## Special Use Permit \#2019-0035 <br> 413 West Windsor Avenue

| Issue: Public hearing and consideration <br> of a request for a special use permit to <br> construct a new single-family dwelling on <br> a developed substandard lot. | Planning Commission <br> Hearing: | June 25, 2019 |
| :--- | :--- | :--- |
|  | City Council Hearing: | July 9, 2019 |
| Address: 413 West Windsor Avenue | Zone: | R-8 / Single-family zone |
| Applicant: Daryl and Carolyn Andrews, <br> represented by Gaver Nichols, Architect. | Small Area Plan: | North Ridge/Rosemont |

Staff Recommendation: APPROVAL subject to compliance with all applicable codes, ordinances and the recommended permit conditions found in Section III of this report.

Staff Reviewers: Chrishaun Smith, Urban Planner, shaun.smith@alexandriava.gov
Ann Horowitz, Principal Planner, ann.horowitz@alexandriava.gov

PLANNING COMMISSION ACTION, JUNE 25, 2019: On a motion by Vice Chair Wasowski and seconded by Commissioner Lyle, the Planning Commission voted to recommend the approval of Special Use Permit \#2019-0035 with an amendment to condition \#2. The motion carried on a vote of $7-0$.

Reason: The Planning Commission generally agreed with the staff analysis.
Commissioner Brown asked if there is a mandatory requirement that a dwelling unit have a front porch of 10 feet in depth. Staff stated that is not a requirement and is a design feature proposed by the applicant for the proposed dwelling unit. Commissioner Brown asked if locating the proposed home at the current setback of the existing dwelling unit would affect the root system of the existing white oak tree. Staff stated that this particular siting may damage the root system of tree, threatening the health of the tree. Commissioner Brown requested additional information from the applicant on the submitted landscape plan. Robert Weinig, landscape architect for the applicant, stated that the landscape plan had been amended with a total of five canopy trees. Mr. Weinig stated that the five trees were selected in coordination with the North Ridge Civic Association. Commissioner Brown stated that he was troubled if the contextual blockface regulations resulted in the loss of the white oak tree if it meant the proposed dwelling unit could not be located at the same setback as the existing dwelling unit. Staff stated that the contextual blockface provisions allow for a new dwelling unit to be sited at the same setback as the existing dwelling unit's setback. Commissioner Brown stated that because the North Ridge Civic Association supported the request in light of the inclusion of additional canopy trees, he did not object to the proposal.

Commissioner Wasowski commented that there may be unusual circumstances that may occur in the enforcement of the infill regulations and may lend themselves to be difficult in regulating. She
believed that the proposed dwelling unit would meet the character of the neighborhood and appreciated that the applicant provided additional crown coverage in excess of the minimum required per the City's landscape guidelines.

Because many City neighborhoods include mature trees, Commissioner McMahon suggested that the community may see more instances in the future when all trees cannot be saved during the redevelopment of a residential property.

## Speakers:

Gaver Nichols, architect for the applicant, spoke in support of the project.
Robert Weinig, engineer for the applicant, spoke in support of the project and provided Planning Commission members with an updated landscape plan that increased the tree coverage to $54 \%$ at the request and approval of the North Ridge Civic Association.

Lyn Gubser, Chair of the Planning and Zoning Committee of the North Ridge Civic Association, spoke in support of the project.


PROJECT LOCATION MAP

## I. REPORT SUMMARY

The applicants, Daryl and Carolyn Andrews, request Special Use Permit approval to construct a new single-family dwelling on a developed substandard lot at 413 West Windsor Avenue.

## SITE DESCRIPTION

The subject property is one irregularly shaped lot of record located within the North Ridge neighborhood of the City. The property has three frontages, with the primary frontage facing West Windsor Avenue and with secondary frontage along Small and Thomas Streets to the southwest and the north respectively. The property has approximately 63 feet of frontage along West Windsor Avenue, 55 feet of frontage along Small Street, and approximately 51 feet of lot frontage along Thomas Street. The property has approximately 63 feet


Figure 1: Existing Dwelling Unit of lot width along West Windsor Avenue, 53 feet of frontage along Small Street, and approximately 48 feet of lot frontage along Thomas Street. Furthermore, the lot has 100 feet of depth along the northern and northwestern side property lines and 130 feet of depth along the eastern side property line. The property has a total square footage of 9,107 square feet. The subject property is currently improved with a one-story singlefamily dwelling unit. The property is surrounded by single-family dwelling units.

## BACKGROUND

The existing 2,488 gross square-foot, one-story dwelling was constructed in 1950 on a substandard lot that is noncomplying as to lot width requirements. The applicant entered under contract to acquire the property in order to redevelop the property with a new single-family dwelling unit with modern amenities in keeping with the architectural style of the surrounding neighborhood.

## PROPOSAL

The applicant requests approval to redevelop a developed substandard lot with a new two-story single-family dwelling unit. The existing one-story structure would be demolished to be replaced with a new two-story structure with a basement and detached garage. The proposed dwelling would have a net floor area of 3,177 square feet (gross floor area of 5,422 square feet) and a building height of 29 feet, measured from the average finished grade. The existing dwelling unit is 2,488 gross square feet. The applicant proposes to construct a detached garage, with a driveway connecting to Thomas Street. The applicant proposes to improve the existing driveway by removing a portion to the northwest of the proposed dwelling unit.

A two-story Craftsman-style house is proposed as the new dwelling. The proposed dwelling would be clad with hardiplank horizontal siding on the first and second floor on all facades. The structure would also incorporate two dormers within the front (south) and secondary front (north) elevations. On the first-floor façade, the proposed dwelling unit would incorporate a 16 square-foot bay window within its eastern elevation and a large 402 square foot front porch along the primary front façade (Figure 2).


Figure 2: Proposed Dwelling - Front Elevation

## PARKING

Pursuant to Section 8-200(A)(1) of the Zoning Ordinance, a minimum of two standard size parking spaces is required for single-family detached dwellings. The property would continue to remain in compliance with this standard as the applicant proposes to maintain the existing driveway that accommodates two standard sized tandem parking spaces. The applicant also proposes to include a detached garage with the corresponding driveway which would provide for two additional parking spaces for residents and visitors.


Figure 3: Survey Plat of Proposed Dwelling

## ZONING

The subject property is located in the R-8/Single-family residential zone, which requires a minimum lot area of 8,000 square feet, a minimum lot frontage of 40 feet and a minimum lot width of 65 feet at the building line. The subject lot meets the minimum for lot frontage and lot area but is substandard in lot width along its yard frontages facing West Windsor Avenue, Small Street, and Thomas Street.

## Requirement for a Special Use Permit (SUP)

Given that the substandard lot is developed with an existing home, Section 12-900 of the Zoning Ordinance applies to this SUP request. Section 12-901(C) of the Zoning Ordinance states that a SUP is required when residential construction is proposed that would exceed the gross floor area (as defined in Section 2-145[A]) of the existing dwelling by more than ten percent. The gross floor area of the existing home is 2,488 square feet whereas the proposed gross square foot of the replacement home is 5,422 square feet or $46 \%$ larger than the current dwelling unit, primarily due to the inclusion of a basement and second story. Section 12-901(C) also requires a SUP if the proposed dwelling would taller in height than the existing dwelling. The proposed dwelling would be 29.00 feet in height, whereas the existing dwelling unit is 16 feet. A request for SUP approval is required for the proposed dwelling to be constructed. Additionally, Section $12-901(\mathrm{C})(2)$ requires that an analysis of the proposed dwelling and its compatibility with the bulk, height, and design of the existing neighborhood is included within the SUP analysis for residential dwellings proposed on substandard lots to ensure that the structure is compatible with the neighborhood character.

The applicants' proposal meets Zoning Ordinance requirements for development within the R-8 zone, including setbacks, FAR, building height, and threshold height. Additional zoning elements of the proposal are indicated in Table 1:

| Zoning Tabulations | Requirement |  | Proposal | Existing Dwelling |
| :---: | :---: | :---: | :---: | :---: |
| Lot Size | 8,000 sq. ft. |  | 9,107 sq. ft. |  |
| Lot Width | 65.00 feet |  | W Windsor: 63.00 ft . Small: 53.00 ft . Thomas: 48.00 ft . |  |
| Lot Frontage | 40.00 feet |  | W Windsor: 63.55 ft . Small: 55.00 ft . Thomas: 51.18 ft . |  |
| Primary Front Yard (W Windsor Ave) | Contextual | Min: 25.90 ft . Max: 31.30 ft . | 30.00 ft . | 31.30 ft . |


| Zoning | Requirement |  | Proposal | Existing |
| :---: | :---: | :---: | :---: | :---: |
| Secondary Front Yard (Small Street) | Contextual | Min: 20.30 ft . <br> Max: 87.80 ft . | 24.30 ft . | 24.30 ft . |
| Secondary Front Yard <br> (Thomas Street) | Contextual | Min: 20.00 ft . Max: 71.40 ft . | 58.20 ft . | 54.00 ft . |
| Side Yard (west) | $\begin{gathered} 1: 2 \text { with } 8 \mathrm{ft} . \\ \text { min } \end{gathered}$ | 10.75 ft . | 13.40 ft . | 21.40 ft . |
| Side Yard (east) | $\begin{gathered} 1: 2 \text { with } 8 \mathrm{ft} . \\ \text { min } \end{gathered}$ | 10.75 ft . | 18.20 ft . | 13.50 ft |
| Building Height | 30 feet |  | 29.00 ft . |  |
| Threshold Height | Contextual | $\begin{aligned} & \text { Min: } 2.50 \mathrm{ft} . \\ & \text { Max: } 3.00 \mathrm{ft} . \end{aligned}$ | 2.50 ft . |  |
| FAR | . 35 |  | . 348 | $\begin{gathered} .269 \text { (gross } \\ \text { sq. ft.) } \\ \hline \end{gathered}$ |
| Tree Canopy Coverage | . 25 |  | . 54 | . 32 |

## MASTER PLAN DESIGNATION

The proposed single-family residential use is consistent with the North Ridge/Rosemont Small Area Plan, which designates this property for residential development.

## II. STAFF ANALYSIS

Staff supports the applicant's proposal to redevelop the substandard lot at 413 West Windsor Avenue. The architectural design and the infill provisions of the Zoning Ordinance related to dwelling height, threshold height, and setbacks are consistent and compatible with the neighborhood character. Staff has worked with the applicant throughout the SUP review process on the design of the structure and landscaping to ensure that the proposal not only complies with the R-8 and infill redevelopment regulations, but also exceeds the City's tree canopy coverage requirements of 25 percent. Staff believes that the new proposed dwelling would be relatively compatible with existing homes in the neighborhood in terms of bulk, height, and design.

## Bulk

While the bulk of the proposed new home would be larger than the existing dwelling, the size and bulk of the proposed dwelling unit would be in character with adjacent properties within the neighborhood. At 3,177 net square feet, the floor area of the proposed dwelling unit is comparable to the square footage of buildings to its south along Richards Lane and to the west within the 500 block of West Windsor Avenue. Moreover,
the façade design of the proposed dwelling minimizes the perception of bulk due to the inclusion of bay windows, two dormers, and full-width porch, and varying planes of the façades.

| Address | Lot Area | Total Square Footage (gross) | FAR calculation (Gross) |
| :---: | :---: | :---: | :---: |
| 400 block of W Windsor Avenue | 12602 | 2684 | 21\% |
| 400 block of Thomas Street | 5120 | 2040 | 40\% |
| 500 block of Windsor Avenue | 12500 | 5177 | 41\% |
| 400 block of Thomas Street | 4365 | 2040 | 47\% |
| 2100 block of Small Street | 5795 | 2893 | 50\% |
| 500 block of Fontaine Street | 5406 | 2700 | 50\% |
| 413 W Windsor Avenue (proposal) | 9107 | 5194 | 57\% |
| 500 block of Richards Lane | 9423 | 6252 | 66\% |
| 500 block of Richards Lane | 6737 | 5486 | 81\% |

## Height

The proposed new dwelling unit height of 29.00 feet is in accordance with the infill zoning regulations, which allow single-family dwellings to be constructed up to a height of 30 feet within the R-8 zone and other single and two-family zones within the city. The proposed building height is similar to several single-family dwellings within the area along Richards Lane, the 500 block of West Windsor Avenue, and Fontaine Street to the north of the subject property. Therefore, the proposed dwelling unit would not be visually intrusive and uncharacteristic in appearance within the North Ridge neighborhood.

## Design

The neighborhood is composed of one and one-half and two-story dwelling units that were constructed across multiple time periods; ranging from as early as 1927 to the north and west of the subject property to the late 1970s to the north of the property along Thomas Avenue and to the south along Richards Lane. The predominate architectural style is Colonial Revival and Tudor. The exteriors of the dwellings are primarily brick, however, homes with horizonal siding also exist. Likewise, horizontal siding clad home additions are also a common architectural feature within the neighborhood. The proposed dwelling would replace a 1 -story, minimalist, modern dwelling unit that was constructed in the 1950s with a two-story Craftsman-style dwelling unit with similar symmetry and rectilinear mass and design materials as the surrounding dwelling units.


Examples of neighboring homes with similar size and massing

## Conclusion

Staff concludes that the proposal is a reasonable plan for the redevelopment of this substandard lot and recommends approval of the Special Use Permit request subject to the conditions contained in Section III of this report.

## III. RECOMMENDED CONDITIONS

1. The design of the dwelling shall be in substantial conformance with illustrations completed by Gary Zickafoose of Next Generation Properties as submitted on May 23, 2019. (P\&Z)
2. CONDITION AMENDED BY PLANNING COMMISSION: As part of the grading plan, trees shall be planted or existing trees preserved to exceed $49 \mathbf{5 2}$ percent canopy coverage over the site in substantial conformance with illustrations completed by Daniel G Robby of RC Fields as completed on June 25, 2019. (P\&Z) (PC)
3. Any new driveway areas shall be constructed with a permeable paving system to the satisfaction of the Director of Planning and Zoning (P\&Z)
4. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T\&ES)
5. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the grading plan prior to its release. (T\&ES)
6. No vehicles associated with the construction of this project shall be permitted to idle for more than 10 minutes when parked. (T\&ES)
7. During demolition/construction the applicant/contractor shall control odors and any other air pollution sources resulting from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Director of Transportation and Environmental Services. Specifically, use appropriate dust suppression technique/equipment to minimize dust migration to neighboring properties during the demolition/construction phase. (T\&ES)

Staff: Tony LaColla, AICP, Division Chief, Land Use Regulatory Services
Ann Horowitz, Principal Planner
Shaun Smith, Urban Planner

Staff Note: In accordance with section 11-506(c) of the zoning ordinance, construction or operation shall be commenced and diligently and substantially pursued within 18 months of the date of granting of a special use permit by City Council or the special use permit shall become void.

## IV. CITY DEPARTMENT COMMENTS

## Transportation and Environmental Services

F-1 SWM has no comments.
R-1 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T\&ES)

R-2 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the grading plan prior to its release. (T\&ES)

R-3 No vehicles associated with the construction of this project shall be permitted to idle for more than 10 minutes when parked. (T\&ES)

R-4 During demolition/construction the applicant/contractor shall control odors and any other air pollution sources resulting from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Director of Transportation and Environmental Services. Specifically, use appropriate dust suppression technique/equipment to minimize dust migration to neighboring properties during the demolition/construction phase. (T\&ES)

C-1 A GRADING PLAN showing all improvements and alterations to the site shall be required prior to any land disturbing activities and must be approved prior to issuance of a building permit. (5-6-224) (T\&E)
C-2 New curb cuts require separate approval from the City. (Sec. 5-2-14) (T\&ES)

C-3 An erosion and sediment control plan must be approved by T\&ES prior to any land disturbing activity greater than 2500 square feet subject to the Exceptions described in Section 5-4-5. An erosion and sediment control bond shall be posted prior to release of the grading plan. (Sec.5-4-1.1) (T\&ES)

C-4 The applicant shall comply with the provisions of Article XIII Environmental Management Ordinance of the City of Alexandria. (T\&ES)

C-5 All improvements to the City right-of-way such as curbing, sidewalk, driveway aprons, etc. must be City standard design. (Sec.5-2-1) (T\&ES)

C-6 Flow from downspouts, foundation drains, and sump pumps shall be discharged to the storm sewer per the requirements of Memorandum to Industry 05-14 that is available on the City of Alexandria's web site. The downspouts and sump pump discharges shall be piped to the storm sewer outfall, where applicable per the
requirements of Article XIII of Alexandria Zoning Ordinance (AZO). Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation \& Environmental Services. (Sec.5-6-224)

C-7 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) ( T\&ES)

C-8 Pay sanitary sewer connection fee prior to release of Grading Plan. (Sec. 5-6-25) (T\&ES)

C-9 Any work within the right-of-way requires a separate permit from T\&ES. (Sec. 5361) (T\&ES)

C-10 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T\&ES)

## Department of Code Administration

C-1 A permit to demolish is required. A building permit, plan review, and inspections are required prior to the start of construction.

Fire
No comments received
Department of Recreation, Parks, and Cultural Activities
No comments received

## SPECIAL USE PERMIT

## SPECIAL USE PERMIT \#

$\qquad$
PROPERTY LOCATION:

413 WEST WINDSOR AVENUE

taX map reference: $033,04-10-27$ APPLICANT:

Name: gaver Nichols, architeat far


Address: $P \cdot 0, B 0 \times 2921$
$A Y \& A N D R I A, ~ V A$.
PROPOSED USE:

## SINGIE FAMIUM HOME

SPECIAC USE PERHIT TO CONSTRUCT A NEW SHNGLE
DEMO MST. HOME FAMILY DWEMUNG ON A developed substanditad LOt
 EfTHE UNDERSIGNED, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 4-11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

CHE UNDERSIGNED, having obtained permission from the property owner, herèby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.

昔THE UNDERSICNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

黄THE UNDERSIGNED, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be nonbinding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.


DATE:

ACTION-CITY COUNCIL: $\qquad$ DATE:

PROPERTY OWNER'S AUTHORIZATION

As the property owner of $\qquad$ 413 W. WINDSOR AVENUE ALEX. VA. I hereby (Property Address)
grant the applicant authorization to apply for the $\qquad$ use as
(use)
described in this application.

Name: $\qquad$ Wintisar west ul
60 KNH STREET


Phone $\qquad$ 703-622-0022


Email: daryleams 4 newhomes,com
Date: $\qquad$ APRIL 5, 2019

1. Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.
(Required floor plan and plot/site plan attached.
[ ] Requesting a waiver. See attached written request.
2. The applicant is the (check one):

Owner
[ ] Contract Purchaser
[ ] Lessee or
[ ] Other: $\qquad$ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent.

WINISOR VEST LLC is THE OWNER, INDIVIUA/S with ownership litevest are, DARN ANDREWS, MEMBER $50 \%$ ountesinip CAROMN ANDRES, MEMBER $50 \%$ anNERSHP.
$\qquad$

## OWNERSHIP AND DISCLOSURE STATEMENT <br> Use additional sheets if necessary

sNintizer lest LC.

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

2. Property. State the name; address and percent of ownership of any person or entity owning an
 unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are require to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).

For a list of current council, commission and board members, as well as the definition of business and financial relationship, click here.


NOTE: Business or financial relationships of the type described in Sec.11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.


If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

Yes. Provide proof of current City business license
[ ] No. The agent shall obtain a business license prior to filing application, if required by the City Code.

NARRATIVE DESCRIPTION
3. The applicant shall describe below the nature of the request in detail so that the Planning Commission and City Council can understand the nature of the operation and the use. The description should fully discuss the nature of the activity. (Attach additional sheets if necessary.)

The SUP is SUBMITIE TO ALWW The consideration of CONSTRUCTION OF A NEW HOME TO REPLACE AN EXISTING HOME, THE SITE IS IN THE REZONE THAT ALLOWS SINGLE FAMILY HEXES. The LeT is 9107 sat. B1 cit REcords And Excocds the R--8 MINILUT SIZE AF 8000 SQ. FT. IR DESIGN MEETS ALL R-Q Zoning regulations re: setbacks, Far (floor area ratio) And Hewitt requirements.

THE LOT IS HAVELER IRREGULAR IN SHAPE ANTI HAS 3 STREET
 CREATES A SUBSTIANLARD LOT (CURRENTLY DEVELOPED.)
WE ASL CONSIDRERATINN TO ALLOW THE CONSTRUCTION AF A ONE CAR GARAGE FACING THOMAS STREET. RELIEF IS REQUESTED FROM SECTION 7-2505 CF THE ZONIIGG CODDE THAT FPOHBITS garages in front yards. The proposed garage toes meet
 Deducted.
THE DESIGN OF THE NON HOME AND GARAGE IS COMPATIBLE UNIT THE EXISTNG NEAGHBCRHOOCCHARACTER IN TERMS OF BULK, HEGEHT \& LESIEN. WE ASK FER Ya'R SUPRRT OF RR

 SPALERE TOFARCAECOOATIUNS.
$\qquad$

## USE CHARACTERISTICS

4. The proposed special use permit request is for (check one):
[] a new use requiring a special use permit,
[] an expansion or change to an existing use without a special use permit,
[] an expansion or change to an existing use with a special use permit,

5. Please describe the capacity of the proposed use: AND. A JUBSAANARARO LOT. ClasSification.
A. How many patrons, clients, pupils and other such users do you expect? No PaTRons. Specify time period (ie., day, hour, or shift).

THE SUP IS FAR CONSIDERATION CF CONSTRUTITON OF ANON HOME TO RENACEAN EX SING HEME, THE STE $15^{\circ}$ UNIQUE AND IRREGULAR IN SHAPE WITH 3 FRONT YARCAS,
B. How many employees, staff and other personnel do you expect?

Specify time period (i.e., day, hour, or shift).
NOT AppliCABLE - Sicigiz- EMily Lorie
6. Please describe the proposed hours and days of operation of the proposed use:

Day: NOt APPLICABLE
single family home.

Hours:
NOT APPLICABLE.
$\qquad$
$\qquad$
$\qquad$
7. Please describe any potential noise emanating from the proposed use.
A. Describe the noise levels anticipated from all mechanical equipment and patrons.
not applicable.
single family home
B. How will the noise be controlled?

NOT APPLICABLE.
smuggle tomily home
8. Describe any potential odors emanating from the proposed use and plans to control them:

NOT APPLICABLE STELE FAMIM HOME
$\qquad$
$\qquad$
9. Please provide information regarding trash and litter generated by the use.
A. What type of trash and garbage will be generated by the use? (i.e. office paper; food wrappers)
typical to RESidential Homes,
B. How much trash and garbage will be generated by the use? (i.e. \# of bags or pounds per day or per week) ONE RECYCLE CONTAInER AMKITRASH CONTAINER PER WEEK.
C. How often will trash be collected?

ONCE PER WEEK AS PER NORMAL HOMEQNER AIIKCPS
D. How will you prevent littering on the property, streets and nearby properties?

NOT APPLICABLE.
$\qquad$
10. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?
[ ] Yes.
No.

If yes, provide the name, monthly quantity, and specific disposal method below:
NoTE: Small quawtitis of dian ing solvents generally
RECOGNized to BE ApPropriate for Residential use un the operation of the tome will Be stored, used As solvents And disposed of properly

$$
\begin{aligned}
& \text { THE SINELE FAMICY HOME WILU USE STANbIARD RESelling } \\
& \text { TRASAI \& RECYCle CONTARERS SUPPlied ByThte city ANd }
\end{aligned}
$$

11. Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?
[ ] Yes.
If yes, provide the name, monthly quantity, and specific disposal method below:
NOT APPLICABLE.
$\qquad$
$\qquad$
12. What methods are proposed to ensure the safety of nearby residents, employees and patrons?

NOT APPLICABLE.
$\qquad$
$\qquad$

## ALCOHOL SALES

13. 

A. Will the proposed use include the sale of beer, wine, or mixed drinks?
[] Yes X No

If yes, describe existing (if applicable) and proposed alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales.
sing eve family stone.
$\qquad$

## PARKING AND ACCESS REQUIREMENTS

14. A. How many parking spaces of each type are provided for the proposed use:


Standard spaces CFF FTPEET.
Compact spaces
Handicapped accessible spaces.
Other.

| Planning and Zoning Staff Only |
| :--- |
| Required number of spaces for use per Zoning Ordinance Section 8-200A |
| Does the application meet the requirement? |
| [ ] Yes [ ] No |

B. Where is required parking located? (check one)
won-site
[ ] offsite
If the required parking will be located offsite, where will it be located?
NOT APPLICABLE.

PLEASE NOTE: Pursuant to Section 8-200 (C) of the Zoning Ordinance, commercial and industrial uses may provide offsite parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.
C. If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) or (5) of the Zoning Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.
[ ] Parking reduction requested; see attached supplemental form
15. Please provide information regarding loading and unloading facilities for the use:
A. How many loading spaces are available for the use? NOT Applicable

| Planning and Zoning Staff Only <br> Required number of loading spaces for use per Zoning Ordinance Section 8-200 <br> Does the application meet the requirement? <br> [ ] Yes [ ] No |
| :--- |

$\qquad$
B. Where are off-street loading facilities located? $\qquad$ NOT ADPrNA踗
C. During what hours of the day do you expect loading/unloading operations to occur?
$\qquad$
D. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?
not Appulable
16. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?


## SITE CHARACTERISTICS

17. Will the proposed uses be located in an existing building?
[] Yes No

Do you propose to construct an addition to the building?
[] Yes
NAN (NEW CONATHZTON).
How large will the addition be? $\qquad$ square feet.
18. What will the total area occupied by the proposed use be?

$\qquad$ sq. ft. (existing) + $\qquad$ sq. ft. (addition if any) $=$ $\qquad$ sq. ft. (total)
19. The proposed use is located in: (check one)
[ ] a stand alone building
fra house located in a residential zone
[ ] a warehouse
[ ] a shopping center. Please provide name of the center: $\qquad$
[ ] an office building. Please provide name of the building: $\qquad$
[ ] other. Please describe: $\qquad$

## End of Application




413 W Windsor Ave
Anmandria. VA 22302

A. Property Information
A1.
TI3 N. WIND SOR ANE
Street Address
A2. $\quad 9107$
$\times \quad 35$
Floor Area Ratio Allowed by Zone
$=3187.5 a . F$
Maximum Allowable Floor Area
B. Existing Gross Floor Area Existing Gross Area
Basement
First floor
Second Floor
Third Floor
Atic
Porches
Balcony/Deck
Garage
Other***
B1. Iotal Gross
$\square$
C. Proposed Gross Floor Area Proposed Gross Area

- Basement

First Floor
Second Floor
Third Floor
Attic Porches

Balcony/Deck
Garage
1560
1
$\begin{array}{rr}15 & 0\end{array}$

Other
C1. Total Gross
D. Total Floor Area

D1.
 Sq. Ft Total Floor Area (add B3 and C3)
02.


Allowable Exclusions**
Basement**
Stairways**
Mechanical"
Attic less than $7^{* * *}$
Porches*
Balcony/Deck ${ }^{*}$
Garage**
Other**
Other"**
B2. Total Exclusions $\square$

Allowable Exclusions ${ }^{*}$

| Basement ${ }^{+*}$ | 1500 |
| :---: | :---: |
| Stainways** | 1 営書 |
| Mechanical* | $t$ |
| Attic less than $7^{\text {h }}$ | 0 |
| Porches*** | 240 |
| Balcony/Deck** | 0 |
| Garage** | 30 |

Other*
Other"m
co Total Exclusions 2245

B1.
 Sq. Ft.
B2.

Sq. Ft

B3. $\qquad$ Sq. Ft. Existing Fioor Area Minus Exclusions (subtract B2 from B1)

Comments for Existing Gross Floor Area.
c1.
 Sq. Ft :

C2
 $\mathrm{Sq} . \mathrm{Ft}$.

C3.
Allowable Floor Exclusions**
 Proposed Floor Area Minus Exclusions (subtract C2 from C1)

## Notes

Gross floor aras for residential single and two-family dwellings in the $R-20, R-12, R-8$, $R-5 ; R-2-R B$ and $R A$ zones (not including properties located within a Historic District is the sum of all areas under roof of a lot measured from exterior walls.

- Refer to the Zoning Ondinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exciusions. Sections may also be required for some exclusions.

2-145(A) to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for addifional allowable exclusions. Additional exclusions may inchude space under balconies, retracteble awnings etc.

The undersigned hereby certifies and attests that, to the best of his/her knowledge; the above computations are true and correct.


Date:











FRONT ELEVATION






THOMAS STREET 40' R/W GRAPHIC SCALE $\begin{array}{ccc}0^{\prime} & 10^{\prime} & 20^{\prime} \\ \approx & 1^{\prime \prime}=10^{\prime} & 20^{\prime} \text { B.R.L. }\end{array}$
$\qquad$ DB. 259, PG. 273) $141 .{ }^{2}$ $\qquad$ 522
9,107 SQ. FT.





 2 and Nomed


(A) ROOT PRUNING


tree preservation area notes for construction activity and malitenance:



II. felling and storing vegetation.
III. Incinerating materilas within or in close proximitr.
v. operating machinery or equipment, incluoing vehicle/Equipment parking or storage.
V. temporary or permanent ututry construction, paving or impervious surace instalation ท. IISPoSal of debris or chemicals.
VII. TEMPoRARY FACLITTES OR occupation by work force.
vil. STORAGE OF CONSTRUCTION MATERALLS OR WASTE.

INVASIVE SPECCIES REMOVAL AND MANAGEMENT PLAN:




ALVINES AT GROUND LEEEL. VINES SHOULD BE CUT AGAIN SEVERAL FEET UP
 -Gu,

and



GARIC MUSTARD AAliaria petiolata): PRESENT AS GRound cover. MEDIUM RISK TO SITENIIIITTY



LATE FALL TO AVOID NON-ARGET SPECIES.






 fall and agalin winter as necessary
WHITE MULBERRY (MOTUS Slba): PRESENT AS GROUND COVER R SMALL SAPLINGS. LOW RIS TO STIE NCICNTYY
 CONDUCTED BY CUTING THROUGH THE BARK OF THE TREE, AROUND THE ENTIR TRUNK OF THE TREE AT L EAST 6 INCHES ABOVE TH





Lauren A. Duvall
Certified Arborist
Certified Arborist
ISA-CA. MA 5329 A
favall

## FW: FW: Landscape sheets

## Ann Horowitz

Tue 6/25/2019 3:45 PM
To: Patrick Silva [Patrick.Silva@alexandriava.gov](mailto:Patrick.Silva@alexandriava.gov)
Patrick,

Can you distribute this to the PC?

Thanks.

Ann

From: LYN GUBSER [Igubser@comcast.net](mailto:Igubser@comcast.net)
Sent: Tuesday, June 25, 2019 2:14 PM
To: Daryl Andrews [daryl@ams4newhomes.com](mailto:daryl@ams4newhomes.com)
Cc: Gaver Nichols Architect [gnarchitec@aol.com](mailto:gnarchitec@aol.com); Caroline Andrews [caroline@ams4newhomes.com](mailto:caroline@ams4newhomes.com); Shaun
Smith [Shaun.Smith@alexandriava.gov](mailto:Shaun.Smith@alexandriava.gov); Kay Stimson [kstimson@me.com](mailto:kstimson@me.com)
Subject: Re: FW: Landscape sheets

Daryl -
The document you attached to your note of this morning is the same to which we objected yesterday. Apparently, you sent us the wrong edition of your landscape plan.

When you said you agreed with our letter of yesterday, we asked that you memorialize this agreement so that it could be registered with Planning \& Zoning and we could move forward. Taken from your letter to us of June 21st and the contribution of the city arborist and tree stewards, the key points of our agreed arrangement are:

- Four canopy trees with a minimum 12 feet in height. Two in the front of the new home, two in the back, plus two additional trees to be planted at a location determined by the NRCA.
- The four trees to be planted on the property, as well as the two to be planted elsewhere by NRCA, should be selected from the following list of indigenous canopy trees suitable for smaller Alexandria lots: scarlet oak, white oak, black oak, northern red oak, or black gum.
- The Virginia Pine and milling of the existing white oak would be exchanged for an additional canopy tree.

These are the points with which we understood from your comment that you were in agreement. We ask that you memorialize these in a letter agreement or other document, with the understanding that time precludes the revision of the landscaping plan before tonight's meeting of the Planning Commission.

If we have misunderstood your commitment please let us know. We can always request a postponement of tonight's hearing to give us more time to come to agreement.

Lyn



## RE: Agenda Item 3, SUP 2019-0035--413 West Windsor Avenue

Dear Commissioners:
On behalf of the North Ridge Citizens' Association (NRCA), I am writing to convey the community's conditional support of the Planning Commission staff recommendation to approve SUP 2019-0035 pursuant to the replacement of a single-family dwelling at 413 West Windsor Avenue.

Following a June $10^{\text {th }}$ presentation by the Applicants to the NRCA Board, members voted to support the application contingent upon a satisfactory review of new construction on the property's tree canopy. A review and canvassing of neighbors raised several concerns focused primarily on the intended removal of a large, healthy White Oak (Quercus alba), and - to a lesser extent - a red Cedar and a Virginia Pine.

On June $21^{\text {st }}$, NRCA and Tree Stewards representatives, along with a representative of the City Arborist, met with the Applicants to determine options for preserving the White Oak. Citing new regulations on block face alignment and design restrictions later supported by Planning Commission staff, applicants expressed their determination that the tree would be removed. Alternately, Applicants proposed the following actions:

- Add four canopy trees with a minimum 12-foot height; two in front of the house and two in the rear of the new house, to be planted at a location determined by NRCA;
- Preserve the Virginia pine located on the SW corner of the property; and
- Incorporate Oak Tree lumber into the new home as a décor feature.

NRCA has accepted the first of these items as reasonable, conditional upon the trees being true canopy trees pursuant to Arborist and Tree Steward recommendations suitable for smallêr lots, including: Scarlet Oak, White Oak, Black Oak, Northern Red Oak, and Black Gum. NRCA appreciates Applicants' efforts to save the Virginia Pine, although we did not elect to include this item in our arrangement.
Additionally, NRCA has no interest in the milling of the White Oak. Instead, this earmark should be invested in the purchase of a fifth canopy tree from the stated list, or equivalent trees/shrubs, to lessen the impact of the garage to be built on the property.

cc: Lynn Gubser, Jayne Seward



