

DOCKET ITEM #3
Special Use Permit #2019-0035
413 West Windsor Avenue

CONSENT AGENDA ITEM

If no one asks to speak about this case prior to the hearing, it will be approved without discussion as part of the Consent Agenda.

Issue: Public hearing and consideration of a request for a special use permit to construct a new single-family dwelling on a developed substandard lot.	Planning Commission Hearing:	June 25, 2019
	City Council Hearing:	July 9, 2019
Address: 413 West Windsor Avenue	Zone:	R-8 / Single-family zone
Applicant: Daryl and Carolyn Andrews, represented by Gaver Nichols, Architect.	Small Area Plan:	North Ridge/Rosemont

Staff Recommendation: APPROVAL subject to compliance with all applicable codes, ordinances and the recommended permit conditions found in Section III of this report.

Staff Reviewers: Chrishaun Smith, Urban Planner, shaun.smith@alexandriava.gov
Ann Horowitz, Principal Planner, ann.horowitz@alexandriava.gov

I. REPORT SUMMARY

The applicants, Daryl and Carolyn Andrews, request Special Use Permit approval to construct a new single-family dwelling on a developed substandard lot at 413 West Windsor Avenue.

SITE DESCRIPTION

The subject property is one irregularly shaped lot of record located within the North Ridge neighborhood of the City. The property has three frontages, with the primary frontage facing West Windsor Avenue and with secondary frontage along Small and Thomas Streets to the southwest and the north respectively. The property has approximately 63 feet of frontage along West Windsor Avenue, 55 feet of frontage along Small Street, and approximately 51 feet of lot frontage along Thomas Street. The property has approximately 63 feet



Figure 1: Existing Dwelling Unit

of lot width along West Windsor Avenue, 53 feet of frontage along Small Street, and approximately 48 feet of lot frontage along Thomas Street. Furthermore, the lot has 100 feet of depth along the northern and northwestern side property lines and 130 feet of depth along the eastern side property line. The property has a total square footage of 9,107 square feet. The subject property is currently improved with a one-story single-family dwelling unit. The property is surrounded by single-family dwelling units.

BACKGROUND

The existing 2,488 gross square-foot, one-story dwelling was constructed in 1950 on a substandard lot that is noncomplying as to lot width requirements. The applicant entered under contract to acquire the property in order to redevelop the property with a new single-family dwelling unit with modern amenities in keeping with the architectural style of the surrounding neighborhood.

PROPOSAL

The applicant requests approval to redevelop a developed substandard lot with a new two-story single-family dwelling unit. The existing one-story structure would be demolished to be replaced with a new two-story structure with a basement and detached garage. The proposed dwelling would have a net floor area of 3,177 square feet (gross floor area of 5,422 square feet) and a building height of 29 feet, measured from the average finished grade. The existing dwelling unit is 2,488 gross square feet. The applicant proposes to construct a detached garage, with a driveway connecting to Thomas Street. The applicant proposes to improve the existing driveway by removing a portion to the northwest of the proposed dwelling unit.

A two-story Craftsman-style house is proposed as the new dwelling. The proposed dwelling would be clad with hardiplank horizontal siding on the first and second floor on all facades. The structure would also incorporate two dormers within the front (south) and secondary front (north) elevations. On the first-floor façade, the proposed dwelling unit would incorporate a 16 square-foot bay window within its eastern elevation and a large 402 square foot front porch along the primary front façade (Figure 2).



Figure 2: Proposed Dwelling – Front Elevation

PARKING

Pursuant to Section 8-200(A)(1) of the Zoning Ordinance, a minimum of two standard size parking spaces is required for single-family detached dwellings. The property would continue to remain in compliance with this standard as the applicant proposes to maintain the existing driveway that accommodates two standard sized tandem parking spaces. The applicant also proposes to include a detached garage with the corresponding driveway which would provide for two additional parking spaces for residents and visitors.

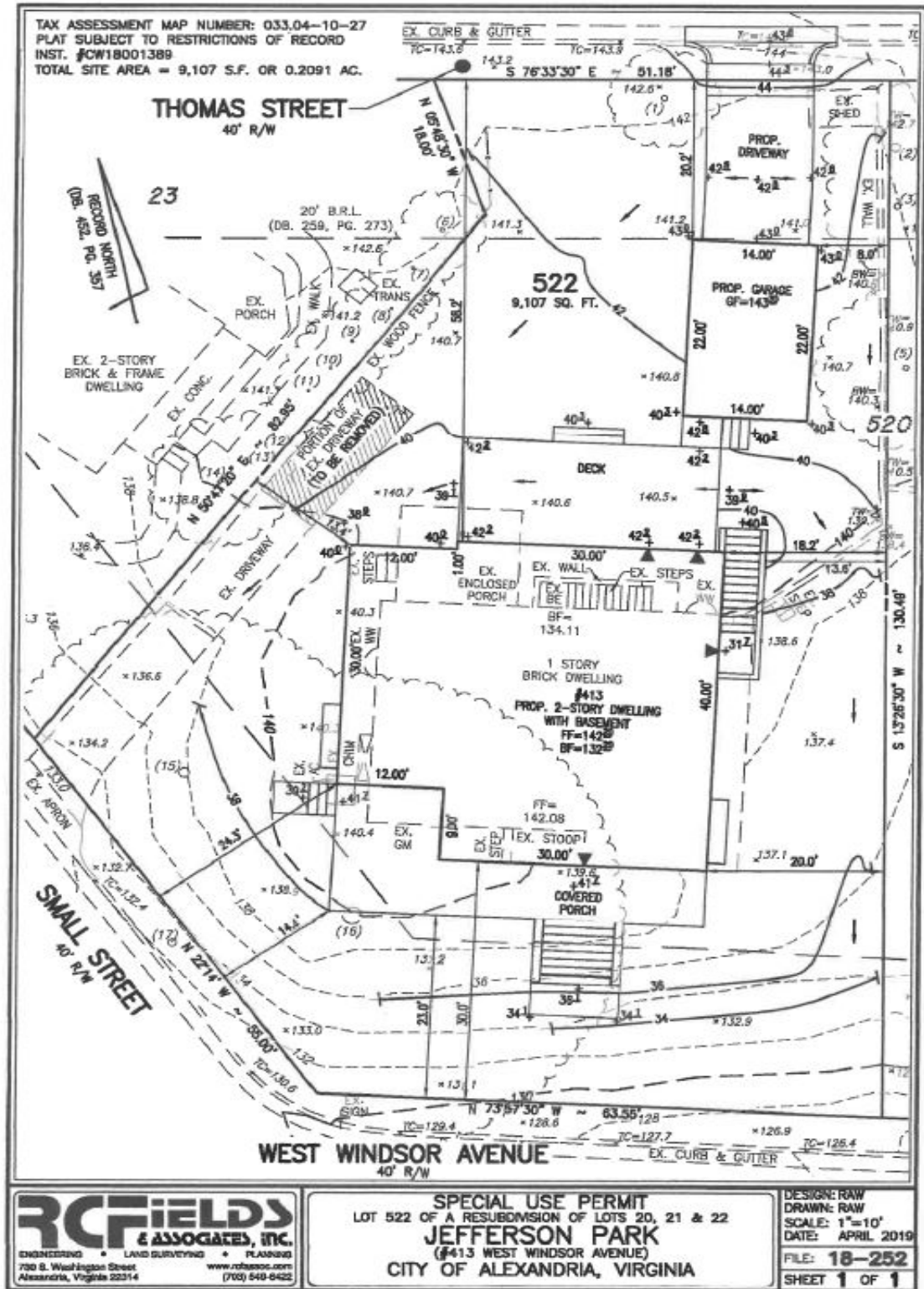


Figure 3: Survey Plat of Proposed Dwelling

ZONING

The subject property is located in the R-8/Single-family residential zone, which requires a minimum lot area of 8,000 square feet, a minimum lot frontage of 40 feet and a minimum lot width of 65 feet at the building line. The subject lot meets the minimum for lot frontage and lot area but is substandard in lot width along its yard frontages facing West Windsor Avenue, Small Street, and Thomas Street.

Requirement for a Special Use Permit (SUP)

Given that the substandard lot is developed with an existing home, Section 12-900 of the Zoning Ordinance applies to this SUP request. Section 12-901(C) of the Zoning Ordinance states that a SUP is required when residential construction is proposed that would exceed the gross floor area (as defined in Section 2-145[A]) of the existing dwelling by more than ten percent. The gross floor area of the existing home is 2,488 square feet whereas the proposed gross square foot of the replacement home is 5,422 square feet or 46% larger than the current dwelling unit, primarily due to the inclusion of a basement and second story. Section 12-901(C) also requires a SUP if the proposed dwelling would taller in height than the existing dwelling. The proposed dwelling would be 29.00 feet in height, whereas the existing dwelling unit is 16 feet. A request for SUP approval is required for the proposed dwelling to be constructed. Additionally, Section 12-901(C)(2) requires that an analysis of the proposed dwelling and its compatibility with the bulk, height, and design of the existing neighborhood is included within the SUP analysis for residential dwellings proposed on substandard lots to ensure that the structure is compatible with the neighborhood character.

The applicants' proposal meets Zoning Ordinance requirements for development within the R-8 zone, including setbacks, FAR, building height, and threshold height. Additional zoning elements of the proposal are indicated in Table 1:

Table 1	Requirement		Proposal	<i>Existing Dwelling</i>
Lot Size	8,000 sq. ft.		9,107 sq. ft.	
Lot Width	65.00 feet		W Windsor: 63.00 ft. Small: 53.00 ft. Thomas: 48.00 ft.	
Lot Frontage	40.00 feet		W Windsor: 63.55 ft. Small: 55.00 ft. Thomas: 51.18 ft.	
Primary Front Yard (W Windsor Ave)	Contextual	Min: 25.90 ft. Max: 30.40 ft.	30.00 ft.	31.30 ft.

Table 1	Requirement		Proposal	<i>Existing Dwelling</i>
Secondary Front Yard (Small Street)	Contextual	Min: 20.30 ft. Max: 87.80 ft.	24.30 ft.	24.30 ft.
Secondary Front Yard (Thomas Street)	Contextual	Min: 20.00 ft. Max: 71.40 ft.	58.20 ft.	54.00 ft.
Side Yard (west)	1:2 with 8 ft. min	10.75 ft.	13.40 ft.	21.40 ft.
Side Yard (east)	1:2 with 8 ft. min	10.75 ft.	18.20 ft.	13.50 ft.
Building Height	30 feet		29.00 ft.	
Threshold Height	Contextual	Min: 2.50 ft. Max: 3.00 ft.	2.50 ft.	
FAR	.35		.348	.269 (gross sq. ft.)

MASTER PLAN DESIGNATION

The proposed single-family residential use is consistent with the North Ridge/Rosemont Small Area Plan, which designates this property for residential development.

II. STAFF ANALYSIS

Staff supports the applicant's proposal to redevelop the substandard lot at 413 West Windsor Avenue. The architectural design and the infill provisions of the Zoning Ordinance related to dwelling height, threshold height, and setbacks are consistent and compatible with the neighborhood character. Staff has worked with the applicant throughout the SUP review process on the design of the structure and landscaping to ensure that the proposal not only complies with the R-8 and infill redevelopment regulations, but also exceeds the City's tree canopy coverage requirements of 25 percent. Staff believes that the new proposed dwelling would be relatively compatible with existing homes in the neighborhood in terms of bulk, height, and design.

Bulk

While the bulk of the proposed new home would be larger than the existing dwelling, the size and bulk of the proposed dwelling unit would be in character with adjacent properties within the neighborhood. At 3,177 net square feet, the floor area of the proposed dwelling unit is comparable to the square footage of buildings to its south along Richards Lane and to the west within the 500 block of West Windsor Avenue. Moreover, the façade design of the proposed dwelling minimizes the perception of bulk due to the

inclusion of bay windows, two dormers, and full-width porch, and varying planes of the façades.

Height

The proposed new dwelling unit height of 29.00 feet is in accordance with the infill zoning regulations, which allow single-family dwellings to be constructed up to a height of 30 feet within the R-8 zone and other single and two-family zones within the city. The proposed building height is similar to several single-family dwellings within the area along Richards Lane, the 500 block of West Windsor Avenue, and Fontaine Street to the north of the subject property. Therefore, the proposed dwelling unit would not be visually intrusive and uncharacteristic in appearance within the North Ridge neighborhood.

Design

The neighborhood is composed of one and one-half and two-story dwelling units that were constructed across multiple time periods; ranging from as early as 1927 to the north and west of the subject property to the late 1970s to the north of the property along Thomas Avenue and to the south along Richards Lane. The predominate architectural style is Colonial Revival and Tudor. The exteriors of the dwellings are primarily brick, however, homes with horizontal siding also exist. Likewise, horizontal siding clad home additions are also a common architectural feature within the neighborhood. The proposed dwelling would replace a 1-story, minimalist, modern dwelling unit that was constructed in the 1950s with a two-story Craftsman-style dwelling unit with similar symmetry and rectilinear mass and design materials as the surrounding dwelling units.



Examples of neighboring homes with similar size and massing

Conclusion

Staff concludes that the proposal is a reasonable plan for the redevelopment of this substandard lot and recommends approval of the Special Use Permit request subject to the conditions contained in Section III of this report.

III. RECOMMENDED CONDITIONS

1. The design of the dwelling shall be in substantial conformance with illustrations completed by Gary Zickafoose of Next Generation Properties as submitted on May 23, 2019. (P&Z)
2. As part of the grading plan, trees shall be planted or existing trees preserved to exceed 40 percent canopy coverage over the site. (P&Z)
3. Any new driveway areas shall be constructed with a permeable paving system to the satisfaction of the Director of Planning and Zoning (P&Z)
4. Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
5. No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the grading plan prior to its release. (T&ES)
6. No vehicles associated with the construction of this project shall be permitted to idle for more than 10 minutes when parked. (T&ES)
7. During demolition/construction the applicant/contractor shall control odors and any other air pollution sources resulting from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Director of Transportation and Environmental Services. Specifically, use appropriate dust suppression technique/equipment to minimize dust migration to neighboring properties during the demolition/construction phase. (T&ES)

Staff: Tony LaColla, AICP, Division Chief, Land Use Regulatory Services
Ann Horowitz, Principal Planner
Shaun Smith, Urban Planner

Staff Note: In accordance with section 11-506(c) of the zoning ordinance, construction or operation shall be commenced and diligently and substantially pursued within 18 months of the date of granting of a special use permit by City Council or the special use permit shall become void.

IV. CITY DEPARTMENT COMMENTS

Transportation and Environmental Services

- F-1 SWM has no comments.
- R-1 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-2 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the grading plan prior to its release. (T&ES)
- R-3 No vehicles associated with the construction of this project shall be permitted to idle for more than 10 minutes when parked. (T&ES)
- R-4 During demolition/construction the applicant/contractor shall control odors and any other air pollution sources resulting from operations at the site and prevent them from leaving the property or becoming a nuisance to neighboring properties, as determined by the Director of Transportation and Environmental Services. Specifically, use appropriate dust suppression technique/equipment to minimize dust migration to neighboring properties during the demolition/construction phase. (T&ES)
- C-1 A GRADING PLAN showing all improvements and alterations to the site shall be required prior to any land disturbing activities and must be approved prior to issuance of a building permit. (5-6-224) (T&E)
- C-2 New curb cuts require separate approval from the City. (Sec. 5-2-14) (T&ES)
- C-3 An erosion and sediment control plan must be approved by T&ES prior to any land disturbing activity greater than 2500 square feet subject to the Exceptions described in Section 5-4-5. An erosion and sediment control bond shall be posted prior to release of the grading plan. (Sec.5-4-1.1) (T&ES)
- C-4 The applicant shall comply with the provisions of Article XIII Environmental Management Ordinance of the City of Alexandria. (T&ES)
- C-5 All improvements to the City right-of-way such as curbing, sidewalk, driveway aprons, etc. must be City standard design. (Sec.5-2-1) (T&ES)
- C-6 Flow from downspouts, foundation drains, and sump pumps shall be discharged to the storm sewer per the requirements of Memorandum to Industry 05-14 that is available on the City of Alexandria's web site. The downspouts and sump pump discharges shall be piped to the storm sewer outfall, where applicable per the requirements of Article XIII of Alexandria Zoning Ordinance (AZO). Where

storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224)

- C-7 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-8 Pay sanitary sewer connection fee prior to release of Grading Plan. (Sec. 5-6-25) (T&ES)
- C-9 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-361) (T&ES)
- C-10 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

Department of Code Administration

- C-1 A permit to demolish is required. A building permit, plan review, and inspections are required prior to the start of construction.

Fire

No comments received

Department of Recreation, Parks, and Cultural Activities

No comments received



APPLICATION

SPECIAL USE PERMIT

SPECIAL USE PERMIT # _____

PROPERTY LOCATION: 413 WEST WINDSOR AVENUE

TAX MAP REFERENCE: 033,04-10-27

ZONE: R-8

APPLICANT:

Name: GAVIN NICHOLS, ARCHITECT FOR

DARYL ANDREWS MAJ. MEMBER
WINDSOR WEST LLC
601 KING STREET STE 252
ALEXANDRIA, VA. 22314

Address: P.O. BOX 2921
ALEXANDRIA, VA.
22301

PROPOSED USE:

SINGLE FAMILY HOME

SPECIAL USE PERMIT TO CONSTRUCT A NEW SINGLE
DEMO EXIST. HOME. ° FAMILY DWELLING ON A DEVELOPED SUBSTANDARD LOT
(SECTION 12-901(C) OF ALEXANDRIA ZONING ORDINANCE

☒ **THE UNDERSIGNED**, hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 4-11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

☒ **THE UNDERSIGNED**, having obtained permission from the property owner, hereby grants permission to the City of Alexandria staff and Commission Members to visit, inspect, and photograph the building premises, land etc., connected with the application.

☒ **THE UNDERSIGNED**, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article IV, Section 4-1404(D)(7) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

☒ **THE UNDERSIGNED**, hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief. The applicant is hereby notified that any written materials, drawings or illustrations submitted in support of this application and any specific oral representations made to the Director of Planning and Zoning on this application will be binding on the applicant unless those materials or representations are clearly stated to be non-binding or illustrative of general plans and intentions, subject to substantial revision, pursuant to Article XI, Section 11-207(A)(10), of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

GAVIN NICHOLS, ARCHITECT, AGENT

Gavin Nichols AIA APR. 5, 2019

Print Name of Applicant or Agent

Signature

Date

P.O. BOX 2921

703-362-8482

N/A.

Mailing/Street Address

Telephone #

Fax #

ALEXANDRIA, VA. 22301

GNARCHITEC@AOL.COM

City and State

Zip Code

Email address

ACTION-PLANNING COMMISSION: _____ DATE: _____

ACTION-CITY COUNCIL: _____ DATE: _____

PROPERTY OWNER'S AUTHORIZATION

As the property owner of 413 W. WINDSOR AVENUE ALEX. VA., I hereby
(Property Address)

grant the applicant authorization to apply for the SINGLE FAMILY HOME use as
(use)

described in this application.

Name: DARYL ANDREWS, % WINDSOR WEST LLC, 601 KING STREET

Phone 703-622-0022

Please Print

Address: 601 KING STREET

Email: daryl@AMS4newhomes.com

ALEXANDRIA, VA. 22319

Signature: 

Date: APRIL 5, 2019

1. Floor Plan and Plot Plan. As a part of this application, the applicant is required to submit a floor plan and plot or site plan with the parking layout of the proposed use. The SUP application checklist lists the requirements of the floor and site plans. The Planning Director may waive requirements for plan submission upon receipt of a written request which adequately justifies a waiver.

☒ Required floor plan and plot/site plan attached.

☐ Requesting a waiver. See attached written request.

2. The applicant is the (check one):

☒ Owner

☐ Contract Purchaser

☐ Lessee or

☐ Other: _____ of the subject property.

State the name, address and percent of ownership of any person or entity owning an interest in the applicant or owner, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent.

WINDSOR WEST LLC IS THE OWNER. INDIVIDUALS WITH OWNERSHIP INTEREST ARE.

DARYL ANDREWS, MEMBER 50 % OWNERSHIP

CAROLYN ANDREWS, MEMBER 50 % OWNERSHIP.

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

WINDSOR WEST LLC,

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. DARYL ANDREWS	601 KING STREET ALEX. VA. 22314	50%
2. CAROLYN ANDREWS	601 KING STREET ALEX. VA. 22314	50%
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 413 W. WINDSOR AVE. ALEXANDRIA VA (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. DARYL ANDREWS	601 KING ST ALEX. VA. 22314	50%
2. CAROLYN ANDREWS	601 KING STREET ALEX. VA. 22314	50%
3.		

3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicate each person or entity and "None" in the corresponding fields).

For a list of current council, commission and board members, as well as the definition of business and financial relationship, click [here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. DARYL ANDREWS	NOT APPLICABLE	NOT APPLICABLE
2. CAROLYN ANDREWS.	NOT APPLICABLE	NOT APPLICABLE
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

APRIL 5, 2019

Date

CAVER NICHOLS ARCHITECT

Printed Name



Signature

If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which the agent is employed have a business license to operate in the City of Alexandria, Virginia?

☒ **Yes.** Provide proof of current City business license

☐ **No.** The agent shall obtain a business license prior to filing application, if required by the City Code.

NARRATIVE DESCRIPTION

3. The applicant shall describe below the nature of the request **in detail** so that the Planning Commission and City Council can understand the nature of the operation and the use. The description should fully discuss the nature of the activity. (Attach additional sheets if necessary.)

THE SUP IS SUBMITTED TO ALLOW THE CONSIDERATION OF CONSTRUCTION OF A NEW HOME TO REPLACE AN EXISTING HOME. THE SITE IS IN THE R-8 ZONE THAT ALLOWS SINGLE FAMILY HOMES. THE LOT IS 9107 SQ. FT. BY CITY RECORDS AND EXCEEDS THE R-8 MIN. LOT SIZE OF 8000 SQ. FT. OUR DESIGN MEETS ALL R-8 ZONING REGULATIONS RE: SETBACKS, FAR (FLOOR AREA RATIO) AND HEIGHT REQUIREMENTS.

THE LOT IS HOWEVER IRREGULAR IN SHAPE AND HAS 3 STREET FRONTS - (A) ^{WEST} WINDSOR AVE (B) SMALL STREET AND (C) THOMAS STREET. NOTE: THOMAS STREET DOES NOT MEET LOT WIDTH REQUIREMENTS AND CREATES A SUBSTANDARD LOT (CURRENTLY DEVELOPED).

WE ASK CONSIDERATION TO ALLOW THE CONSTRUCTION OF A ONE CAR GARAGE FACING THOMAS STREET. RELIEF IS REQUESTED FROM SECTION 7-2505 OF THE ZONING CODE THAT PROHIBITS GARAGES IN FRONT YARDS. THE PROPOSED GARAGE DOES MEET ALL SETBACK REGS. AND IS ~~EXCLUDED~~ ^{Deducted} IN THE F.A.R. CALCULATIONS.

THE DESIGN OF THE NEW HOME AND GARAGE IS COMPATIBLE WITH THE EXISTING NEIGHBORHOOD CHARACTER IN TERMS OF BULK, HEIGHT & DESIGN. WE ASK FOR YOUR SUPPORT OF OUR APPLICATION. WE ALSO ASK THAT THE THOMAS STREET YARD BE VIEWED AS A REAR YARD TO ALLOW THE GARAGE TO BE COUNTED AS A DEDUCTIBLE SPACE RE TO FAR CALCULATIONS. 14

USE CHARACTERISTICS

4. The proposed special use permit request is for (check one):

- ☐ a new use requiring a special use permit,
☐ an expansion or change to an existing use without a special use permit,
☐ an expansion or change to an existing use with a special use permit,

☒ Other. Please describe: CONSIDERATION OF ZONING REGULATION MODIFICATIONS
ON AN IRREGULAR SHAPED LOT W/ 3 STREET FRONTS.
 5. Please describe the capacity of the proposed use: AND A SUBSTANDARD LOT CLASSIFICATION.

A. How many patrons, clients, pupils and other such users do you expect? NO PATRONS.
 Specify time period (i.e., day, hour, or shift).

THE SUP IS FOR CONSIDERATION OF CONSTRUCTION
OF A NEW HOME TO REPLACE AN EXISTING HOME. THE SITE IS UNIQUE
AND IRREGULAR IN SHAPE WITH 3 FRONT YARDS.

B. How many employees, staff and other personnel do you expect?
 Specify time period (i.e., day, hour, or shift).

NOT APPLICABLE - SINGLE FAMILY HOME

6. Please describe the proposed hours and days of operation of the proposed use:

Day: NOT APPLICABLE

Hours: NOT APPLICABLE.

SINGLE FAMILY HOME.

7. Please describe any potential noise emanating from the proposed use.

A. Describe the noise levels anticipated from all mechanical equipment and patrons.

NOT APPLICABLE.

SINGLE FAMILY HOME

B. How will the noise be controlled?

NOT APPLICABLE.

SINGLE FAMILY HOME

8. Describe any potential odors emanating from the proposed use and plans to control them:

NOT APPLICABLE SINGLE FAMILY HOME

9. Please provide information regarding trash and litter generated by the use.

- A. What type of trash and garbage will be generated by the use? (i.e. office paper, food wrappers)

THE SINGLE FAMILY HOME WILL USE STANDARD ROLLING TRASH & RECYCLE CONTAINERS SUPPLIED BY THE CITY AND TYPICAL TO RESIDENTIAL HOMES.

- B. How much trash and garbage will be generated by the use? (i.e. # of bags or pounds per day or per week)

ONE RECYCLE CONTAINER AND TRASH CONTAINER PER WEEK.

- C. How often will trash be collected?

ONCE PER WEEK AS PER NORMAL HOMEOWNER PICKUPS

- D. How will you prevent littering on the property, streets and nearby properties?

NOT APPLICABLE.

10. Will any hazardous materials, as defined by the state or federal government, be handled, stored, or generated on the property?

[] Yes.

☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

NOTE: Small quantities of cleaning solvents generally recognized to be appropriate for residential use in the operation of the home will be stored, used as solvents and disposed of properly

11. Will any organic compounds, for example paint, ink, lacquer thinner, or cleaning or degreasing solvent, be handled, stored, or generated on the property?

[] Yes. ☒ No.

If yes, provide the name, monthly quantity, and specific disposal method below:

NOT APPLICABLE.

12. What methods are proposed to ensure the safety of nearby residents, employees and patrons?

NOT APPLICABLE.

ALCOHOL SALES

13.

- A. Will the proposed use include the sale of beer, wine, or mixed drinks?

[] Yes ☒ No

If yes, describe existing (if applicable) and proposed alcohol sales below, including if the ABC license will include on-premises and/or off-premises sales.

SINGLE FAMILY HOME.

PARKING AND ACCESS REQUIREMENTS

14. A. How many parking spaces of each type are provided for the proposed use:

2 Standard spaces *OFF STREET.*
 _____ Compact spaces
 _____ Handicapped accessible spaces.
 _____ Other.

Planning and Zoning Staff Only

Required number of spaces for use per Zoning Ordinance Section 8-200A _____

Does the application meet the requirement?

☐ Yes ☐ No

- B. Where is required parking located? (check one)

☒ on-site

☐ off-site

If the required parking will be located off-site, where will it be located?

NOT APPLICABLE.

PLEASE NOTE: Pursuant to Section 8-200 (C) of the Zoning Ordinance, commercial and industrial uses may provide off-site parking within 500 feet of the proposed use, provided that the off-site parking is located on land zoned for commercial or industrial uses. All other uses must provide parking on-site, except that off-street parking may be provided within 300 feet of the use with a special use permit.

- C. If a reduction in the required parking is requested, pursuant to Section 8-100 (A) (4) or (5) of the Zoning Ordinance, complete the PARKING REDUCTION SUPPLEMENTAL APPLICATION.

☐ Parking reduction requested; see attached supplemental form

NOT APPLICABLE

15. Please provide information regarding loading and unloading facilities for the use:

- A. How many loading spaces are available for the use? NOT APPLICABLE

Planning and Zoning Staff Only

Required number of loading spaces for use per Zoning Ordinance Section 8-200 _____

Does the application meet the requirement?

☐ Yes ☐ No

- B. Where are off-street loading facilities located? NOT APPLICABLE
- C. During what hours of the day do you expect loading/unloading operations to occur?
NOT APPLICABLE
- D. How frequently are loading/unloading operations expected to occur, per day or per week, as appropriate?
NOT APPLICABLE

16. Is street access to the subject property adequate or are any street improvements, such as a new turning lane, necessary to minimize impacts on traffic flow?

REQUEST A NEW CURB CUT ON THOMAS STREET

SITE CHARACTERISTICS

17. Will the proposed uses be located in an existing building? ☐ Yes ☒ No
- Do you propose to construct an addition to the building? ☐ Yes ☒ No (NEW CONSTRUCTION)
- How large will the addition be? N/A. square feet.
18. What will the total area occupied by the proposed use be? $9107 \times \frac{FAR}{35} = 3187 \text{ \# HOME PROPOSED.}$
- _____ sq. ft. (existing) + _____ sq. ft. (addition if any) = _____ sq. ft. (total)
19. The proposed use is located in: (check one)
- ☐ a stand alone building
- ☒ a house located in a residential zone
- ☐ a warehouse
- ☐ a shopping center. Please provide name of the center: _____
- ☐ an office building. Please provide name of the building: _____
- ☐ other. Please describe: _____

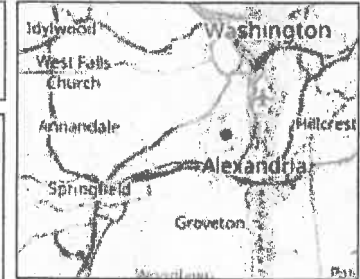
End of Application



City of Alexandria, Virginia

413 WEST WINDSOR AVE

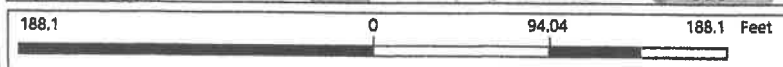
S.V.P.



Legend

- Tax Map Index
- Parcels
- Blocks
- Fire Stations
- Addresses
- Metro Stations
- Metro Lines
 - Blue
 - Yellow
 - Yellow Blue
- City Boundary
- Rail Lines
- Parcels
- Buildings
- Surface Water
- Streams
- Parks
- City of Alexandria

1: 1,128



WGS_1984_Web_Mercator_Auxiliary_Sphere
City of Alexandria, VA

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes



413 W Windsor Ave
Alexandria, VA 22302

Front Setback and Threshold Data				
#413 W. WINDSOR AVE. (RCF #18-252)				
Setback Data				
WEST WINDSOR AVE.				
503 W. WINDSOR AVE.	25.9			
411 W. WINDSOR AVE.	30.4			USE BETWEEN 25.9' AND 30.4'
SMALL ST.				
503 W. WINDSOR AVE.	87.8			
410 THOMAS ST.	20.3			USE BETWEEN 20.3' AND 87.8'
THOMAS ST.				
410 THOMAS ST.	20.0			
411 W. WINDSOR AVE.	71.4			
405 THOMAS ST.	30.6			
407 THOMAS ST.	30.8			USE BETWEEN 20.0' AND 71.4'
Threshold Data				
A	B	C	D	
			(C-B)	
		1st Floor	Distance	
	Ground	Threshold	Ground to	
Address #	Elevation	Elevation	1st Floor	
503 W. WINDSOR AVE.	146.9	149.0	2.1	
411 W. WINDSOR AVE.	134.5	137.5	3.0	
405 THOMAS ST.	146.3	148.0	1.7	
407 THOMAS ST.	146.8	148.0	1.2	
410 THOMAS ST.	142.5	145.0	2.5	
				USE BETWEEN 2.5 (MINIMUM) AND 3.0'



Department of Planning and Zoning Floor Area Ratio and Open Space Calculations for Single and Two-Family Residential Outside Historic Districts

A

A. Property Information

A1. Street Address **413 W. WINDSOR AVE.**

A2. Total Lot Area **9107**

x **0.35**
Floor Area Ratio Allowed by Zone

Zone **R-8**
= **3187.5 sq. ft.**
Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area

Basement
First Floor
Second Floor
Third Floor
Attic
Porches
Balcony/Deck
Garage
Other***

Allowable Exclusions**

Basement**
Stairways**
Mechanical**
Attic less than 7***
Porches**
Balcony/Deck**
Garage**
Other***
Other***

B1. Sq. Ft.
Existing Gross Floor Area*

B2. Sq. Ft.
Allowable Floor Exclusions**

B3. Sq. Ft.
Existing Floor Area Minus Exclusions
(subtract B2 from B1)

Comments for Existing Gross Floor Area

B1. Total Gross

B2. Total Exclusions

C. Proposed Gross Floor Area

Proposed Gross Area

Basement **1560**
First Floor **1560**
Second Floor **1560**
Third Floor **0**
Attic **0**
BAY PORCHES **32**
402
Balcony/Deck **0**
Garage **308**
Other***

Allowable Exclusions**

Basement** **1560**
Stairways** **137**
Mechanical** **0**
Attic less than 7*** **0**
Porches** **240**
Balcony/Deck** **0**
Garage** **308**
Other***
Other***

C1. **5422** Sq. Ft.
Proposed Gross Floor Area*

C2. **2245** Sq. Ft.
Allowable Floor Exclusions**

C3. **3177** Sq. Ft.
Proposed Floor Area Minus Exclusions
(subtract C2 from C1)

C1. Total Gross **5422**

C2. Total Exclusions **2245**

D. Total Floor Area

D1. **3177** Sq. Ft.
Total Floor Area (add B3 and C3)

D2. **3187** Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space (RA & RB Zones)

E1. **N/A** Sq. Ft.
Existing Open Space

E2. **N/A** Sq. Ft.
Required Open Space

E3. **N/A** Sq. Ft.
Proposed Open Space

Notes

*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2.5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot measured from exterior walls.

**Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

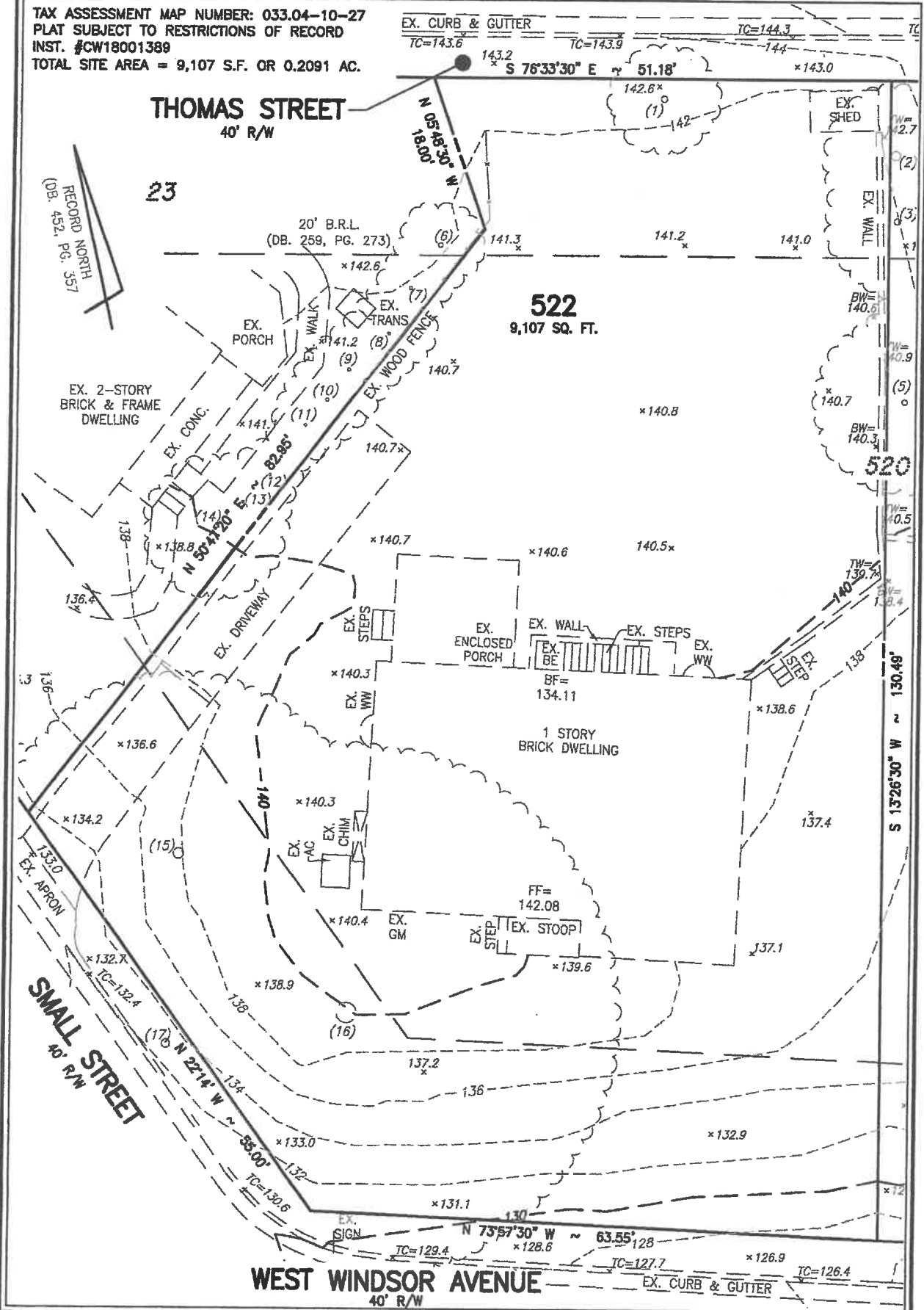
***Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: **Michael AIA**

Date: **4/10/19**

TAX ASSESSMENT MAP NUMBER: 033.04-10-27
PLAT SUBJECT TO RESTRICTIONS OF RECORD
INST. #CW18001389
TOTAL SITE AREA = 9,107 S.F. OR 0.2091 AC.

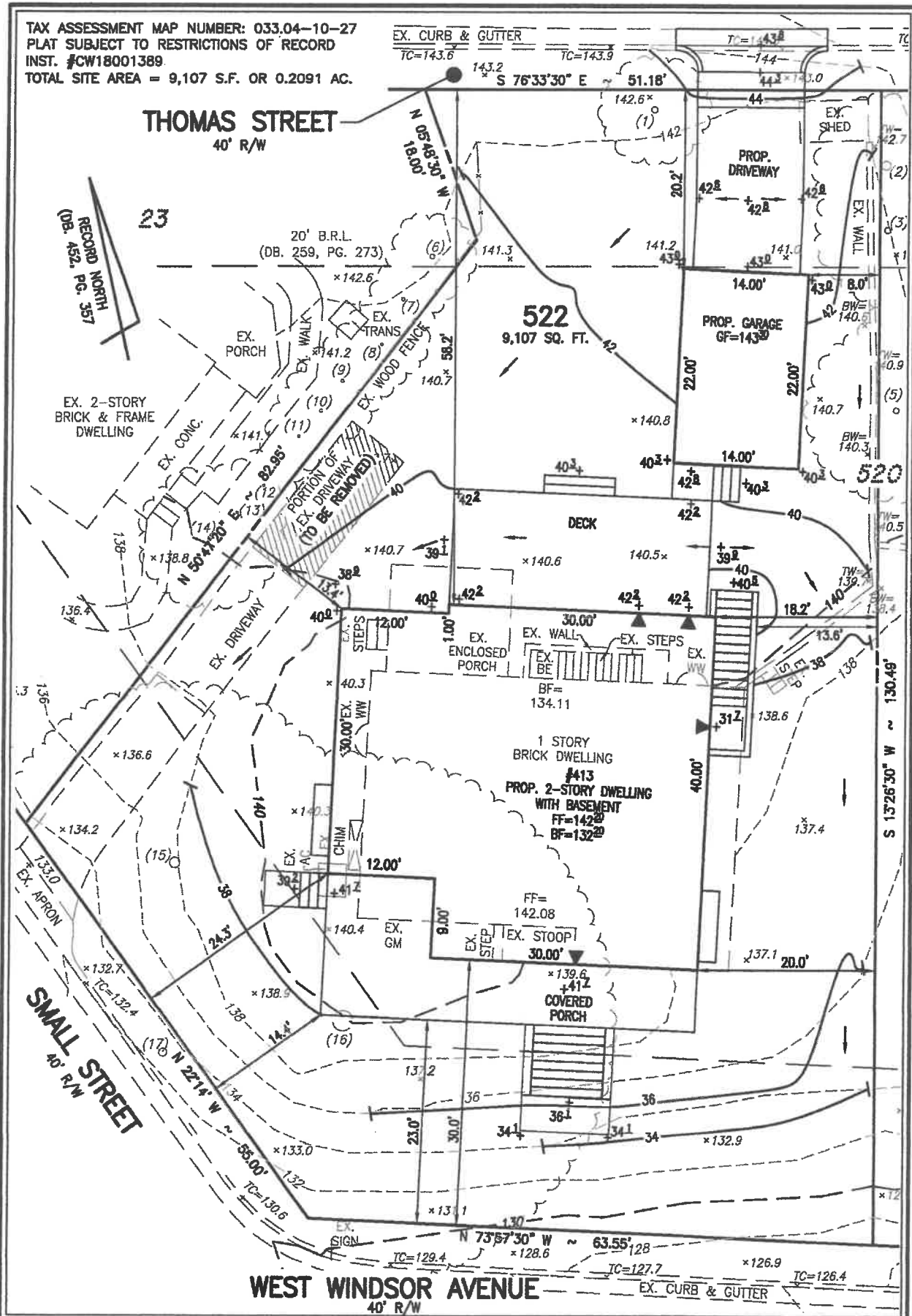


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EXISTING CONDITIONS PLAT
LOT 522 OF A RESUBDIVISION OF LOTS 20, 21 & 22
JEFFERSON PARK
(#413 WEST WINDSOR AVENUE)
CITY OF ALEXANDRIA, VIRGINIA

DESIGN: RAW
DRAWN: RAW
SCALE: 1"=10'
DATE: APRIL 2019
FILE: 18-252
SHEET 1 OF 1

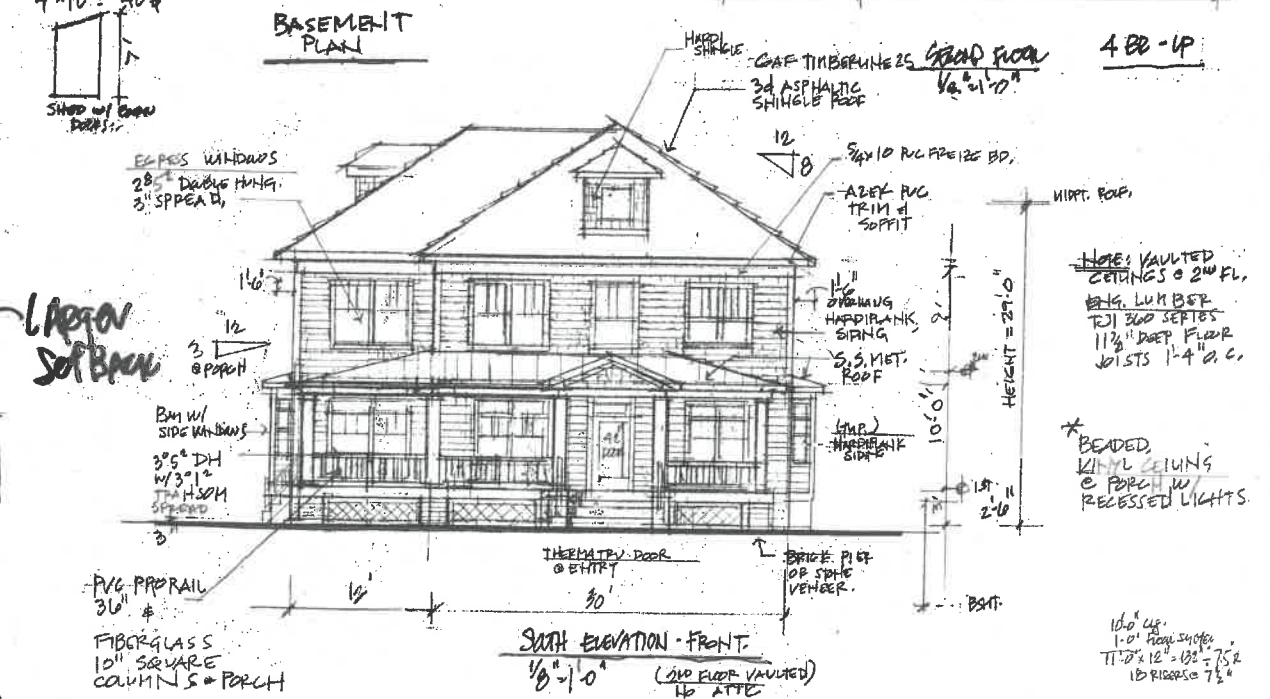
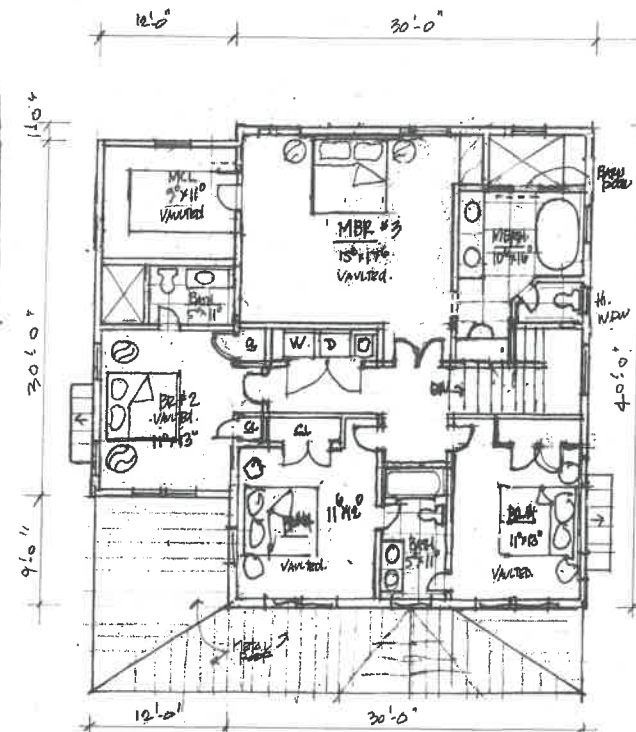
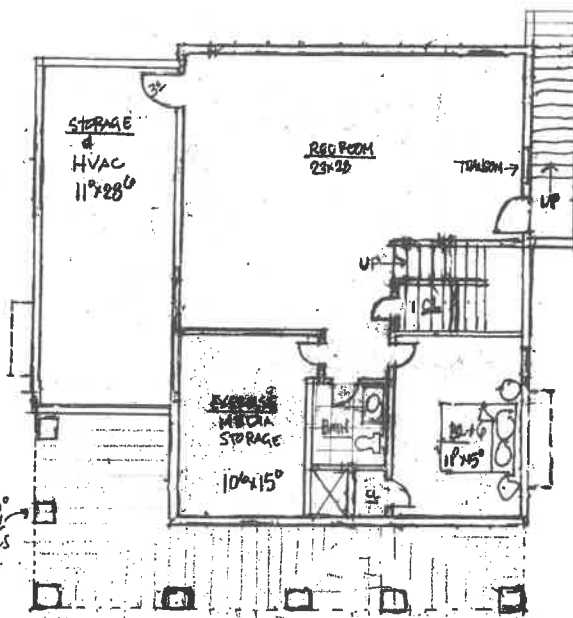
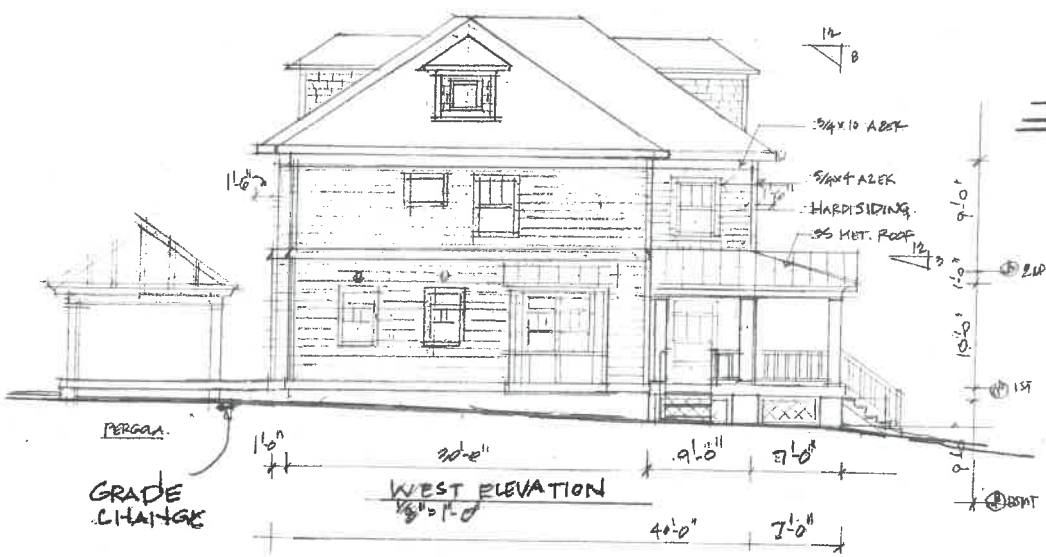
TAX ASSESSMENT MAP NUMBER: 033.04-10-27
 PLAT SUBJECT TO RESTRICTIONS OF RECORD
 INST. #CW18001389
 TOTAL SITE AREA = 9,107 S.F. OR 0.2091 AC.



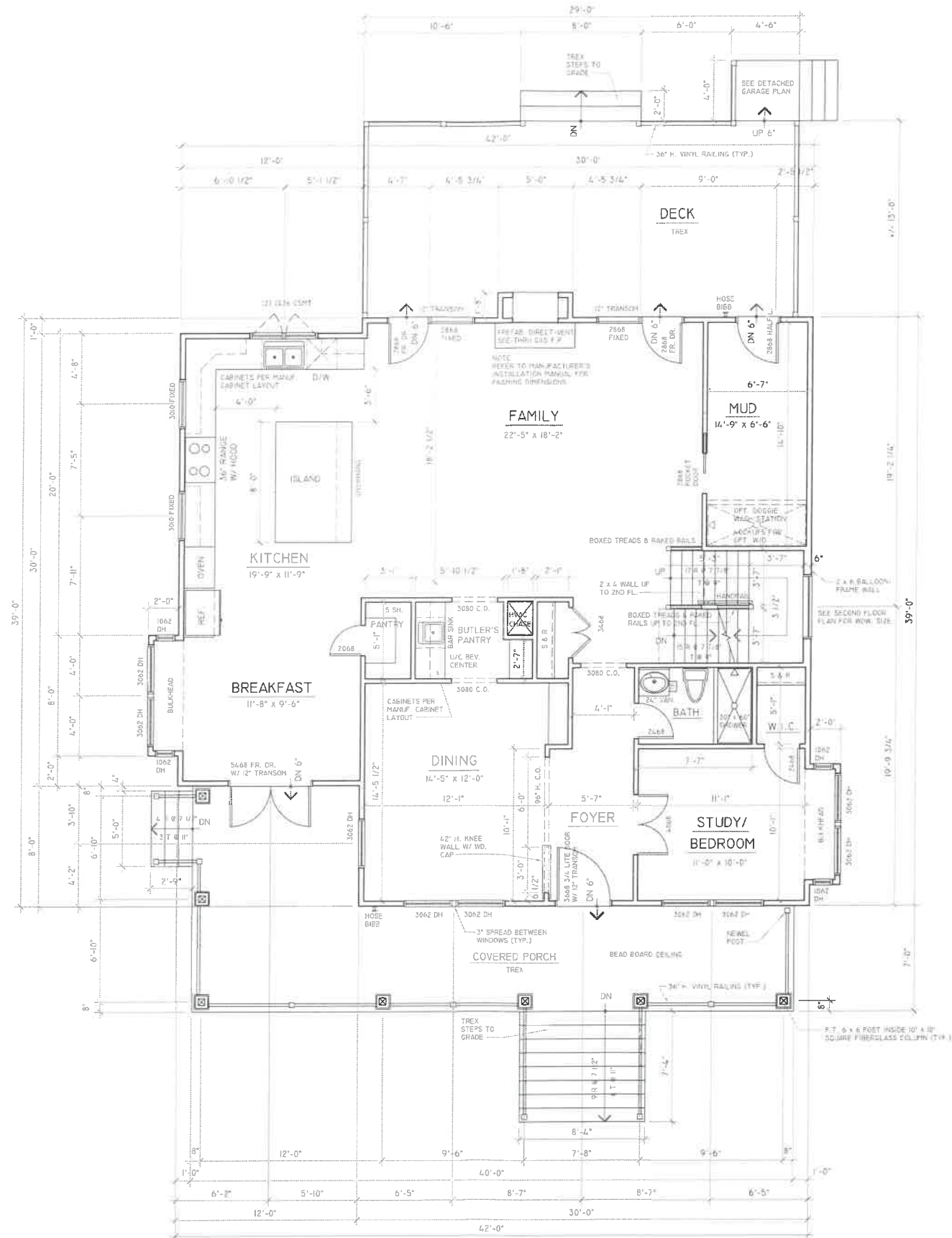
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SPECIAL USE PERMIT
 LOT 522 OF A RESUBDIVISION OF LOTS 20, 21 & 22
JEFFERSON PARK
 (#413 WEST WINDSOR AVENUE)
 CITY OF ALEXANDRIA, VIRGINIA

DESIGN: RAW
 DRAWN: RAW
 SCALE: 1"=10'
 DATE: APRIL 2019
 FILE: **18-252**
 SHEET **1** OF **1**

[illegible]

NORTH ELEVATION
8" = 1'-0" 1/16" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE:
BATHTUB & SHOWER FLOORS & WALLS
ABOVE BATHTUBS WITH INSTALLED
SHOWER HEADS & IN SHOWER
COMPARTMENTS SHALL BE FINISHED
WITH A NONABSORBENT SURFACE TO
A HEIGHT OF NOT LESS THAN 6"
ABOVE THE FLOOR - R307.2

FIRST & SECOND FLOOR PLAN NOTES:
1. ALL INTERIOR PARTITIONS TO BE 2 x 4 WOOD STUDS @ 16" O.C. (U.N.O.).
2. ALL EXTERIOR PARTITIONS TO BE 2 x 4 WOOD STUDS @ 16" O.C. (U.N.O.).
3. SEE FRAMING PLANS FOR STRUCTURAL INFORMATION NOT SHOWN HERE.
4. SEE ELEVATIONS FOR WINDOW HEAD HEIGHTS.
5. WINDOW & DOOR SIZES SHOWN IN FEET AND INCHES (I.E. 3'-0/6'-6 = 3'-0"
W. X 6'-6" H.).
6. ROUGH OPENINGS FOR WINDOW & DOOR JAMES MINIMUM 1/2" FROM
CORNERS (WHEREVER POSSIBLE).

REVISIONS:	DATE: 05-23-19
	SCALE:
	DRAWN: GMZ
	JOB:
	SHEET NO.
	A-2

THE JOSIAH HOUSE

413 W. WINDSOR AVENUE

ARCHITECT

GARY M. ZICKAFOOSE

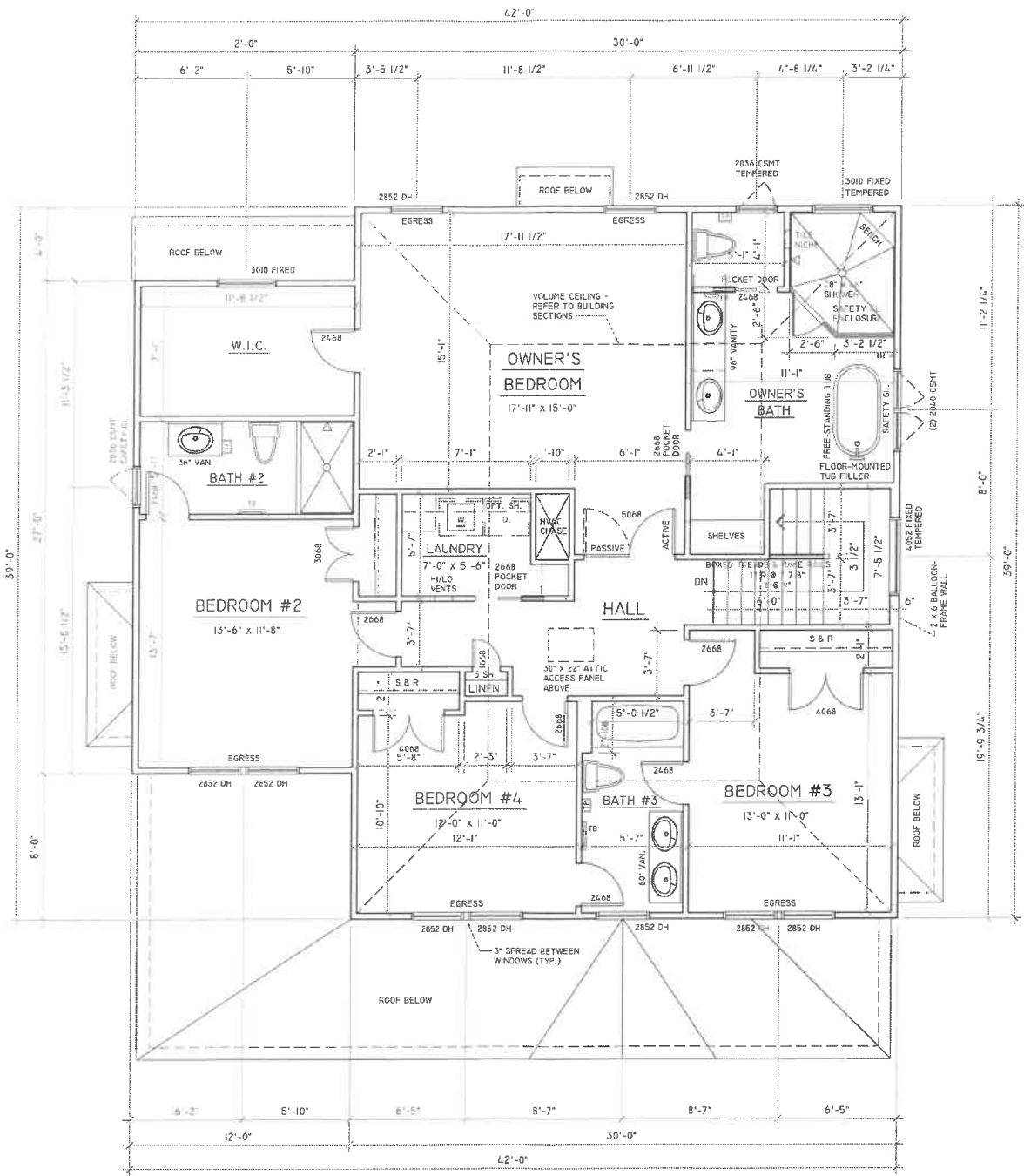
977 MANASSA LEE ROAD
STANTON, VIRGINIA 22111
(703) 965-1883

NEXT GENERATION

PROPERTIES

409 KING STREET #200
ALEXANDRIA, VIRGINIA 22314
(703) 314-4798

FIRST & SECOND FLOOR PLAN NOTES:
1. ALL INTERIOR PARTITIONS TO BE 2 x 4 WOOD STUDS @ 16" O.C. (U.N.O.).
2. ALL EXTERIOR PARTITIONS TO BE 2 x 4 WOOD STUDS @ 16" O.C. (U.N.O.).
3. SEE FRAMING PLANS FOR STRUCTURAL INFORMATION NOT SHOWN HERE.
4. SEE ELEVATIONS FOR WINDOW HEAD HEIGHTS.
5. WINDOW & DOOR SIZES SHOWN IN FEET AND INCHES (I.E. 3'-0/6'-8 = 3'-0" W. x 6'-8" T.).
6. ROUGH OPENINGS FOR WINDOW & DOOR JAMES MINIMUM 6" FROM CORNERS (WHEREVER POSSIBLE).
7. TP = TOILET PAPER HOLDER; TB = TOWEL BAR; TR = TOWEL RING; TH = TOWEL HOOK.



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

REVISIONS:

DATE: 05-23-19

SCALE:

DRAWN: GMZ

JOB:

SHEET No.

A-3

THE JOSIAH HOUSE

413 W. WINDSOR AVENUE

ARCHITECT

GARY M. ZICKAFOOS

977 MARKSVILLE ROAD

STANTON, VIRGINIA 22080

(703) 965-1803

NEXT GENERATION

PROPERTIES

401 KING STREET #200

ALEXANDRIA, VIRGINIA 22304

(703) 324-4996

30



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES:
1. PROVIDE OVERSIZE ALUMINUM GUTTERS, OVERSIZE ALUMINUM DOWNSPOUTS & SPLASHBLOCKS AS REQUIRED.
2. ALL SIDING TO BE HARDIE PLANK.
3. ALL EXTERIOR TRIM TO BE PLYCEM.

NEXT GENERATION
PROPERTIES
408 KING STREET #208
ALEXANDRIA, VIRGINIA 22314
(703) 312-4790

ARCHITECT
GARY M. ZICKAFOOSE
977 HANCOCK ROAD
STANTON, VIRGINIA 22086
(703) 965-1030

THE JOSIAH HOUSE
413 W. WINDSOR AVENUE

FRONT ELEVATION

REVISIONS:

DATE: 05-23-19

SCALE:

DRAWN: GMZ

JOB:

SHEET NO.

A-4



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

NEXT GENERATION
PROPERTIES
806 KING STREET #250
ALEXANDRIA, VIRGINIA 22314
(703) 331-4796

ARCHITECT
GARY M. ZICKAFOOSE
977 MANASSASVILLE ROAD
STANTON, VIRGINIA 22086
(703) 964-1794

THE JOSIAH HOUSE
413 W. WINDSOR AVENUE

LEFT SIDE ELEVATION

REVISIONS:

DATE: 05-23-19
SCALE:
DRAWN: GMZ
JOB:
SHEET No.
A-5



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

NEXT GENERATION
PROPERTIES
401 KING STREET #200
ALEXANDRIA, VIRGINIA 22314
(703) 213-1998

ARCHITECT
GARY M. ZICKAFOOSE
977 MARSHVILLE ROAD
STANTON, VIRGINIA 22081
(703) 985-1001

THE JOSIAH HOUSE
413 W. WINDSOR AVENUE

RIGHT SIDE ELEVATION

REVISIONS:

DATE: 05-23-19

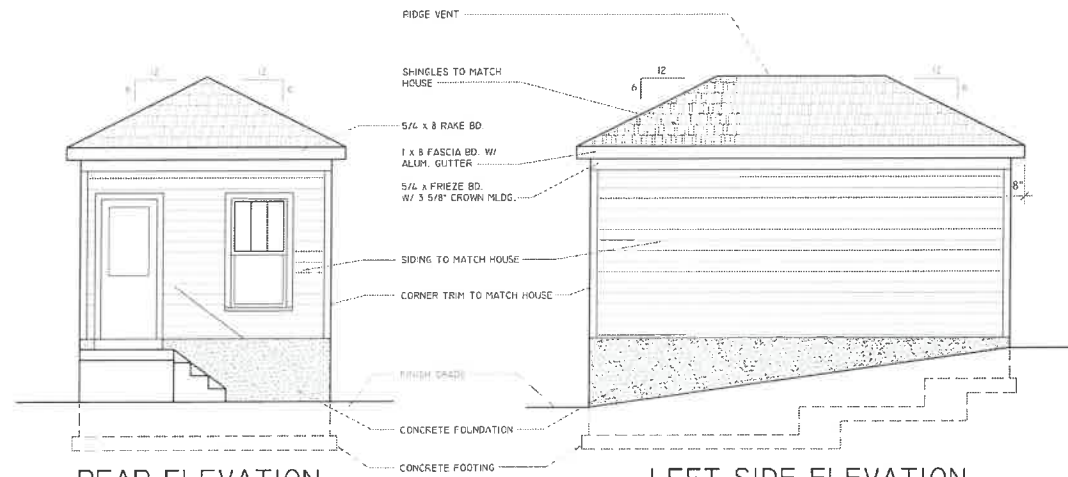
SCALE:

DRAWN: GMZ

JOB:

SHEET No.

A-7



REAR ELEVATION
SCALE: 1/4" = 1'-0"

LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

BRACED WALL LINE CALCULATIONS									
SWL	SWL LENGTH	SWL SPACING	BRACING LENGTH	EMPOUSE FACTOR	ROOF FACTOR	WALL HT FACTOR	SWL # FACTOR	LENGTH REQUIRED	LENGTH PROVIDED
A	12.00'	20.00'	3.50'	1.00	0.70	0.95	1.00	2.33'	3.29
B	12.00'	20.00'	3.50'	1.00	0.70	0.95	1.00	2.33'	4.50'
1	20.00'	12.00'	2.30'	1.00	0.70	0.95	1.00	1.53'	20.00'
2	20.00'	12.00'	2.30'	1.00	0.70	0.95	1.00	1.53'	20.00'

NOTES:

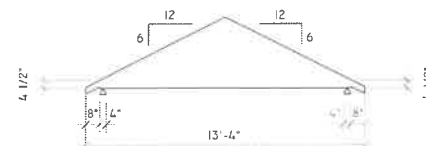
- WALL BRACING TO CONFORM WITH 2012 VIRGINIA RESIDENTIAL CODE.
- EXTERIOR WALLS TO BE FULLY SHEATHED W/ 7/16" O.S.B. STRUCTURAL WOOD SHEATHING OR BETTER (METHOD CS-WSP CONTINUOUS SHEATHING). ATTACH SHEATHING TO WOOD FRAMING W/ 66 NAILS @ 6" O.C. @ PANEL EDGES & 12" O.C. @ INTERMEDIATE SUPPORTS.
- INTERIOR BRACED WALLS TO HAVE 1/2" GYPSUM WALL BOARD ON SIDE(S) INDICATED ATTACHED TO WOOD FRAMING WITH 1 1/4" TYPE S OR W SCREWS @ 7" O.C. @ PANEL EDGES INCLUDING TOP & BOTTOM PLATES & @ 16" O.C. @ INTERMEDIATE SUPPORTS.

WALL BRACING KEY

- EXTERIOR WALL TYPE CS-WSP
- EXTERIOR WALL TYPE CS-PF
- INTERIOR WALL TYPE GB

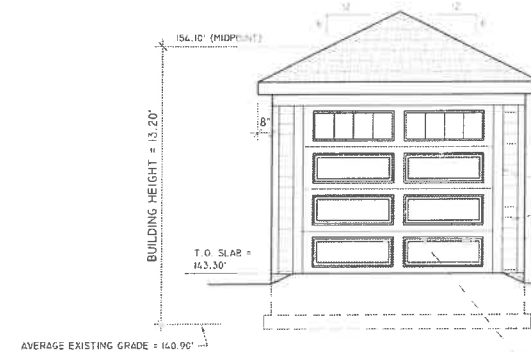
ROOF FRAMING NOTES:

- PROVIDE MIN. DOUBLE 2 x 4 POSTS (JACKS) BELOW HEADERS/BEAMS IN BEARING WALLS (U.N.D.).
- ALL ROOF FRAMING MEMBERS TO BE SPACED @ 24" O.C. UNLESS NOTED OTHERWISE.
- PROVIDE METAL HANGERS @ ALL PLUS- CONNECTIONS.
- ROOF TRUSSES TO BE DESIGNED & ENGINEERED BY TRUSS MANUFACTURER.

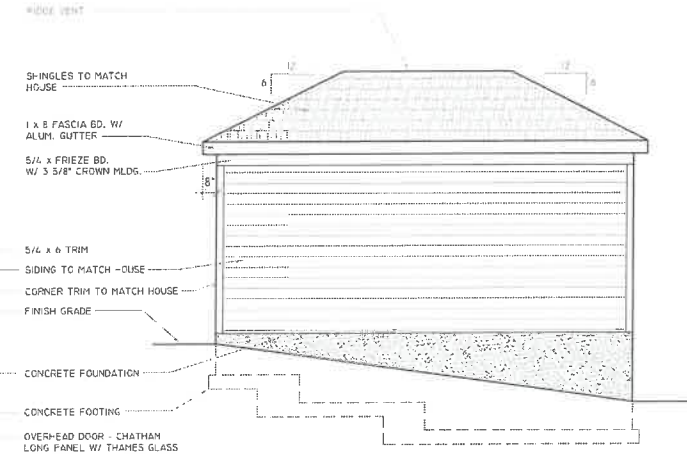


TRUSS PROFILE "DG-1"

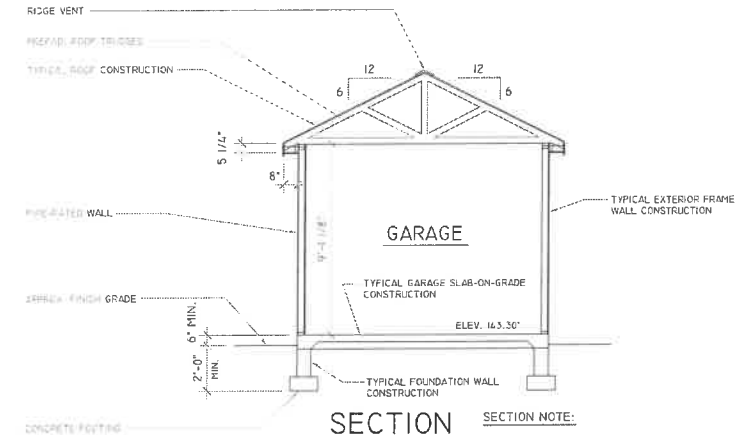
ELEVATION NOTE:
PROVIDE GUTTERS, DOWNSPOUTS & SPLASHBLOCKS AS REQUIRED.



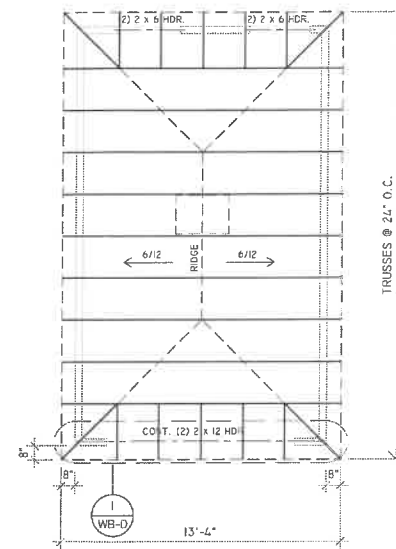
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



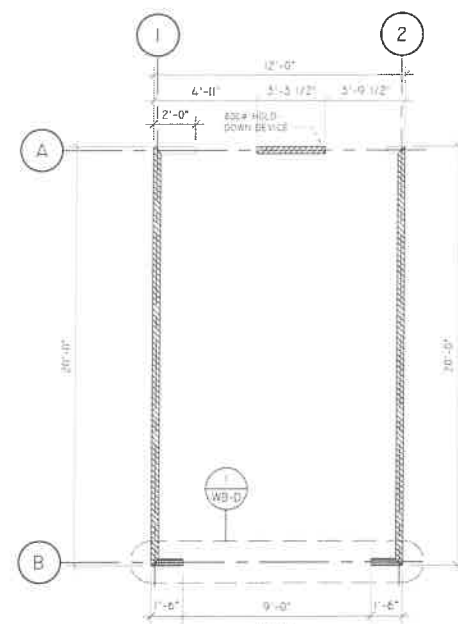
RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



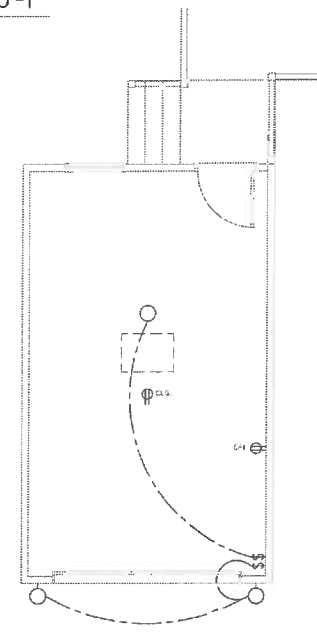
SECTION
SCALE: 1/4" = 1'-0"



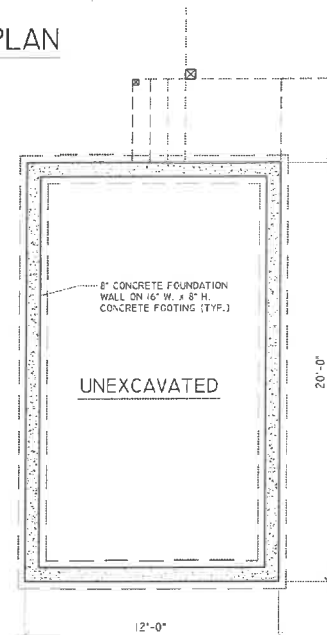
ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



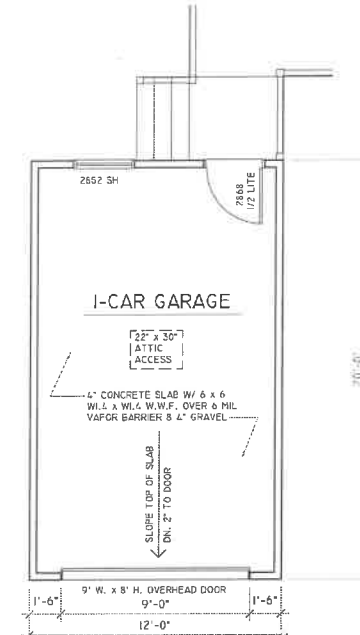
WALL BRACING PLAN
SCALE: 1/4" = 1'-0"



ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



FLOOR PLAN
SCALE: 1/4" = 1'-0"

NEXT GENERATION
PROPERTIES
400 KING STREET #200
ALEXANDRIA, VIRGINIA 22314
(703) 212-0906

ARCHITECT
GARY M. ZICKAFOOSE
9778 HANCOCK ROAD
STANLEY, VIRGINIA 22684
(703) 965-1003

THE JOSIAH HOUSE
413 W. WINDSOR AVENUE

DETACHED GARAGE
FOUNDATION PLAN, FLOOR PLAN, ELECTRICAL
PLAN, ELEVATIONS, SECTION, ROOF FRAMING
PLAN, TRUSS PROFILE, WALL BRACING PLAN

REVISIONS:

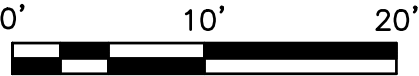
DATE: 05-23-19
SCALE:
DRAWN: GMZ
JOB:
SHEET No.
DG-1

TAX ASSESSMENT MAP NUMBER: 033.04-10-27
PLAT SUBJECT TO RESTRICTIONS OF RECORD
INST. #CW18001389
TOTAL SITE AREA = 9,107 S.F. OR 0.2091 AC.

THOMAS STREET

40' R/W

GRAPHIC SCALE



1" = 10'

20' B.R.L.

(DB. 259, PG. 273)

RECORD NORTH
(DB. 452, PG. 357)

EX. 2-STORY
BRICK & FRAME
DWELLING

522

9,107 SQ. FT.

PROP.
DRIVEWAY

PROP. GARAGE
GF=143²⁰

1 STORY
BRICK DWELLING

#413
PROP. 2-STORY DWELLING
WITH BASEMENT
FF=142²⁰
BF=132²⁰

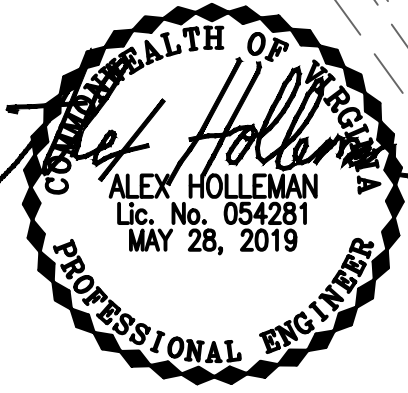
COVERED
PORCH

PROP. WALK

WEST WINDSOR AVENUE

40' R/W

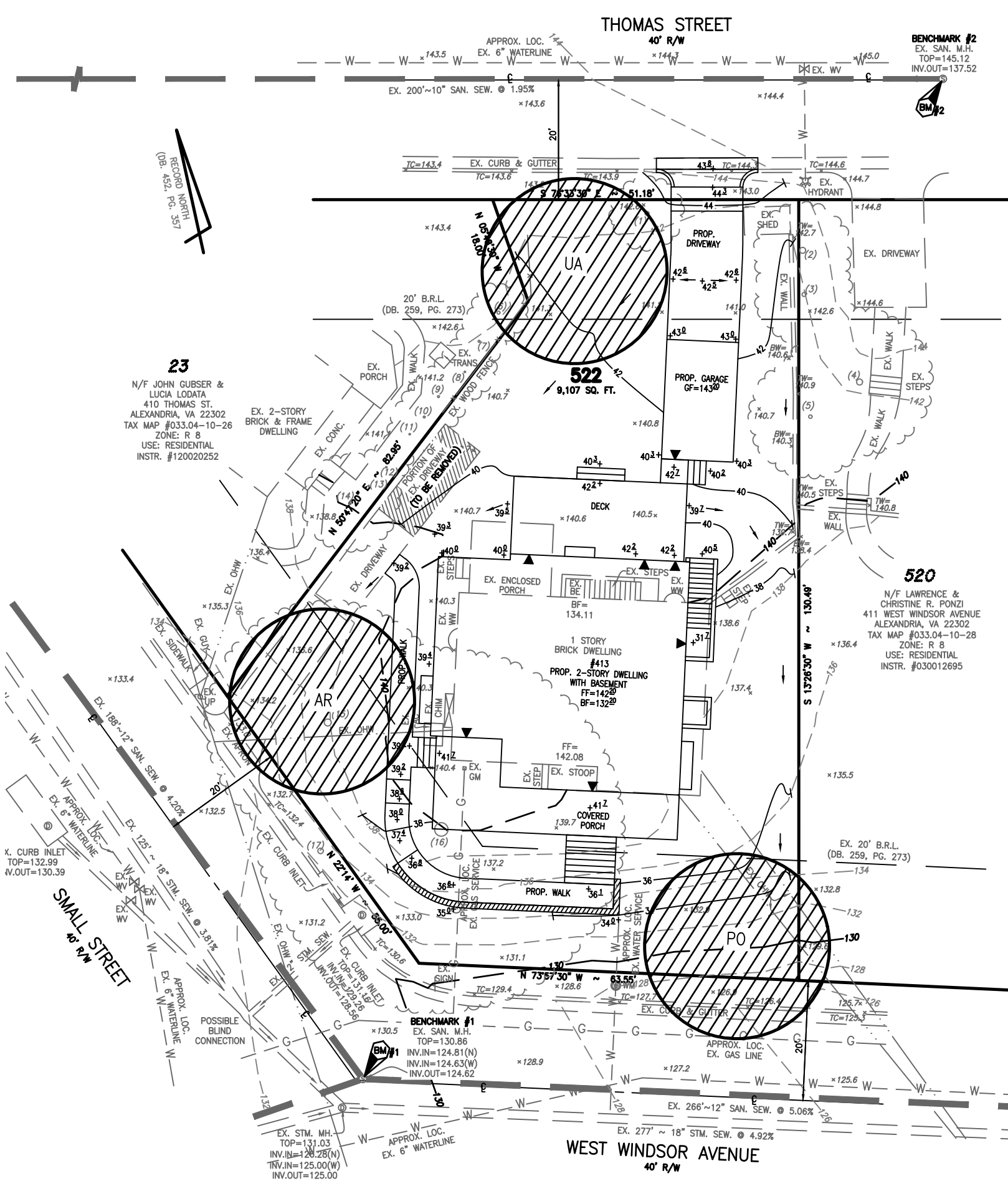
SMALL STREET
40' R/W



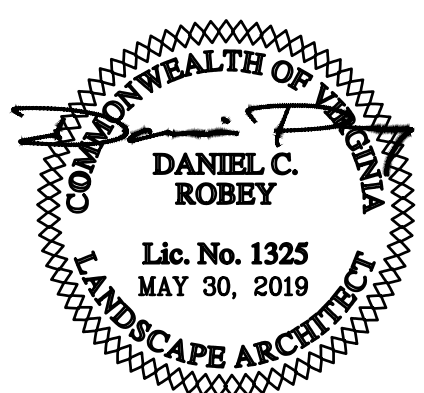
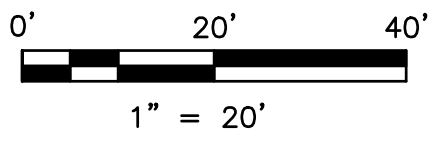
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Alexandria, Virginia 22314
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(703) 549-6422

SPECIAL USE PERMIT
LOT 522 OF A RESUBDIVISION OF LOTS 20, 21 & 22
JEFFERSON PARK
(#413 WEST WINDSOR AVENUE)
CITY OF ALEXANDRIA, VIRGINIA

DESIGN: RAW
DRAWN: RAW
SCALE: 1"=10'
DATE: MAY 2019
FILE: **18-252**
SHEET **1** OF **1**



GRAPHIC SCALE



PLAN KEY	QUANTITY	GENUS	SPECIES	VAR./CULTIV	COMMON NAME	CALIPER/HEIGHT		CCA PER TREE (SF)	TOTAL CROWN COVER (SF)
AR	1	Acer	Rubrum		Red Maple	2"-3" cal./12-14 ft. ht.	B&B; symmetrical, single leader	1,250	1,250
PO	1	Plantanus	Occidentalis		Sycamore	2"-3" cal./12-14 ft. ht.	B&B; symmetrical, single leader	1,250	1,250
UA	1	Quercus	Alba		White Oak	2"-3" cal./12-14 ft. ht.	B&B; symmetrical, single leader	1,250	1,250
TOTAL	3							STANDARD TREE CCA:	3,750

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Alexandria, Virginia 22314

www.rcfassoc.com
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LANDSCAPE PLAN

LOT 522 OF A RESUBDIVISION OF LOTS 20, 21 & 22

JEFFERSON PARK

(#413 WEST WINDSOR AVENUE)

CITY OF ALEXANDRIA, VIRGINIA

DESIGN: RAW

DRAWN: RAW

SCALE: 1"=20'

DATE: MAY 2019

FILE: **18-252**

SHEET **1** OF **2**

A)STANDARD LANDSCAPE PLAN NOTES FOR ALL PLANS REQUIRING APPROVAL:

- THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL PROJECTS THAT REQUIRE APPROVAL BY THE CITY AS OUTLINED IN CHAPTER 3 OF THE CITY'S 2019 LANDSCAPE GUIDELINES:
- 1)THE PROPERTY OWNER AND/OR APPLICANT, SPECIFIER, CONTRACTOR AND INSTALLER OF PLANT MATERIAL ARE RESPONSIBLE FOR UNDERSTANDING AND ADHERING TO THE STANDARDS SET FORTH IN THE MOST RECENT VERSION OF THE CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND APPLICABLE CONDITIONS OF APPROVAL. ALL QUESTIONS REGARDING APPLICATION OF, OR ADHERENCE TO, THE STANDARDS AND/OR CONDITIONS OF APPROVAL SHALL BE DIRECTED TO THE CITY PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBING ACTIVITY.
 - 2)THE CITY-APPROVED LANDSCAPE PLAN SUBMISSION, INCLUDING PLANT SCHEDULE, NOTES AND DETAILS SHALL BE THE DOCUMENT USED FOR INSTALLATION PURPOSES AND ALL PROCEDURES SET FORTH IN THE LANDSCAPE GUIDELINES MUST BE FOLLOWED.
 - 3)THE CONTRACTOR SHALL NOT INTERFERE WITH ANY TREE PROTECTION MEASURES OR IMPACT ANY EXISTING VEGETATION IDENTIFIED TO BE PRESERVED PER THE APPROVED TREE AND VEGETATION PROTECTION PLAN.
 - 4)ANY CHANGES, ALTERATIONS OR MODIFICATIONS TO THE SITE CONDITIONS THAT AFFECT VEGETATION PROTECTION ZONES WILL REQUIRE AN AMENDMENT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND/OR DETAILS.
 - 5)INSTALLATION OF PLANT MATERIAL MAY ONLY OCCUR DURING THE PLANTING SEASONS IDENTIFIED IN THE LANDSCAPE GUIDELINES.
 - 6)IN LIEU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF LANDSCAPE SPECIFICATION GUIDELINES AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA; GANTHERSBURG, MARYLAND.
 - 7)SUBSTITUTIONS TO THE APPROVED PLANT MATERIAL SHALL NOT OCCUR UNTIL WRITTEN APPROVAL IS PROVIDED BY THE CITY.
 - 8)MAINTENANCE FOR THIS PROJECT SHALL BE PERFORMED BY THE OWNER, APPLICANT, SUCCESSOR(S) AND/OR ASSIGN(S) IN PERPETUITY AND IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES AND AS CONDITIONED BY PROJECT APPROVAL, AS APPLICABLE.

B)STANDARD LANDSCAPE PLAN NOTES FOR DEVELOPMENT SITE PLANS:

- IN ADDITION TO THE NOTES PROVIDED ABOVE, THE FOLLOWING NOTES SHALL BE PROVIDED ON LANDSCAPE PLAN SUBMISSIONS FOR ALL DSP/DSUP PROJECTS:
- 1)THE APPROVED METHOD(S) OF PROTECTION MUST BE IN PLACE FOR ALL VEGETATION TO BE PRESERVED ON-SITE AND ADJACENT TO THE PROJECT SITE PURSUANT TO THE APPROVED TREE AND VEGETATION PROTECTION PLAN AND DETAILS PRIOR TO COMMENCEMENT OF DEMOLITION, CONSTRUCTION, OR ANY LAND DISTURBANCE. THE APPLICANT SHALL NOTIFY THE PLANNING & ZONING (P&Z) PROJECT MANAGER ONCE THE TREE PROTECTION METHODS ARE IN PLACE. NO DEMOLITION, CONSTRUCTION, OR LAND DISTURBANCE MAY OCCUR UNTIL AN INSPECTION IS PERFORMED BY THE CITY AND WRITTEN CONFIRMATION IS PROVIDED BY THE CITY WHICH VERIFIES CORRECT INSTALLATION OF THE TREE PROTECTION MEASURES.
 - 2)THE APPLICANT MUST CONTACT THE P&Z PROJECT MANAGER PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION/PLANTING OPERATION TO SCHEDULE A PRE-INSTALLATION MEETING. THE MEETING SHOULD BE HELD BETWEEN THE APPLICANT'S GENERAL CONTRACTOR, LANDSCAPE CONTRACTOR, LANDSCAPE ARCHITECT, THE P&Z PROJECT MANAGER AND THE CITY ARBORIST (AS APPLICABLE) TO REVIEW THE SCOPE OF INSTALLATION PROCEDURES AND PROCESSES DURING AND AFTER INSTALLATION.
 - 3)THE FOLLOWING INFORMATION SHALL BE PROVIDED TO THE P&Z PROJECT MANAGER AT LEAST FIVE (5) BUSINESS DAYS PRIOR TO THE LANDSCAPE PRE-INSTALLATION MEETING: 1) A LETTER THAT CERTIFIES THAT THE PROJECT LANDSCAPE ARCHITECT PERFORMED PRE-SELECTION TAGGING FOR ALL TREES PROPOSED WITHIN THE PUBLIC RIGHT OF WAY AND ON PUBLIC LAND PRIOR TO INSTALLATION. THIS LETTER MUST BE SIGNED AND SEALED BY THE PROJECT LANDSCAPE ARCHITECT, AND 2) A COPY OF THE SOIL BULK DENSITY TEST REPORT VERIFYING THAT MAXIMUM COMPRESSION RATES ARE MET.
 - 9)AS-BUILT DRAWINGS FOR THIS LANDSCAPE AND/OR IRRIGATION/WATER MANAGEMENT SYSTEM WILL BE PROVIDED IN COMPLIANCE WITH CITY OF ALEXANDRIA LANDSCAPE GUIDELINES, THE CITY CODE OF ORDINANCES, AND ALL APPLICABLE PLAN PREPARATION CHECKLISTS. AS-BUILT DRAWINGS SHALL INCLUDE CLEAR IDENTIFICATION OF ALL VARIATION(S) AND CHANGES FROM APPROVED DRAWINGS INCLUDING LOCATION, QUANTITY AND SPECIFICATION OF ALL PROJECT ELEMENTS.

A STANDARD LANDSCAPE PLAN NOTES
NOT TO SCALE

OF UPDATES: 00 LAST UPDATED:

CITY OF ALEXANDRIA, VIRGINIA
STANDARD LANDSCAPE DETAILS

CITY OF ALEXANDRIA, VIRGINIA



NOTE:
THE INFORMATION SHOWN HEREIN THIS DOCUMENT IS FOR GENERAL GUIDANCE ONLY AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES. ITS USE SHALL NOT RELIEVE THE DESIGN PROFESSIONAL OR CONTRACTOR OF ANY LEGAL RESPONSIBILITY.

Source:
CITY OF ALEXANDRIA

Approved by:
COA

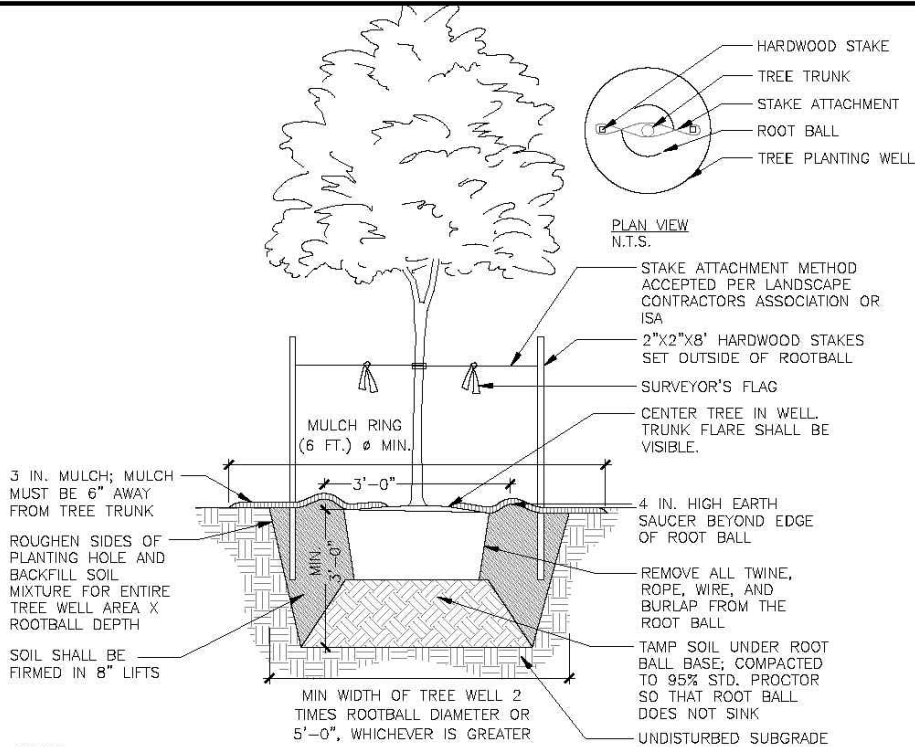
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STANDARD
LANDSCAPE
PLAN NOTES

Date drawn:

01/01/19

LD 016



NOTES

1. AT PLANTING PRUNE ONLY CROSSING LIMBS, BROKEN OR DEAD BRANCHES, AND ANY BRANCHES THAT POSE A HAZARD TO PEDESTRIANS PER ANSI STANDARDS A300. DO NOT PRUNE INTO OLD WOOD ON EVERGREENS.
2. CONTRACTOR SHALL MAXIMIZE EXCAVATED AREA FOR TREE WELL WITHOUT ADVERSELY IMPACTING ADJACENT SITE FEATURES
4. UNLESS OTHERWISE DIRECTED BY PROJECT SPECIFICATIONS OR CITY STAFF, SOIL MIXTURE SHALL BE CLEANED OF DEBRIS, AND MEET SOIL COMPOSITION REQUIREMENTS OF CITY OF ALEXANDRIA LANDSCAPE GUIDELINES.
5. TREES PLANTED WITHOUT THE TRUNK FLARE VISIBLE WILL BE REJECTED.
6. ALL PLANTS MUST BE WATERED AT INSTALLATION AND AGAIN WITHIN 48-HOURS OF INSTALLATION, ESTABLISHMENT WATERING SHALL BE PER THE SPECIFICATIONS ON ALL DETAILS.
7. STAKES WILL BE INSTALLED USING ARBORICULTURE PRACTICES, TREES SHALL STAND PLUM AFTER STAKING.
8. INSTALLATION WILL INCLUDE THE REMOVAL OF ALL STAKING MATERIAL ONE YEAR AFTER INSTALLATION. ANY HOLES LEFT BY REMOVING STAKING SHALL BE FILLED WITH APPROVED TOPSOIL / BACKFILL MIXTURE.
9. CONTRACTOR SHALL USE GALVANIZED EYESCREW & TURNBUCKLE INSTEAD OF ARBOR TIE ONLY FOR TREES OF SIGNIFICANT SIZE AS DIRECTED BY CITY STAFF.

A DECIDUOUS TREE PLANTING
NOT TO SCALE

OF UPDATES: 00 LAST UPDATED:

CITY OF ALEXANDRIA, VIRGINIA
STANDARD LANDSCAPE DETAILS

CITY OF ALEXANDRIA, VIRGINIA



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Source:
CITY OF ALEXANDRIA

Approved by:
COA

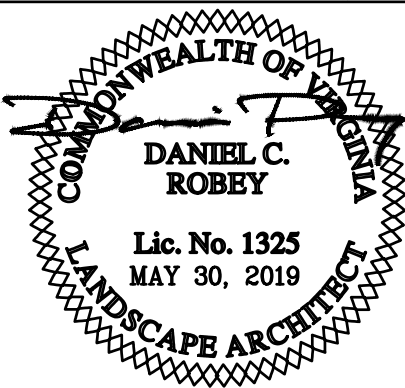
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DECIDUOUS
TREE PLANTING

Date drawn:

01/01/19

LD 001





NOTES:

1. *1. SHARED/OFFSITE TREES SHALL NOT BE REMOVED WITHOUT WRITTEN PERMISSION FROM AFFECTED ADJACENT PROPERTY OWNERS.
2. 2. TREES NOTED FOR REMOVAL WITHIN THE SAVE AREAS SHALL BE DONE SO BY HAND WITHOUT THE USE OF HEAVY MACHINERY.
3. 3. OFFSITE TREES WERE ASSESSED FROM THE SUBJECT PROPERTY SO NOT TO TRESPASS ONTO ADJACENT PROPERTY. DBH MEASUREMENTS ARE APPROXIMATE.
4. 4. TREES LOCATED WITHIN OR ON THE LIMITS OF DISTURBANCE, OR RATED AS BEING "POOR" IN CONDITION, ARE RECOMMENDED FOR REMOVAL


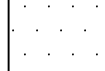
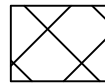
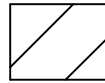


BY TNT ARBORISTS DUE TO THE LIKELIHOOD OF TREE FAILURE. HOWEVER, AT THE DISCRETION OF THE APPLICANT, SOME OF THESE MAY BE PRESERVED DURING CONSTRUCTION WITH THE APPROVAL OF THE CITY.

NOTES:


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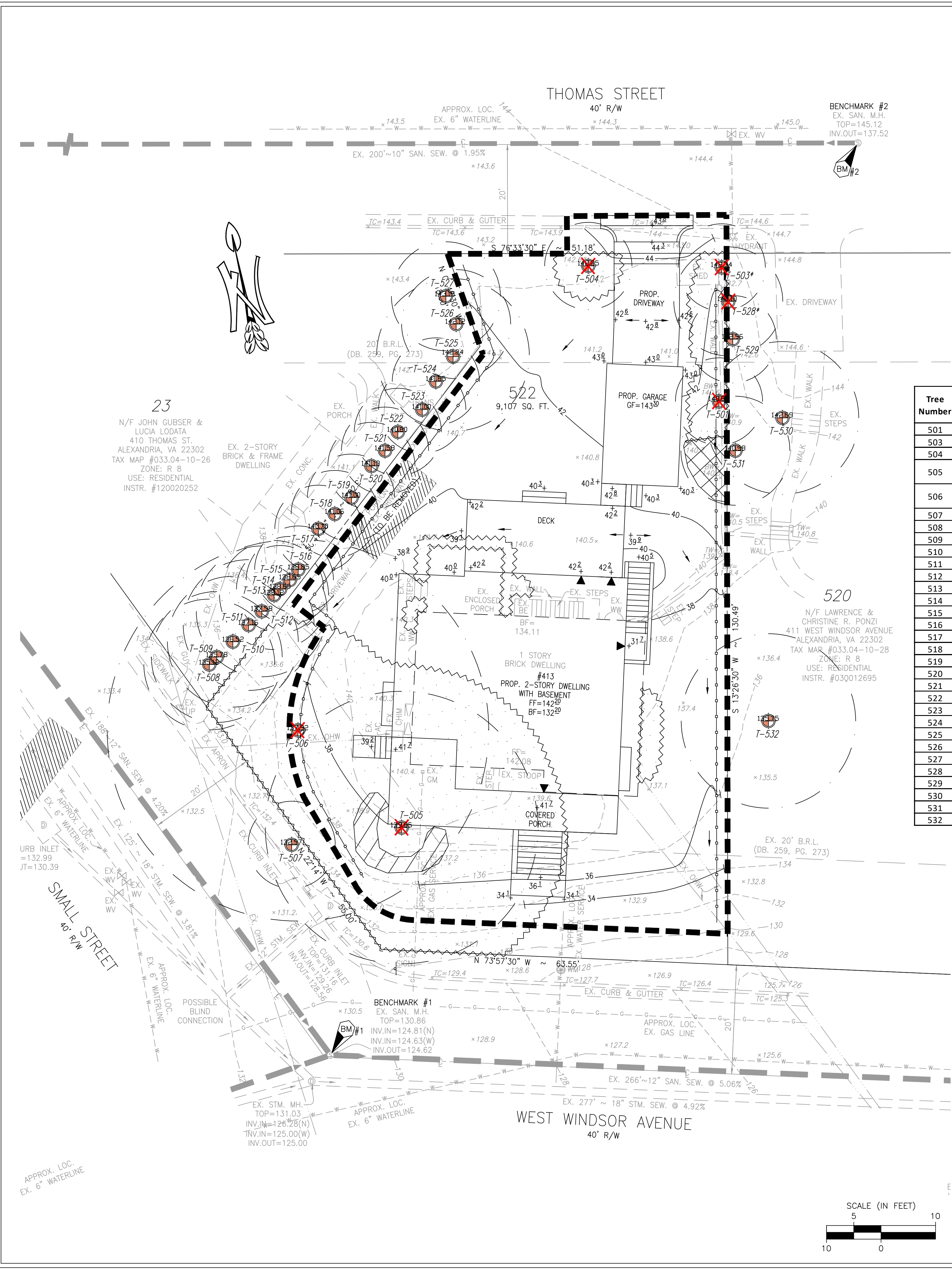
BY TNT ARBORISTS DUE TO THE LIKELIHOOD OF TREE FAILURE. HOWEVER, AT THE DISCRETION OF THE APPLICANT, SOME OF THESE MAY BE PRESERVED DURING CONSTRUCTION WITH THE APPROVAL OF THE CITY.

LEGEND

-  TREELINE
-  EXISTING CULTIVATED LANDSCAPE (3,054-SF)
-  EXISTING TATARIAN HONEYSUCKLE STAND (REFER TO INVASIVE MANAGEMENT)
-  EXISTING CHINESE PRIVET STAND (REFER TO INVASIVE MANAGEMENT)
-  CRITICAL ROOT ZONE (CRZ)
-  TREE LOCATION

T-37

 Lauren A. Duvall
Certified Arborist
ISA-CA # MA 5329A
La Duvall



- NOTES:
1. THE PROPERTY DELINEATED HEREON IS LOCATED AT 101 EAST WINDSOR STREET.
 2. BOUNDARY AND TOPOGRAPHIC INFORMATION FROM FIELD SURVEY BY R.C. FIELDS & ASSOCIATES, INC., 2019.
 3. PROPOSED DEVELOPMENT PLAN BY R.C. FIELDS & ASSOCIATES, INC., 2019.
 4. TREE EVALUATIONS AND COMPUTATIONS BY TNT ENVIRONMENTAL, INC., APRIL 2019. (MS. SOPHIE SWARTZENDRUBER, CERTIFICATION #: MA-6053A).
 5. CRZ MEASUREMENTS IN RADIUS PER THE CITY OF ALEXANDRIA DETAIL.
 6. TOTAL CANOPY COVER: 3,054 SQUARE FEET (SF).
 7. TOTAL SITE AREA: 9,107 SF.
 8. PERCENT OF SITE COVERED: 33.5%
 9. PERCENT COVER REQUIRED BY ZONING: 25%
 10. QUALIFYING CANOPY TO BE PRESERVED: 0 SF x 1.0 CANOPY MULTIPLIER = 0 SF (0%)
 11. MINIMUM CANOPY AREA TO BE PLANTED TO MEET REQUIREMENT: 2,277 SF (25%)

LEGEND

- TREELINE
- EXISTING CULTIVATED LANDSCAPE (3,054-SF)
- EXISTING TATARIAN HONEYSUCKLE STAND (REFER TO INVASIVE MANAGEMENT)
- EXISTING CHINESE PRIVET STAND (REFER TO INVASIVE MANAGEMENT)
- TREE PRESERVATION AREA (CULTIVATED LANDSCAPE) (0 SF)
- CRITICAL ROOT ZONE (CRZ)
- TREE LOCATION
- TREE TO BE REMOVED (TBR)
- TREE PROTECTION FENCING

Tree Number	Common Name	Scientific Name	Size (inches DBH)	Critical Root Zone (feet)	Condition Rating %	Likelihood of Survival of Construction	Remove?	Offsite or Shared	Notes & Recommendations
501	Eastern Redcedar	<i>Juniperus virginiana</i>	8.0	8.0	63%	Very Low	TBR		Some dieback
503	Silver Maple	<i>Acer saccharinum</i>	4.0	8.0	72%	Very Low	TBR*	Shared	
504	Bradford Pear	<i>Pyrus calleryana</i>	3.0	8.0	59%	Very Low	TBR		Invasive, surrounded by Tatarian honeysuckle at base
505	White Oak	<i>Quercus alba</i>	25.0	25.0	72%	Very Low	TBR		A few dead limbs, poison ivy, ornamental bittersweet, English ivy, & Japanese honeysuckle surrounding base
506	Virginia Pine	<i>Pinus virginiana</i>	35.0	35.0	53%	Very Low	TBR		Multi-trunk, many dead limbs, broken limbs, dieback, weak crotch, powerlines through canopy
507	Eastern Redcedar	<i>Juniperus virginiana</i>	8.0	8.0	69%	High	SAVE	In R.O.W.	Previous improper pruning for powerlines, some dieback
508	Ship Laurel	<i>Prunus laurocerasus</i>	12.0	12.0	78%	High	SAVE	Offsite	
509	Ship Laurel	<i>Prunus laurocerasus</i>	12.0	12.0	75%	High	SAVE	Offsite	
510	Ship Laurel	<i>Prunus laurocerasus</i>	12.0	12.0	75%	High	SAVE	Offsite	
511	Ship Laurel	<i>Prunus laurocerasus</i>	12.0	12.0	75%	High	SAVE	Offsite	
512	Ship Laurel	<i>Prunus laurocerasus</i>	12.0	12.0	75%	High	SAVE	Offsite	
513	Ship Laurel	<i>Prunus laurocerasus</i>	10.0	10.0	75%	Medium	SAVE	Offsite	
514	Leyland Cypress	<i>Hesperotropsis leylandii</i>	2.0	8.0	75%	Medium	SAVE	Offsite	
515	Leyland Cypress	<i>Hesperotropsis leylandii</i>	2.0	8.0	69%	Medium	SAVE	Offsite	Some minor dieback
516	Red Maple	<i>Acer rubrum</i>	5.0	8.0	75%	Medium	SAVE	Offsite	Shallow rooting
517	Leyland Cypress	<i>Hesperotropsis leylandii</i>	4.0	8.0	78%	Medium	SAVE	Offsite	Double-trunk
518	Leyland Cypress	<i>Hesperotropsis leylandii</i>	4.0	8.0	78%	Medium	SAVE	Offsite	Double-trunk
519	Leyland Cypress	<i>Hesperotropsis leylandii</i>	4.0	8.0	78%	Medium	SAVE	Offsite	Double-trunk
520	Leyland Cypress	<i>Hesperotropsis leylandii</i>	4.0	8.0	78%	Medium	SAVE	Offsite	Double-trunk
521	Leyland Cypress	<i>Hesperotropsis leylandii</i>	4.0	8.0	78%	Medium	SAVE	Offsite	Double-trunk
522	Leyland Cypress	<i>Hesperotropsis leylandii</i>	4.0	8.0	78%	Medium	SAVE	Offsite	Double-trunk
523	Norway Maple	<i>Acer platanoides</i>	3.0	8.0	78%	Medium	SAVE	Offsite	
524	Leyland Cypress	<i>Hesperotropsis leylandii</i>	4.0	8.0	78%	Medium	SAVE	Offsite	
525	Ship Laurel	<i>Prunus laurocerasus</i>	14.0	14.0	81%	Medium	SAVE	Offsite	
526	Crape Myrtle	<i>Lagerstroemia indica</i>	10.0	10.0	81%	High	SAVE	Offsite	
527	Crape Myrtle	<i>Lagerstroemia indica</i>	10.0	10.0	81%	High	SAVE	Offsite	
528	Eastern Redcedar	<i>Juniperus virginiana</i>	10.0	10.0	63%	Medium	TBR*	Shared	Base covered in English ivy, some dieback
529	Eastern Redcedar	<i>Juniperus virginiana</i>	7.0	8.0	63%	Low	SAVE	Offsite	Base covered in English ivy
530	White Mulberry	<i>Morus alba</i>	14.0	14.0	56%	High	SAVE	Offsite	Double-trunk
531	White Mulberry	<i>Morus alba</i>	10.0	10.0	47%	Medium	SAVE	Offsite	Double-trunk, previous improper pruning, weeping wound
532	American Holly	<i>Ilex opaca</i>	16.0	16.0	78%	High	SAVE	Offsite	

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ENVIRONMENTAL

13996 Parkeast Circle, Suite 101
Chantilly, VA 20151
PH: 703-466-5123 WWW.TNTENVIRONMENTALINC.COM

413 WEST WINDSOR AVENUE

PROPOSED TREE & VEGETATION PROTECTION SURVEY

REVISIONS

DATE	COMMENTS

SHEET 2 OF 3

SCALE: 1" = 10'

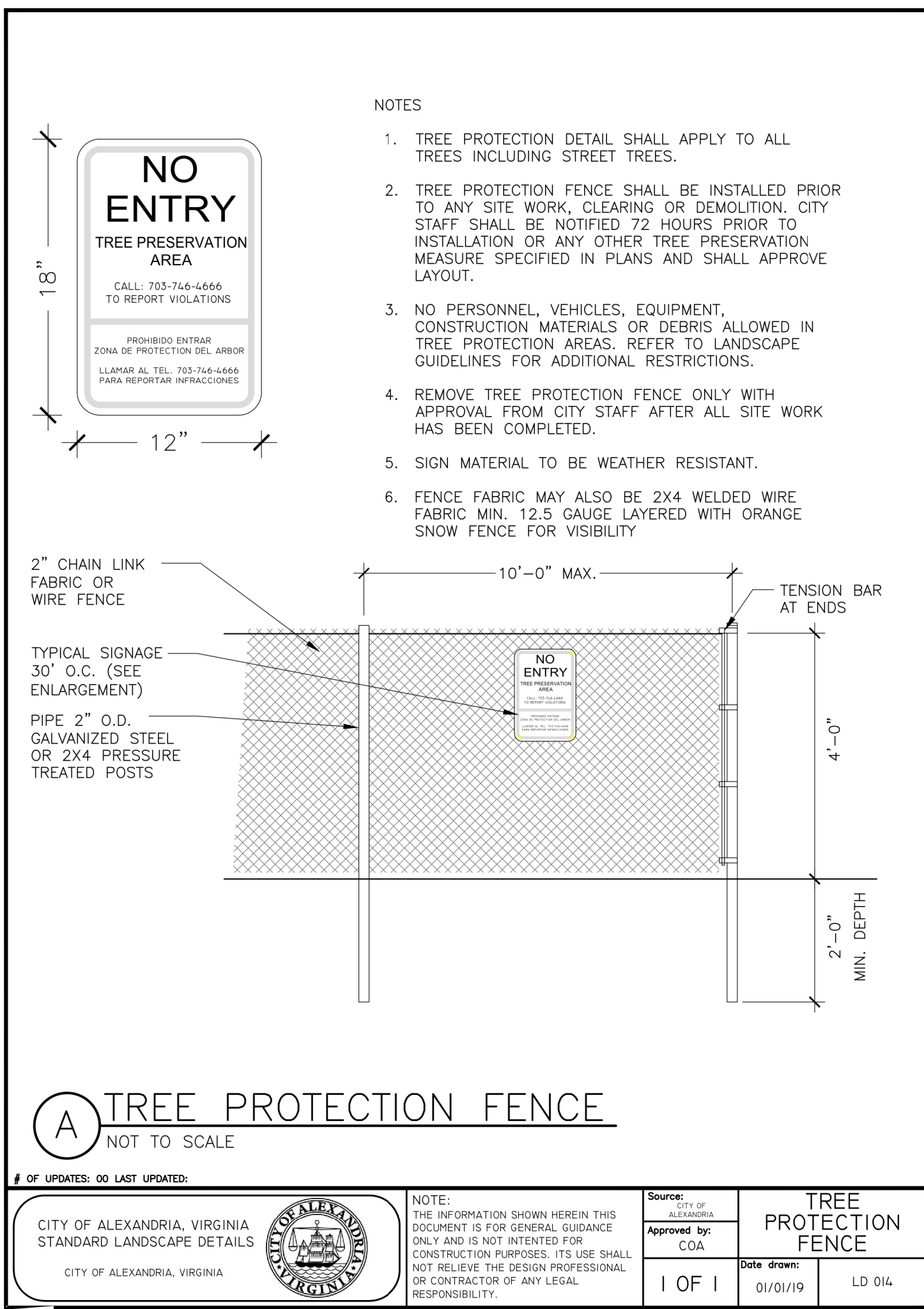
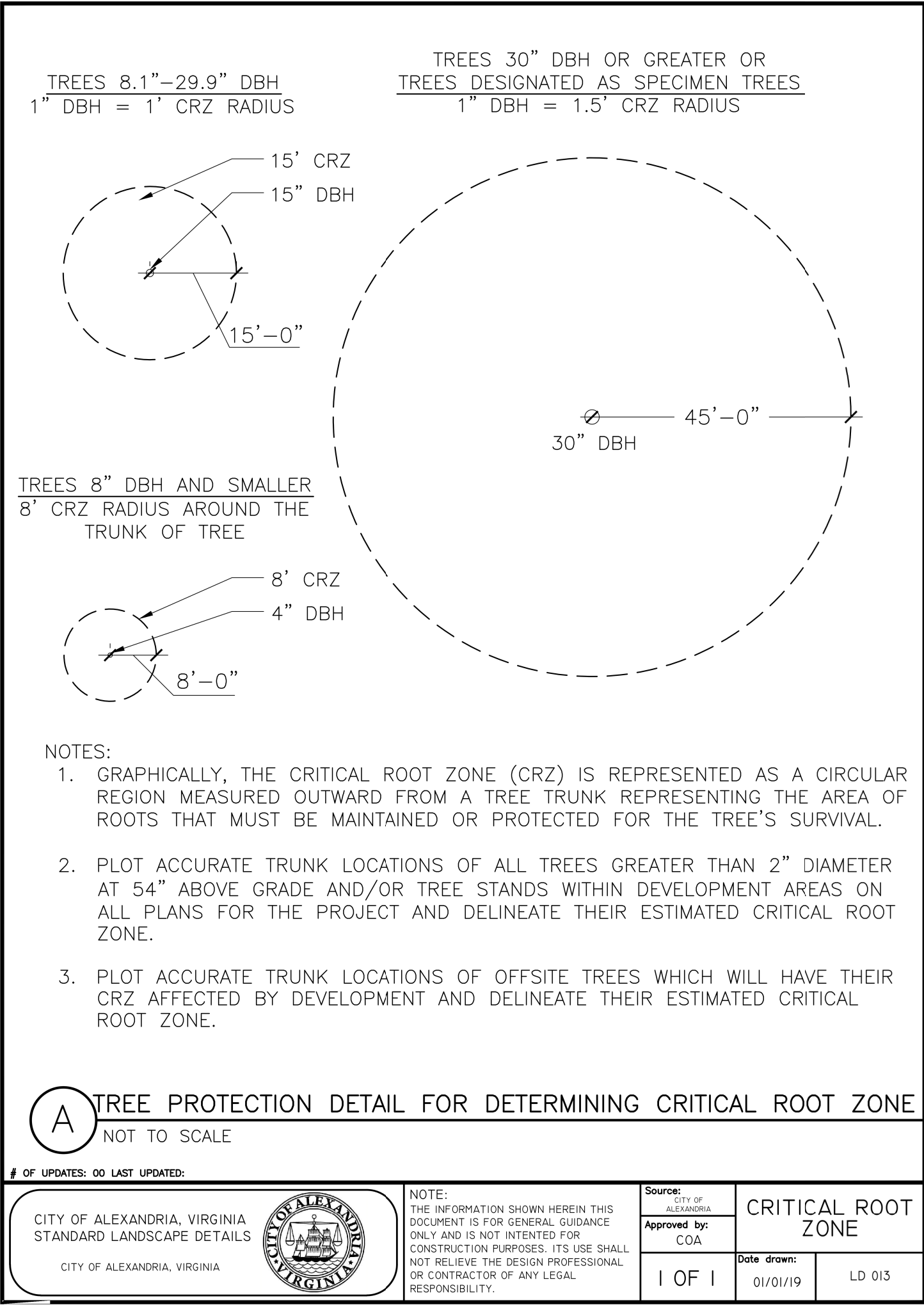
PROJECT DATE: 5/15/19

DRAFT: LAD/TNW CHECK: AMS

FILE NUMBER: 1556

CERTIFIED ARBORIST

Lauren A. Duvall
Certified Arborist
ISA-CA # MA 5329A



INVASIVE SPECIES REMOVAL AND MANAGEMENT PLAN:

INVASIVE SPECIES CONTROL SCHEDULE: CONTROL STRATEGIES SHALL COMMENCE WITH PHASE I E&S AND BE CONDUCTED UNTIL THE PLANT IS NO LONGER IN ABUNDANCE ONSITE.

INVASIVE SPECIES MONITORING AND MANAGEMENT: A MONITORING AND MANAGEMENT PLAN REPORT SHALL BE PREPARED EACH YEAR BEGINNING AT THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANY UNTIL THE RELEASE OF THE MAINTENANCE BOND.

ENGLISH IVY (*Hedera helix*): PRESENT AS GROUND COVER. HIGH RISK TO SITE/VICINITY.
CONTROL STRATEGY: REMOVE FROM TREES BY CUTTING ALL VINES AT GROUND LEVEL. VINES SHOULD BE CUT AGAIN SEVERAL FEET UP THE TRUNK. PEAL THE CUT SECTION OF IVY OFF BUT CARE SHOULD BE TAKEN NOT TO STRIP THE BARK OFF THE TREE. PULL GROUND IVY BACK A FEW FEET FROM THE BASE OF THE TREE TO SLOW REGROWTH UP THE TREE TRUNK. REMOVE GROUND IVY BY HAND PULLING, CUTTING AND MULCHING OVER TOP, AND/OR APPLYING A GLYPHOSATE HERBICIDE AS A 4-PERCENT SOLUTION (1 PINT PER 3-GALLON MIX) TO LEAVES OR FRESHLY CUT LARGE STEMS, BY THOROUGHLY WETTING THEM. USE A STRING TRIMMER TO REDUCE GROWTH LAYERS AND TO INJURE LEAVES FOR IMPROVED HERBICIDE UPTAKE. RETREATMENT MAY BE NECESSARY FOR COMPLETE ERADICATION. THE ENGLISH IVY REMNANTS SHALL BE BAGGED AND REMOVED FROM THE PROJECT SITE.

JAPANESE HONEYSUCKLE (*Lonicera japonica*): PRESENT AS GROUND COVER. MEDIUM RISK TO SITE/VICINITY.
CONTROL STRATEGY: SHALL BE REMOVED BY HAND TO MINIMIZE SITE DISTURBANCE. TO REDUCE DAMAGE TO NON-TARGET PLANTS, HERBICIDES SUCH AS GLYPHOSATE AND TRICLOPYR MAY BE APPLIED TO FOLIAGE BY A VIRGINIA CERTIFIED APPLICATOR DURING GROWING SEASON (APRIL TO OCTOBER). THOROUGHLY COVER ALL LEAVES AND/OR FRESHLY CUT STEMS IN HERBICIDE, REPEAT AS NECESSARY.

GARLIC MUSTARD (*Alliaria petiolata*): PRESENT AS GROUND COVER. MEDIUM RISK TO SITE/VICINITY.
CONTROL STRATEGY: SMALL INFESTATIONS SHOULD BE REMOVED BY HAND TO MINIMIZE DISTURBANCE. LARGE INFESTATIONS MAY BE REMOVED BY HAND OR MOWN DOWN WITH A WEED WHACKER. MANUAL REMOVAL OR CUTTING SHOULD TAKE PLACE WHILE PLANTS ARE FLOWERING, BEFORE THEY SET SEED. FOR EXTENSIVE INFESTATIONS, AN APPLICATION OF ENVIRONMENTALLY SENSITIVE APPROVED HERBICIDES MAY ALSO BE APPLIED BY A VIRGINIA CERTIFIED APPLICATOR OR REGISTERED TECHNICIAN IN EARLY SPRING OR LATE FALL TO AVOID NON-TARGET SPECIES.

ORNAMENTAL BITTERSWEET (*Celastrus orbiculatus*): PRESENT AS GROUND COVER. LOW RISK TO SITE/VICINITY.
CONTROL STRATEGY: VINES SHALL BE REMOVED BY HAND, INCLUDING THE ROOTS, WHERE POSSIBLE TO MINIMIZE DISTURBANCE. FOR VINES TOO LARGE TO PULL, CUT AT GROUND LEVEL OR GRUB. CUT VINE STEMS MAY ALSO BE TREATED WITH A SYSTEMIC HERBICIDE BY A CERTIFIED APPLICATOR. FOR LARGE INFESTATIONS, A FOLIAR APPLICATION OF A SYSTEMIC HERBICIDE SUCH AS GLYPHOSATE OR TRICLOPYR MAY BE APPLIED FROM LATE SUMMER TO FALL BY A CERTIFIED APPLICATOR.

TATARIAN HONEYSUCKLE (*Lonicera tatarica*): APPROXIMATELY 72 SF ONSITE, AS SHOWN ON THE PLAN. HIGH RISK TO SITE/VICINITY.
CONTROL STRATEGY: WHERE POSSIBLE, SEEDLINGS INCLUDING ROOT STRUCTURE SHOULD BE EXCAVATED AND REMOVED WITH SHOVEL. ALTERNATIVELY, BRANCHES AND MAIN STEM SHOULD BE CUT BACK TO ONE (1) INCH ABOVE SOIL SURFACE DURING MID TO LATE AUTUMN WHEN TEMPERATURES ARE ABOVE 60 DEGREES FAHRENHEIT. A SOLUTION OF AT LEAST 20% GLYPHOSATE HERBICIDE SHOULD BE APPLIED TO OPEN CUT FACE OF STUMP WITHIN TWO (2) TO THREE (3) MINUTES OF CUT. REFER TO HERBICIDE LABEL FOR APPLICATION INSTRUCTIONS. BRANCHES AND VEGETATION DEBRIS SHOULD BE REMOVED OFFSITE. REAPPLY HERBICIDE IN THE LATE FALL AND AGAIN IN WINTER AS NECESSARY.

WHITE MULBERRY (*Morus alba*): PRESENT AS GROUND COVER & SMALL SAPLINGS. LOW RISK TO SITE/VICINITY.
CONTROL STRATEGY: CONTROL AND MANAGEMENT SHOULD BE ATTEMPTED DURING FLOWERING, BEFORE SEED PRODUCTION. CUTTING THE TREE TO THE GROUND LEVEL IS THE FIRST MEASURE OF CONTROL AND WILL REQUIRE REPEATED CUTTING OF RESPROUTS OR SUPPLEMENTAL APLICATION OF HERBICIDE AS RESPROUT OCCURS. GIRDLING CAN BE EFFECTIVE ON LARGE TREES AND SHOULD BE CONDUCTED BY CUTTING THROUGH THE BARK OF THE TREE, AROUND THE ENTIRE TRUNK OF THE TREE, AT LEAST 6 INCHES ABOVE THE SURFACE. SUBSEQUENT RESPROUTING SHOULD BE TREATED WITH AN HERBICIDE. HAND PULLING CAN BE EFFECTIVE WITH YOUNG SEEDLINGS BUT CARE SHOULD BE GIVEN TO REMOVE THE ENTIRE ROOT SINCE BROKEN FRAGMENTS MAY RESPROUT.

CHINESE PRIVET: (*Ligustrum sinense*): APPROXIMATELY 107 SF ONSITE, AS SHOWN ON THE PLAN. MEDIUM RISK TO SITE/VICINITY.
CONTROL STRATEGY: MANUALLY PULL NEW SEEDLINGS AND TREE WRENCH SAPLINGS WHEN SOIL IS MOIST, ENSURING REMOVAL OF ALL ROOTS. BAG AND DISPOSE OF FRUIT IN DUMPSTER OR BURN. A VIRGINIA CERTIFIED APPLICATOR MAY APPLY A 3-PERCENT SOLUTION OF GLYPHOSATE HERBICIDE TO FOLIAGE IN THE LATE FALL OR EARLY WINTER. REPEAT AS NECESSARY.

TREE PRESERVATION AREA NOTES FOR CONSTRUCTION ACTIVITY AND MAINTENANCE:

AREAS DESIGNATED FOR PROTECTION AND/OR PRESERVATION OF VEGETATION SHALL NOT BE ENTERED OR UTILIZED (APPROVED MAINTENANCE PROCEDURES AND WATERING EXCEPTED) THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. PROHIBITED ITEMS/ ACTIVITIES INCLUDE, BUT ARE NOT LIMITED TO:

I. MODIFYING SITE TOPOGRAPHY IN A MANNER THAT DIRECTLY OR INDIRECTLY ALTERS EXISTING SITE DRAINAGE WITHIN PROTECTION ZONE INCLUDING TRENCHING OR GRADING OPERATIONS AND PLACING, STORING OR STOCKPILING SOIL OR CONSTRUCTION RELATED SUPPLIES.

II. FELLING AND STORING VEGETATION.

III. INCINERATING MATERIALS WITHIN OR IN CLOSE PROXIMITY.

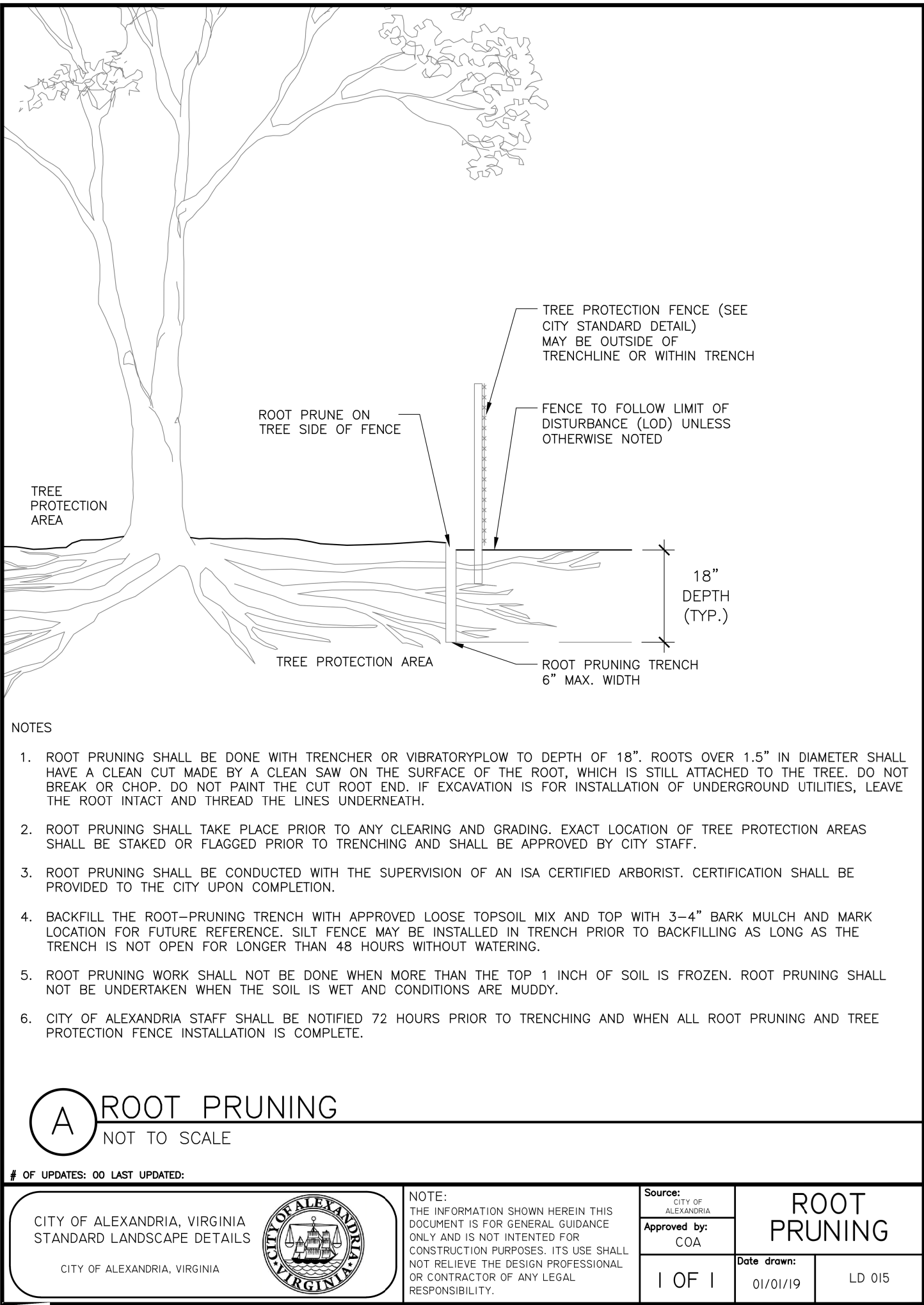
IV. OPERATING MACHINERY OR EQUIPMENT, INCLUDING VEHICLE/EQUIPMENT PARKING OR STORAGE.

V. TEMPORARY OR PERMANENT UTILITY CONSTRUCTION, PAVING OR IMPERVIOUS SURFACE INSTALLATION.

VI. DISPOSAL OF DEBRIS OR CHEMICALS.

VII. TEMPORARY FACILITIES OR OCCUPATION BY WORK FORCE.

VIII. STORAGE OF CONSTRUCTION MATERIALS OR WASTE.



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413 WEST WINDSOR
AVENUE

TREE AND VEGETATION
PROTECTION DETAILS

REVISIONS	
DATE	COMMENTS
SHEET 3 OF 3	
SCALE: NTS	
PROJECT DATE: 5/15/19	
DRAFT: LAD/TNW	CHECK: AMS
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