.54	.32

MASTER PLAN DESIGNATION

The proposed single-family residential use is consistent with the North Ridge/Rosemont Small Area Plan, which designates this property for residential development.

II. STAFF ANALYSIS

Staff supports the applicant's proposal to redevelop the substandard lot at 413 West Windsor Avenue. The architectural design and the infill provisions of the Zoning Ordinance related to dwelling height, threshold height, and setbacks are consistent and compatible with the neighborhood character. Staff has worked with the applicant throughout the SUP review process on the design of the structure and landscaping to ensure that the proposal not only complies with the R-8 and infill redevelopment regulations, but also exceeds the City's tree canopy coverage requirements of 25 percent. Staff believes that the new proposed dwelling would be relatively compatible with existing homes in the neighborhood in terms of bulk, height, and design.

<u>Bulk</u>

While the bulk of the proposed new home would be larger than the existing dwelling, the size and bulk of the proposed dwelling unit would be in character with adjacent properties within the neighborhood. At 3,177 net square feet, the floor area of the proposed dwelling unit is comparable to the square footage of buildings to its south along Richards Lane and to the west within the 500 block of West Windsor Avenue. Moreover,

:

the façade design of the proposed dwelling minimizes the perception of bulk due to the inclusion of bay windows, two dormers, and full-width porch, and varying planes of the façades.

Address	Lot Area	Total Square Footage (gross)	FAR calculation (Gross)
400 block of W Windsor Avenue	12602	2684	21%
400 block of Thomas Street	5120	2040	40%
500 block of Windsor Avenue	12500	5177	41%
400 block of Thomas Street	4365	2040	47%
2100 block of Small Street	5795	2893	50%
500 block of Fontaine Street	5406	2700	50%
413 W Windsor Avenue (proposal)	9107	5194	57%
500 block of Richards Lane	9423	6252	66%
500 block of Richards Lane	6737	5486	81%

Height

The proposed new dwelling unit height of 29.00 feet is in accordance with the infill zoning regulations, which allow single-family dwellings to be constructed up to a height of 30 feet within the R-8 zone and other single and two-family zones within the city. The proposed building height is similar to several single-family dwellings within the area along Richards Lane, the 500 block of West Windsor Avenue, and Fontaine Street to the north of the subject property. Therefore, the proposed dwelling unit would not be visually intrusive and uncharacteristic in appearance within the North Ridge neighborhood.

Design

The neighborhood is composed of one and one-half and two-story dwelling units that were constructed across multiple time periods; ranging from as early as 1927 to the north and west of the subject property to the late 1970s to the north of the property along Thomas Avenue and to the south along Richards Lane. The predominate architectural style is Colonial Revival and Tudor. The exteriors of the dwellings are primarily brick, however, homes with horizonal siding also exist. Likewise, horizontal siding clad home additions are also a common architectural feature within the neighborhood. The proposed dwelling would replace a 1-story, minimalist, modern dwelling unit that was constructed in the 1950s with a two-story Craftsman-style dwelling unit with similar symmetry and rectilinear mass and design materials as the surrounding dwelling units.

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Examples of neighboring homes with similar size and massing

Conclusion

Staff concludes that the proposal is a reasonable plan for the redevelopment of this substandard lot and recommends approval of the Special Use Permit request subject to the conditions contained in Section III of this report.

III. RECOMMENDED CONDITIONS

- 1. The design of the dwelling shall be in substantial conformance with illustrations completed by Gary Zickafoose of Next Generation Properties as submitted on May 23, 2019. (P&Z)
- 2. <u>CONDITION AMENDED BY PLANNING COMMISSION:</u> As part of the grading plan, trees shall be planted or existing trees preserved to exceed 49 <u>52</u> percent canopy coverage over the site <u>in substantial conformance with illustrations completed by Daniel G Robby of RC Fields as completed on June 25, 2019. (P&Z) (PC)</u>
- 3. Any new driveway areas shall be constructed with a permeable paving system to the satisfaction of the Director of Planning and Zoning (P&Z)
- 4. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- 5. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the grading plan prior to its release. (T&ES)
- 6. No vehicles associated with the construction of this project shall be permitted to idle for more than 10 minutes when parked. (T&ES)

7. During demolition/construction the applicant/contractor shall control odors and any other air pollution sources resulting from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Director of Transportation and Environmental Services. Specifically, use appropriate dust suppression technique/equipment to minimize dust migration to neighboring properties during the demolition/construction phase. (T&ES)

Staff: Tony LaColla, AICP, Division Chief, Land Use Regulatory Services Ann Horowitz, Principal Planner Shaun Smith, Urban Planner

<u>Staff Note:</u> In accordance with section 11-506(c) of the zoning ordinance, construction or operation shall be commenced and diligently and substantially pursued within 18 months of the date of granting of a special use permit by City Council or the special use permit shall become void.

IV. CITY DEPARTMENT COMMENTS

<u>Transportation and Environmental Services</u>

- F-1 SWM has no comments.
- R-1 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-2 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the grading plan prior to its release. (T&ES)
- R-3 No vehicles associated with the construction of this project shall be permitted to idle for more than 10 minutes when parked. (T&ES)
- R-4 During demolition/construction the applicant/contractor shall control odors and any other air pollution sources resulting from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Director of Transportation and Environmental Services. Specifically, use appropriate dust suppression technique/equipment to minimize dust migration to neighboring properties during the demolition/construction phase. (T&ES)
- C-1 A GRADING PLAN showing all improvements and alterations to the site shall be required prior to any land disturbing activities and must be approved prior to issuance of a building permit. (5-6-224) (T&E)
- C-2 New curb cuts require separate approval from the City. (Sec. 5-2-14) (T&ES)
- C-3 An erosion and sediment control plan must be approved by T&ES prior to any land disturbing activity greater than 2500 square feet subject to the Exceptions described in Section 5-4-5. An erosion and sediment control bond shall be posted prior to release of the grading plan. (Sec.5-4-1.1) (T&ES)
- C-4 The applicant shall comply with the provisions of Article XIII Environmental Management Ordinance of the City of Alexandria. (T&ES)
- C-5 All improvements to the City right-of-way such as curbing, sidewalk, driveway aprons, etc. must be City standard design. (Sec.5-2-1) (T&ES)
- C-6 Flow from downspouts, foundation drains, and sump pumps shall be discharged to the storm sewer per the requirements of Memorandum to Industry 05-14 that is available on the City of Alexandria's web site. The downspouts and sump pump discharges shall be piped to the storm sewer outfall, where applicable per the

requirements of Article XIII of Alexandria Zoning Ordinance (AZO). Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224)

- C-7 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-8 Pay sanitary sewer connection fee prior to release of Grading Plan. (Sec. 5-6-25) (T&ES)
- C-9 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-361) (T&ES)
- C-10 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

Department of Code Administration

C-1 A permit to demolish is required. A building permit, plan review, and inspections are required prior to the start of construction.

Fire

No comments received

Department of Recreation, Parks, and Cultural Activities

No comments received



APPLICATION

SPECIAL USE PERMIT

SPECIAL USE PERM	NIT #
PROPERTY LOCATION: 413 WEST V	NINDSOR AVENUE
TAX MAP REFERENCE: 033,04 ~ 10-2	7 zone: R-8
APPLICANT:	DARYL ANDREWS MAN, MEMBER.
Name: GAVER NICHOLS, ARCHITECT	FOR GO KING STREET STEASE ALCHANGER, VA. 22314
Address: P.O. Box 2921	
PROPOSED USE: SINGLE F	AMILY HOME
TOMO DAIST. HOME " FAMILY DWELLA SECTION 12 Section 4-11-500 of the 1992 Zoning Ordinance of the City	AMIN HOUSE DEPHIT TO CONSTRUCT A NEW SINGLE ING ON A developed Substandard Lot Joe Permit in accordance with the provisions of Article XI, of Alexandria, Virginia.
THE UNDERSIGNED, having obtained permission for City of Alexandria staff and Commission Members to visit, connected with the application.	
THE UNDERSIGNED, having obtained permission of City of Alexandria to post placard notice on the property for Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the Control of the Contr	r which this application is requested, pursuant to Article IV,
surveys, drawings, etc., required to be furnished by the applicant is hereby notified that in support of this application and any specific oral representations application will be binding on the applicant unless those binding or illustrative of general plans and intentions, subjust-207(A)(10), of the 1992 Zoning Ordinance of the City of	pplicant are true, correct and accurate to the best of their at any written materials, drawings or illustrations submitted entations made to the Director of Planning and Zoning on e materials or representations are clearly stated to be non-ject to substantial revision, pursuant to Article XI, Section
GAVER MICHOLS, ARCHITECT, AGENT	Com Micholo ATA Apr. 5, 2019
Print Name of Applicant or Agent	Signature Date
P.O.BOX 2921	703-362-8482 NA.
Mailing/Street Address	Telephone # Fax #
ALEXANDRIA, VA. 22301	GNARCHITECE ADL. COM
City and State Zip Code	Email address
ACTION-PLANNING COMMISSION:	DATE:
ACTION CITY COUNCIL.	DATE.

SUP#		

PROPERTY OWNER'S AUTHORIZATION
As the property owner of 413 W. WINDSOR AVENUE ALEX. VA., I hereby
(Property Address)
grant the applicant authorization to apply for theSINGLE FAMILY HOME use as
(use)
described in this application.
WINDSOF WEST U.C.
Name: DARYL ANDREWS, 46 GOI KING STREET Phone 763-622-0022
Please Print
Address: LOU KING STREET Email: dary C.AMS 4 newhomes, com
Signature: Date: AFPic 5, 2019
1. Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.
Required floor plan and plot/site plan attached.
[] Requesting a waiver. See attached written request.
The applicant is the (check one): Owner Contract Purchaser Contract Purchaser
[] Other: of the subject property.
State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent.
WINDSOR WEST LLC IS THE OWNER. INDIVIDUALS with ownership victerest BIE.
DARYL ANDREWS, MEMBER 50 % autositip
CARDIUM ANDREWS, MEMBER 50 % awkership.

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

WINDER WEST LLC.

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

struct 50%
22014
16 STREET 50%
֡

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 413 11/2 WILDOSOP ALE ALEXANDRIA (Raddress), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Address	Percent of Ownership
601 KING St 22314	50%
GOOI KING STREET AUX, UA. 22314	50%
	Address LOI KING St 22314 COO KING STREET AUX, VA. 22314

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).

For a list of current council, commission and board members, as well as the definition of business

and financial relationship, click here.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. DARYL ANTROWS	NOT APRIGABLE	NOT APPLICABLE
2. CAROUN ANTHOUS.	NOT APPLICABLE	NOT APPLYABLE
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

APRIL 5, 2019 CAVER NICHOLS ARCHITECT COMM Micholy, ATA

Date Printed Name Signature

SUP#	

If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

Yes. Provide proof of current City business license

[] No. The agent shall obtain a business license prior to filing application, if required by the City Code.

NARRATIVE DESCRIPTION

3. The applicant shall describe below the nature of the request **in detail** so that the Planning Commission and City Council can understand the nature of the operation and the use. The description should fully discuss the nature of the activity. (Attach additional sheets if necessary.)

THE SUP IS SUBHITTED TO ALLOW THE CONSIDERATION OF CONSTRUCTIONS OF A NEW HOME TO REPLACE AN EXISTING HOME, THE SITE IS IN THE P-8-ZONE THAT ALLOWS SINGLE FAMILY HOMES. THE LOT IS 9107 SOFT, BY COMPRESED AND EXCEEDS HE P-8 MIN, NOT SIZE OF 8000 SOFT. OR DESIGN MEETS ALL P-8 ZONNG PEGULATIONS RE! SETBACKS, FAR (FLOOR AREA RATIO) AND HEIGHT PERUPEMENTS.

THE LOT IS HOVEVER IRREGULAR IN SHAPE AND HAS 3 STREET

WEST
FRONTS - (B) WINLDSOR ALE (B) SMALL STREET AND (C) THOMAS STREET.

NOTE: THOMAS STREET DOES NOT MEET LOT WIDTH PEQUIPEMENTS AND

CREATES A SUBSTANCIARD LOT (CURRENTLY DEVELOPED;)

WE ASH CONSIDERATION TO ACLAU THE CONSTRUCTION OF A
ONE CAR GARAGE FACING THOMAS STREET. RELIEF IS REQUESTED
FROM SECTION 7-2505 OF THE ZONING CODE THAT PROHIBITS
CARAGES IN FRONT YARDS. THE PROPOSED GARAGE DOES MOST

AN SETBACK REGS, AND IS DEDVOTED IN THE F.A.R. CACCUGATIONS.

THE DESIGN OF THE NEW HOME AND GARAGE IS COMPATIBLE
WITH THE EXISTING NEIGHBURHOOD CHARACTER IN TERMS OF
BUCK, HEIGHT & DESIGN, WE ARK FOR YOUR SUPPLY OF OR
APPLICATION, WE ALSO ASK THAT THE THOMAS STREET YARD BE VIEWED
AT A REAR YARD TO Allow the GARAGE TO BE CONVITED AS A DEDUCABLE
SPACE RE TO FAR CALCULATIONS. 39

USE CHARACTERISTICS

4.	The	proposed special use permit request is for <i>(check one):</i>			
	[] a	new use requiring a special use permit,			
	[] ar	n expansion or change to an existing use without a special use permit,			
	[] ar	expansion or change to an existing use with a special use permit,			
	H ot	her. Please describe: Consideration of Zolling Regulation modifications			
_		on An irregular staped tot up 3 street fronts. se describe the capacity of the proposed use: And A Substandard Lot. classification			
5.	Pleas	Please describe the capacity of the proposed use: AME A WESTANGREG LOF CHOSTING			
	Α.	How many patrons, clients, pupils and other such users do you expect? NO PATRONS,			
	Λ.	Charlesting povind (i.e. day begin on shift)			
		THE SUP IS FOR CONSTITUTION			
		OF A NOW HOME TO PERLACE AN EXISTING HOME. THE SITE IS UNIQUE			
		AND IREGULAR IN SHAPE WITH 3 FRONT YARDS.			
	В.	How many employees, staff and other personnel do you expect?			
		Specify time period (i.e., day, hour, or shift).			
		NOT APPLICABLE - SINGLE FORMELY PORCE			
	Dlass	and a suite of the surround the surround days of an earther of the surround see			
6.	Pleas	e describe the proposed hours and days of operation of the proposed use:			
	Dove	Hours			
	Day:	NOT APPLICABLE Hours: NOT APPLICABLE.			
	-	NOT APPLICABLE Hours: NOT APPLICABLE. Single family home.			
		Smake family home.			
	-				
7.	Pleas	e describe any potential noise emanating from the proposed use.			
	A.	Describe the noise levels anticipated from all mechanical equipment and patrons.			
		Here days and			
		Smile family home			
		Smale family home			
	В.	How will the noise be controlled?			
		NOT APPLICABLE.			
		DOT APPLICABLE. Single family home			
		Single tomily home			

	NOT APRICABLE SMELE FALLY HOME
Pleas	se provide information regarding trash and litter generated by the use.
A.	What type of trash and garbage will be generated by the use? (i.e. office paper, food wrappers) THE SHUGLE FAMILY HOME WILL USE STANDARD POLICY TRASH & RECYCLE CONTAINERS SUPPLIED BY THE CITY AND TYPICAL TO RESIDENTIAL HOMES,
B.	How much trash and garbage will be generated by the use? (i.e. # of bags or pounds per day or p week) ONE RECYCLE CONTAINER AND TRASH CONTAINER POR
C.	How often will trash be collected? ONCE PER WEEK AS PER NORMAC HOMEOWER PLAKE
D.	How will you prevent littering on the property, streets and nearby properties?
	NOT APPLICABLE,
	any hazardous materials, as defined by the state or federal government, be handled, stored, or general property?
[] Y	res. No.
If yes	s, provide the name, monthly quantity, and specific disposal method below:
	NOTE: Small quantities of cleaning solvents generally RECOGNIZED to BE Appropriate for Residential use on the operation of the Home will be stored, used as solvents Add disposed of properly

SUP#_

•	∕es. 🎍	No.	y -	
f yes	s, provide the	name, monthly quantity, a	and specific disposal method below:	
	NOT ,	APPLICABLE.		2
				-
Vha	t methods are	e proposed to ensure the s	safety of nearby residents, employees and patrons?	
	NOT	APPLICABLE.		5)
				-
			=6	
1 0 l	L SALES			
h-	Will the pro	oposed use include the sa	ale of beer, wine, or mixed drinks?	
	[] Yes	ANO -		
E		cribe existing (if applicable	e) and proposed alcohol sales below, including if the nises sales.	ABC I
		•		
-		SINGLE FAMI	14 HOME.	

SUP#

ž .	***	(He		
			SUP#	
PAR	KING	S AND ACCESS REQUIREMENTS		
14.	A.	How many parking spaces of each type are provided Standard spaces OF STROT. Compact spaces Handicapped accessible spaces.		
		Other.		
		Planning and Zoning Staff Only uired number of spaces for use per Zoning Ordinance Section 8-200.4 s the application meet the requirement? [] Yes [] No Where is required parking located? (check one)		
		[] off-site If the required parking will be located off-site, where v NOT APPUCABLE,	vill it be located?	<u>S</u>
site pa	arking wi ustrial us	TE: Pursuant to Section 8-200 (C) of the Zoning Ordinar within 500 feet of the proposed use, provided that the offess. All other uses must provide parking on-site, except with a special use permit.	site parking is located	on land zoned for commercial
	C.	If a reduction in the required parking is requested, put		. , . , . ,
		[] Parking reduction requested; see attached su	oplemental form	NOT Applicable
15.	Please	e provide information regarding loading and unloading fa	acilities for the use:	

PARKING AND ACCESS REQUIREMENTS

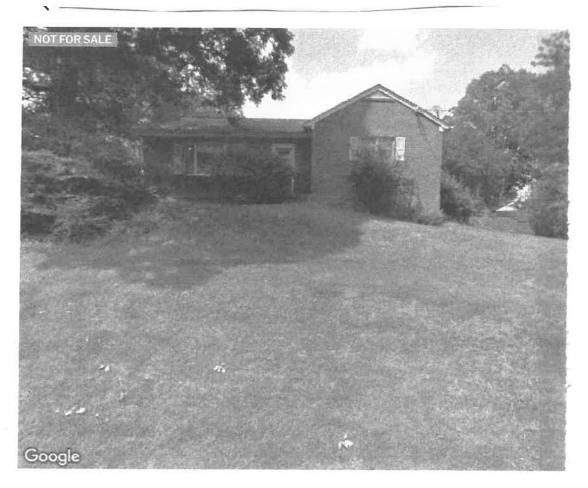
		uses. All other uses must provide parking on-site, except that off-street parking may be se with a special use permit.	provide
	C.	If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.	or (5) c
		[] Parking reduction requested; see attached supplemental form	Applic
15.	Pleas	se provide information regarding loading and unloading facilities for the use:	
	A.	How many loading spaces are available for the use?	
		Planning and Zoning Staff Only	
	Re	Required number of loading spaces for use per Zoning Ordinance Section 8-200	
	Do	Does the application meet the requirement?	
		[]Yes []No	
	b ===		

	В.	Where are off-street loading facilities located?
	C.	During what hours of the day do you expect loading/unloading operations to occur?
	D.	How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate? NOT APPUCABUE
16.		et access to the subject property adequate or are any street improvements, such as a new turning lane, sary to minimize impacts on traffic flow? **MONTH A NEW CURB CUT- ON THOMAS STREET*
SITI	Е СНА	RACTERISTICS
17.	Will the	e proposed uses be located in an existing building? [] Yes 🦞 No
	Do you	u propose to construct an addition to the building? [] Yes 🙀 No (NEW CON THE DOU
	How la	arge will the addition be?PA square feet.
18.	What	will the total area occupied by the proposed use be? 9107 × -35 = 3187 \$ Homes
		sq. ft. (existing) +sq. ft. (addition if any) =sq. ft. (total)
19.	[]ast []aw []ast []an	roposed use is located in: (check one) tand alone building ouse located in a residential zone rarehouse hopping center. Please provide name of the center: office building. Please provide name of the building:

SUP#

End of Application





413 W Windsor Ave

#413 W. WINDSOR AVE. (RCF #18-252)		
Setback Data			
Seidack Data			
WEST WINDSOR AVE.			
503 W. WINDSOR AVE.	25.9		
411 W. WINDSOR AVE.	30.4	USE BE	TWEEN 25.9' AND 30
SMALL ST.		002.00	
503 W. WINDSOR AVE.	87.8		
410 THOMAS ST.	20.3	USE BE	TWEEN 20.3' AND 87
THOMAS ST.			
410 THOMAS ST.	20.0		
411 W. WINDSOR AVE.	71.4		
405 THOMAS ST.	30.6		
407 THOMAS ST.	30.8	USE BE	TWEEN 20.0' AND 71
Threshold Data			
A	В	С	D
			(C-B)
		1st Floor	Distance
	Ground	Threshold	Ground to
Address #	Elevation	Elevation	1st Floor
503 W. WINDSOR AVE.	146.9	149.0	2.1
411 W. WINDSOR AVE.	134.5	137.5	3.0
405 THOMAS ST.	146.3	148.0	1.7
407 THOMAS ST.	146.8	148.0	1.2
410 THOMAS ST.	142.5	145.0	2.5
		USE BETWEEN 2	.5 (MINIMUM) AND 3.

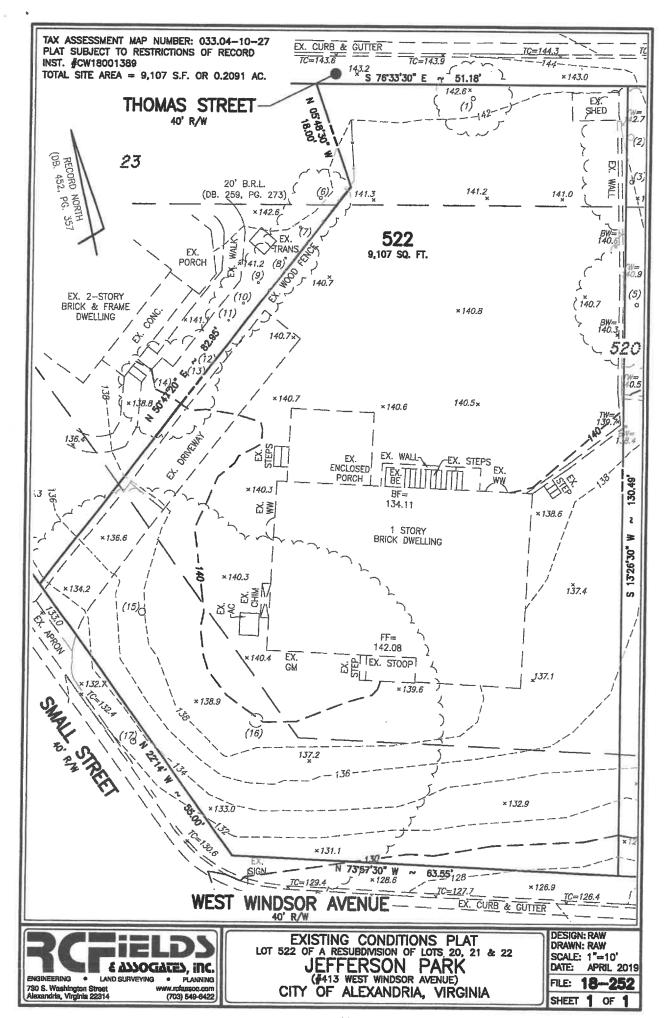


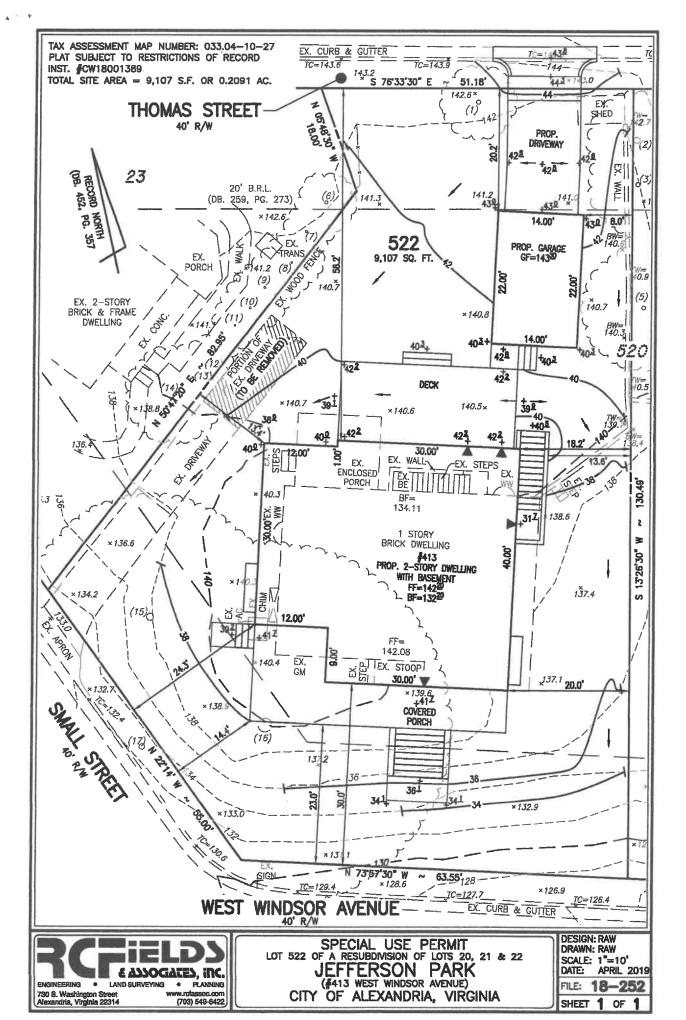
Department of Planning and Zoning Floor Area Ratio and Open Space Calculations for Single and Two-Family Residential Outside Historic Districts

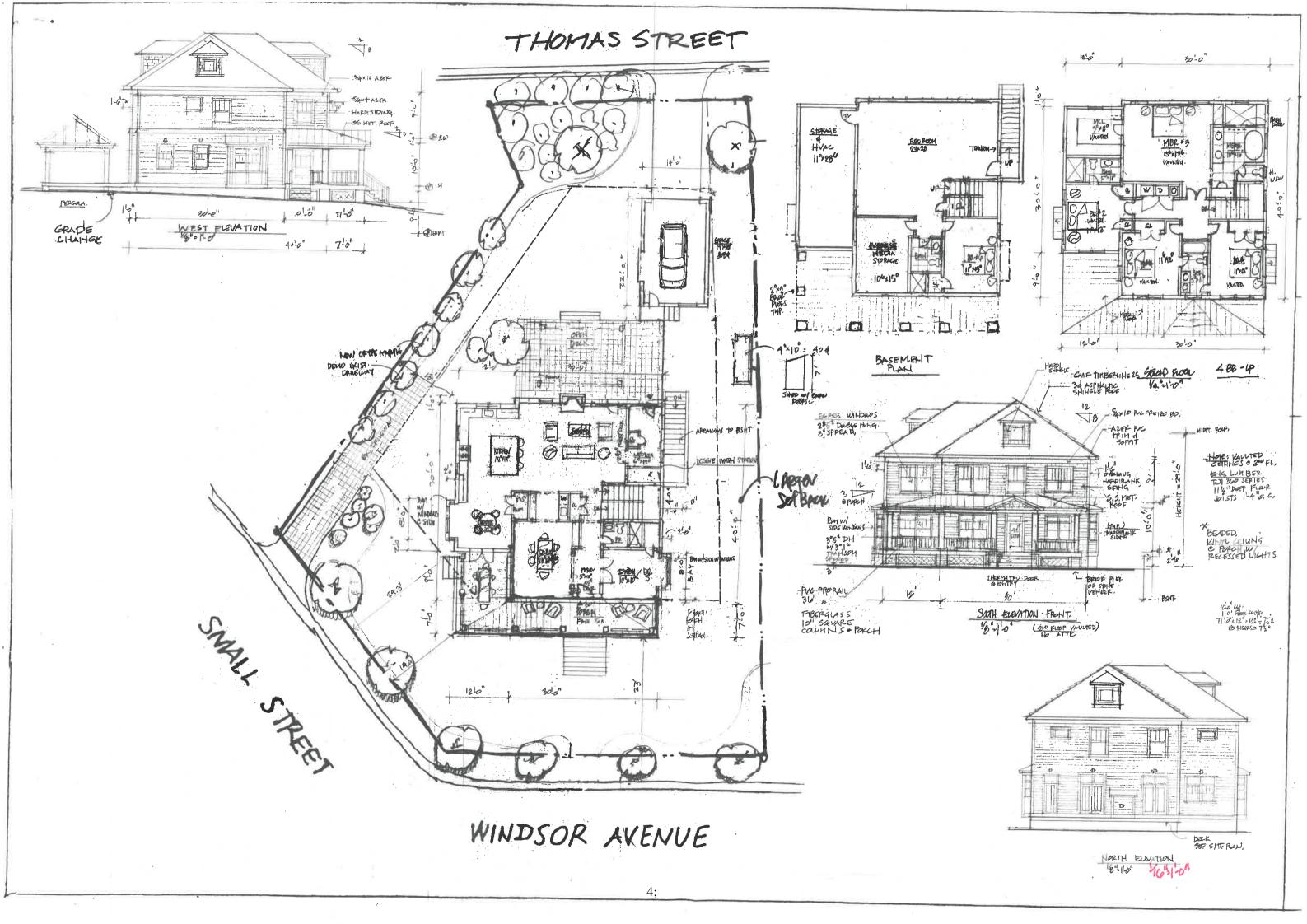


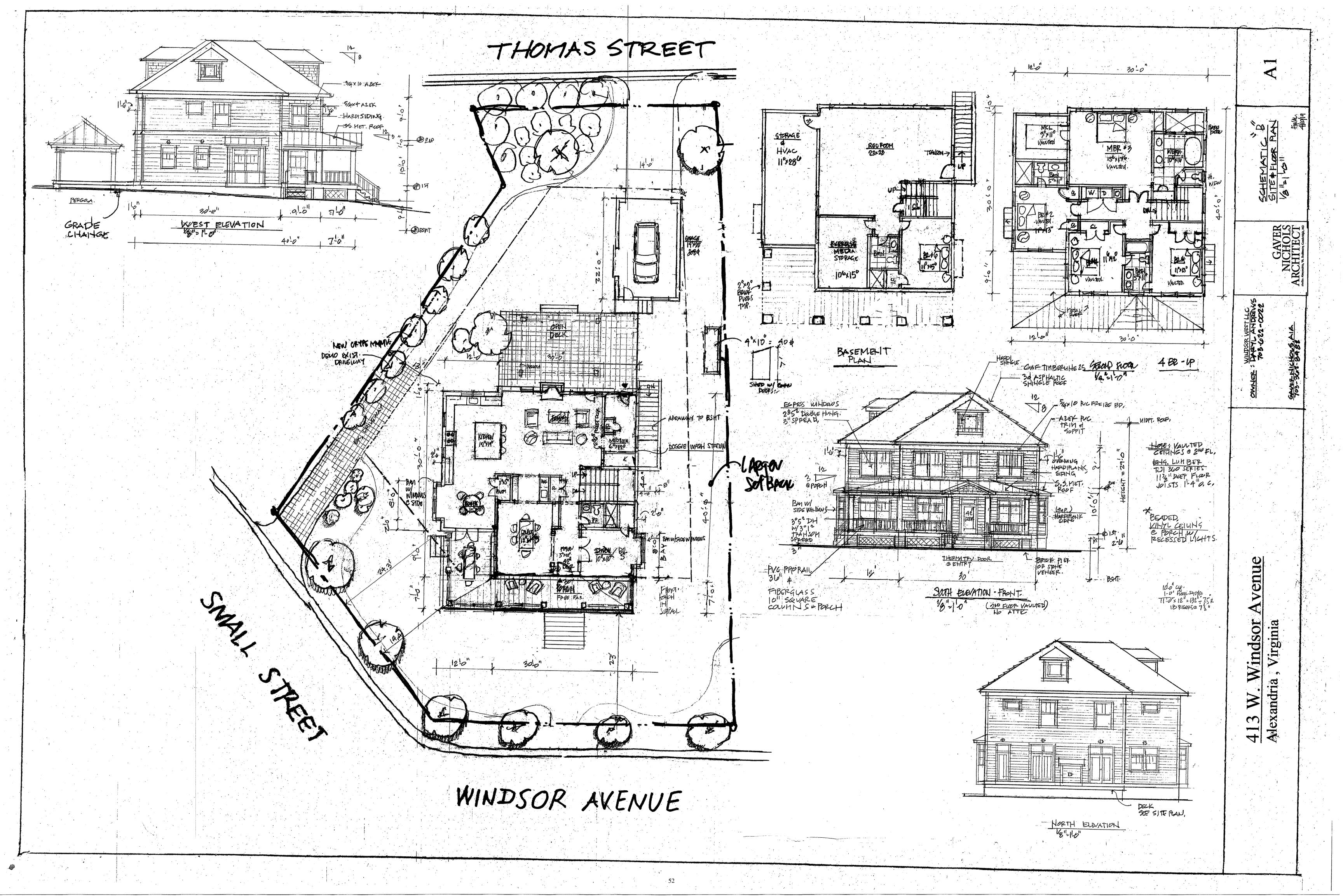
010	•	JDSOF AVE.		7-	N 0	
A2. 910	7	x =35		Zo	3187, sa. Ft.	
Total Lot Area		Floor Area Ratio A	dlowed by Zone	= Ma	ximum Allowable Floor Area	
B. Existing Gros						
Existing Gross A	rea	Allowable Exclu	sions**			
Basement	***	Basement**		B1.		Sq. F
First Floor	1.2	Stairways**			Existing Gross Floor Area*	
Second Floor	*	Mechanical**	:	B2.		Sq. F
Third Floor		Attic less than 7"			Allowable Floor Exclusions**	<u> </u>
Attic		Porches**		B3.	Existing Floor Area Minus Ex	Sq. F
Porches		Balcony/Deck**			(subtract B2 from B1)	iusions
Balcony/Deck		Garage**		Co	mments for Existing Gross Fl	oor Area
Garage		Other***			on on the second of the second	.৮. একনী
Other***		Other***				
B1. Total Gross	And the second s	B2. Total Exclusions				Lec:
- Basement First Floor	1560	Basement** Stairways**	137	C1.	Proposed Gross Floor Area*	Sq. F
Second Floor	1560	Mechanical**	6	C2.	2245	٦
Third Floor	0	Attic less than 7***	0		Allowable Floor Exclusions**	Sq. Fi
Attic	0	Porches**	240	C3.	3177	Sq. Ft
Porches	400	Balcony/Deck**	0		Proposed Floor Area Minus Ex (subtract C2 from C1)	clusions
Balcony/Deck	0	Garage**	300			
Garage	308	Other***				
Other***		Other***			Notes	
C1. Total Gross			*Gross floor erea for residential single two-family dwellings in the R-20, R-12, R-5, R-2-5, RB and RA zones (not inched)			R-12, R-8,
D. Total Floor Area		E. Open Space	(RA & RB Zones)		properties located within a Historic the sum of <u>all areas under root</u>	District) is of a lot.
1. 3177	Sq. Ft.				measured from exterior walls.	
Total Floor Area (add	d B3 and C3)	E1. Existing Open	A Sq. Ft		** Refer to the Zoning Ordinance (S 2-145(A)) and consult with Zoning information regarding allowable exc Sections may also be required	Staff for
	1 187 21 11 250		-	2 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	Security also be required	for come
12 3187		E2. N	A Sq. Ft.		exclusions.	IOI SUITE
		E2. V Required Open	Sq. Ft.		exclusions. ****Refer to the Zoning Ordinance (-2-145(A)) and consult with Zoning	Section

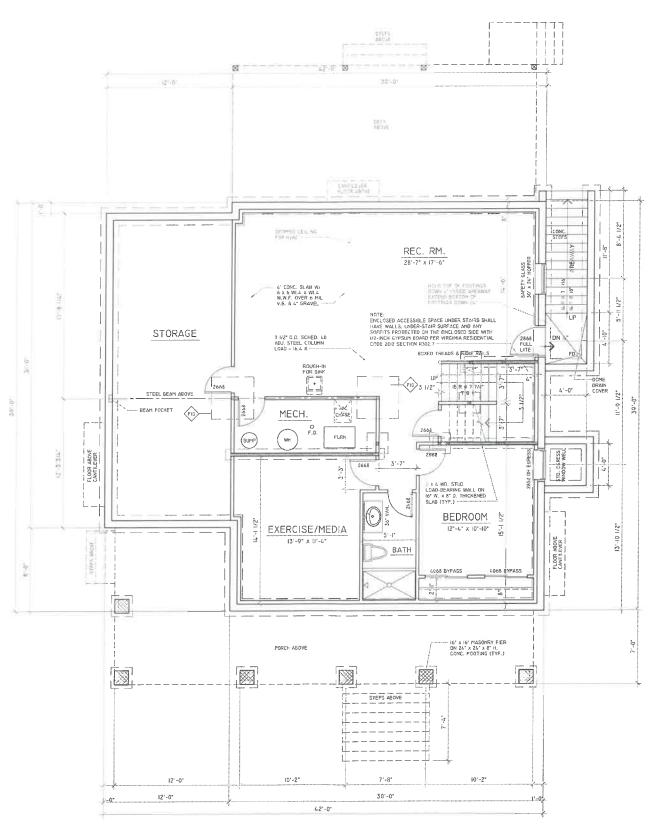
The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.











FOUNDATION/BASEMENT PLAN

SCALE: 1/4" = 1'-0"

\Diamond	STANDARD FOO	TING	SIZ
	A20090 (0)	160	
	1500 PSF		
FI	16"x5" CONT.		
F2	20"x8" CONT.		
F3	24"xIC" CONT.		
F4	32"x12" CONT.		
F5	i6"x 6"xB"		
F6	24.x54.xIS.		
F7	30"x30"x12" W/ (4) #4 E.W.		
F3	36"x36"x12" W/ (5) #4 E.W.		
F9	42"x42"x12" W/ (5) #4 E.W.		
FIO	48"x48"x12" W/ (6) #4 E.W.		
FII	54"x54"x12" W/ (7) #4 E.W.		
FI2	60"x60"x12" W/ (9) #4 E.W.		
FI3	66"x66"xI2" W/ (IQ) #4 E.W.		
F14	72"x72"x12" W/ #4 E.W.		

NOTE:
BATHIUB & SHOWER FLOORS & WALLS
ABOVE BATHTUBS WITH INSTALL D
SHOWER HEADS & IN SHOWER
COMPARTHENTS SHALL BE FINISHED
WITH A NONDESORBENT SURFACE TO
A HEIGHT OF NOT LESS THAN 6'
ABOVE THE FLOOR - R307.2

FOUNDATION/BASEMENT NOTES:

1. ALL EXTERIOR WALLS TO BE 87 THICK POURED CONCRETE (U.M.O.). IF BRICK PATTERN FORMS ARE USED THE BRICK PATTERN TO BE 0X THE INSIDE FACE SO THAT THE EXTERIOR FACE IS SMOOTH.

2. ALL INTERIOR PARTITIONS ON COLUMN CENTERILIES (U.M.O.).

4. SEE FRANING FLANS FOR STRUCTURAL INFORMATION NOT SHOWN HERE.

5. SEE ELEVATIONS FOR WINDOW HEAD HEIGHTS.

6. ALL CONTINUOUS WALL FOOTINGS TO BE "FI UNLESS NOTED OTHERWISE.

7. WINDOWS BOOR SIZES SHOWN IN FEET AND INCHES (U.E. 30.6) 8 3 -C W. X 6'-8' H.).

8. ROUGH OFENINGS FOR WINDOWS A DOOR JAMBS MINIMUM 4 U2" FROM CORNERS (WHEREVER FOSSIBLE).

DATE: 05-23-19 SCALE:

REVISIONS:

NEXT GENERATION
PROPERTIES
AND RING STREET ASD
ANDER AND STREET ASD
AND STREET ASD

ARCHITECT GARY M. ZICKAFOOSE 977 MANUSSWILLE ROAD STANLEY, VIRGINIA 12981

THE JOSIAH HOUSE

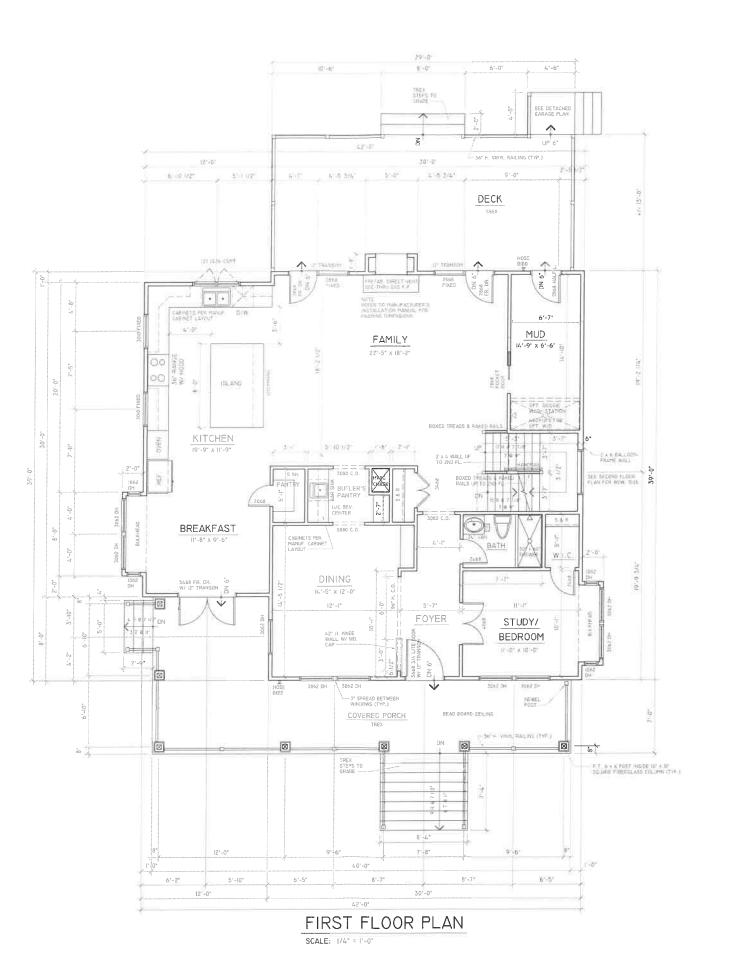
413 W.

PLAN

FOUNDATION/BASEMENT

DRAWN: GMZ

SHEET No. Δ-Ι



- FIRST 8. SECOND FLOOR PLAN NOTES:

 1. ALL INTERIOR PARTITIONS TO BE 2 x 4 WOOD STUDS @ 16" O.C. (U.N.O.).

 2. ALL EXTERIOR PARTITIONS TO BE 2 x 4 WOOD STUDS @ 16" O.C. (U.N.O.).

 3. SEE PRAMING PLANS FOR STRUCTURAL INFORMATION NOT SHOWN HERE.

 4. SEE ELEVATIONS FOR WINDOW HEAD PEIGHTS.

 5. WINDOW & DOOR SIZES SHOWN IN FEET AND INCHES (I.E. 3-0/6-8 = 3"-0" W. x 6"-3" H.).

 6. ROUGH OPENINGS FOR WINDOW & DOOR JAMES MINIMUM 4 1/2" FROM CORNERS (WHEREVER POSSIBLE).

ATE: 05-23-19

REVISIONS:

AWN: GMZ

FIRST FLOOR PLAN

NEXT GENERATION
PROPERTIES
ON RING STREET #29
ALTXANDER VURGENA 2211

ARCHITECT
GARY M. ZICKAFOOSE
977 MARKGYILLE ROAD
STANDEN, REGEREA AND ENTRY OF AND ENTRY OF A DECEMBER OF A DECEMB

THE JOSIAH HOUSE 413 W. WINDSOR AVENUE

Δ-2

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

FIRST 8 SECOND FLOOR PLAN NOTES:

1. ALL INTERIOR FARTITIONS TO BE 2 x 4 WOOD STUDS @ 16° 0.C. (U.N.O.).

2. ALL EXTERIOR FARTITIONS TO BE 2 x 4 WOOD STUDS @ 16° 0.C. (U.N.O.).

3. SEE FRAMING PLANS FOR STRUCTING. INTORNATION NOT SHOWN HERE.

4. SEE FLEVATIONS FOR WINDOW HEAD HEEGITS.

5. WINDOW 9 DOOR SIZES SHOWN IN FEET AND INCHES (I.E. 3-07-6-8 = 3'-0' W, x 6'-8' +-).

6. NOUGH OPENINGS FOR WINDOW 30 DOOR JAHSS MINIMING "FORM CORNERS WHEREVER FOSSIBLE).

7. TP = TOILET PAPER HILDER: TB = TOWEL BAR; TR + TOWEL RINS; TH = TOWEL HOCK.

NEXT GENERATION
PROPERTIES
AIR TREATHES
AIR

ARCHITECT
GARY M. ZICKAFOOSE
OTDINKSWILLEROAD
STANDARY WIGHAL 2261
CONTROL 2261

THE JOSIAH HOUSE 413 W. WINDSOR AVENUE

SECOND FLOOR PLAN

REVISIONS:

DATE: 05-23-19

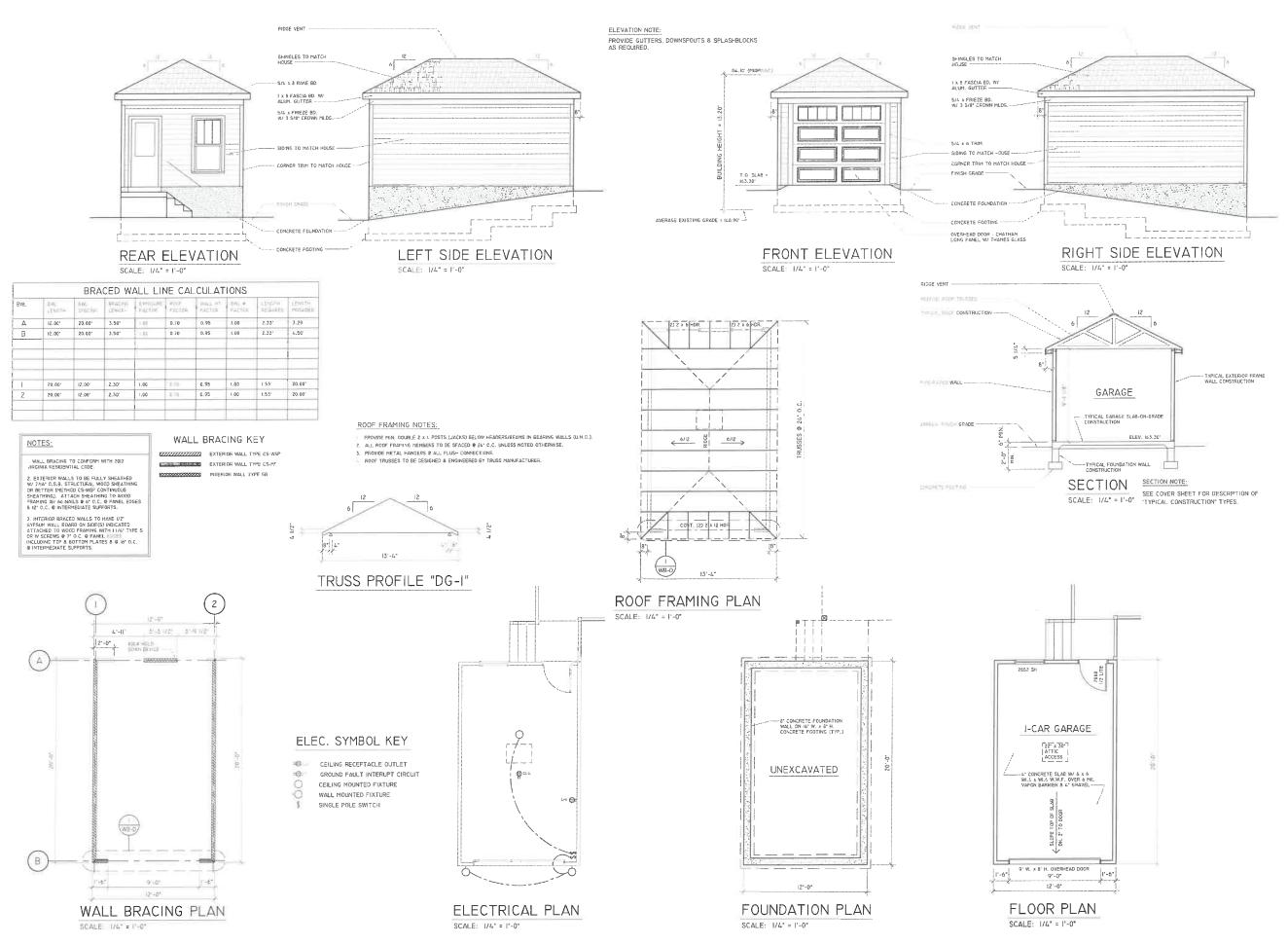
DRAWN: GMZ

SHEET No. Δ-3









ARCHITECT GARY M. ZICKAFOOSE 973ANGSWILE 10" STANIRE 11"

JOSIAH HOUSE WINDSOR AVENUE

뷔 3

K)

7

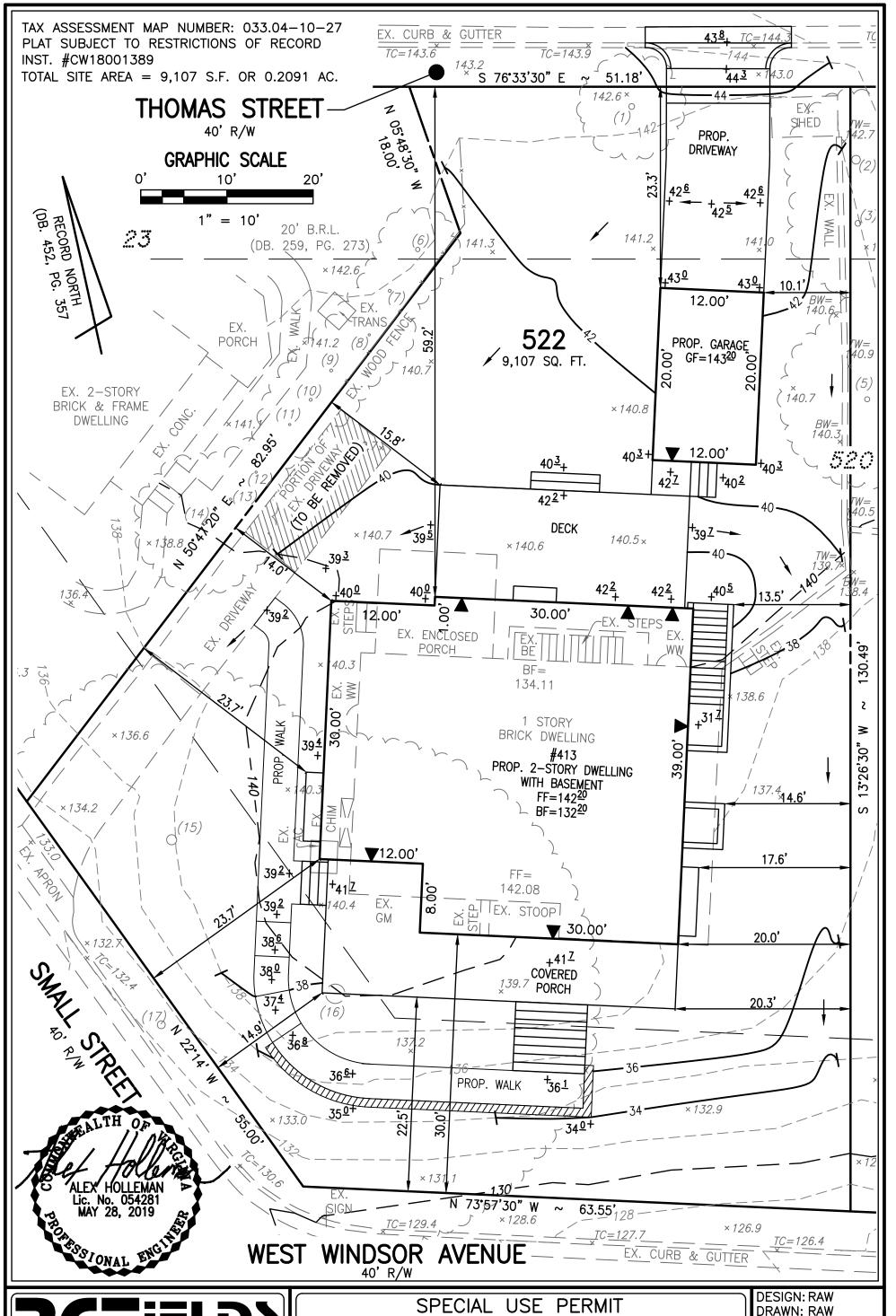
4, FLOOR PLAN, ELECTRICAL S, SECTION, ROOF FRAMING FILE, WALL BRACING PLAN

DETACHED GARAGE FOUNDATION PLAN, F PLAN, ELEVATIONS, S PLAN, TRUSS PROFILE

DATE: 05-23-19

RAWN: GMZ

DG-I



ENGINEERING • LAND SURVEYING • PLANNING
730 S. Washington Street
Alexandria, Virginia 22314

(703) 549-6422

LOT 522 OF A RESUBDIVISION OF LOTS 20, 21 & 22

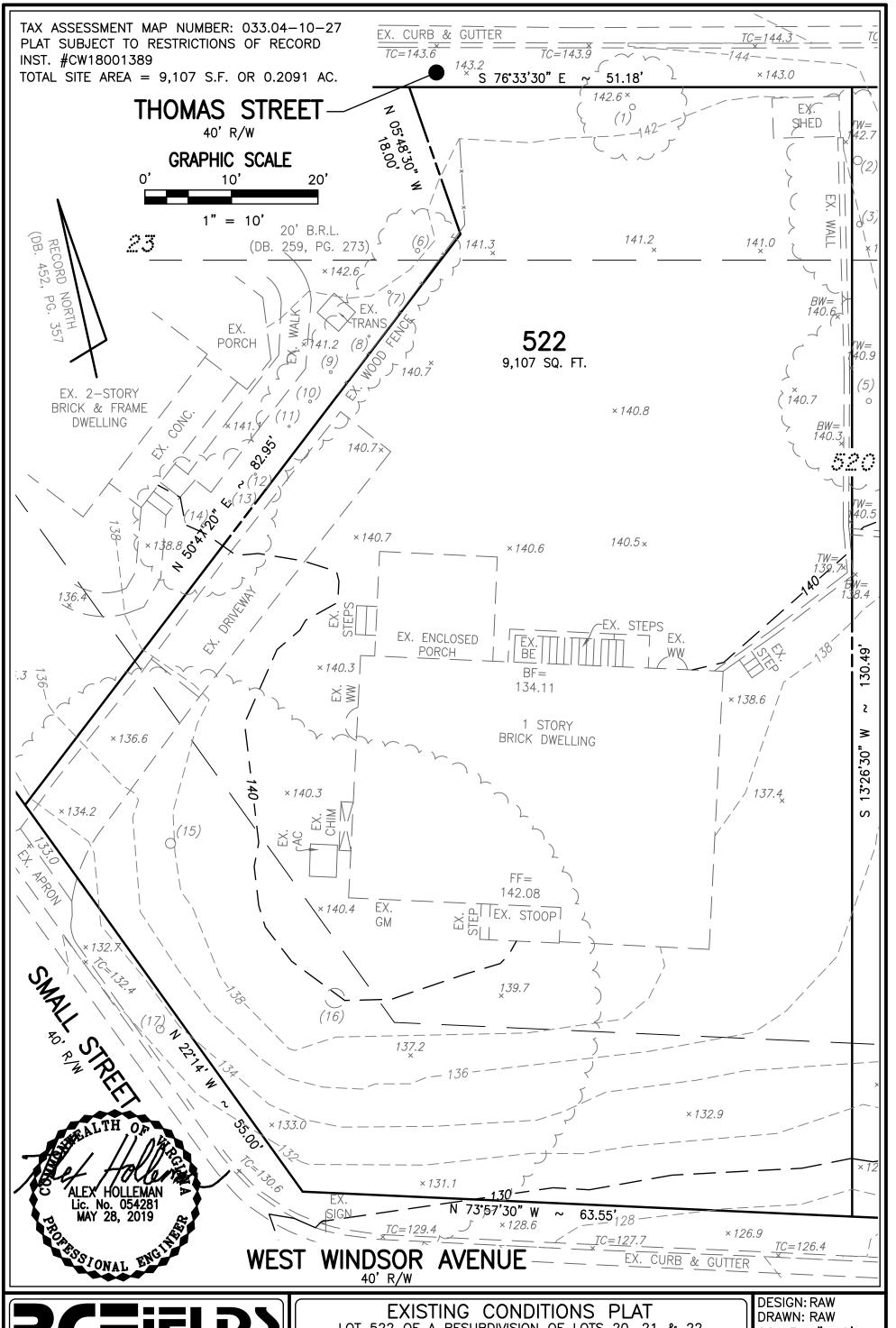
JEFFERSON PARK (#413 WEST WINDSOR AVENUE)

CITY OF ALEXANDRIA, VIRGINIA

DESIGN: RAW
DRAWN: RAW
SCALE: 1"=10'
DATE: MAY 2019
FILE: **18-252**

SHEET

OF



LAND SURVEYING PLANNING 730 S. Washington Street www.rcfassoc.com Alexandria, Virginia 22314 (703) 549-6422

LOT 522 OF A RESUBDIVISION OF LOTS 20, 21 & 22

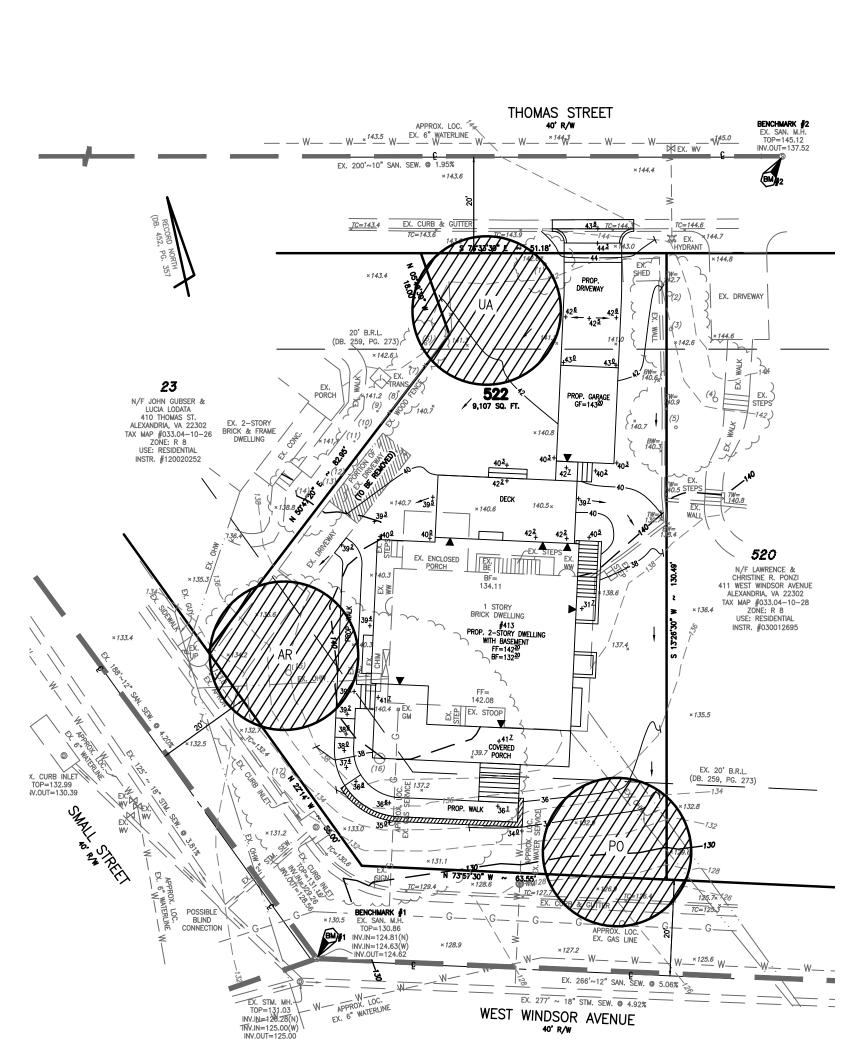
JEFFERSON PARK

(#413 WEST WINDSOR AVENUE) CITY OF ALEXANDRIA, VIRGINIA

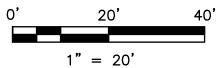
SCALE: 1"=10' DATE: MAY 2019 18-252 FILE:

SHEET

OF









PLAN KE	Y QUANTITY	GENUS	SPECIES	VAR./CULTIV/	COMMON NAME	CALIPER/HEIGHT		CCA PER TREE (SF)	TOTAL CROWN COVER (SF)
AR	1	Acer	Rubrum	Re	ed Maple	2"-3" cal./12-14 ft. ht.	B&B symmetrical, single leader	1,250	1,250
PO	1	Plantanus	Occidentalis	Sy	rcamore	2"-3" cal./12-14 ft. ht.	B&B symmetrical, single leader	1,250	1,250
UA	1	Quercus	Alba	W	hite Oak	2"-3" cal./12-14 ft. ht.	B&B symmetrical, single leader	1,250	1,250
TOTAL	3							STANDARD TREE CCA:	3,750

ENGINEERING • LAND SURVEYING • PLANNING
700 S. Washington Street, Suite 220 www.rcfassoc.com

Alexandria, Virginia 22314

(703) 549-6422

LANDSCAPE PLAN

LOT 522 OF A RESUBDIVISION OF LOTS 20, 21 & 22

JEFFERSON PARK (#413 WEST WINDSOR AVENUE)

CITY OF ALEXANDRIA, VIRGINIA

DESIGN: RAW DRAWN: RAW SCALE: 1"=20' DATE: MAY 2019

FILE: **18-252**SHEET **1** OF **2**

9

A) STANDARD LANDSCAPE PLAN NOTES FOR ALL PLANS REQUIRING APPROVAL:

THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL PROJECTS THAT REQUIRE APPROVAL BY THE CITY AS OUTLINED IN CHAPTER 3 OF THE CITY'S 2019 LANDSCAPE GUIDELINES: 1)THE PROPERTY OWNER AND/OR APPLICANT, SPECIFIER, CONTRACTOR AND INSTALLER OF PLANT MATERIAL ARE RESPONSIBLE FOR UNDERSTANDING AND ADHERING TO THE STANDARDS SET FORTH IN THE MOST RECENT VERSION OF THE CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND APPLICABLE CONDITIONS OF APPROVAL. ALL QUESTIONS REGARDING APPLICATION OF, OR ADHERENCE TO, THE STANDARDS AND/OR CONDITIONS OF APPROVAL SHALL BE DIRECTED TO THE CITY PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBING ACTIVITY.

2)THE CITY-APPROVED LANDSCAPE PLAN SUBMISSION, INCLUDING PLANT SCHEDULE, NOTES AND DETAILS SHALL BE THE DOCUMENT USED FOR INSTALLATION PURPOSES AND ALL PROCEDURES SET FORTH IN THE LANDSCAPE GUIDELINES MUST BE FOLLOWED.

3)THE CONTRACTOR SHALL NOT INTERFERE WITH ANY TREE PROTECTION MEASURES OR IMPACT ANY EXISTING VEGETATION IDENTIFIED TO BE PRESERVED PER THE APPROVED TREE AND VEGETATION PROTECTION PLAN.

4) ANY CHANGES, ALTERATIONS OR MODIFICATIONS TO THE SITE CONDITIONS THAT AFFECT VECETATION PROTECTION ZONES WILL REQUIRE AN AMENDMENT TO THE APPROVED TREE AND VECETATION PROTECTION PLAN

5)INSTALLATION OF PLANT MATERIAL MAY ONLY OCCUR DURING THE PLANTING SEASONS IDENTIFIED IN THE LANDSCAPE GUIDELINES.

6)IN LIFU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA; GAITHERSBURG, MARYLAND.

7)SUBSTITUTIONS TO THE APPROVED PLANT MATERIAL SHALL NOT OCCUR UNTIL WRITTEN APPROVAL IS PROVIDED BY THE CITY,

5)MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED BY THE OWNER, APPLICANT, SUCCESSOR(S) AND/OR ASSIGN(S) IN PERPETUITY AND IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND AS CONDITIONED BY PROJECT APPROVAL, AS APPLICABLE.

B) STANDARD LANDSCAPE PLAN NOTES FOR DEVELOPMENT SITE PLANS:

IN ADDITION TO THE NOTES PROVIDED ABOVE, THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL DSP/DSUP PROJECTS:

1)THE APPROVED METHOD(S) OF PROTECTION MUST BE IN PLACE FOR ALL VEGETATION TO BE PRESERVED ON-SITE AND ADJACENT TO THE PROJECT SITE PURSUANT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND DETAILS PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBANCE. THE APPLICANT SHALL NOTIFY THE PLANNING & ZONING (P&Z) PROJECT MANAGER ONCE THE TREE PROTECTION METHODS ARE IN PLACE. NO DEMOLITION, CONSTRUCTION, OR LAND DISTURBANCE MAY OCCUR UNTIL AN INSPECTION IS PERFORMED BY THE CITY AND WRITTEN CONFIRMATION IS PROVIDED BY THE CITY WHICH VERIFIES CORRECT INSTALLATION OF THE TREE PROTECTION MEASURES

2)THE APPLICANT MUST CONTACT THE P&Z PROJECT MANAGER PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATION TO SCHEDULE A PRE-INSTALLATION MEETING. THE MEETING SHOULD BE HELD BETWEEN THE APPLICANT'S GENERAL CONTRACTOR, LANDSCAPE CONTRACTOR, LANDSCAPE ARCHITECT, THE P&Z PROJECT MANAGER AND THE CITY ARBORIST (AS APPLICABLE) TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES DURING AND AFTER INSTALLATION.

3)THE FOLLOWING INFORMATION SHALL BE PROVIDED TO THE P&Z PROJECT MANAGER AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE LANDSCAPE PRE-INSTALLATION MEETING: 1) A LETTER THAT CERTIFIES THAT THE PROJECT LANDSCAPE ARCHITECT PERFORMED PRE-SELECTION TAGGING FOR ALL TREES PROPOSED WITHIN THE PUBLIC RIGHT OF WAY AND ON PUBLIC LAND PRIOR TO INSTALLATION, THIS LETTER MUST BE SIGNED AND SEALED BY THE PROJECT LANDSCAPE ARCHITECT, AND 2) A COPY OF THE SOIL BULK DENSITY TEST REPORT VERIFYING THAT MAXIMUM COMPRESSION RATES ARE MET.

9)AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION/WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE QUIDELINES. THE CITY CODE OF ORDINANCES. AND ALL APPLICABLE PLAN PREPARATION CHECKLISTS. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.

STANDARD LANDSCAPE PLAN NOTES

OF UPDATES: DO LAST UPDATED:

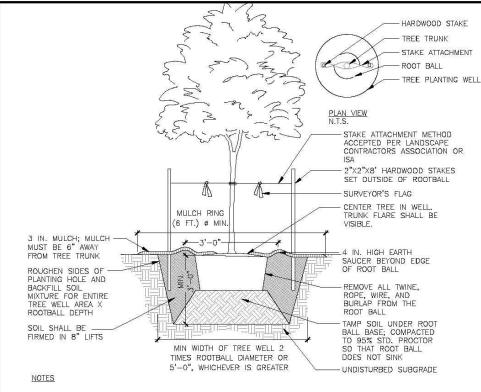
CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS CITY OF ALEXANDRIA, VIRGINIA



THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENTED FOR CONSTRUCTION PURPOSES, ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.

Source: CITY OF ALEXANDRIA	STANDARD LANDSCAPE PLAN NOTES		
Approved by: COA			
I OF I	Date drawn: 01/01/19	LD 016	

CROWN COVER TAE	BULATIONS	
TOTAL SITE AREA (SF)	9,107	
40% CROWN COVER REQUIRED (SF)	3,643	
EXISTING CROWN COVER (SF)	2993	
REMOVED CROWN COVER (SF)	2993	
PRESERVED CROWN COVER (SF)		
Crown Cover from Preserved Trees	0	
Crown Cover from Preserved Shrubs	0	
PROPOSED CROWN COVER (SF)		
Crown Cover from Proposed Trees	3,750	
Crown Cover from Proposed Shrubs		
TOTAL CROWN COVER PROVIDED (%)	41.2%	
TOTAL CROWN COVER PROVIDED (SF)	3,750	



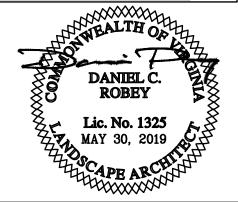
- 1. AT PLANTING PRUNE ONLY CROSSING LIMBS, BROKEN OR DEAD BRANCHES, AND ANY BRANCHES THAT POSE A HAZARD TO PEDESTRIANS PER ANSI STANDARDS A300. DO NOT PRUNE INTO OLD WOOD ON EVERGREENS.
- 2. CONTRACTOR SHALL MAXIMIZE EXCAVATED AREA FOR TREE WELL WITHOUT ADVERSELY IMPACTING ADJACENT
- 4. UNLESS OTHERWISE DIRECTED BY PROJECT SPECIFICATIONS OR CITY STAFF, SOIL MIXTURE SHALL BE CLEANED OF DEBRIS, AND MEET SOIL COMPOSITION REQUIREMENTS OF CITY OF ALEXANDRIA LANDSCAPE GUIDELINES.
- 5. TREES PLANTED WITHOUT THE TRUNK FLARE VISIBLE WILL BE REJECTED
- 6. ALL PLANTS MUST BE WATERED AT INSTALLATION AND AGAIN WITHIN 48-HOURS OF INSTALLATION, ESTABLISHMENT WATERING SHALL BE PER THE SPECIFICATIONS ON ALL DETAILS.
- 7. STAKES WILL BE INSTALLED USING ARBORICULTURE PRACTICES, TREES SHALL STAND PLUM AFTER STAKING.
- 8. INSTALLATION WILL INCLUDE THE REMOVAL OF ALL STAKING MATERIAL ONE YEAR AFTER INSTALLATION, ANY HOLES LEFT BY REMOVING STAKING SHALL BE FILLED WITH APPROVED TOPSOIL / BACKFILL MIXTURE.
- 9. CONTRACTOR SHALL USE GALVANIZED EYESCREW & TURNBUCKLE INSTEAD OF ARBOR TIE ONLY FOR TREES OF SIGNIFICANT SIZE AS DIRECTED BY CITY STAFF.

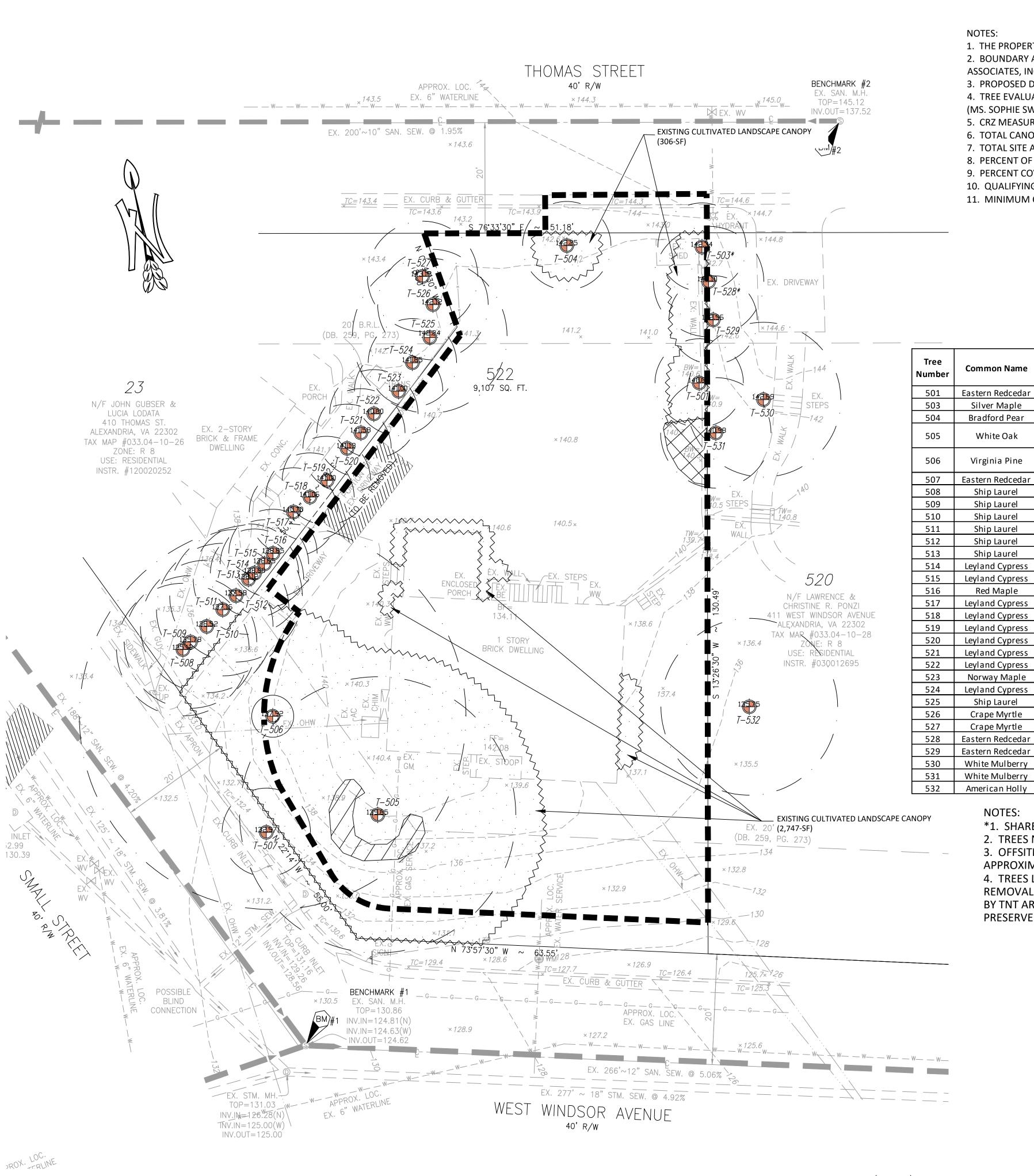




HE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE NLY AND IS NOT INTENTED FOR ONSTRUCTION PURPOSES, ITS USE SHAL OT RELIEVE THE DESIGN PROFESSIONAL CONTRACTOR OF ANY LEGAL ESPONSIBILITY.

DECIDUOUS TREE PLANTING COA I OF I LD 001 01/01/19





- 1. THE PROPERTY DELINEATED HEREON IS LOCATED AT 101 EAST WINDSOR STREET.
- 2. BOUNDARY AND TOPOGRAPHIC INFORMATION FROM FIELD SURVEY BY R.C. FIELDS & ASSOCIATES, INC., 2019.
- 3. PROPOSED DEVELOPMENT PLAN BY R.C. FIELDS & ASSOCIATES, INC., 2019.
- 4. TREE EVALUATIONS AND COMPUTATIONS BY TNT ENVIRONMENTAL, INC., APRIL 201 (MS. SOPHIE SWARTZENDRUBER, CERTIFICATION #: MA-6053A).
- 5. CRZ MEASUREMENTS IN RADIUS PER THE CITY OF ALEXANDRIA DETAIL.
- 6. TOTAL CANOPY COVER: 3,054 SQUARE FEET (SF).
- 7. TOTAL SITE AREA: 9,107 SF.
- 8. PERCENT OF SITE COVERED: 33.5%
- 9. PERCENT COVER REQUIRED BY ZONING: 25%
- 10. QUALIFYING CANOPY TO BE PRESERVED: 0 SF x 1.0 CANOPY MULTIPLIER = 0 SF (0%)
- 11. MINIMUM CANOPY AREA TO BE PLANTED TO MEET REQUIREMENT: 2,277 SF (25%)

	LEGEI	ND
	7-1-1-1	TREELINE
&		EXISTING CULTIVATED LANDSCAPE (3,054-SF)
19.		EXISTING TATARIAN HONEYSUCKLE STAND (REFER TO INVASIVE MANAGEMENT)
		EXISTING CHINESE PRIVET STAND (REFER TO INVASIVE MANAGEMENT)

CRITICAL ROOT ZONE (CRZ)

TREE LOCATION

Tree Number	Common Name	Scientific Name	Size (inches DBH)	Critical Root Zone (feet)	Condition Rating %	Likelihood of Survival of Construction	Remove?	Offsite or Shared	Notes & Recommendations
501	Eastern Redcedar	Juniperus virginiana	8.0	8.0	63%	Very Low	TBR		Some dieback
503	Silver Maple	Acer saccharinum	4.0	8.0	72%	Very Low	TBR*	Shared	
504	Bradford Pear	Pyrus calleryana	3.0	8.0	59%	Very Low	TBR		Invasive, surrounded by Tatarian honeysuckle at base
505	White Oak	Quercus alba	25.0	25.0	72%	Very Low	TBR		A few dead limbs, poison ivy, ornamental bittersweet, English ivy, & Japanese honeysuckle surrounding base
506	Virginia Pine	Pinus virginiana	35.0	35.0	53%	Very Low	TBR		Multi-trunk, many dead limbs, broken limbs, dieback, weak crotch, powerlines through canopy
507	Eastern Redcedar	Juniperus virginiana	8.0	8.0	69%	High	SAVE	In R.O.W.	Previous improper pruning for powerlines, some dieback
508	Ship Laurel	Prunus laurocersasus	12.0	12.0	78%	High	SAVE	Offsite	
509	Ship Laurel	Prunus laurocersasus	12.0	12.0	75%	High	SAVE	Offsite	
510	Ship Laurel	Prunus laurocersasus	12.0	12.0	75%	High	SAVE	Offsite	
511	Ship Laurel	Prunus laurocersasus	12.0	12.0	75%	High	SAVE	Offsite	
512	Ship Laurel	Prunus laurocersasus	12.0	12.0	75%	High	SAVE	Offsite	
513	Ship Laurel	Prunus laurocersasus	10.0	10.0	75%	Medium	SAVE	Offsite	
514	Leyland Cypress	Hesperotropsis leylandii	2.0	8.0	75%	Medium	SAVE	Offsite	
515	Leyland Cypress	Hesperotropsis leylandii	2.0	8.0	69%	Medium	SAVE	Offsite	Some minor dieback
516	Red Maple	Acer rubrum	5.0	8.0	75%	Medium	SAVE	Offsite	Shallow rooting
517	Leyland Cypress	Hesperotropsis leylandii	4.0	8.0	78%	Medium	SAVE	Offsite	Double-trunk
518	Leyland Cypress	Hesperotropsis leylandii	4.0	8.0	78%	Medium	SAVE	Offsite	Double-trunk
519	Leyland Cypress	Hesperotropsis leylandii	4.0	8.0	78%	Medium	SAVE	Offsite	Double-trunk
520	Leyland Cypress	Hesperotropsis leylandii	4.0	8.0	78%	Medium	SAVE	Offsite	Double-trunk
521	Leyland Cypress	Hesperotropsis leylandii	4.0	8.0	78%	Medium	SAVE	Offsite	Double-trunk
522	Leyland Cypress	Hesperotropsis leylandii	4.0	8.0	78%	Medium	SAVE	Offsite	Double-trunk
523	Norway Maple	Acer platanoides	3.0	8.0	78%	Medium	SAVE	Offsite	
524	Leyland Cypress	Hesperotropsis leylandii	4.0	8.0	78%	Medium	SAVE	Offsite	
525	Ship Laurel	Prunus laurocersasus	14.0	14.0	81%	Medium	SAVE	Offsite	
526	Crape Myrtle	Lagerstroemia indica	10.0	10.0	81%	High	SAVE	Offsite	
527	Crape Myrtle	Lagerstroemia indica	10.0	10.0	81%	High	SAVE	Offsite	
528	Eastern Redcedar	Juniperus virginiana	10.0	10.0	63%	Medium	TBR*	Shared	Base covered in English ivy, some dieback
529	Eastern Redcedar	Juniperus virginiana	7.0	8.0	63%	Low	SAVE	Offsite	Base covered in English ivy
530	White Mulberry	Morus alba	14.0	14.0	56%	High	SAVE	Offsite	Double-trunk
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NOTES:

Mor<u>us alba</u>

Ilex opaca

- *1. SHARED/OFFSITE TREES SHALL NOT BE REMOVED WITHOUT WRITTEN PERMISSION FROM AFFECTED ADJACENT PROPERTY OWNERS.
- 2. TREES NOTED FOR REMOVAL WITHIN THE SAVE AREAS SHALL BE DONE SO BY HAND WITHOUT THE USE OF HEAVY MACHINERY.

47%

16.0 78%

10.0

10.0

16.0

3. OFFSITE TREES WERE ASSESSED FROM THE SUBJECT PROPERTY SO NOT TO TRESPASS ONTO ADJACENT PROPERTY. DBH MEASUREMENTS ARE APPROXIMATE.

Medium

SAVE Offsite

SAVE Offsite

- 4. TREES LOCATED WITHIN OR ON THE LIMITS OF DISTURBANCE, OR RATED AS BEING "POOR" IN CONDITION, ARE RECOMMENDED FOR REMOVAL
- BY TNT ARBORISTS DUE TO THE LIKELIHOOD OF TREE FAILURE. HOWEVER, AT THE DISCRETION OF THE APPLICANT, SOME OF THESE MAY BE PRESERVED DURING CONSTRUCTION WITH THE APPROVAL OF THE CITY.



Double-trunk, previous improper pruning, weeping wound

SHEET SCALE: 1" - 10' PROJECT DATE: DRAFT: *LAD/TNW*

TREE & SURVE

EXISTING T VEGETATION

COMMENTS

0F *3*

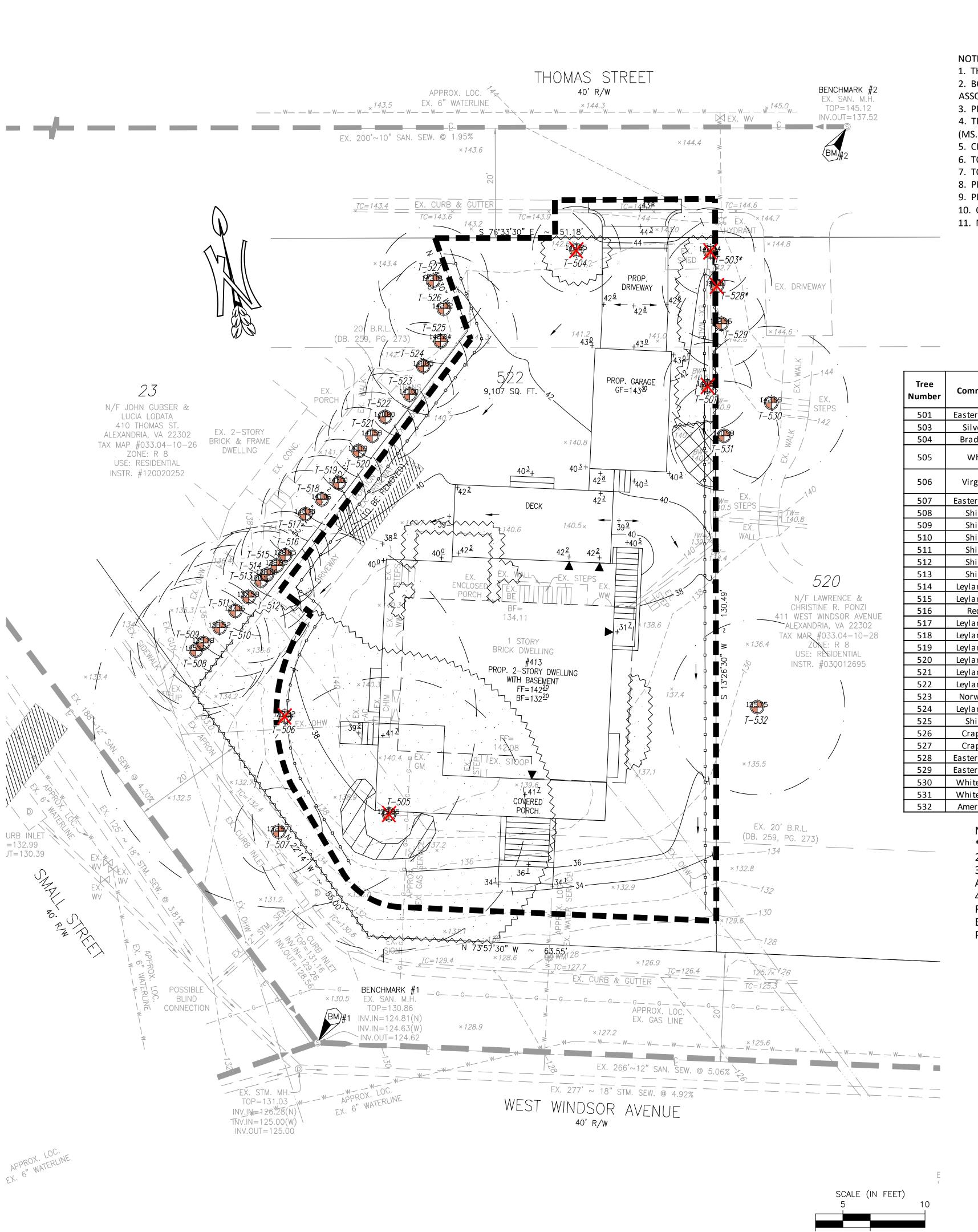
CHECK:

AMS

5/15/19

FILE NUMBER: 1556

REVISIONS



NOTES:

- 1. THE PROPERTY DELINEATED HEREON IS LOCATED AT 101 EAST WINDSOR STREET.
- 2. BOUNDARY AND TOPOGRAPHIC INFORMATION FROM FIELD SURVEY BY R.C. FIELDS & ASSOCIATES, INC., 2019.
- 3. PROPOSED DEVELOPMENT PLAN BY R.C. FIELDS & ASSOCIATES, INC., 2019.
- 4. TREE EVALUATIONS AND COMPUTATIONS BY TNT ENVIRONMENTAL, INC., APRIL 2019. (MS. SOPHIE SWARTZENDRUBER, CERTIFICATION #: MA-6053A).
- 5. CRZ MEASUREMENTS IN RADIUS PER THE CITY OF ALEXANDRIA DETAIL.
- 6. TOTAL CANOPY COVER: 3,054 SQUARE FEET (SF). 7. TOTAL SITE AREA: 9,107 SF.
- 8. PERCENT OF SITE COVERED: 33.5%
- 9. PERCENT COVER REQUIRED BY ZONING: 25%
- 10. QUALIFYING CANOPY TO BE PRESERVED: 0 SF x 1.0 CANOPY MULTIPLIER = 0 SF (0%)
- 11. MINIMUM CANOPY AREA TO BE PLANTED TO MEET REQUIREMENT: 2,277 SF (25%)

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LEGEND

EXISTING CULTIVATED LANDSCAPE (3,054-SF)



EXISTING TATARIAN HONEYSUCKLE STAND (REFER TO INVASIVE MANAGEMENT)

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0F *3*

CHECK:

AMS

SCALE: 1" - 10'

PROJECT DATE:

DRAFT: *LAD/TNW*

5/15/19

FILE NUMBER: 1556

PROPOSED

REVISIONS

SHEET



EXISTING CHINESE PRIVET STAND (REFER TO INVASIVE MANAGEMENT)



TREE PRESERVATION AREA (CULTIVATED LANDSCAPE) (0 SF)



CRITICAL ROOT ZONE (CRZ)

TREE LOCATION





TREE TO BE REMOVED (TBR)



TREE PROTECTION FENCING

Tree Number	Common Name	Scientific Name	Size (inches DBH)	Critical Root Zone (feet)	Condition Rating %	Likelihood of Survival of Construction	Remove?	Offsite or Shared	Notes & Recommendations
501	Eastern Redcedar	Juniperus virginiana	8.0	8.0	63%	Very Low	TBR		Some dieback
503	Silver Maple	Acer saccharinum	4.0	8.0	72%	Very Low	TBR*	Shared	
504	Bradford Pear	Pyrus calleryana	3.0	8.0	59%	Very Low	TBR		Invasive, surrounded by Tatarian honeysuckle at base
505	White Oak	Quercus alba	25.0	25.0	72%	Very Low	TBR		A few dead limbs, poison ivy, ornamental bittersweet, English ivy, & Japanese honeysuckle surrounding base
506	Virginia Pine	Pinus virginiana	35.0	35.0	53%	Very Low	TBR		Multi-trunk, many dead limbs, broken limbs, dieback, weak crotch, powerlines through canopy
507	Eastern Redcedar	Juniperus virginiana	8.0	8.0	69%	High	SAVE	In R.O.W.	Previous improper pruning for powerlines, some dieback
508	Ship Laurel	Prunus laurocersasus	12.0	12.0	78%	High	SAVE	Offsite	
509	Ship Laurel	Prunus laurocersasus	12.0	12.0	75%	High	SAVE	Offsite	
510	Ship Laurel	Prunus laurocersasus	12.0	12.0	75%	High	SAVE	Offsite	
511	Ship Laurel	Prunus laurocersasus	12.0	12.0	75%	High	SAVE	Offsite	
512	Ship Laurel	Prunus laurocersasus	12.0	12.0	75%	High	SAVE	Offsite	
513	Ship Laurel	Prunus laurocersasus	10.0	10.0	75%	Medium	SAVE	Offsite	
514	Leyland Cypress	Hesperotropsis leylandii	2.0	8.0	75%	Medium	SAVE	Offsite	
515	Leyland Cypress	Hesperotropsis leylandii	2.0	8.0	69%	Medium	SAVE	Offsite	Some minor dieback
516	Red Maple	Acer rubrum	5.0	8.0	75%	Medium	SAVE	Offsite	Shallow rooting
517	Leyland Cypress	Hesperotropsis leylandii	4.0	8.0	78%	Medium	SAVE	Offsite	Double-trunk
518	Leyland Cypress	Hesperotropsis leylandii	4.0	8.0	78%	Medium	SAVE	Offsite	Double-trunk
519	Leyland Cypress	Hesperotropsis leylandii	4.0	8.0	78%	Medium	SAVE	Offsite	Double-trunk
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523	Norway Maple	Acer platanoides	3.0	8.0	78%	Medium	SAVE	Offsite	
524	Leyland Cypress	Hesperotropsis leylandii	4.0	8.0	78%	Medium	SAVE	Offsite	
525	Ship Laurel	Prunus laurocersasus	14.0	14.0	81%	Medium	SAVE	Offsite	
526	Crape Myrtle	Lagerstroemia indica	10.0	10.0	81%	High	SAVE	Offsite	
527	Crape Myrtle	Lagerstroemia indica	10.0	10.0	81%	High	SAVE	Offsite	
528	Eastern Redcedar	Juniperus virginiana	10.0	10.0	63%	Medium	TBR*	Shared	Base covered in English ivy, some dieback
529	Eastern Redcedar	Juniperus virginiana	7.0	8.0	63%	Low	SAVE	Offsite	Base covered in English ivy
530	White Mulberry	Morus alba	14.0	14.0	56%	High	SAVE	Offsite	Double-trunk
531	White Mulberry	Morus alba	10.0	10.0	47%	Medium	SAVE	Offsite	Double-trunk, previous improper pruning, weeping wound
532	American Holly	llex opaca	16.0	16.0	78%	High	SAVE	Offsite	

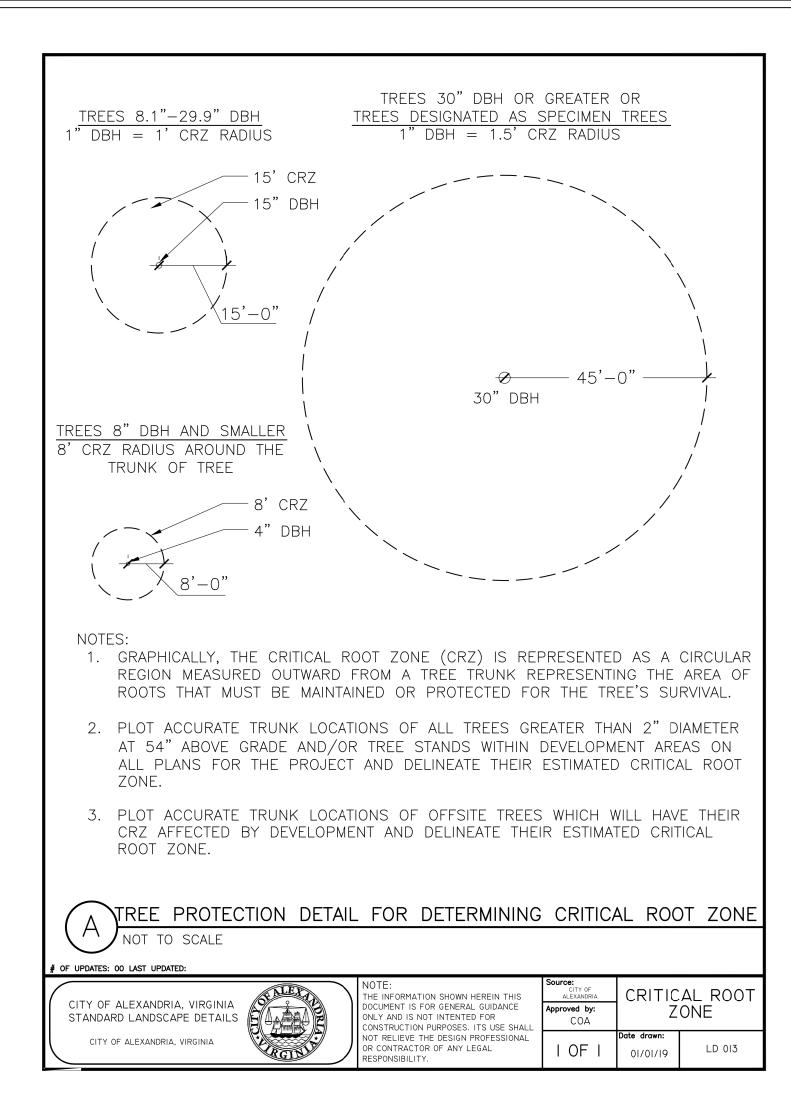
NOTES:

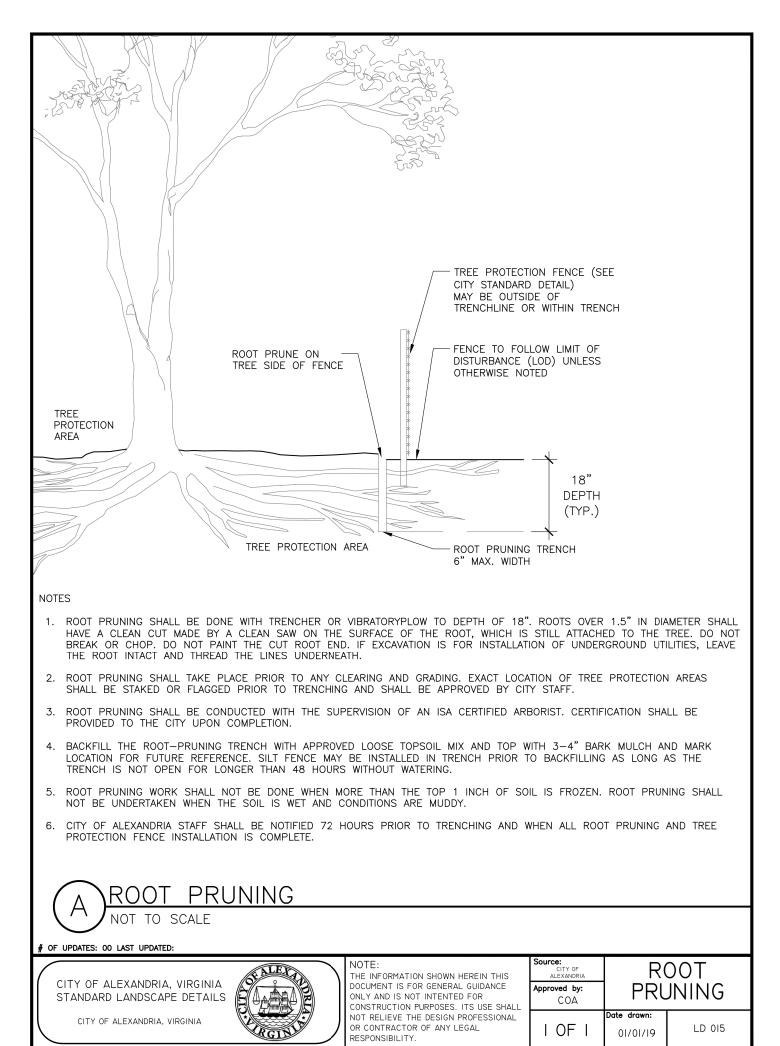
- *1. SHARED/OFFSITE TREES SHALL NOT BE REMOVED WITHOUT WRITTEN PERMISSION FROM AFFECTED ADJACENT PROPERTY OWNERS.
- 2. TREES NOTED FOR REMOVAL WITHIN THE SAVE AREAS SHALL BE DONE SO BY HAND WITHOUT THE USE OF HEAVY MACHINERY.
- 3. OFFSITE TREES WERE ASSESSED FROM THE SUBJECT PROPERTY SO NOT TO TRESPASS ONTO ADJACENT PROPERTY. DBH MEASUREMENTS ARE APPROXIMATE.
- 4. TREES LOCATED WITHIN OR ON THE LIMITS OF DISTURBANCE, OR RATED AS BEING "POOR" IN CONDITION, ARE RECOMMENDED FOR REMOVAL

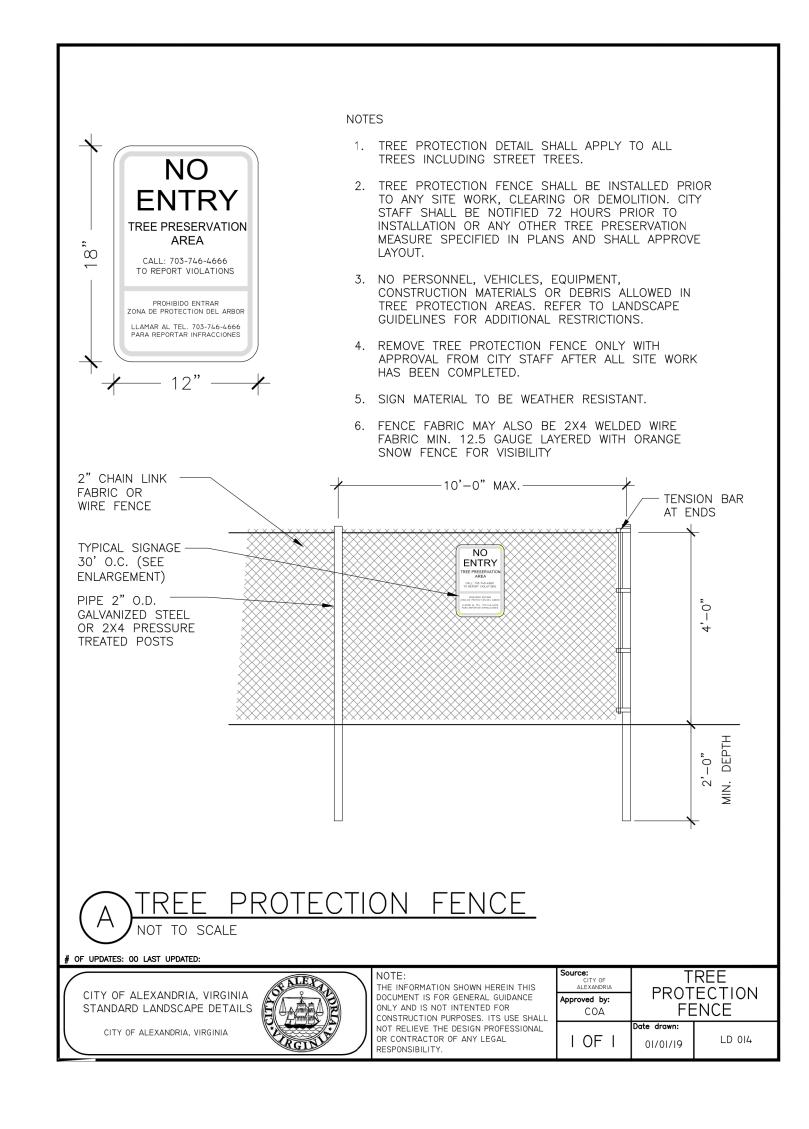
BY TNT ARBORISTS DUE TO THE LIKELIHOOD OF TREE FAILURE. HOWEVER, AT THE DISCRETION OF THE APPLICANT, SOME OF THESE MAY BE PRESERVED DURING CONSTRUCTION WITH THE APPROVAL OF THE CITY.



Lauren A. Duvall **Certified Arborist** ISA-CA # MA 5329A







TREE PRESERVATION AREA NOTES FOR CONSTRUCTION ACTIVITY AND MAINTENANCE:

AREAS DESIGNATED FOR PROTECTION AND/OR PRESERVATION OF VEGETATION SHALL NOT BE ENTERED OR UTILIZED (APPROVED MAINTENANCE PROCEDURES AND WATERING EXCEPTED) THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. PROHIBITED ITEMS/ ACTIVITIES INCLUDE, BUT ARE NOT LIMITED TO:

I. MODIFYING SITE TOPOGRAPHY IN A MANNER THAT DIRECTLY OR INDIRECTLY ALTERS EXISTING SITE DRAINAGE WITHIN PROTECTION ZONE INCLUDING TRENCHING OR GRADING OPERATIONS AND PLACING, STORING OR STOCKPILING SOIL OR CONSTRUCTION RELATED SUPPLIES.

II. FELLING AND STORING VEGETATION.

III. INCINERATING MATERIALS WITHIN OR IN CLOSE PROXIMITY.

IV. OPERATING MACHINERY OR EQUIPMENT, INCLUDING VEHICLE/EQUIPMENT PARKING OR STORAGE.

V. TEMPORARY OR PERMANENT UTILITY CONSTRUCTION, PAVING OR IMPERVIOUS SURFACE INSTALLATION.

VI. DISPOSAL OF DEBRIS OR CHEMICALS.

VII. TEMPORARY FACILITIES OR OCCUPATION BY WORK FORCE.

VIII. STORAGE OF CONSTRUCTION MATERIALS OR WASTE.

INVASIVE SPECIES REMOVAL AND MANAGEMENT PLAN:

INVASIVE SPECIES CONTROL SCHEDULE: CONTROL STRATEGIES SHALL COMMENCE WITH PHASE I E&S AND BE CONDUCTED UNTIL THE PLANT IS NO LONGER IN ABUNDANCE ONSITE.

INVASIVE SPECIES MONITORING AND MANAGEMENT: A MONITORING AND MANAGEMENT PLAN REPORT SHALL BE PREPARED EACH YEAR BEGINNING AT THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANY UNTIL THE RELEASE OF THE MAINTENANCE BOND.

ENGLISH IVY (Hedera helix): PRESENT AS GROUND COVER. HIGH RISK TO SITE/VICINITY.

CONTROL STRATEGY: REMOVE FROM TREES BY CUTTING ALL VINES AT GROUND LEVEL. VINES SHOULD BE CUT AGAIN SEVERAL FEET UP THE TRUNK. PEAL THE CUT SECTION OF IVY OFF BUT CARE SHOULD BE TAKEN NOT TO STRIP THE BARK OFF THE TREE. PULL GROUND IVY BACK A FEW FEET FROM THE BASE OF THE TREE TO SLOW REGROWTH UP THE TREE TRUNK. REMOVE GROUND IVY BY HAND PULLING, CUTTING AND MULCHING OVER TOP, AND/OR APPLYING A GLYPHOSATE HERBICIDE AS A 4-PERCENT SOLUTION (1 PINT PER 3-GALLON MIX) TO LEAVES OR FRESHLY CUT LARGE STEMS, BY THOROUGHLY WETTING THEM. USE A STRING TRIMMER TO REDUCE GROWTH LAYERS AND TO INJURE LEAVES FOR IMPROVED HERBICIDE UPTAKE. RETREATMENT MAY BE NECESSARY FOR COMPLETE ERADICATION. THE ENGLISH IVY REMNANTS SHALL BE BAGGED AND REMOVED FROM THE PROJECT SITE.

JAPANESE HONEYSUCKLE (Lonicera japonica): PRESENT AS GROUND COVER. MEDIUM RISK TO SITE/VICINITY.

CONTROL STRATEGY: SHALL BE REMOVED BY HAND TO MINIMIZE SITE DISTURBANCE. TO REDUCE DAMAGE TO NON-TARGET PLANTS, HERBICIDES SUCH AS GLYPHOSATE AND TRICLOPYR MAY BE APPLIED TO FOLIAGE BY A VIRGINIA CERTIFIED APPLICATOR DURING GROWING SEASON (APRIL TO OCTOBER). THOROUGHLY COVER ALL LEAVES AND/OR FRESHLY CUT STEMS IN HERBICIDE, REPEAT AS NECESSARY.

GARLIC MUSTARD (Alliaria petiolata): PRESENT AS GROUND COVER. MEDIUM RISK TO SITE/VICINITY.

CONTROL STRATEGY: SMALL INFESTATIONS SHOULD BE REMOVED BY HANDTO MINIMIZE DISTURBANCE. LARGE INFESTATIONS MAY BE REMOVED BY HAND OR MOWN DOWN WITH A WEED WHACKER. MANUAL REMOVAL OR CUTTING SHOULD TAKE PLACE WHILE PLANTS ARE FLOWERING, BEFORE THEY SET SEED. FOR EXTENSIVE INFESTATIONS, AN APPLICATION OF ENVIRONMENTALLY SENSITIVE APPROVED HERBICIDES MAY ALSO BE APPLIED BY A VIRGINIA CERTIFIED APPLICATOR OR REGISTERED TECHNICIAN IN EARLY SPRING OR LATE FALL TO AVOID NON-TARGET SPECIES.

ORNAMENTAL BITTERSWEET (*Celastrus orbiculatus*): PRESENT AS GROUND COVER. LOW RISK TO SITE/VICINITY.

CONTROL STRATEGY: VINES SHALL BE REMOVED BY HAND, INCLUDING THE ROOTS, WHERE POSSIBLE TO MINIMIZE DISTURBANCE. FOR VINES TOO LARGE TO PULL, CUT AT GROUND LEVEL OR GRUB. CUT VINE STEMS MAY ALSO BE TREATED WITH A SYSTEMIC HERBICIDE BY A CERTIFIED APPLICATIOR. FOR LARGE INFESTATIONS, A FOLIAR APPLICATION OF A SYSTEMIC HERBICIDE SUCH AS GLYPHOSATE OR TRICLOPYR MAY BE APPLIED FROM LATE SUMMER TO FALL BY A CERTIFIED APPLICATOR.

TATARIAN HONEYSUCKLE (Lonicera tatarica): APPROXIMATELY 72 SF ONSITE, AS SHOWN ON THE PLAN. HIGH RISK TO SITE/VICINITY. CONTROL STRATEGY: WHERE POSSIBLE, SEEDLINGS INCLUDING ROOT STRUCTURE SHOULD BE EXCAVATED AND REMOVED WITH SHOVEL. ALTERNATIVELY, BRANCHES AND MAIN STEM SHOULD BE CUT BACK TO ONE (1) INCH ABOVE SOIL SURFACE DURING MID TO LATE AUTUMN WHEN TEMPERATURES ARE ABOVE 60 DEGREES FAHRENHEIT. A SOLUTION OF AT LEAST 20% GLYPHOSATE HERBICIDE SHOULD BE APPLIED TO OPEN CUT FACE OF STUMP WITHIN TWO (2) TO THREE (3) MINUTES OF CUT. REFER TO HERBICIDE LABEL FOR APPLICATION INSTRUCTIONS. BRANCHES AND VEGETATION DEBRIS SHOULD BE REMOVED OFFSITE. REAPPLY HERBICIDE IN THE LATE FALL AND AGAIN IN WINTER AS NECESSARY.

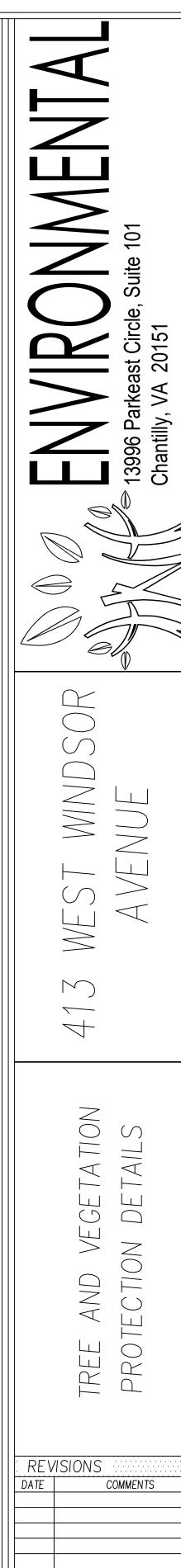
WHITE MULBERRY (*Morus alba*): PRESENT AS GROUND COVER & SMALL SAPLINGS. LOW RISK TO SITE/VICINITY.

CONTROL STRATEGY: CONTROL AND MANAGEMENT SHOULD BE ATTEMPTED DURING FLOWERING, BEFORE SEED PRODUCTION.

CUTTING THE TREE TO THE GROUND LEVEL IS THE FIRST MEASURE OF CONTROL AND WILL REQUIRE REPEATED CUTTING OF RESPROUTS OR SUPPLEMENTAL APLICATION OF HERBICIDE AS RESPROUT OCCURS. GIRDLING CAN BE EFFECTIVE ON LARGE TREES AND SHOULD BE CONDUCTED BY CUTTING THROUGH THE BARK OF THE TREE, AROUND THE ENTIRE TRUNK OF THE TREE, AT LEAST 6 INCHES ABOVE THE SURFACE. SUBSEQUENT RESPROUTING SHOULD BE TREATED WITH AN HERBICIDE. HAND PULLING CAN BE EFFECTIVE WITH YOUNG SEEDLINGS BUT CARE SHOULD BE GIVEN TO REMOVE THE ENTIRE ROOT SINCE BROKEN FRAGMENTS MAY RESPROUT.

CHINESE PRIVET: (*Ligustrum sinense*): APPROXIMATELY 107 SF ONSITE, AS SHOWN ON THE PLAN. MEDIUM RISK TO SITE/VICINITY. CONTROL STRATEGY: MANUALLY PULL NEW SEEDLINGS AND TREE WRENCH SAPLINGS WHEN SOIL IS MOIST, ENSURING REMOVAL OF ALL ROOTS. BAG AND DISPOSE OF FRUIT IN DUMPSTER OR BURN. A VIRGINIA CERTIFIED APPLICATOR MAY APPLY A 3-PERCENT SOLUTION OF GLYPHOSATE HERBICIDE TO FOLIAGE IN THE LATE FALL OR EARLY WINTER. REPEAT AS NECESSARY.





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FW: FW: Landscape sheets

Ann Horowitz

Tue 6/25/2019 3:45 PM

To: Patrick Silva <Patrick.Silva@alexandriava.gov>

Patrick,

Can you distribute this to the PC?

Thanks.

Ann

From: LYN GUBSER < lgubser@comcast.net> Sent: Tuesday, June 25, 2019 2:14 PM

To: Daryl Andrews <daryl@ams4newhomes.com>

Cc: Gaver Nichols Architect <<u>gnarchitec@aol.com</u>>; Caroline Andrews <<u>caroline@ams4newhomes.com</u>>; Shaun

Smith <Shaun.Smith@alexandriava.gov>; Kay Stimson <kstimson@me.com>

Subject: Re: FW: Landscape sheets

Daryl -

The document you attached to your note of this morning is the same to which we objected yesterday. Apparently, you sent us the wrong edition of your landscape plan.

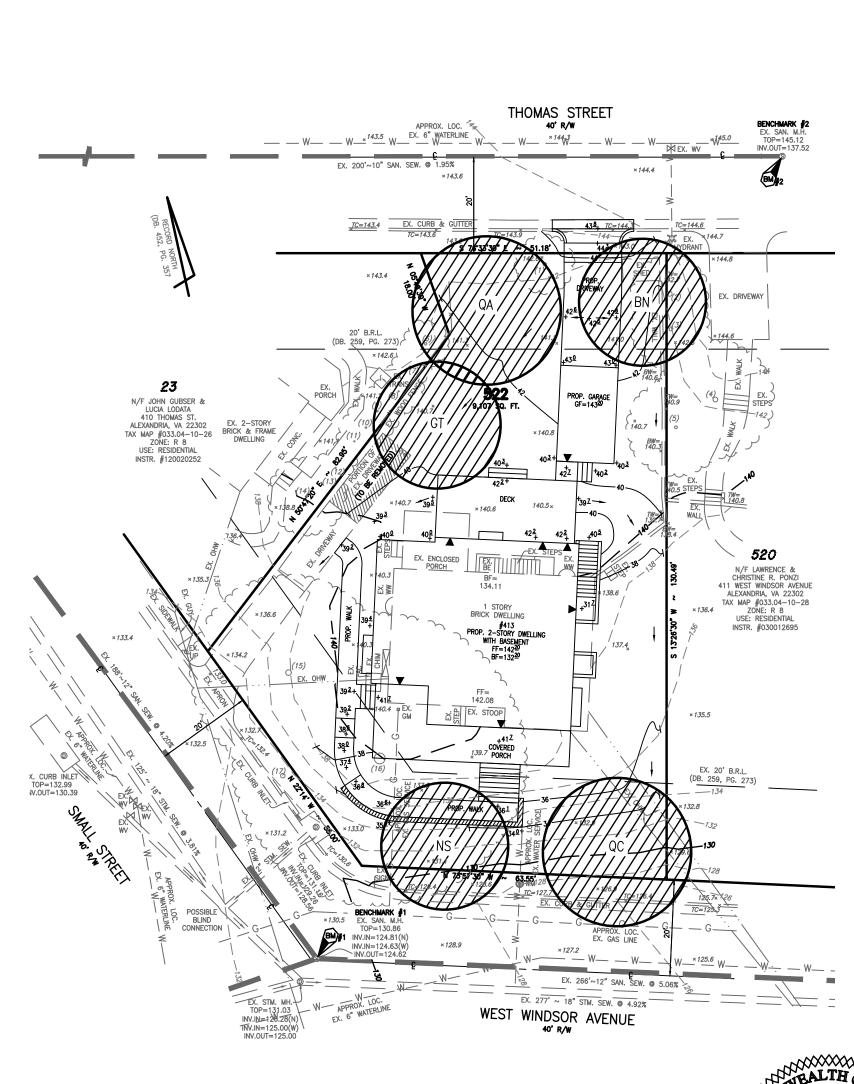
When you said you agreed with our letter of yesterday, we asked that you memorialize this agreement so that it could be registered with Planning & Zoning and we could move forward. Taken from your letter to us of June 21st and the contribution of the city arborist and tree stewards, the key points of our agreed arrangement are:

- Four canopy trees with a minimum 12 feet in height. Two in the front of the new home, two in the back, plus two additional trees to be planted at a location determined by the NRCA.
- The four trees to be planted on the property, as well as the two to be planted elsewhere by NRCA, should be selected from the following list of indigenous canopy trees suitable for smaller Alexandria lots: scarlet oak, white oak, black oak, northern red oak, or black gum.
- The Virginia Pine and milling of the existing white oak would be exchanged for an additional canopy tree.

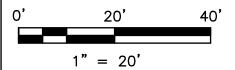
These are the points with which we understood from your comment that you were in agreement. We ask that you memorialize these in a letter agreement or other document, with the understanding that time precludes the revision of the landscaping plan before tonight's meeting of the Planning Commission.

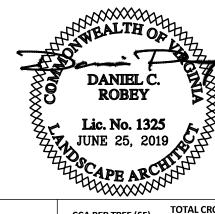
If we have misunderstood your commitment please let us know. We can always request a postponement of tonight's hearing to give us more time to come to agreement.

I	V	n









	PLAN KEY	QUANTITY	GENUS	SPECIES	VAR./CULTIVAR/HYBRID COMMON NAME	CALIPER/HEIGHT		CCA PER TREE (SF)	TOTAL CROWN COVER (SF)
$\ \ $	QC	1	Quercus	Coccinea	Scarlet Oak	2"-3" cal./12-14 ft. ht.	B&B symmetrical, single leader	1,250	1,250
$\ \ $	QA	1	Quercus	Alba	White Oak	2"-3" cal./12-14 ft. ht.	B&B symmetrical, single leader	1,250	1,250
$\ \ $	NS	1	Nyssa	Sylvatica	Black Gum	2"-3" cal./12-14 ft. ht.	B&B symmetrical, single leader	750	750
$\ \ $	BN	1	Betula	Nigra	River Birch	2"-3" cal./12-14 ft. ht.	B&B symmetrical, single leader	750	750
Ш	GT	1	Gleditsia	Triacanthos	Honey Locust	2"-3" cal./12-14 ft. ht.	B&B symmetrical, single leader	750	750
	TOTAL	5						STANDARD TREE CCA:	4,750

E ASSOCIATES, INC. ENGINEERING • LAND SURVEYING • PLANNING www.rcfassoc.com

(703) 549-6422

700 S. Washington Street, Suite 220

Alexandria, Virginia 22314

LANDSCAPE PLAN LOT 522 OF A RESUBDIVISION OF LOTS 20, 21 & 22

JEFFERSON PARK (#413 WEST WINDSOR AVENUE)

CITY OF ALEXANDRIA, VIRGINIA

DESIGN: RAW DRAWN: RAW SCALE: 1"=20' JUNE 2019 DATE:

18-252 FILE: SHEET OF

9

A) STANDARD LANDSCAPE PLAN NOTES FOR ALL PLANS REQUIRING APPROVAL:

THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL PROJECTS THAT REQUIRE APPROVAL BY THE CITY AS OUTLINED IN CHAPTER 3 OF THE CITY'S 2019 LANDSCAPE GUIDELINES: 1)THE PROPERTY OWNER AND/OR APPLICANT, SPECIFIER, CONTRACTOR AND INSTALLER OF PLANT MATERIAL ARE RESPONSIBLE FOR UNDERSTANDING AND ADHERING TO THE STANDARDS SET FORTH IN THE MOST RECENT VERSION OF THE CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND APPLICABLE CONDITIONS OF APPROVAL. ALL QUESTIONS REGARDING APPLICATION OF, OR ADHERENCE TO, THE STANDARDS AND/OR CONDITIONS OF APPROVAL SHALL BE DIRECTED TO THE CITY PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBING ACTIVITY.

2)THE CITY-APPROVED LANDSCAPE PLAN SUBMISSION, INCLUDING PLANT SCHEDULE, NOTES AND DETAILS SHALL BE THE DOCUMENT USED FOR INSTALLATION PURPOSES AND ALL PROCEDURES SET FORTH IN THE LANDSCAPE GUIDELINES MUST BE FOLLOWED.

3)THE CONTRACTOR SHALL NOT INTERFERE WITH ANY TREE PROTECTION MEASURES OR IMPACT ANY EXISTING VEGETATION IDENTIFIED TO BE PRESERVED PER THE APPROVED TREE AND VEGETATION PROTECTION PLAN.

4) ANY CHANGES, ALTERATIONS OR MODIFICATIONS TO THE SITE CONDITIONS THAT AFFECT VECETATION PROTECTION ZONES WILL REQUIRE AN AMENDMENT TO THE APPROVED TREE AND VECETATION PROTECTION PLAN

5)INSTALLATION OF PLANT MATERIAL MAY ONLY OCCUR DURING THE PLANTING SEASONS IDENTIFIED IN THE LANDSCAPE GUIDELINES.

6)IN LIFU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA; GAITHERSBURG, MARYLAND.

7)SUBSTITUTIONS TO THE APPROVED PLANT MATERIAL SHALL NOT OCCUR UNTIL WRITTEN APPROVAL IS PROVIDED BY THE CITY,

5)MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED BY THE OWNER, APPLICANT, SUCCESSOR(S) AND/OR ASSIGN(S) IN PERPETUITY AND IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND AS CONDITIONED BY PROJECT APPROVAL, AS APPLICABLE.

B) STANDARD LANDSCAPE PLAN NOTES FOR DEVELOPMENT SITE PLANS:

IN ADDITION TO THE NOTES PROVIDED ABOVE, THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL DSP/DSUP PROJECTS:

1)THE APPROVED METHOD(S) OF PROTECTION MUST BE IN PLACE FOR ALL VEGETATION TO BE PRESERVED ON-SITE AND ADJACENT TO THE PROJECT SITE PURSUANT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND DETAILS PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBANCE. THE APPLICANT SHALL NOTIFY THE PLANNING & ZONING (P&Z) PROJECT MANAGER ONCE THE TREE PROTECTION METHODS ARE IN PLACE. NO DEMOLITION, CONSTRUCTION, OR LAND DISTURBANCE MAY OCCUR UNTIL AN INSPECTION IS PERFORMED BY THE CITY AND WRITTEN CONFIRMATION IS PROVIDED BY THE CITY WHICH VERIFIES CORRECT INSTALLATION OF THE TREE PROTECTION MEASURES

2)THE APPLICANT MUST CONTACT THE P&Z PROJECT MANAGER PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATION TO SCHEDULE A PRE-INSTALLATION MEETING. THE MEETING SHOULD BE HELD BETWEEN THE APPLICANT'S GENERAL CONTRACTOR, LANDSCAPE CONTRACTOR, LANDSCAPE ARCHITECT, THE P&Z PROJECT MANAGER AND THE CITY ARBORIST (AS APPLICABLE) TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES DURING AND AFTER INSTALLATION.

3)THE FOLLOWING INFORMATION SHALL BE PROVIDED TO THE P&Z PROJECT MANAGER AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE LANDSCAPE PRE-INSTALLATION MEETING: 1) A LETTER THAT CERTIFIES THAT THE PROJECT LANDSCAPE ARCHITECT PERFORMED PRE-SELECTION TAGGING FOR ALL TREES PROPOSED WITHIN THE PUBLIC RIGHT OF WAY AND ON PUBLIC LAND PRIOR TO INSTALLATION, THIS LETTER MUST BE SIGNED AND SEALED BY THE PROJECT LANDSCAPE ARCHITECT, AND 2) A COPY OF THE SOIL BULK DENSITY TEST REPORT VERIFYING THAT MAXIMUM COMPRESSION RATES ARE MET.

9)AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION/WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE QUIDELINES. THE CITY CODE OF ORDINANCES. AND ALL APPLICABLE PLAN PREPARATION CHECKLISTS. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.

<u>standard landscape plan notes</u>

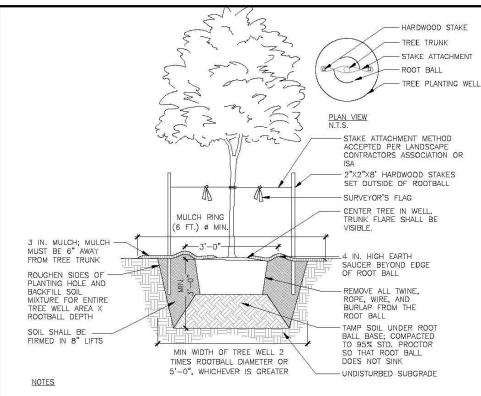
OF UPDATES: DO LAST UPDATED:

CITY OF ALEXANDRIA, VIRGINIA STANDARD LANDSCAPE DETAILS CITY OF ALEXANDRIA, VIRGINIA

THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL SUIDANCE ONLY AND IS NOT INTENTED FOR CONSTRUCTION PURPOSES, IT'S USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.

CITY OF ALEXANDRIA	STANDARD LANDSCAPE PLAN NOTES		
Approved by: COA			
I OF I	Date drawn: 01/01/19	LD 016	

CROWN COVER TABULATIONS						
TOTAL SITE AREA (SF)	9,107					
40% CROWN COVER REQUIRED (SF)	3,643					
EXISTING CROWN COVER (SF)	2993					
REMOVED CROWN COVER (SF)	2993					
PRESERVED CROWN COVER (SF)						
Crown Cover from Preserved Trees	0					
Crown Cover from Preserved Shrubs	0					
PROPOSED CROWN COVER (SF)						
Crown Cover from Proposed Trees	4,750					
Crown Cover from Proposed Shrubs	0					
TOTAL CROWN COVER PROVIDED (%)	52.2%					
TOTAL CROWN COVER PROVIDED (SF)	4,750					



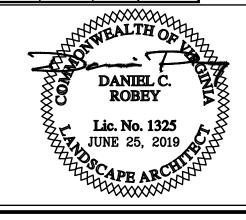
- 1. AT PLANTING PRUNE ONLY CROSSING LIMBS, BROKEN OR DEAD BRANCHES, AND ANY BRANCHES THAT POSE A HAZARD TO PEDESTRIANS PER ANSI STANDARDS A300. DO NOT PRUNE INTO OLD WOOD ON EVERGREENS.
- 2. CONTRACTOR SHALL MAXIMIZE EXCAVATED AREA FOR TREE WELL WITHOUT ADVERSELY IMPACTING ADJACENT SITE FEATURES
- 4. UNLESS OTHERWISE DIRECTED BY PROJECT SPECIFICATIONS OR CITY STAFF, SOIL MIXTURE SHALL BE CLEANED OF DEBRIS, AND MEET SOIL COMPOSITION REQUIREMENTS OF CITY OF ALEXANDRIA LANDSCAPE GUIDELINES.
- 5. TREES PLANTED WITHOUT THE TRUNK FLARE VISIBLE WILL BE REJECTED
- 6. ALL PLANTS MUST BE WATERED AT INSTALLATION AND AGAIN WITHIN 48-HOURS OF INSTALLATION, ESTABLISHMENT WATERING SHALL BE PER THE SPECIFICATIONS ON ALL DETAILS.
- 7. STAKES WILL BE INSTALLED USING ARBORICULTURE PRACTICES, TREES SHALL STAND PLUM AFTER STAKING.
- 8. INSTALLATION WILL INCLUDE THE REMOVAL OF ALL STAKING MATERIAL ONE YEAR AFTER INSTALLATION, ANY HOLES LEFT BY REMOVING STAKING SHALL BE FILLED WITH APPROVED TOPSOIL / BACKFILL MIXTURE.
- 9. CONTRACTOR SHALL USE GALVANIZED EYESCREW & TURNBUCKLE INSTEAD OF ARBOR TIE ONLY FOR TREES OF SIGNIFICANT SIZE AS DIRECTED BY CITY STAFF.





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DECIDUOUS TREE PLANTING COA I OF I LD 001 01/01/19







June 25, 2019

SENT VIA EMAIL

City of Alexandria Planning Commission 301 King Street Alexandria, VA 22314

RE: Agenda Item 3, SUP 2019-0035--413 West Windsor Avenue

Dear Commissioners:

On behalf of the North Ridge Citizens' Association (NRCA), I am writing to convey the community's conditional support of the Planning Commission staff recommendation to approve SUP 2019-0035 pursuant to the replacement of a single-family dwelling at 413 West Windsor Avenue.

Following a June 10th presentation by the Applicants to the NRCA Board, members voted to support the application contingent upon a satisfactory review of new construction on the property's tree canopy. A review and canvassing of neighbors raised several concerns focused primarily on the intended removal of a large, healthy White Oak (*Quercus alba*), and – to a lesser extent – a red Cedar and a Virginia Pine.

On June 21st, NRCA and Tree Stewards representatives, along with a representative of the City Arborist, met with the Applicants to determine options for preserving the White Oak. Citing new regulations on block face alignment and design restrictions later supported by Planning Commission staff, applicants expressed their determination that the tree would be removed. Alternately, Applicants proposed the following actions:

- Add four canopy trees with a minimum 12-foot height; two in front of the house and two
 in the rear of the new house, to be planted at a location determined by NRCA;
- Preserve the Virginia pine located on the SW corner of the property; and
- Incorporate Oak Tree lumber into the new home as a décor feature.

NRCA has accepted the first of these items as reasonable, conditional upon the trees being true canopy trees pursuant to Arborist and Tree Steward recommendations suitable for smaller lots, including: Scarlet Oak, White Oak, Black Oak, Northern Red Oak, and Black Gum. NRCA appreciates Applicants' efforts to save the Virginia Pine, although we did not elect to include this item in our arrangement.

Additionally, NRCA has no interest in the milling of the White Oak. Instead, this earmark should be invested in the purchase of a fifth canopy tree from the stated list, or equivalent trees/shrubs, to lessen the impact of the garage to be built on the property.

Sincerely,

Kay Stimson NRCA President

cc: Lynn Gubser, Jayne Seward



