

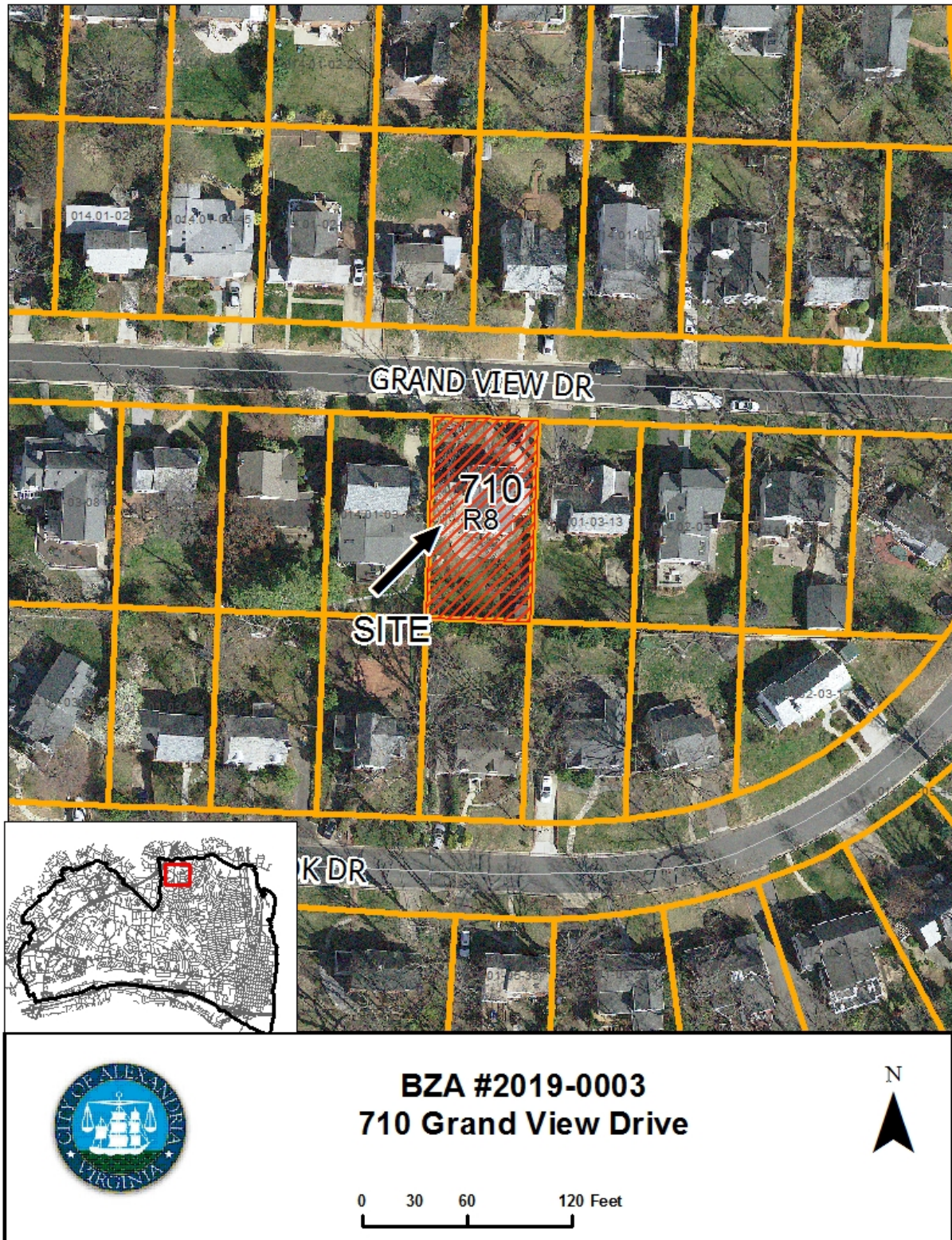
Docket Item # 4
BZA #2019-0003
Board of Zoning Appeals
JUNE 17, 2019

ADDRESS: 710 GRANDVIEW DRIVE
ZONE: R-8, SINGLE-FAMILY ZONE
APPLICANT: THOMAS AND ALEXANDRA MYERS, REPRESENTED BY
CHRISTINE A. KELLY

ISSUE: Special exception to construct a one-story addition in the required side yard.

CODE SECTION	SUBJECT	CODE REQMT	APPLICANT PROPOSES	REQUESTED EXCEPTION
3-306(A)(2)	Side Yard (west)	8.00 feet	7.20 feet	.80 feet

The staff **recommends approval** of the requested special exception subject to compliance with all applicable code requirements, ordinances and recommended conditions found in the department comments.



I. Issue

The applicant proposes to extend a one-story addition under an existing cantilevered second-story and construct a one-story addition in line with the existing linear wall that will encroach into the required side yard.



II. Background

The subject property is one lot of recording containing 6,900 square feet of lot area, with a lot width and frontage of 60.00 feet facing Grand View Drive and a depth of 115.00 feet along the side property lines. The subject property is substandard in lot area in the R-8 zone with respect to lot area and lot width.

The lot is currently developed with a single-family dwelling and attached garage. The dwelling is located 25.00 feet from the front property line; 7.10 feet from the east side property line and 7.20 feet from the west side property line and 58.20 feet from the south rear property line. According to real estate records, the residence was constructed in 1940.

The following table provide zoning analysis of the subject property.

R-8 Zone	Required/Permitted	Existing
Lot Area	8,000 Sq. Ft.	6,900 Sq. Ft.
Lot Width	65.00 Ft.	60.00 Ft.
Lot Frontage	40.00 Ft.	60.00 Ft.
Front Yard	25.00-25.02 Ft.	25.00 Ft.
Side Yard	8.00 Ft. (minimum) 1:2 height to setback ratio	7.10 Ft. (east) 7.20 Ft. (west)
Rear Yard	8.00 Ft.(minimum) 1:1 height to setback ratio	58.20 Ft.
Floor Area Ratio (FAR)	2,415 Sq. Ft. (.35)	2,151 Sq. Ft. (.31)

* Based on the range of the contextual block face.

III. Description

The applicants propose to construct a one-story addition that will be built in line with the existing one-story wall on the west side of the property and will measure 9.60 feet by 13.90 feet and 5.50 feet by 9.60 feet for a total area of 186.24 square feet. The portion that

measures 9.60 feet by 5.50 feet will encompass the area that is under the cantilevered portion of the existing second story addition. The one-story addition would measure approximately 13.92 feet in height measured from the midpoint of the gable roof facing the west side yard to average existing grade. The rear landing and stairs will comply with the required 8.00- foot side yard setback.

In addition, the applicants are proposing to convert an existing garage to an addition and a side entry canopy on the east side of the property. This is an allowed permitted obstruction per section 7-202(A)(2) of the zoning ordinance.

Upon completion of the work, the proposed renovations will continue to comply with the floor area requirements. (Refer to floor area calculations.)

There have been no variances or special exceptions previously granted for the subject property.

IV. Master Plan/Zoning

The subject property is zoned R-8 since adoption of the Third Revised Zoning Map in 1951 and is identified in the North Ridge/Rosemont Small Area Plan for residential use.

V. Requested Special Exception:

3-306(A)(2) Side Yard (west)

The applicants request a special exception of .80 feet from the required 8.00 foot side yard setback to construct a one-story addition in line with the existing one-story west side wall 7.20 feet from the west side property line.

VI. Noncomplying Structure/ Substandard Lot

The existing lot is substandard and contains a noncomplying structure with respect to the following:

<u>Regulation</u>	<u>Required</u>	<u>Existing</u>	<u>Noncompliance</u>
Lot Width	65.00 ft.	60.00 ft.	5.00 ft.
Lot Area	8,000 sq. ft.	6,900 sq. ft.	1,100 sq. ft.
Side Yard (west)	8.00 ft.	7.20 ft.	.80 ft.
Side Yard (east)	8.00 ft.	7.10 ft.	.90 ft.

VII. Special Exceptions Standards

To grant a special exception, the Board of Zoning Appeals must find that the strict application of the zoning ordinance creates an unreasonable burden on the use and enjoyment of the property. Section 11-1304 of the zoning ordinance lists standards that an applicant must address and that the Board believes exists and thus warrants granting a special exception of the zoning regulations.

- 1) Whether approval of the special exception will be detrimental to the public welfare, to the neighborhood or to the adjacent properties.

The one-story addition will not be detrimental to the public welfare, to the neighborhood, or to the adjacent properties. The proposed one-story expansion of the existing noncomplying wall will be no closer to the property line than the existing building wall of the house. There are other homes in the area that have larger additions than what is being proposed.

- 2) Whether approval of the special exception will impair an adequate supply of light and air to the adjacent property, or cause or substantially increase traffic congestion or increase the danger of fire or the spread of fire or endanger the public safety.

It is unlikely that the proposed one-story addition will negatively impact the supply of light and air to surrounding properties as it will continue to be located 7.20 feet from the west side property line. The existing dwelling is two-stories in height and the extension of the one-story portion will not affect light or air. The one-story addition located on the rear southwest corner of the dwelling will not increase traffic congestion or increase the danger of fire or the spread of fire or endanger the public safety.

- 3) Whether approval of the special exception will alter the essential character of the area or zone.

Approval of this special exception would not alter the essential character of the area. The one-story addition will be located towards the rear of the dwelling. The addition will be most visible to the adjacent neighbors to the west which has a large rear addition that extends much further back than the addition proposed by the applicants. In addition, there are several other properties in the surrounding neighborhood that are substandard in lot area and width and are developed with structures located in the minimum 8.00 feet side yard requirement.

- 4) Whether the proposal will be compatible with the development in the surrounding neighborhood.

The proposed one-story addition is compatible with the development in the surrounding neighborhood. Many of the homes in this area are substandard with respect to lot area and width required by the R-8 zone and have additions located in the required side yards. A survey of the homes in the neighborhood reveals that many have been expanded beyond their original footprint with both one and two-story additions.

- 5) Whether the proposed development represents the only reasonable means and location on the lot to accommodate the proposed structure given the natural constraints of the lot or the existing development of the lot.

While the location of the proposed addition does not represent the only location of the lot, the lot's substandard area and width, along with the placement of the existing dwelling, limit where an addition could be constructed in compliance with zoning regulations. The one-story portions on either side of this dwelling are located within the required side yards any extension of these noncomplying walls would require relief from the BZA.

VIII. Staff Conclusion

Neighborhood Impact

The mass and scale of the proposed one-story addition are compatible with the character of properties in the neighborhood. The architecture of the neighborhood is varied and contains both a mix of one and two-story dwellings. The proposed one-story addition would not be a detriment to neighboring properties.

Light and Air

The proposed one-story addition will have negligible impact on light and air as it will be constructed in line with the footprint of the existing dwelling and is only one-story in height.

Lot Constraints

While the lot is an interior rectangular shaped lot, the placement of the existing dwelling within the required side yards and the substandard nature of the lot with respect to lot area and width limits the areas where an addition can be constructed in compliance with the setbacks. The applicants are proposing a modest expansion to the dwelling. The existing house does not conform to the minimum side yard requirements on either side of the house. The applicants are trying to capture minimum space within the configuration of the existing house.

Staff Conclusion

In conclusion, staff finds that the applicant's request for a one-story addition in the required side yard is consistent with the standards for special exceptions and **recommends approval** of the requested special exception.

Staff:

Marlo J.W. Ford, AICP, Urban Planner, marlo.ford@alexandriava.gov

Mary Christesen, Zoning Manager, mary.christesen@alexandriava.gov

Tony LaColla, AICP, Land Use, Division Chief, anthony.lacolla@alexandriava.gov

DEPARTMENTAL COMMENTS

Legend: C - code requirement R - recommendation S - suggestion F - finding

* The applicant is advised that if the variance is approved the following additional comments apply.

Transportation and Environmental Services:

No comments have been received from this department

Code Administration:

A building permit, plan review and inspections are required prior to the start of construction.

Recreation (Arborist):

No comments have been received from this department

Historic Alexandria (Archaeology):

Historical documents indicate that there were several Union encampments (2nd New Jersey, 1st and 2nd Connecticut Militia, 2nd and 4th New Jersey Militia, “Garibaldi” Guards) in the vicinity of this property during the Civil War. Although there is no known encampment at this location, it is possible that artifacts related to Union military activities could be discovered during construction activities.

Other Requirements Brought to the Applicant’s Attention:

C-1 A wall check survey plat shall be submitted to Planning and Zoning when the building footprint is in place, pursuant to Alexandria City Code section 8-1-12.

C-2 Applicant must submit a certification of floor area from a licensed architect or engineer prior to the final inspection.

C-3 Applicant must submit a height survey prepared by a licensed engineer or surveyor prior to the final inspection.

C-4 The special exception must be recorded with the deed of the property in the City’s Land Records Office prior to the release of the building permit.

**APPLICATION
BOARD OF ZONING APPEALS****SPECIAL EXCEPTION FOR ADDITIONS**

Section of zoning ordinance from which request for special exception is made:

Extend a new addition along a non conforming plane.

PART A

1. **Applicant:** ☒ Owner ☒ Contract Purchaser ☒ Agent

Name Christine A Kelly

Address 950 North Washington Street, Suite 234

Daytime Phone 703-768-7371

Email Address christine@craftedarchitecture.com

2. **Property Location** 710 Grandview Drive

3. **Assessment Map #** 014.01-03-12 **Block** 25 **Lot** 5 **Zone** R8

4. **Legal Property Owner Name** Thomas and Alexandra Myers

Address 710 Grandview Drive

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Thomas and Alexandra Myers	710 Grandview Drive, Alexandria	100%
2. Thomas and Alexandra Myers	710 Grandview Drive, Alexandria	100%
3. Thomas and Alexandra Myers	710 Grandview Drive, Alexandria	100%

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 710 Grandview Drive (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Thomas and Alexandra Myers	710 Grandview Drive, Alexandria	100%
2. Thomas and Alexandra Myers	710 Grandview Drive, Alexandria	100%
3. Thomas and Alexandra Myers	710 Grandview Drive, Alexandria	100%

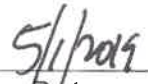


3. Business or Financial Relationships. Each person or entity indicated above in sections 1 and 2, with an ownership interest in the applicant or in the subject property are required to disclose **any** business or financial relationship, as defined by [Section 11-350 of the Zoning Ordinance](#), existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review. **All fields must be filled out completely. Do not leave blank. (If there are no relationships please indicated each person or entity and "None" in the corresponding fields).**

For a list of current council, commission and board members, as well as the definition of business and financial relationship, [click here](#).

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Thomas and Alexandra Myers	None	
2. Thomas and Alexandra Myers	None	
3. Thomas and Alexandra Myers	None	

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

Date Printed Name Signature

5. Describe request briefly:

Align a new one story addition with the existing house that sits 7.2' from the side yard property line

- 6. If property owner or applicant is being represented by an authorized agent, such as an attorney, realtor or other person for which there is a form of compensation, does this agent or the business in which they are employed have a business license to operate in the City of Alexandria Virginia?**

☒ Yes — Provide proof of current City business license.

☐ No — Said agent shall be required to obtain a business prior to filing application.

THE UNDERSIGNED HEREBY ATTESTS that all of the information herein provided including the site plan, building elevations, prospective drawings of the projects, etc., are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Christine A Kelly

Print Name

703-768-7371

Telephone

Signature

Date

Pursuant to Section 13-3-2 of the City Code, the use of a document containing false information may constitute a Class 1 misdemeanor and may result in a punishment of a year in jail or \$2,500 or both. It may also constitute grounds to revoke the permit applied for with such information.

NOTE TO APPLICANT: Only one special exception per dwelling shall be approved under the provisions of Section 11-1302(B)(4).

PART B (SECTION 11-1304)

APPLICANT MUST EXPLAIN THE FOLLOWING:

(Please use additional pages where necessary.)

1. Explain how the special exception for the proposed addition, if granted, meets the applicant's needs.

The special exception, if granted will permit the owner to have a new addition that aligns with their existing house and be architecturally compatible with the home.

2. Explain if the special exception, if granted, will harm adjoining properties or impact the neighborhood in any way.

The new one story addition will not harm the neighborhood. It is a very modest addition and will be the same distance from the property line as the existing house.

3. Explain how the proposed addition will affect the light and air to any adjacent property.

The new addition is one story and low in height and will not affect the light and air to the adjacent homes.

The new addition will not extend any further into the rear yard than the current footprint of the house.

The covered side entrance is 3' x 3' and will not affect light and air to the adjacent home.

4. Explain how the proposed addition is compatible with other properties in the neighborhood and the character of the neighborhood as a whole.

The addition is designed to match the existing house which is a colonial style and consistent with the architecture of the community.

5. How is the proposed construction similar to other buildings in the immediate area?

It is a low one story addition constructed out of wood framing, brick veneer and a slate roof.

6. Explain how this plan represents the only reasonable location on the lot to build the proposed addition.

This location is a natural extension for the house. It infills the west corner of the footprint of the house and expands the current kitchen location.

7. Has the applicant shown the plans to the most affected property owners? Have any neighbors objected to the proposed special exception, or have any neighbors written letters of support? If so, please attach the letter.

Yes. Letters of support will be submitted to the zoning office for the file

ATTENTION APPLICANTS

At the time of application for a Special Use Permit, Rezoning, Vacation, Encroachment, Variance, Special Exception or Subdivision, you must provide a draft of the description of your request you intend to use in the property owner's notice. You must be thorough in your description. Staff will review the draft wording to confirm its completeness.

The example illustrates a detailed description:

"Special exception to construct a one-story addition in the required side yard on _____ Street."

If you fail to submit draft language at the time of the application filing deadline, the application will be determined to be incomplete and may be deferred by staff.

*Request to permit construction
of a new one story addition 7.2' from
the side yard property line. The new
addition will align with the
existing house.*



Department of Planning and Zoning

Floor Area Ratio and Open Space Calculations for

Single and Two-Family Residential Outside Historic Districts

A

A. Property Information

A1. 710 Grandview
Street Address

R-8
Zone



A2. 6,900.00
Total Lot Area

x 0.35
Floor Area Ratio Allowed by Zone

= 2,415.00
Maximum Allowable Floor Area

B. Existing Gross Floor Area

Existing Gross Area

Basement 763.00
First Floor 1,316.00
Second Floor 913.00
Third Floor
Attic 913.00
Porches
Balcony/Deck
Garage
Other***

Allowable Exclusions**

Basement** 763.00
Stairways** 78.00
Mechanical**
Attic less than 7'*** 913.00
Porches**
Balcony/Deck**
Garage**
Other***
Other***

B1. 3,905.00
Existing Gross Floor Area* Sq. Ft.

B2. 1,754.00
Allowable Floor Exclusions** Sq. Ft.

B3. 2,151.00
Existing Floor Area Minus Exclusions
(subtract B2 from B1) Sq. Ft.

Comments for Existing Gross Floor Area

B1. **Total Gross** 3,905.00

B2. **Total Exclusions** 1,754.00

C. Proposed Gross Floor Area

Proposed Gross Area

Basement 0.00
First Floor 142.00
Second Floor
Third Floor
Attic
Porches 32.00
Balcony/Deck
Garage
Other*** 9.00

Allowable Exclusions**

Basement**
Stairways**
Mechanical**
Attic less than 7'***
Porches**
Balcony/Deck**
Garage**
Other***
Other***

C1. 183.00
Proposed Gross Floor Area* Sq. Ft.

C2. 0.00
Allowable Floor Exclusions** Sq. Ft.

C3. 183.00
Proposed Floor Area Minus Exclusions
(subtract C2 from C1) Sq. Ft.

C1. **Total Gross** 183.00

C2. **Total Exclusions** 0.00

D. Total Floor Area

D1. 2,334.00 Sq. Ft.
Total Floor Area (add B3 and C3)
D2. 2,415.00 Sq. Ft.
Total Floor Area Allowed
by Zone (A2)

E. Open Space (RA & RB Zones)

E1. Existing Open Space Sq. Ft.
E2. Required Open Space Sq. Ft.
E3. Proposed Open Space Sq. Ft.

Notes

*Gross floor area for residential single and two-family dwellings in the R-20, R-12, R-8, R-5, R-2-5, RB and RA zones (not including properties located within a Historic District) is the sum of all areas under roof of a lot, measured from exterior walls.

** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

*** Refer to the Zoning Ordinance (Section 2-145(A)) and consult with Zoning Staff for additional allowable exclusions. Additional exclusions may include space under balconies, retractable awnings, etc.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature:

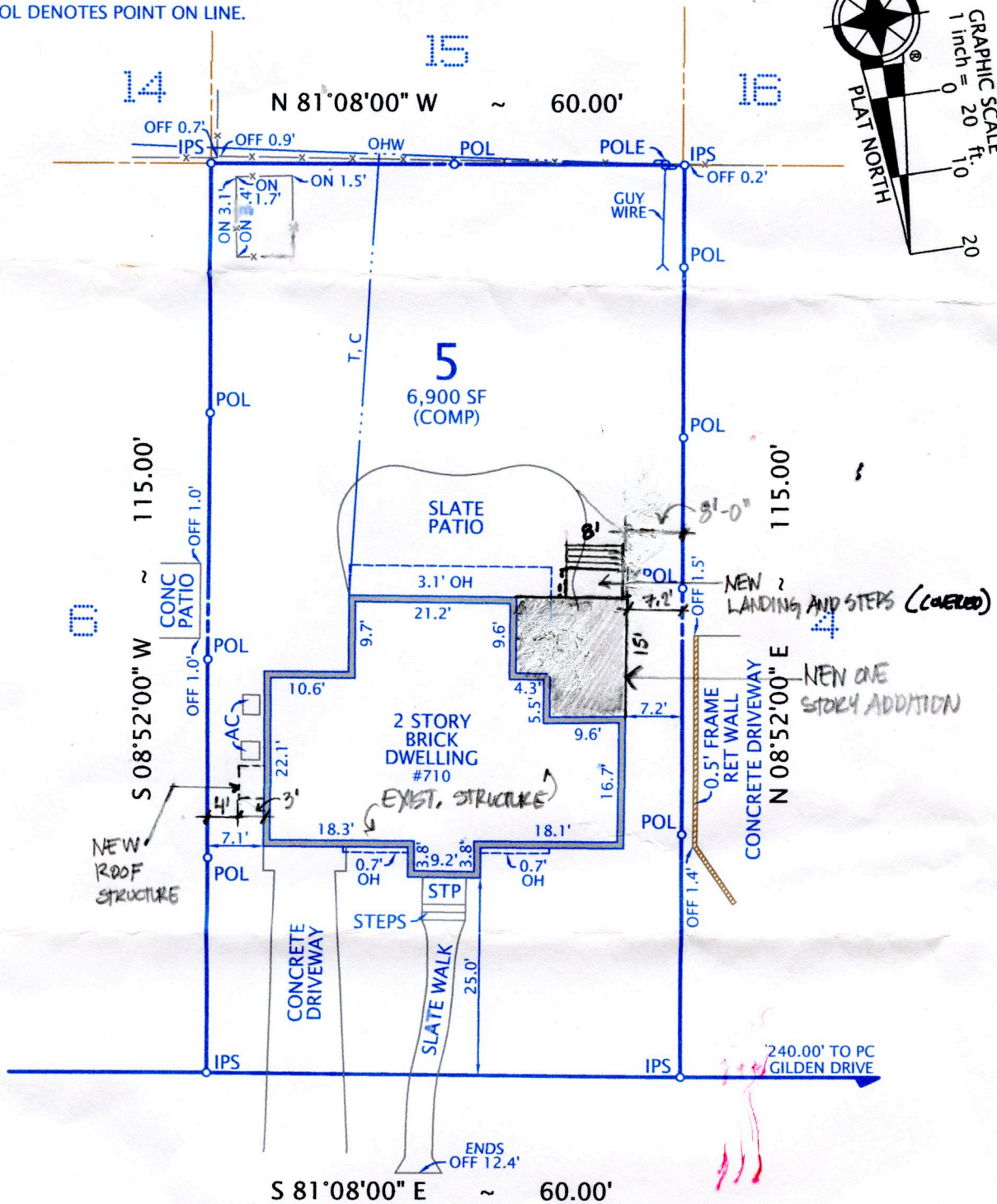
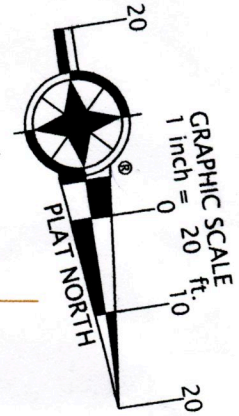
Chris Trull

14

Date:

5/9/2019

- NOTES: 1. FENCES ARE FRAME.
2. UTILITIES ARE UNDERGROUND UNLESS NOTED.
3. IPS DENOTES IRON PIPE SET.
4. POL DENOTES POINT ON LINE.



GRAND VIEW DRIVE

50' R/W

PLAT

SHOWING HOUSE LOCATION ON
LOT 5, BLOCK 25, SECTION FIVE

BEVERLY HILLS

(DEED BOOK 153, PAGE 215)

CITY OF ALEXANDRIA, VIRGINIA

SCALE: 1" = 20'

15 MAY 26, 2017

FEBRUARY 21, 2018 (STAKED PER OWNER)

GENERAL:

ELEVATION TAG

SECTION TAG

DETAIL TAG

INTERIOR ELEVATION TAG

VERTICAL ELEVATION TAG

GRID LINE

REVISION TAG

KEYNOTE TAG

DOOR TAG

WINDOW TAG

PLUMBING TAG

APPLIANCE OR EQUIPMENT TAG

APPROX. CEILING, BEAM, ETC. HEIGHT ABOVE FINISH FLOOR

LIGHTING, ELECTRICAL DATA:

RECESSED CEILING LIGHT FIXTURE.
PROVIDE SLOPED CEILING HOUSING WHERE NEEDED.
WP = WATERPROOF (WET-LISTED) LENS

SURFACE-MOUNTED CEILING LIGHT FIXTURE

RECESSED CEILING WALL WASH LIGHT FIXTURE

PENDANT CEILING LIGHT FIXTURE

WALL-MOUNTED LIGHT FIXTURE

POLE-MOUNTED LIGHT

EXTERIOR FLOOD LIGHT FIXTURE
MS = MOTION SENSOR
PH = PHOTOVOLTAGE SENSOR

RECESSED "STEP" LIGHT FIXTURE

LINEAR UNDERCABINET LIGHT FIXTURE

LINEAR SURFACE-MOUNTED FLUORESCENT STRIP

CEILING FAN

CEILING FAN W/ LIGHT

CEILING EXHAUST FAN

CEILING EXHAUST FAN WITH LIGHT

GARAGE DOOR OPENER

ELECTRICAL METER

ELECTRICAL PANEL

DUPLEX ELECTRICAL OUTLET
MOUNT AT 15" A.F.F. TO CENTERLINE OUTLET U.O.M.
1/2 SW = 1/2 OUTLET SWITCHED

CLING = CEILING MOUNTED
GFCI = GROUND FAULT CIRCUIT INTERRUPT OUTLET
WP = WATERPROOF OUTLET
CLK = RECESSED CLOCK OUTLET

DUPLEX FLOOR / HORIZONTAL SURFACE OUTLET

DATA OUTLET. MOUNT AT 18" A.F.F. TO CENTERLINE U.O.M.

CABLE TELEVISION OUTLET. MOUNT AT 18" A.F.F. TO CENTERLINE U.O.M.

SWITCH. MOUNT AT 48" A.F.F. TO CENTERLINE OUTLET U.O.M.
D = DIMMER
3 = 3-WAY SWITCH
4 = 4-WAY SWITCH
WP = WATERPROOF SWITCH

BUTTON SWITCH
JS = JAMB SWITCH

PUSH BUTTON SWITCH
AS = AIR SWITCH
DB = DOOR BELL

DOOR BELL CHIMES

HARD-WIRED SMOKE DETECTOR

HARD-WIRED CARBON MONOXIDE DETECTOR

PLUMBING:

WATER SUPPLY
HB = EXTERIOR HOSE BIBB
CW = COLD WATER
HW = HOT WATER

GAS METER

FUEL GAS CONNECTION

710 GRAND VIEW DRIVE
ALEXANDRIA, VA 22305

CHRISTINE A. KELLY, AIA
950 N. WASHINGTON ST., STE. 234, ALEXANDRIA, VA 22305
PH 703-768-7371
E-MAIL christine@crafterarchitecture.com

GENERAL NOTES

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2012 VIRGINIA IRC, AND ALL OTHER APPLICABLE CODES AND ORDINANCES AS ADOPTED BY THE LOCAL JURISDICTION.

INSULATION VALUES ARE PER PRESCRIPTIVE METHOD. MEET OR EXCEED INSULATION AS PER TABLE:

TABLE N 1102.1.1 / CLIMATE ZONE 4		
LOCATION	R-VALUE	
CEILING	38	
WOOD FRAMED WALL	15 / 13 + 1 (CONTINUOUS INSULATION)	
MASS WALL	8 / 13	
FLOOR	19	
BASEMENT WALL	10 / 13	
SLAB	10 (TO 2 FOOT DEPTH. ADD R-5 TO SLAB EDGE FOR HEATED SLABS.)	
CRAWL SPACE	30	

ALL MECHANICAL AND PLUMBING WORK TO BE PERFORMED BY LICENSED CONTRACTORS IN ACCORDANCE WITH THE STATE OF VIRGINIA CODE.

ALL ELECTRICAL WORK TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND THE STATE OF VIRGINIA CODE.

DIMENSIONS ARE TO FACE OF STUD EXCEPT WHERE NOTED.

CONTRACTOR TO PROVIDE ADEQUATE STRUCTURAL SUPPORT OF EXISTING HOUSE DURING DEMOLITION AND CONSTRUCTION.

DIMENSIONS AT A LARGER SCALE TAKE PRECEDENCE OVER DRAWINGS AT A SMALLER SCALE. NOTIFY ARCHITECT IMMEDIATELY OF ANY INCONSISTENCIES WITHIN THE DRAWINGS.

ELECTRICAL:

CONTRACTOR TO EXAMINE EXISTING ELECTRICAL PANEL AND UPGRADE SERVICE TO EXISTING HOUSE AND NEW ADDITION IF NEEDED.

WINDOWS:

ALL NEW WINDOWS TO BE PAINTED ALUMINUM CLAD WOOD WITH SIMULATED DIVIDED LITES BY MARVIN OR APPROVED EQUAL. ARCHITECT AND OWNER TO REVIEW WINDOW SCHEDULE AND ORDERING INFORMATION WITH CONTRACTOR PRIOR TO FABRICATION.

NEW WINDOWS SHALL HAVE A MAXIMUM U-FACTOR OF 0.35 AS PER CODE. NEW SKYLIGHTS SHALL HAVE A MAXIMUM U-FACTOR OF 0.55 AS PER CODE.

HVAC:

CONTRACTOR SHALL PROVIDE NEW FUNCTIONAL AND COMPLETE HVAC SYSTEM TO CONDITION PROPOSED NEW SECOND STORY ADDITION AND EXISTING SPACE BELOW. SYSTEM SHALL BE COMPLETE, FULLY FUNCTIONAL AND CODE COMPLIANT.

CONTRACTOR SHALL PROPOSE LOCATIONS FOR ALL (N) HVAC GRILLES, DIFFUSERS, REGISTERS, ETC. TO OWNER FOR PRIOR REVIEW AND APPROVAL IN FIELD PRIOR TO INSTALLATION.

GENERAL FINISH NOTES

EXTERIOR SIDING:
PAINTED FIBER CEMENT LAP AND BOARD AND BATTEN SIDING BY JAMES HARDIE OR APPROVED EQUAL. PROVIDE UNDERLAYMENT AND ACCESSORIES AS REQUIRED FOR COMPLETE SIDING SYSTEM. ALL SIDING SHALL BE BACKPRIMED. MATCH (E) SIDING IN STYLE AND FORMAT.

EXTERIOR TRIM:
PAINTED FIBER CEMENT TRIM COMPATIBLE W/ SIDING. ALL TRIM AND SIDING SHALL BE BACK-PRIMED.

ROOFING SYSTEMS:
ARCHITECTURAL ASPHALT SHINGLE ROOF W/ MINIMUM 30 YEAR WARRANTY W/ COLOR AND STYLE TO MATCH EXISTING.

EXTERIOR PAINT:
MANUFACTURER BENJAMIN MOORE W/ MINIMUM TWO COATS W/ MULTIPLE COLORS AS SELECTED BY OWNER

INTERIOR FLOORING:
(N) HARDWOOD FLOORING. CONFIRM SPECIES AND STYLE W/ OWNER. FLOORING FINISH COAT SHALL BE 3 COATS WATER-BASED POLYURETHANE.

(E) HARDWOOD FLOORING. PATCH AND MATCH (E) FLOORING AS REQD TO OBTAIN SMOOTH AND UNINTERRUPTED APPEARANCE. REFINISH FLOORING TO MATCH (N) HARDWOOD.

INTERIOR CABINETRY AND COUNTERTOPS:
OWNER TO SELECT CASEWORK CABINETRY AND PROVIDE W/ CONTRACTOR TO INSTALL.

INTERIOR WALL TILE:
OWNER TO SUPPLY AND CONTRACTOR TO INSTALL.

INTERIOR GYPSUM BOARD:
LEVEL 4 FINISH. MATCH AND BLEND WITH (E) FOR SMOOTH AND SEAMLESS APPEARANCE.

INTERIOR PAINT:
MANUFACTURER BENJAMIN MOORE W/ ALL WALLS TO BE PAINTED WITH MINIMUM TWO COATS EGGSHELL FINISH W/ MULTIPLE COLORS AS SELECTED BY OWNER. ALL INTERIOR TRIM TO BE PAINTED WITH MINIMUM TWO COATS SEMI-GLOSS FINISH W/ MULTIPLE COLORS AS SELECTED BY OWNER.

INTERIOR DOORS:
NEW PAINTED PANELED DOORS BY MASONITE OR APPROVED EQUAL.

PLUMBING FIXTURES:
NEW PLUMBING FIXTURES SHALL BE OWNER SUPPLIED AND INSTALLED BY CONTRACTOR.

LIGHT FIXTURES:
OWNER TO PROVIDE NEW DECORATIVE PENDANT FIXTURES, WALL MOUNTED FIXTURES AND CEILING FANS W/ CONTRACTOR TO INSTALL. CONTRACTOR TO SUPPLY AND INSTALL ALL NEW NON-DECORATIVE FIXTURES SUCH AS RECESSED, UNDERCABINET, COVE, ETC. LIGHTING AND EXHAUST FANS AND SMOKE AND CARBON MONOXIDE DETECTORS.



GENERAL STRUCTURAL NOTES

CEILING JOISTS SHALL NOT BE SPLICED.

LIVE LOADS:

ROOF: 30 PSF
FIRST FLOOR: 40 PSF

SOIL VALUE:

SOIL BEARING VALUE IS ASSUMED AT 1500 PSF. THE CONTRACTOR SHALL FIELD VERIFY THE ASSUMED VALUE AND NOTIFY THE ARCHITECT APPROXIMATELY 24 HOURS BEFORE THE FIRST FOOTINGS ARE TO BE POURED.

FOOTINGS:

BOTTOMS OF ALL FOOTINGS SHALL EXTEND 1'-0" MINIMUM INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION AT LEAST 2'-6" BELOW FINISHED GRADE.

CONCRETE:

ALL CONCRETE SHALL BE 3000 PSI @ 28 DAYS.

REINFORCING STEEL:

REINFORCING STEEL SHALL BE ASTM A615, GRADE 60. CONCRETE PROTECTION FOR REINFORCING STEEL IN FOOTINGS SHALL BE 3" MINIMUM.

MASONRY:

PROVIDE 3 COURSES OF SOLID BRICK OR ONE COURSE OF 100% SOLID (NOT FILLED) CONCRETE BLOCK UNDER ALL JOISTS OR SLABS BEARING ON MASONRY WALLS. WHERE STEEL BEAMS AND LINTELS BEAR ON MASONRY WALLS, PROVIDE 6 COURSES OF 100% SOLID BRICK OR 2 COURSES OF 100% SOLID (NOT FILLED) CONCRETE BLOCK FULL WIDTH OF WALL BY 2'-8" MINIMUM LENGTH UNDER THE BEARING. PIERS INDICATED AS SOLID MASONRY SHALL BE 100% SOLID FROM TOP OF FOOTING TO BEAM BEARING.

TIMBER:

ALL FRAMING SHALL BE NUMBER 2 DOUGLAS FIR, NUMBER 2 SOUTHERN PINE OR EQUIVALENT (FB= 1200 PSI, E= 1,600,000 PSI). MICRO LAMINATED TIMBER SIZES SHOWN ARE BASED ON FB = 2800 PSI, FV = 285 PSI AND E = 2,000,000 PSI.

LINTELS:

ALL LINTELS SHALL BE (2) 2 X 10 UNLESS NOTED ON PLAN. 4" X 8" PRECAST CONCRETE LINTELS SHALL HAVE 6" MINIMUM BEARING AT EACH END AND HAVE #4S TOP AND BOTTOM WITH F' C = 3000 PSI.

WALLS BRACED WITH CONTINUOUS WOOD STRUCTURAL PANELS (CS-WSP). 1/2" NOMINAL WITH 8D NAILS @ 6" O.C./12" O.C. EDGE/FIELD SPACING.

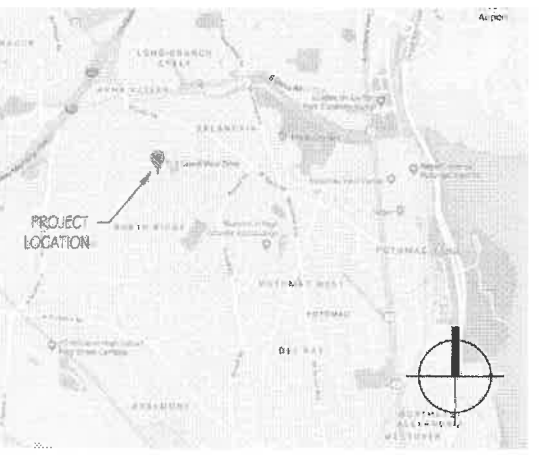
PROJECT INFORMATION

REMODEL AND ADDITION TO EXISTING ONE-STORY SINGLE-FAMILY RESIDENCE.

SHEET INDEX

SHEET NUMBER	SHEET TITLE
GENERAL	COVER SHEET
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DEMOLITION	
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D-1	FIRST FLOOR DEMOLITION PLAN
D-2	SECOND FLOOR DEMOLITION PLAN
D-3	ROOF DEMOLITION PLAN
ARCHITECTURAL	
A-0	BASEMENT CONSTRUCTION PLAN
A-1	FIRST FLOOR CONSTRUCTION PLAN
A-2	SECOND FLOOR CONSTRUCTION PLAN
A-3	ROOF CONSTRUCTION PLAN
A-4	NORTH AND WEST ELEVATIONS
A-5	SOUTH AND EAST ELEVATIONS
A-7	INTERIOR ELEVATIONS
A-8	INTERIOR ELEVATIONS
ELECTRICAL AND CEILING	
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STRUCTURAL	
S-1	FIRST FLOOR FRAMING AND FOUNDATION PLAN
S-2	SECOND FLOOR FRAMING PLAN
S-3	ROOF FRAMING PLAN

VICINITY MAP



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NOT FOR CONSTRUCTION

PROJECT

MYERS RESIDENCE

710 GRAND VIEW DRIVE
ALEXANDRIA, VA 22305

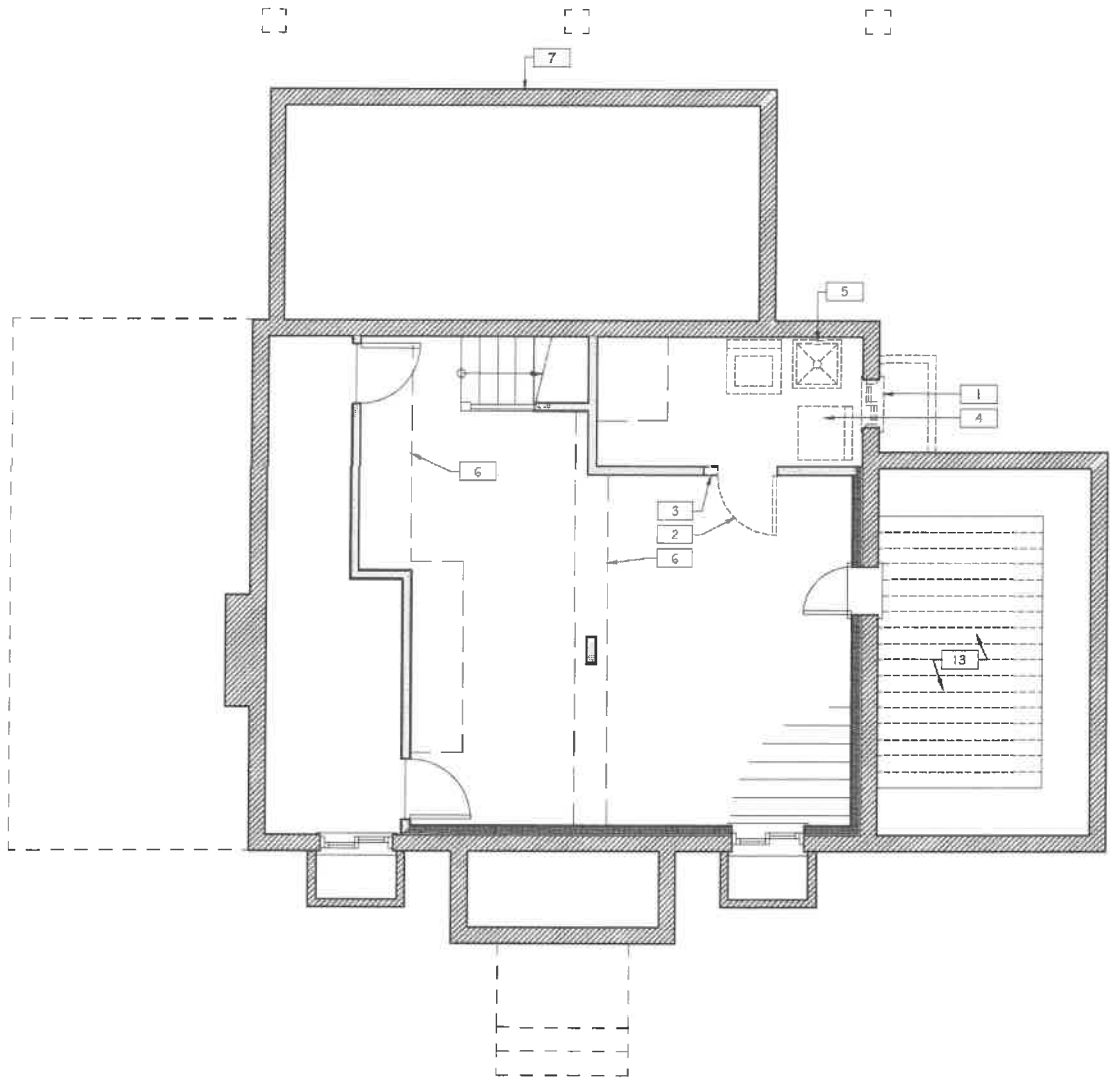
Drawing:
COVER SHEET

Issue: CLIENT REVIEW
Date: 05-07-2019

G-1

DEMOLITION SHEET NOTES

- 1 REMOVE (E) WINDOW, TYP.
- 2 REMOVE (E) DOOR AND FRAME, TYP.
- 3 REMOVE (E) WALL, TYP.
- 4 REMOVE (E) APPLIANCE, TYP.
- 5 REMOVE (E) PLUMBING FIXTURE, TYP.
- 6 STRUCTURE ABOVE, TYP.
- 7 LINE OF BUILDING ABOVE, TYP.
- 8 REMOVE (E) CASEWORK/ CABINETRY, TYP.
- 9 REMOVE (E) STAIR AND LANDING.
- 10 REMOVE (E) GUTTER / DOWNSPOUT, TYP.
- 11 LINE OF BUILDING BELOW, TYP.
- 12 REMOVE (E) FINISH FLOORING, TYP.
- 13 REMOVE (E) BOARD FLOORING AND SOIL FOR (N) GRAVEL LAYER AND VAPOR BARRIER, TYP.
REMOVE (E) CEILING PANELING ABOVE, TYP.
- 14 SALVAGE (E) STORM DOOR FOR REUSE.
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- 17 REMOVE (E) PVC BEAD BOARD SOFFIT PANELING, TYP.
- 18 ENLARGE (E) OPENING.
- 19 (E) BEAM TO BE REMOVED.
- 20 (E) ROOFLINE / RAKE TO BE MAINTAINED.



GENERAL DEMOLITION NOTES

- DEMOLITION DRAWINGS ARE SCHEMATIC AND ARE INCLUDED TO DESCRIBE THE DEMOLITION WORK IN A GENERAL MANNER. COORDINATE WITH CONSTRUCTION PLANS TO ACHIEVE OVERALL DESIGN INTENT.
- EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC. ALL DISTURBED EXISTING ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION.
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LEGEND

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710 GRAND VIEW DRIVE
ALEXANDRIA, VA 22305

Drawing:

BASEMENT
DEMOLITION PLAN

Issue: CLIENT REVIEW

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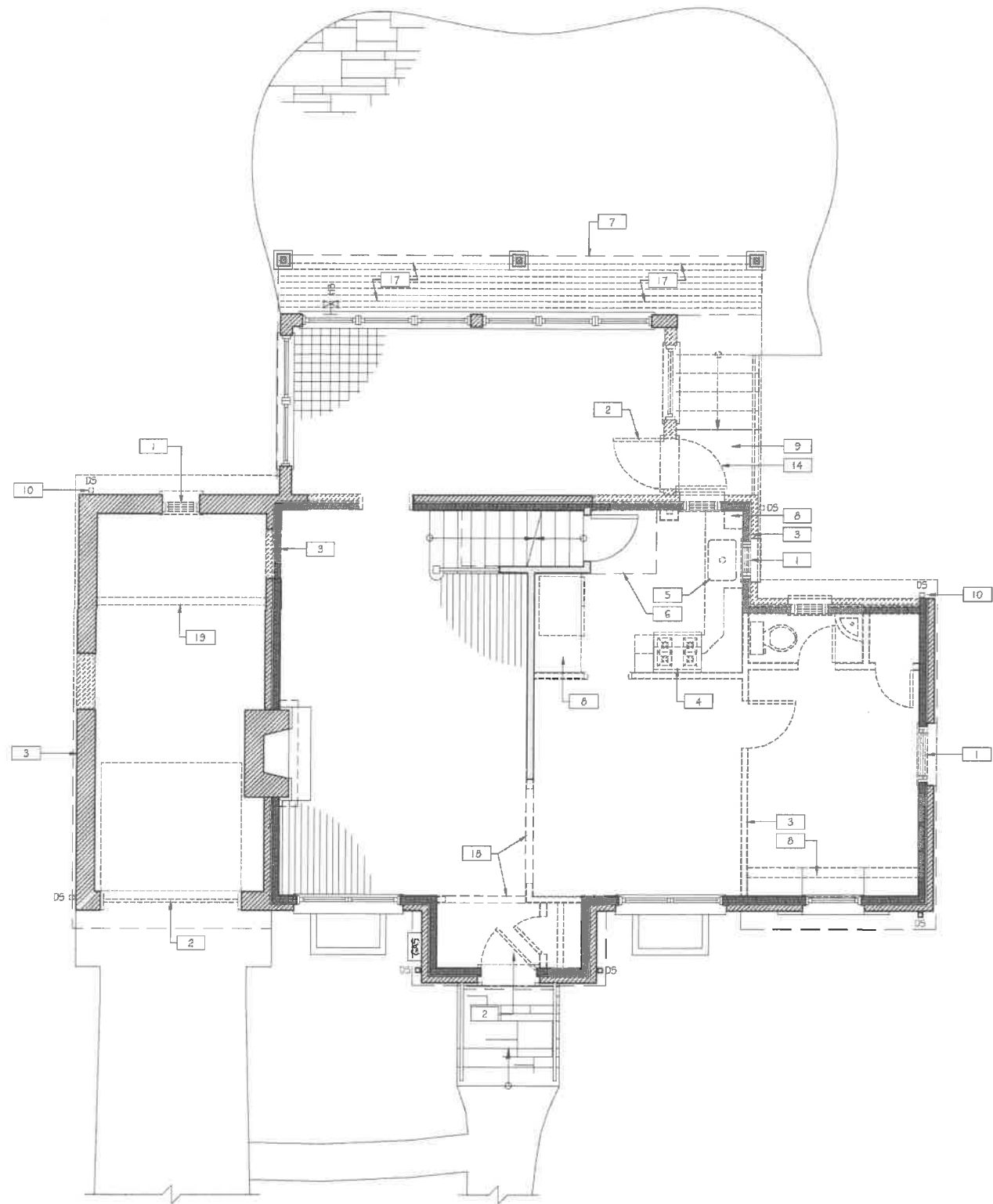
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BASEMENT DEMOLITION PLAN

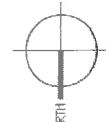
1/4" = 1'-0"





1 FIRST FLOOR DEMOLITION PLAN

1/4" = 1'-0"



- 1 REMOVE (E) WINDOW, TYP.
- 2 REMOVE (E) DOOR AND FRAME, TYP.
- 3 REMOVE (E) WALL, TYP.
- 4 REMOVE (E) APPLIANCE, TYP.
- 5 REMOVE (E) PLUMBING FIXTURE, TYP.
- 6 STRUCTURE ABOVE, TYP.
- 7 LINE OF BUILDING ABOVE, TYP.
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REMOVE (E) CEILING PANELING ABOVE, TYP.
- 14 SALVAGE (E) STORM DOOR FOR REUSE.
- 15 REMOVE (E) ROOFING AND UNDERLAYMENT, TYP.
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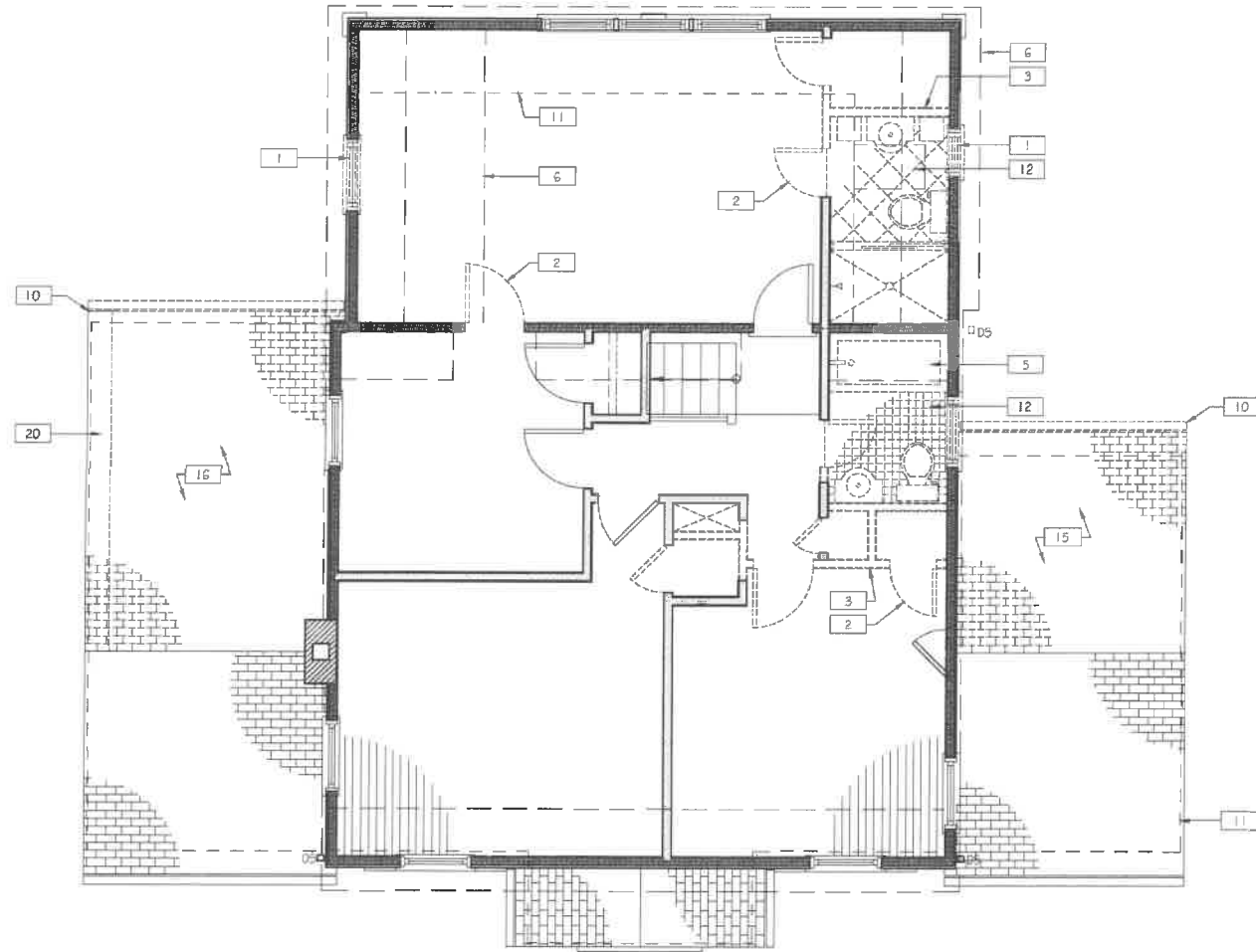
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FIRST FLOOR
DEMOLITION PLAN

Issue: CLIENT REVIEW

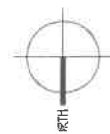
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D-1



1 SECOND FLOOR DEMOLITION PLAN

1/4" = 1'-0"



DEMOLITION SHEET NOTES

- 1 REMOVE (E) WINDOW, TYP.
- 2 REMOVE (E) DOOR AND FRAME, TYP.
- 3 REMOVE (E) WALL, TYP.
- 4 REMOVE (E) APPLIANCE, TYP.
- 5 REMOVE (E) PLUMBING FIXTURE, TYP.
- 6 STRUCTURE ABOVE, TYP.
- 7 LINE OF BUILDING ABOVE, TYP.
- 8 REMOVE (E) CASEWORK/ CABINETS, TYP.
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NOT FOR
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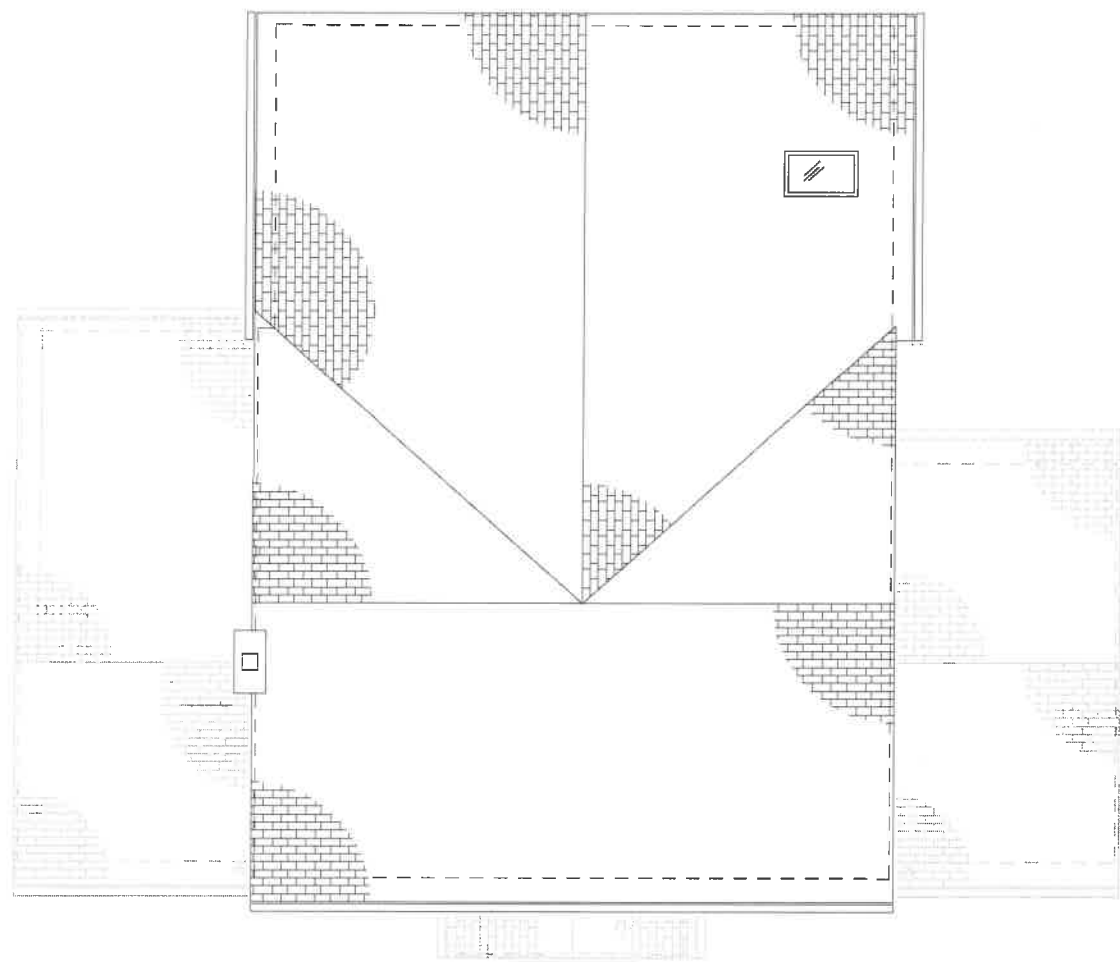
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SECOND FLOOR
DEMOLITION PLAN

Issue: CLIENT REVIEW

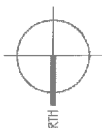
Date: 05-07-2019

Sheet: **D-2**



NO WORK PROPOSED
(SHOWN FOR REFERENCE ONLY)

1 ROOF DEMOLITION PLAN
1/4" = 1'-0"



- 1 REMOVE (E) WINDOW, TYP.
- 2 REMOVE (E) DOOR AND FRAME, TYP.
- 3 REMOVE (E) WALL, TYP.
- 4 REMOVE (E) APPLIANCE, TYP.
- 5 REMOVE (E) PLUMBING FIXTURE, TYP.
- 6 STRUCTURE ABOVE, TYP.
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710 GRAND VIEW DRIVE
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Drawing:

ROOF DEMOLITION
PLAN

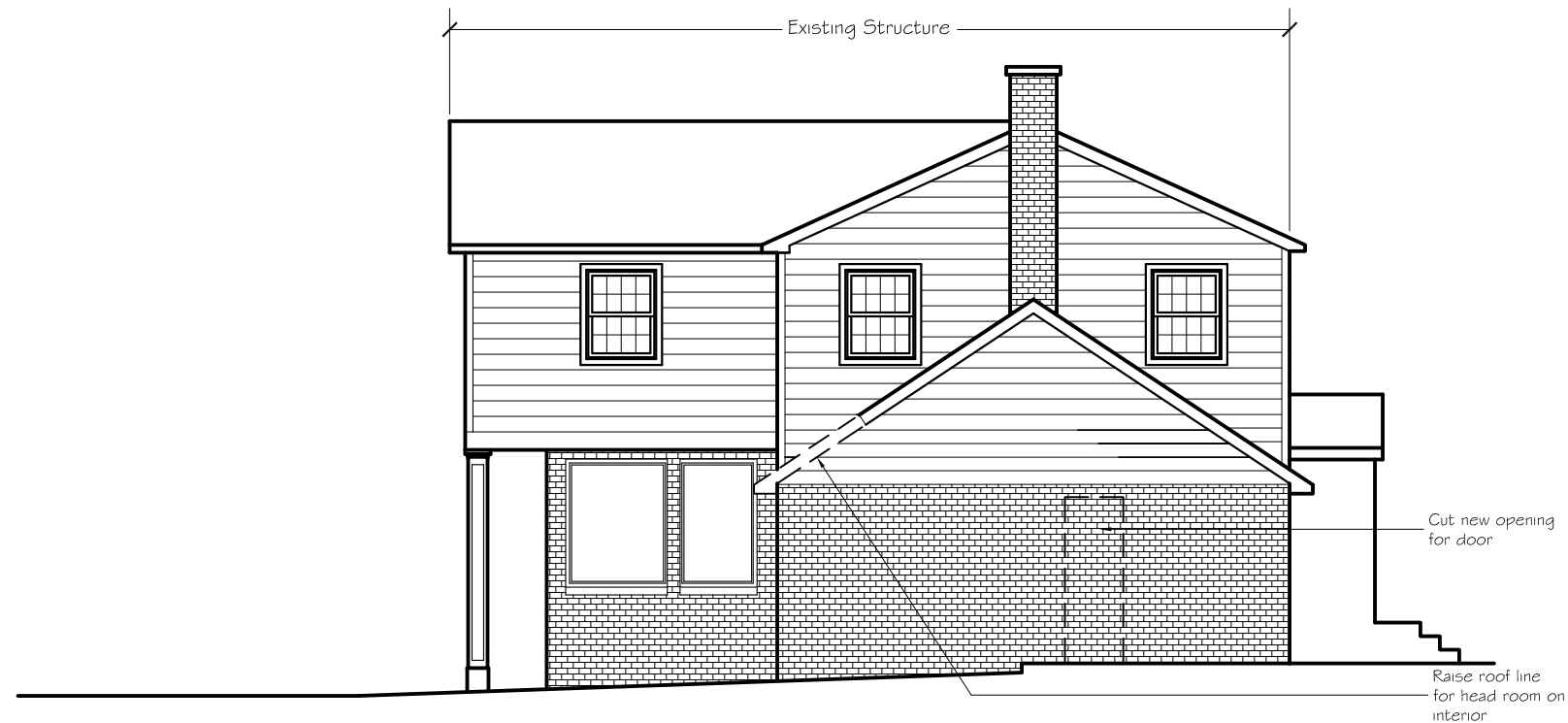
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D-3



① Front Elevation (North) - Demolition
SCALE: 1/8" = 1'-0"



② Side (East) Elevation - Demolition
SCALE: 1/8" = 1'-0"

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Myers Residence
710 Grandview Drive
Alexandria, VA 22305

Demolition Elevation
Drawings

For BZA Review

May 3, 2019

D4



① Rear Elevation (South) - Demolition
SCALE: 1/8" = 1'-0"



② Side (West) Elevation - Demolition
SCALE: 1/8" = 1'-0"

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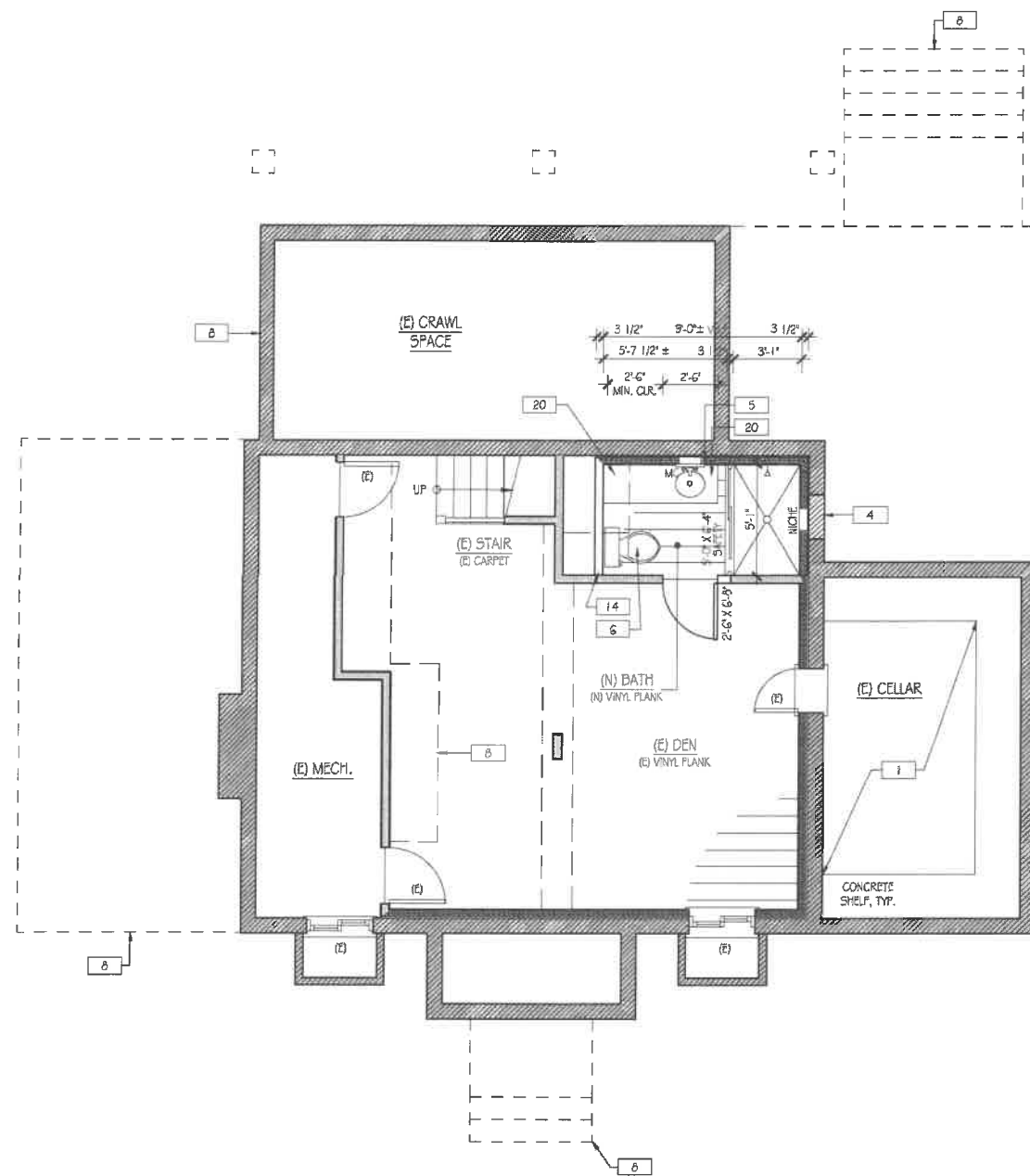
Myers Residence
710 Grandview Drive
Alexandria, VA 22305

Demolition Elevation
Drawings

For BZA Review

May 3, 2019

D5



1 BASEMENT CONSTRUCTION PLAN
1/4" = 1'-0"

NOTES:
1. VERIFY ALL (E) DIMENSIONS. NOTIFY ARCHITECT OF DISCREPANCIES.
2. ALL DIMENSIONS TO FACE OF STUD, UN.
3. F.O.B. = FACE OF BRICK OR BLOCK
4. F.O.C. = FACE OF CONCRETE
5. F.O.S. = FACE OF STUD
6. F.O.F. = FACE OF FINISH

- 1 PROVIDE (N) CONT. VAPOR BARRIER OVER GRAVEL LAYER W/ PERIMETER EDGES SEALED, TYP.
- 2 (N) FRONT DOOR. CONFIRM STYLE W/ OWNER.
- 3 PROVIDE P.T. SLEEPERS W/ SUBFLOOR OR LEVELING COMPOUND OVER (E) CONCRETE AS LEVEL. SUBSTRATE FOR (N) FINISH FLOORING AS REQ'D., TYP.
- 4 (N) WALL INFILL, TYP.
- 5 (N) TYP. INTERIOR INSULATED PERIMETER WALL CONSTRUCTION:
(1) LAYER 1/2" GYPSUM BOARD OVER 2X4 @ 16" O.C. STUD CONSTRUCTION W/ MIN. R-13 BATT INSULATION W/ VAPOR BARRIER AND 1" AIR GAP TO CONCRETE OR BRICK, TYP.
- 6 CONFIRM MIN. 6'-8" CEILING HEIGHT AT THE CENTER OF THE FRONT CLEARANCE AREA OF TOILET AS PER CODE.
- 7 LINE OF STRUCTURE BELOW, TYP.
- 8 LINE OF STRUCTURE ABOVE, TYP.
- 9 (N) DOOR, TYP.
- 10 (N) WINDOW, TYP.
- 11 (N) HVAC CONDENSOR UNITS
- 12 (N) BRICK MASONRY SCREEN WALL
- 13 (N) REINFORCED CONCRETE SITE FLATWORK SLOPED TO DRAIN, TYP.
- 14 (N) TYP. INTERIOR WALL CONSTRUCTION:
(1) LAYER 1/2" GYPSUM BOARD EA. SIDE OVER MIN. 2X4 @ 16" O.C. STUD CONSTRUCTION. INSTALL ACOUSTICAL BATT INSULATION WHERE SHOWN. REFER TO GENERAL NOTES FOR FURTHER INFORMATION.
- 15 (N) PAINTED METAL GUTTER / DOWNSPOUT, TYP.
- 16 (N) PATIO EXTENSION --
PROVIDE (N) FLAGSTONE OVER CONCRETE S.O.G. TO MATCH (E) PATIO.
- 17 PROVIDE (N) VERTICAL MOLDING / TRIM AT WALL TRANSITION.
- 18 (N) STAIR CONSTRUCTION PER CODE
8-1/4" MAX. RISER HEIGHT AND 9" MIN. TREAD DEPTH.
V.I.F. W/ FINISH FLOOR / GRADE.
- 19 (N) HANDRAIL PER CODE.
- 20 (N) CASEWORK / CABINETRY, TYP.
- 21 (N) ROOFLET.
- 22 (N) PAINTED TIMBER SUPPORT BRACKET, TYP.
- 23 (N) GUARD PER CODE, TYP.
- 24 (N) PLUMBING FIXTURE, TYP.
- 25 (N) APPLIANCE, TYP.
- 26 (N) EQUIPMENT, TYP.
- 27 (N) PAINTED ROD AND SHELF, TYP.
- 28 (E) SKYLIGHT.
(N) ROOFING OVER UNDERLAYMENT TO MATCH (E), TYP.
NOTE: PROVIDE SLATE ROOFING AT AREAS VISIBLE FROM STREET / FRONT YARD. PROVIDE ASPHALT SHINGLE AT ALL OTHER AREAS (E.G. REAR YARD).
- 30 (E) LOWER ROOFLINE / RAKE TO BE MAINTAINED.
- 31 (E) PROPERTY LINE, TYP.

GENERAL NOTES

- 1. DOOR AND WINDOW LEGEND:
(2) = DOUBLE DOOR OR WINDOW
SAFETY = TEMPERED SAFETY GLAZING
EGRESS = EMERGENCY ESCAPE AND RESCUE WINDOW PER CODE W/ TILTING OR REMOVABLE SASH TO COMPLY AS NEEDED
- ALL EXTERIOR GLAZING AT CONDITIONED SPACE SHALL BE DUAL-PANE AND NOT EXCEED MAX. U-VALUES AS MANDATED BY CODE.
- 2. VERIFY IN FIELD SIZES OF REPLACEMENT WINDOWS AND DOORS.
- 3. SEE GENERAL NOTES / COVER SHEET FOR MINIMUM INSULATION REQUIREMENTS FOR WOOD FRAME WALLS, FLOORS, CEILINGS, SLABS ON GRADE, ETC., TYP.
- 4. PROVIDE (N) BATT INSULATION AT (E) WALL / ROOF / FLOOR CONSTRUCTION WHERE REQUIRED, TYP.
- 5. PROVIDE ALL OPERABLE WINDOWS W/ SCREENS.
- 6. OVERSIZE BYPASS, BARN DOORS, ETC. TO PROVIDE OVERLAP.
- 7. FOR ALL ENCLOSED ATTICS OR RAFTER SPACES, PROVIDE VENTILATING OPENINGS W/ SCREENING W/ MIN. NET FREE AREA OF 1/150 OF THE AREA OF THE VENTED SPACE AS PER CODE.
- 8. PROVIDE MOISTURE-RESISTANT GYP. BD. AT ALL DAMP AREAS SUCH AS KITCHENS AND BATHROOMS. PROVIDE CEMENT BACKER BOARD AT WALLS WITH TILE FINISHES AND AT TUB AND SHOWER SURROUNDS.
- 9. PROVIDE ACOUSTICAL INSULATION AT BATHROOMS WHERE SHOWN.

CRAFTED ARCHITECTURE LLC
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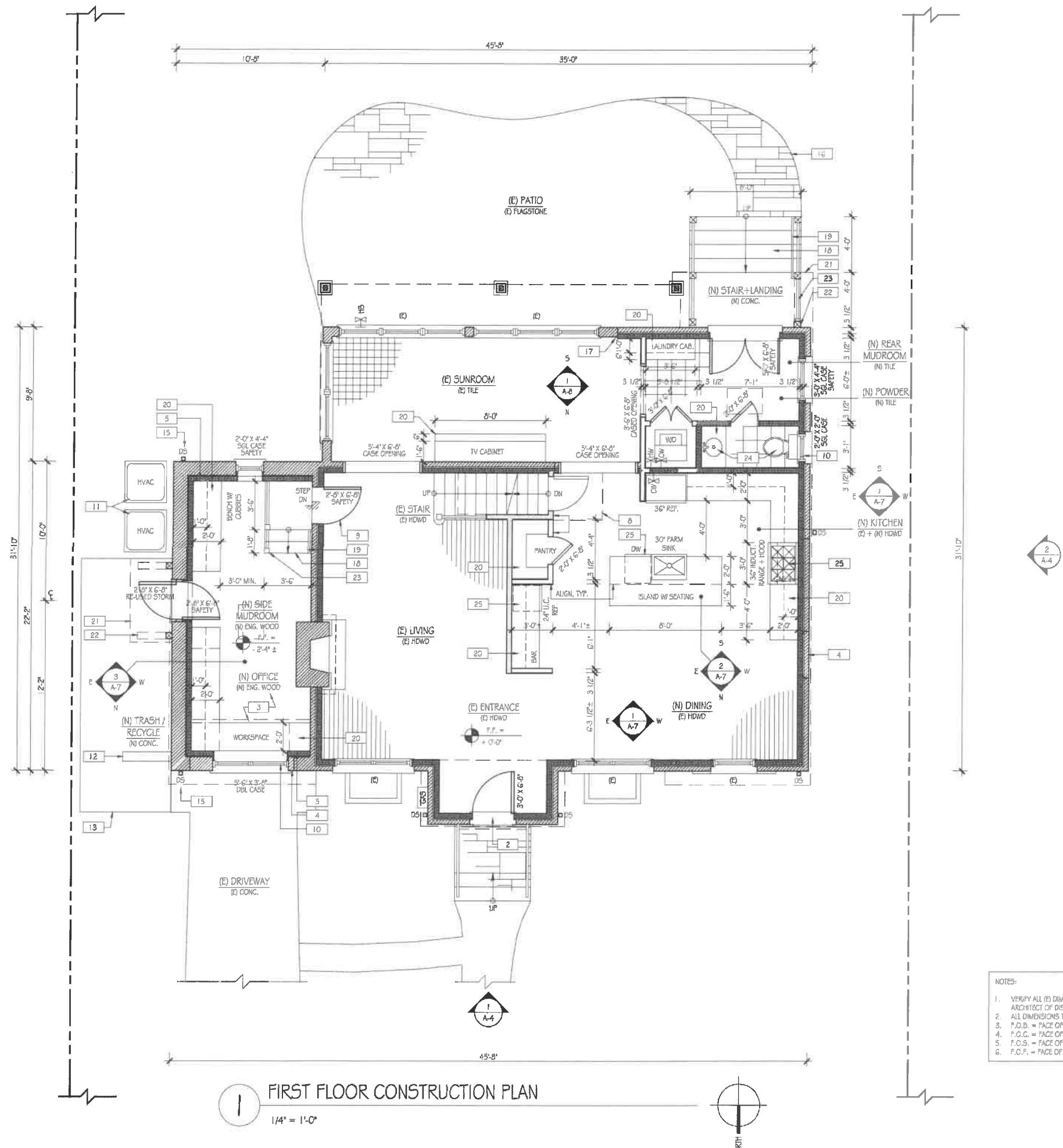
NOT FOR CONSTRUCTION

PROJECT
MYERS RESIDENCE

710 GRAND VIEW DRIVE
ALEXANDRIA, VA 22305

Drawing:
BASEMENT CONSTRUCTION PLAN
Issue: CLIENT REVIEW
Date: 05-07-2019

Sheet: A-0



1. PROVIDE (N) CONT. VAPOR BARRIER OVER GRAVEL LAYER W/ PERIMETER EDGES SEALED, TYP.
2. (N) FRONT DOOR. CONFIRM STYLE W/ OWNER.
3. PROVIDE P.T. SLEEPERS W/ SUBFLOOR OR LEVELING COMPOUND OVER (E) CONCRETE AS LEVEL SUBSTRATE FOR (N) FINISH FLOORING AS REQ'D., TYP.
4. (N) WALL INFILL, TYP.
5. (N) TYP. INTERIOR INSULATED PERIMETER WALL CONSTRUCTION:
(1) LAYER 1/2" GYPSUM BOARD OVER 2X4 @ 16" O.C. STUD CONSTRUCTION W/ MIN. R-13 BATT INSULATION W/ VAPOR BARRIER AND 1" AIR GAP TO CONCRETE OR BRICK, TYP.
6. CONFIRM MIN. 6'-8" CEILING HEIGHT AT THE CENTER OF THE FRONT CLEARANCE AREA OF TOILET AS PER CODE.
7. LINE OF STRUCTURE BELOW, TYP.
8. LINE OF STRUCTURE ABOVE, TYP.
9. (N) DOOR, TYP.
10. (N) WINDOW, TYP.
11. (N) HVAC CONDENSOR UNITS
12. (N) BRICK MASONRY SCREEN WALL
13. (N) REINFORCED CONCRETE SITE FLATWORK SLOPED TO DRAIN, TYP.
14. (N) TYP. INTERIOR WALL CONSTRUCTION:
(1) LAYER 1/2" GYPSUM BOARD PA. SIDE OVER MIN. 2X4 @ 16" O.C. STUD CONSTRUCTION. INSTALL ACOUSTICAL BATT INSULATION WHERE SHOWN. REFER TO GENERAL NOTES FOR FURTHER INFORMATION.
15. (N) PAINTED METAL GUTTER / DOWNSPOUT, TYP.
16. (N) PATIO EXTENSION --
PROVIDE (N) FLAGSTONE OVER CONCRETE S.O.G. TO MATCH (E) PATIO.
17. PROVIDE (N) VERTICAL MOLDING / TRIM AT WALL TRANSITION.
18. (N) STAIR CONSTRUCTION PER CODE
6-1/4" MAX. RISER HEIGHT AND 9" MIN. TREAD DEPTH.
V.I.F. W/ FINISH FLOOR / GRADE.
19. (N) HANDRAIL PER CODE.
20. (N) CASEWORK / CABINETS, TYP.
21. (N) ROOFLET.
22. (N) PAINTED TIMBER SUPPORT BRACKET, TYP.
23. (N) GUARD PER CODE, TYP.
24. (N) PLUMBING FIXTURE, TYP.
25. (N) APPLIANCE, TYP.
26. (N) EQUIPMENT, TYP.
27. (N) PAINTED ROD AND SHELF, TYP.
28. (E) SKYLIGHT.
29. (N) ROOFING OVER UNDERLAYMENT TO MATCH (E), TYP.
NOTE: PROVIDE SLATE ROOFING AT AREAS VISIBLE FROM STREET / FRONT YARD. PROVIDE ASPHALT SHINGLE AT ALL OTHER AREAS (E.G. REAR YARD).
30. (E) LOWER ROOFLINE / RAKE TO BE MAINTAINED.
31. (E) PROPERTY LINE, TYP.

GENERAL NOTES

1. DOOR AND WINDOW LEGEND:
(2) = DOUBLE DOOR OR WINDOW
SAFETY = TEMPERED SAFETY GLAZING
EGRESS = EMERGENCY ESCAPE AND RESCUE WINDOW PER CODE
W/ TILTING OR REMOVABLE SASH TO COMPLY AS NEEDED
- ALL EXTERIOR GLAZING AT CONDITIONED SPACE SHALL BE DUAL-PANE AND NOT EXCEED MAX. U-VALUES AS MANDATED BY CODE.
2. VERIFY IN FIELD SIZES OF REPLACEMENT WINDOWS AND DOORS.
3. SEE GENERAL NOTES / COVER SHEET FOR MINIMUM INSULATION REQUIREMENTS FOR WOOD FRAME WALLS, FLOORS, CEILINGS, SLABS ON GRADE, ETC., TYP.
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6. OVERSIZE BYPASS, BARN DOORS, ETC. TO PROVIDE OVERLAP.
7. FOR ALL ENCLOSED ATTICS OR RAFTER SPACES, PROVIDE VENTILATING OPENINGS W/ SCREENING W/ MIN. NET FREE AREA OF 1/150 OF THE AREA OF THE VENTED SPACE AS PER CODE.
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9. PROVIDE ACOUSTICAL INSULATION AT BATHROOMS WHERE SHOWN.

- NOTES:
1. VERIFY ALL (E) DIMENSIONS. NOTIFY ARCHITECT OF DISCREPANCIES.
 2. ALL DIMENSIONS TO FACE OF STUD, UNL.
 3. F.O.B. = FACE OF BRICK OR BLOCK
 4. F.O.C. = FACE OF CONCRETE
 5. F.O.S. = FACE OF STUD
 6. F.O.F. = FACE OF FINISH

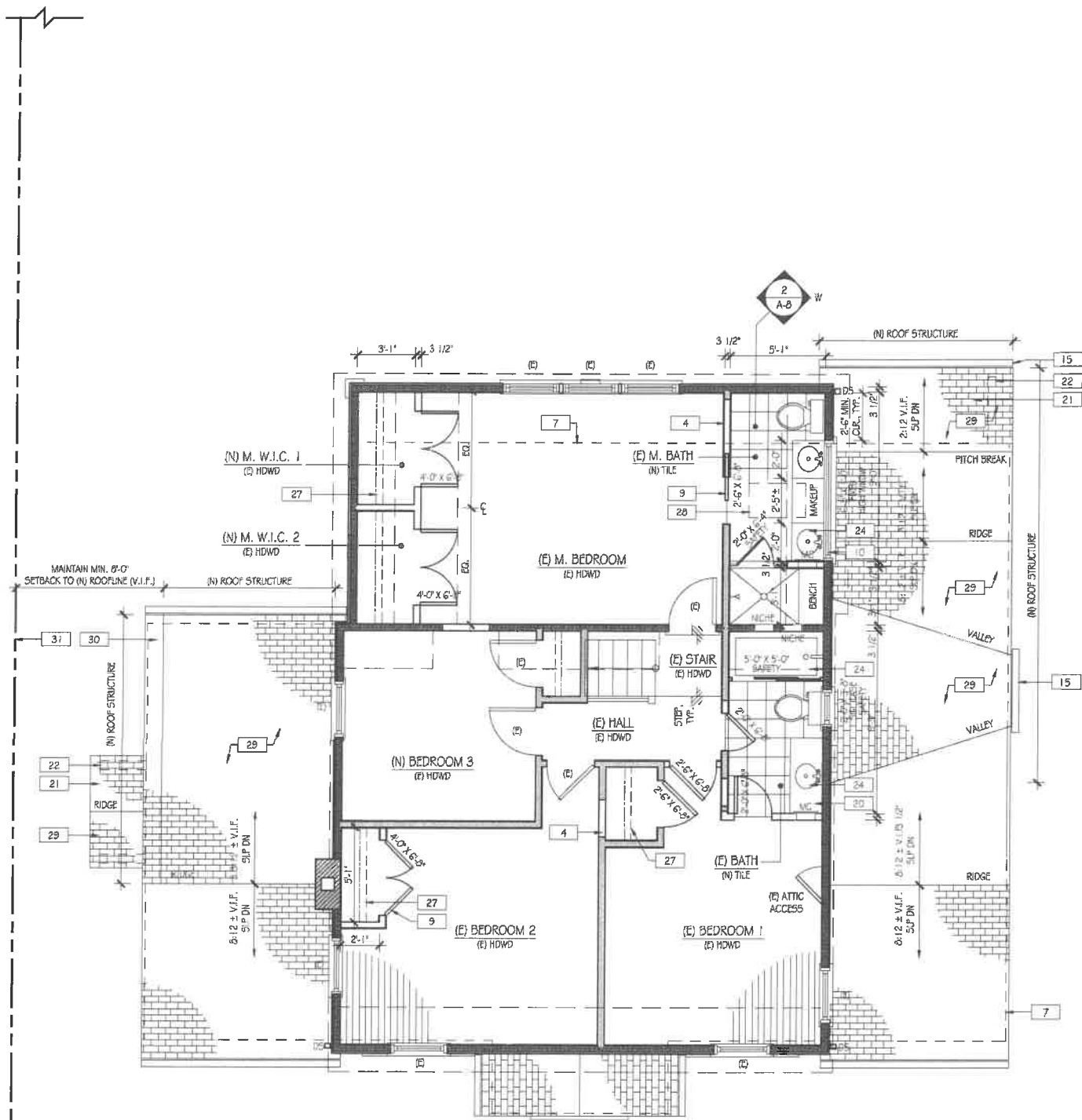
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NOT FOR CONSTRUCTION

PROJECT
MYERS RESIDENCE
710 GRAND VIEW DRIVE
ALEXANDRIA, VA 22305

Drawing:
FIRST FLOOR CONSTRUCTION PLAN
Issue: CLIENT REVIEW
Date: 05-07-2019

A-1



1 SECOND FLOOR CONSTRUCTION PLAN
1/4" = 1'-0"

NOTES:
1. VERIFY ALL (E) DIMENSIONS. NOTIFY ARCHITECT OF DISCREPANCIES.
2. ALL DIMENSIONS TO FACE OF STUD, UON.
3. F.O.B. = FACE OF BRICK OR BLOCK
4. F.O.C. = FACE OF CONCRETE
5. F.O.S. = FACE OF STUD
6. F.O.F. = FACE OF FINISH

- 1 PROVIDE (N) CONT. VAPOR BARRIER OVER GRAVEL LAYER W/ PERIMETER EDGES SEALED, TYP.
- 2 (N) FRONT DOOR. CONFIRM STYLE W/ OWNER.
- 3 PROVIDE P.T. SLEEPERS W/ SUBFLOOR OR LEVELING COMPOUND OVER (E) CONCRETE AS LEVEL. SUBSTRATE FOR (N) FINISH FLOORING AS REQD., TYP.
- 4 (N) WALL INFILL, TYP.
- 5 (N) TYP. INTERIOR INSULATED PERIMETER WALL CONSTRUCTION:
(1) LAYER 1/2" GYPSUM BOARD OVER 2X4 @ 16" O.C. STUD CONSTRUCTION W/ MIN. R-13 BATT INSULATION W/ VAPOR BARRIER AND 1" AIR GAP TO CONCRETE OR BRICK, TYP.
- 6 CONFIRM MIN. 6'-0" CEILING HEIGHT AT THE CENTER OF THE FRONT CLEARANCE AREA OF TOILET AS PER CODE.
- 7 LINE OF STRUCTURE BELOW, TYP.
- 8 LINE OF STRUCTURE ABOVE, TYP.
- 9 (N) DOOR, TYP.
- 10 (N) WINDOW, TYP.
- 11 (N) HVAC CONDENSOR UNITS
- 12 (N) BRICK MASONRY SCREEN WALL
- 13 (N) REINFORCED CONCRETE SITE PLATWORK SLOPED TO DRAIN, TYP.
- 14 (N) TYP. INTERIOR WALL CONSTRUCTION:
(1) LAYER 1/2" GYPSUM BOARD EA. SIDE OVER MIN. 2X4 @ 16" O.C. STUD CONSTRUCTION. INSTALL ACOUSTICAL BATT INSULATION WHERE SHOWN. REFER TO GENERAL NOTES FOR FURTHER INFORMATION.
- 15 (N) PAINTED METAL GUTTER / DOWNSPOUT, TYP.
- 16 (N) PATIO EXTENSION --
PROVIDE (N) FLAGSTONE OVER CONCRETE S.O.G. TO MATCH (E) PATIO.
- 17 PROVIDE (N) VERTICAL MOLDING / TRIM AT WALL TRANSITION.
- 18 (N) STAIR CONSTRUCTION PER CODE
8-1/4" MAX. RISER HEIGHT AND 9" MIN. TREAD DEPTH.
V.I.F. W/ FINISH FLOOR / GRADE.
- 19 (N) HANDRAIL PER CODE.
- 20 (N) CASEWORK / CABINERY, TYP.
- 21 (N) ROOFLET.
- 22 (N) PAINTED TIMBER SUPPORT BRACKET, TYP.
- 23 (N) GUARD PER CODE, TYP.
- 24 (N) PLUMBING FIXTURE, TYP.
- 25 (N) APPLIANCE, TYP.
- 26 (N) EQUIPMENT, TYP.
- 27 (N) PAINTED ROD AND SHIELD, TYP.
- 28 (E) SKYLIGHT.
- 29 (N) ROOFING OVER UNDERLAYMENT TO MATCH (E), TYP.
NOTE: PROVIDE SLATE ROOFING AT AREAS VISIBLE FROM STREET / FRONT YARD. PROVIDE ASPHALT SHINGLE AT ALL OTHER AREAS (E.G. REAR YARD).
- 30 (E) LOWER ROOFLINE / RAKE TO BE MAINTAINED.
- 31 (E) PROPERTY LINE, TYP.

GENERAL NOTES

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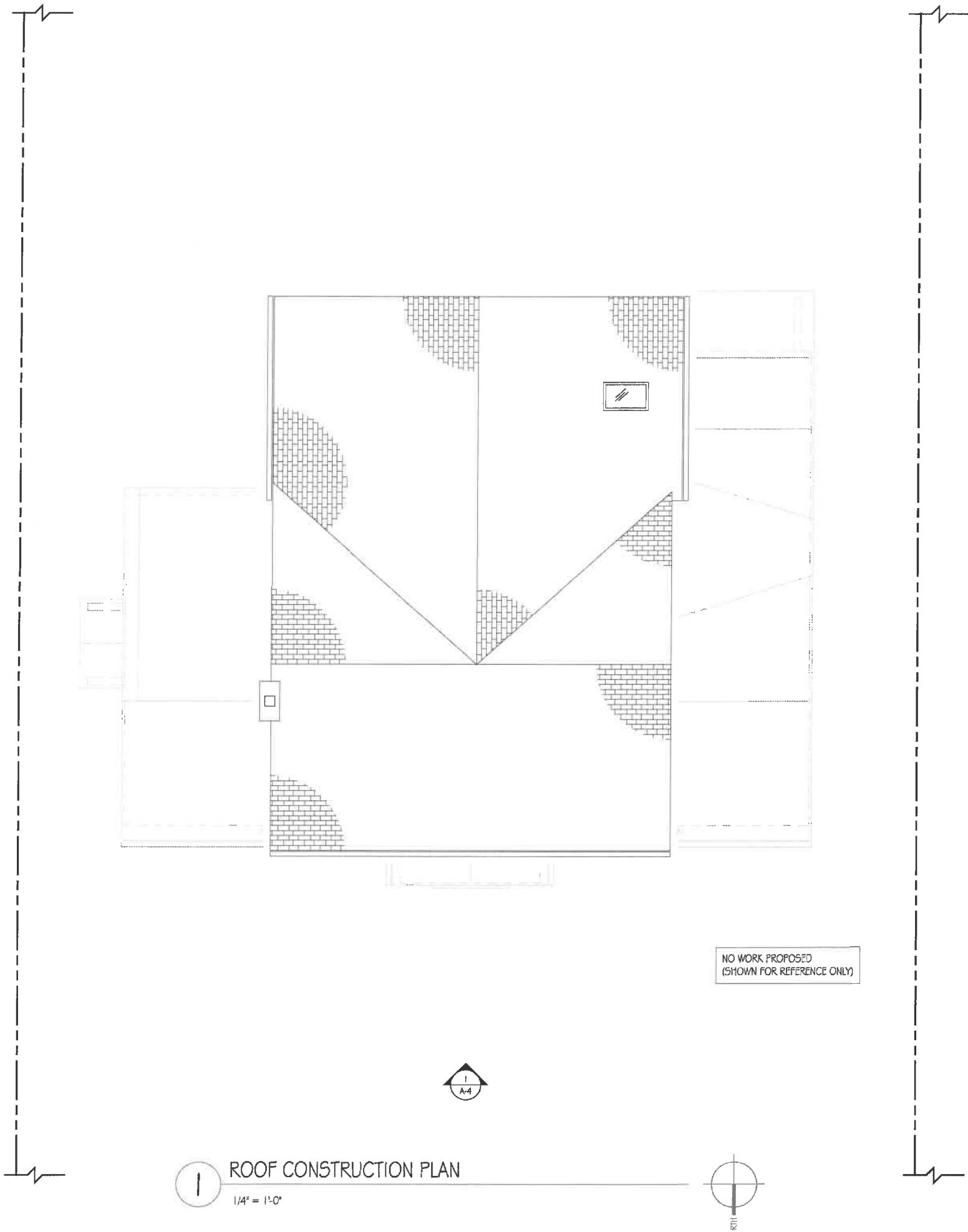
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CONSTRUCTION

PROJECT
MYERS RESIDENCE

710 GRAND VIEW DRIVE
ALEXANDRIA, VA 22305

Drawing:
SECOND FLOOR
CONSTRUCTION
PLAN
Issue: CLIENT REVIEW
Date: 05-07-2019

Sheet: A-2



1 ROOF CONSTRUCTION PLAN
1/4" = 1'-0"

NO WORK PROPOSED
(SHOWN FOR REFERENCE ONLY)

- NOTES:
1. VERIFY ALL (E) DIMENSIONS. NOTIFY ARCHITECT OF DISCREPANCIES.
 2. ALL DIMENSIONS TO FACE OF STUD, UON.
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- 4 (N) WALL INFILL, TYP.
- 5 (N) TYP. INTERIOR INSULATED PERIMETER WALL CONSTRUCTION:
(1) LAYER 1/2" GYPSUM BOARD OVER 2X4 @ 16" O.C. STUD CONSTRUCTION W/ MIN. R-18 BATT INSULATION W/ VAPOR BARRIER AND 1" AIR GAP TO CONCRETE OR BRICK, TYP.
- 6 CONFIRM MIN. 6'-8" CEILING HEIGHT AT THE CENTER OF THE FRONT CLEARANCE AREA OF TOILET AS PER CODE.
- 7 LINE OF STRUCTURE BELOW, TYP.
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- 9 (N) DOOR, TYP.
- 10 (N) WINDOW, TYP.
- 11 (N) HVAC CONDENSOR UNITS
- 12 (N) BRICK MASONRY SCREEN WALL
- 13 (N) REINFORCED CONCRETE SITE FLATWORK SLOPED TO DRAIN, TYP.
- 14 (N) TYP. INTERIOR WALL CONSTRUCTION:
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- 23 (N) GUARD PER CODE, TYP.
- 24 (N) PLUMBING FIXTURE, TYP.
- 25 (N) APPLIANCE, TYP.
- 26 (N) EQUIPMENT, TYP.
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NOTE: PROVIDE SLATE ROOFING AT AREAS VISIBLE FROM STREET / FRONT YARD. PROVIDE ASPHALT SHINGLE AT ALL OTHER AREAS (E.G. REAR YARD).
- 30 (E) LOWER ROOFLINE / RAKE TO BE MAINTAINED.
- 31 (E) PROPERTY LINE, TYP.

GENERAL NOTES

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NOT FOR
CONSTRUCTION

PROJECT

MYERS RESIDENCE

710 GRAND VIEW DRIVE
ALEXANDRIA, VA 22305

Drawing:

ROOF
CONSTRUCTION
PLAN

Issue: CLIENT REVIEW

Date: 05-07-2019

Sheet: A-3

SECTION / ELEVATION SHEET NOTES

- 1 DOOR PER PLAN W/ PAINTED TRIM, TYP.
- 2 WINDOW PER PLAN W/ PAINTED TRIM, TYP.
- 3 (N) ROOFLET.
- 4 (N) PAINTED TIMBER SUPPORT BRACKET, TYP.
- 5 (N) BRICK MASONRY SCREEN WALL.
- 6 (N) ROOFING OVER UNDERLAYMENT TO MATCH (E), TYP.
NOTE: PROVIDE SLATE ROOFING AT AREAS VISIBLE FROM STREET / FRONT YARD. PROVIDE ASPHALT SHINGLE AT ALL OTHER AREAS (E.G. REAR YARD).
- 7 (N) PAINTED DECORATIVE WINDOW SHUTTER TO MATCH (E), TYP.
- 8 (N) GUARD PER CODE, TYP.
- 9 (N) HANDRAIL PER CODE.
- 10 (N) CRAWL SPACE ACCESS HATCH PER CODE.
- 11 (N) STAIR AND LANDING CONSTRUCTION PER CODE.
- 12 (N) PAINTED METAL GUTTER / DOWNSPOUT, TYP.
- 13 (N) PAINTED BRICK VENEER SIDING TO MATCH (E), TYP.
- 14 (N) PAINTED LOUVER VENT, TYP.
- 15 (E) LOWER ROOFLINE / RAKE TO BE MAINTAINED.

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NOT FOR
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MYERS RESIDENCE

710 GRAND VIEW DRIVE
ALEXANDRIA, VA 22305

Drawing:

NORTH AND WEST
ELEVATIONS

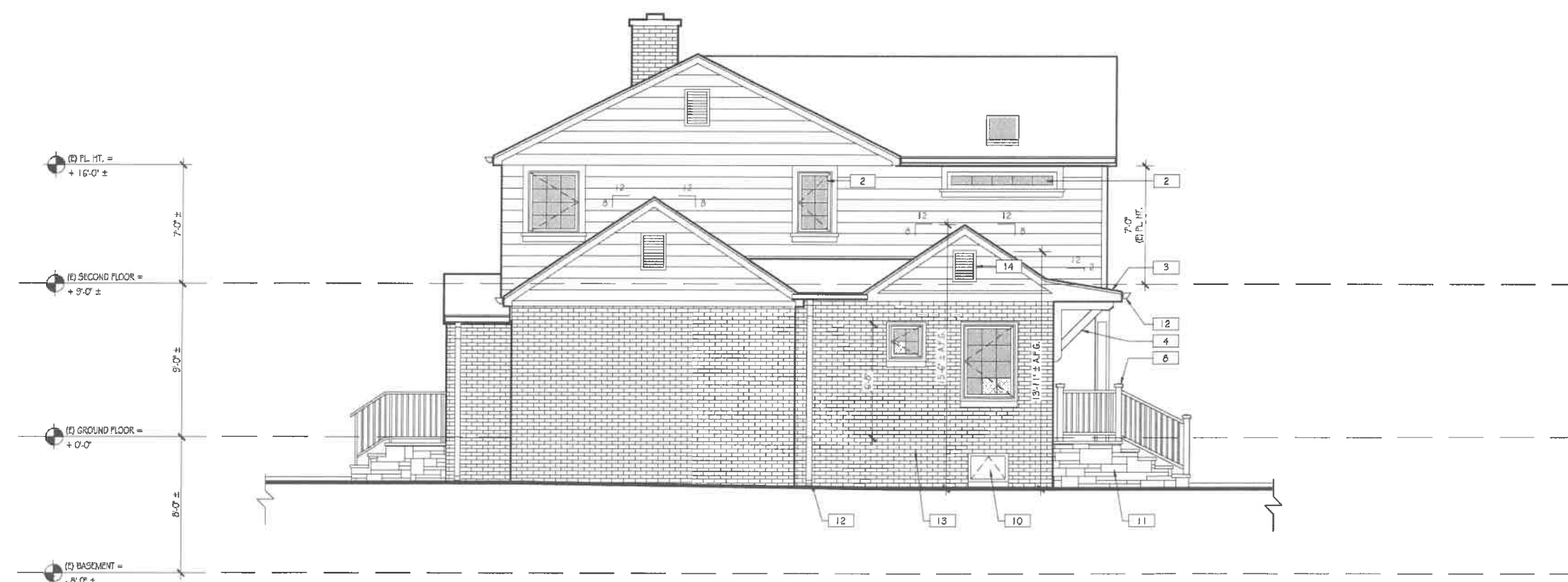
Issue: CLIENT REVIEW

Date: 05-07-2019

A-4



1 NORTH (FRONT) ELEVATION
1/4" = 1'-0"



2 WEST (RIGHT) ELEVATION
1/4" = 1'-0"

GENERAL NOTES

1. FOR ALL ENCLOSED ATTICS OR RAFTER SPACES, PROVIDE VENTILATING OPENINGS W/ SCREENING W/ MIN. NET FREE AREA OF 1/150 OF THE AREA OF THE VENTED SPACE AS PER CODE.
2. NEW BRICK VENEER SHALL MATCH (E) IN STYLE AND FORMAT. TOOTH IN BRICK WITH (E) ADJACENT TO PROVIDE SMOOTH UNINTERRUPTED APPEARANCE.

- 1 DOOR PER PLAN W/ PAINTED TRIM, TYP.
- 2 WINDOW PER PLAN W/ PAINTED TRIM, TYP.
- 3 (N) ROOFLET.
- 4 (N) PAINTED TIMBER SUPPORT BRACKET, TYP.
- 5 (N) BRICK MASONRY SCREEN WALL.
- 6 (N) ROOFING OVER UNDERLAYMENT TO MATCH (E), TYP.
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- 9 (N) HANDRAIL PER CODE.
- 10 (N) CRAWL SPACE ACCESS HATCH PER CODE.
- 11 (N) STAIR AND LANDING CONSTRUCTION PER CODE.
- 12 (N) PAINTED METAL GUTTER / DOWNSPOUT, TYP.
- 13 (N) PAINTED BRICK VENEER SIDING TO MATCH (E), TYP.
- 14 (N) PAINTED LOUVER VENT, TYP.
- 15 (E) LOWER ROOFLINE / RAKE TO BE MAINTAINED.

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NOT FOR CONSTRUCTION

PROJECT

MYERS RESIDENCE

710 GRAND VIEW DRIVE
ALEXANDRIA, VA 22305

GENERAL NOTES

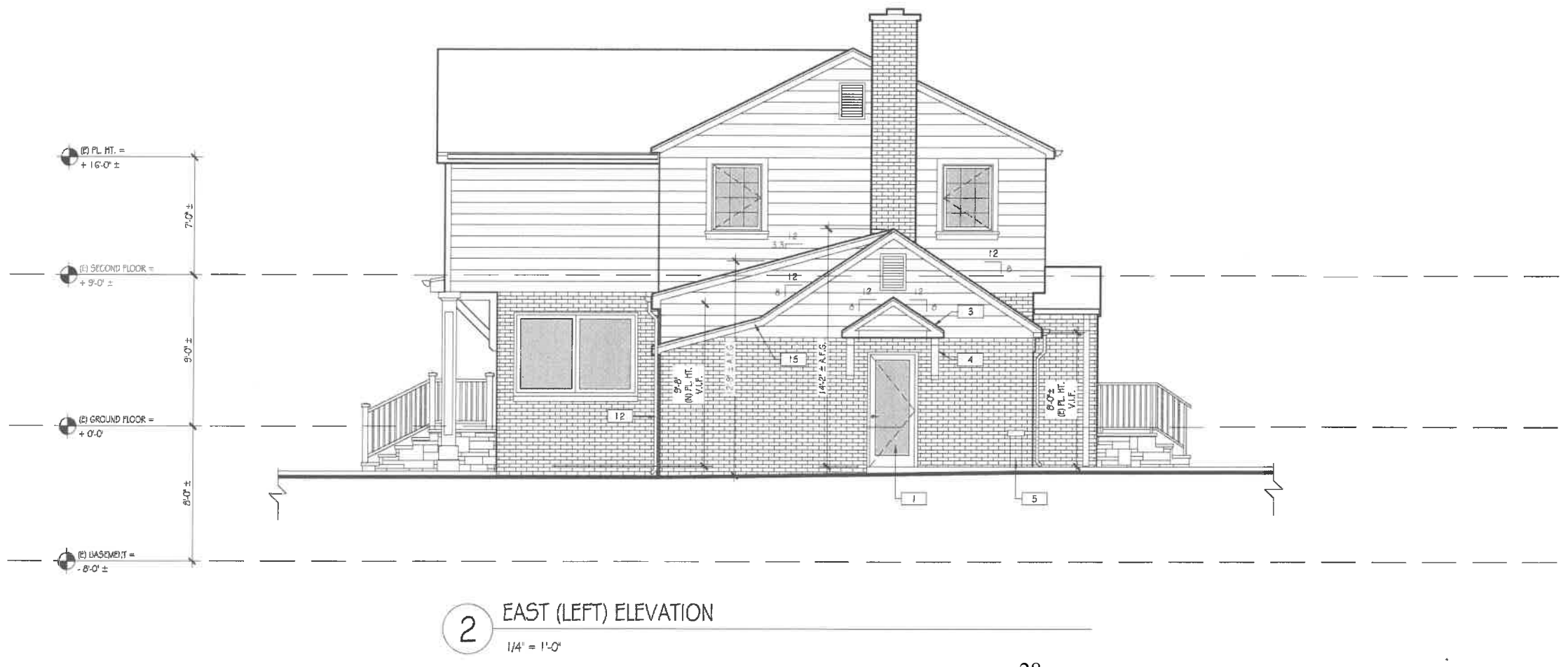
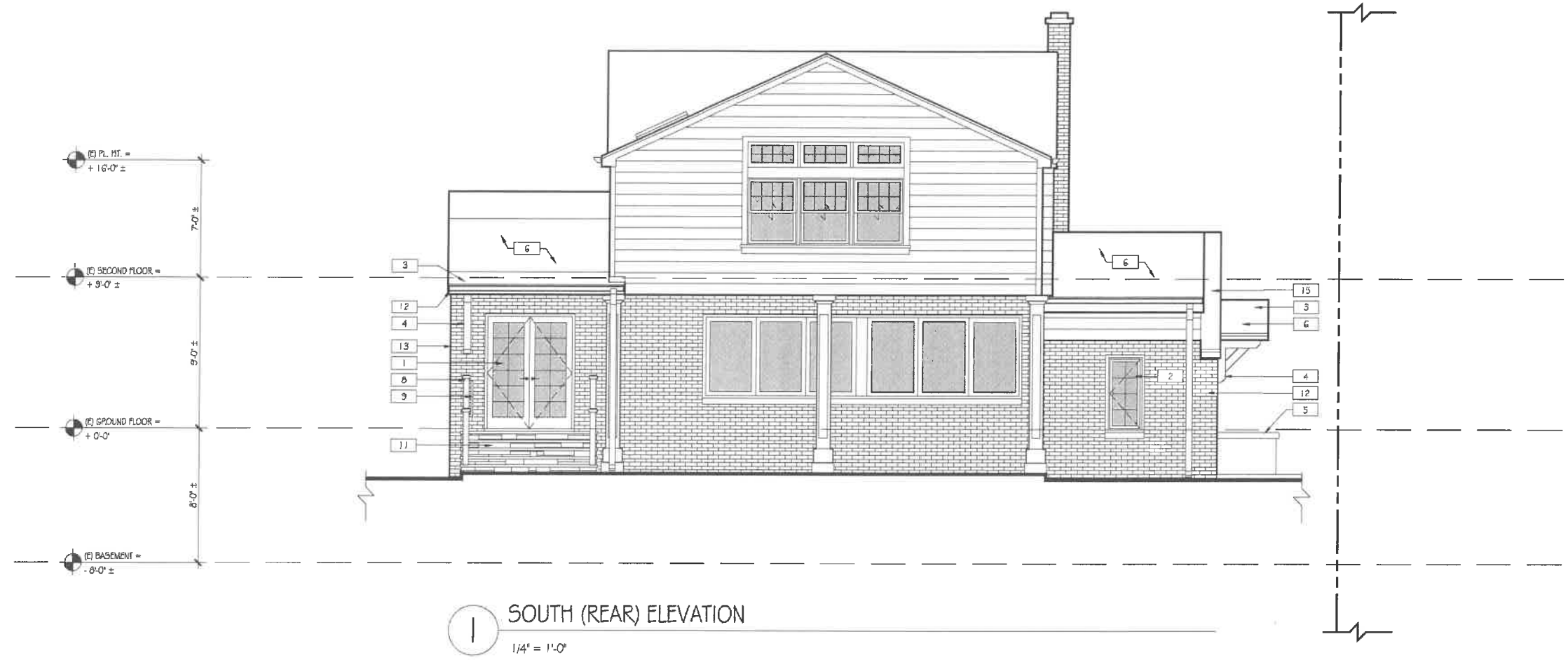
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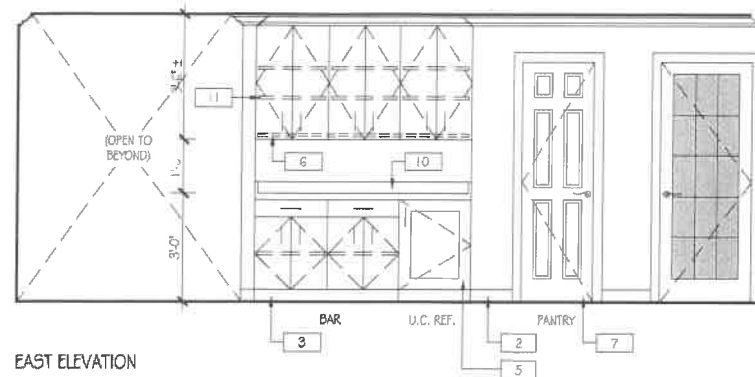
Drawing:

SOUTH AND EAST ELEVATIONS

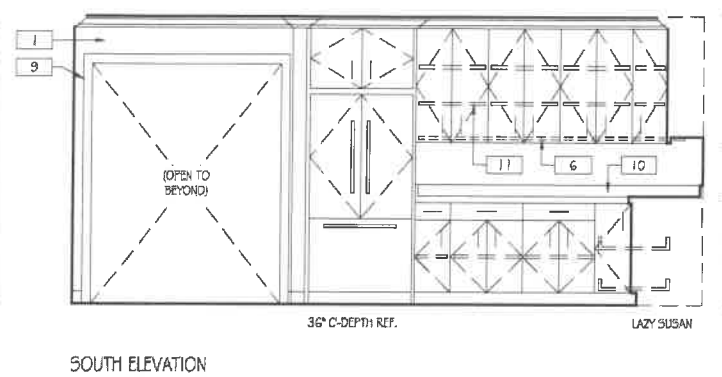
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A-5

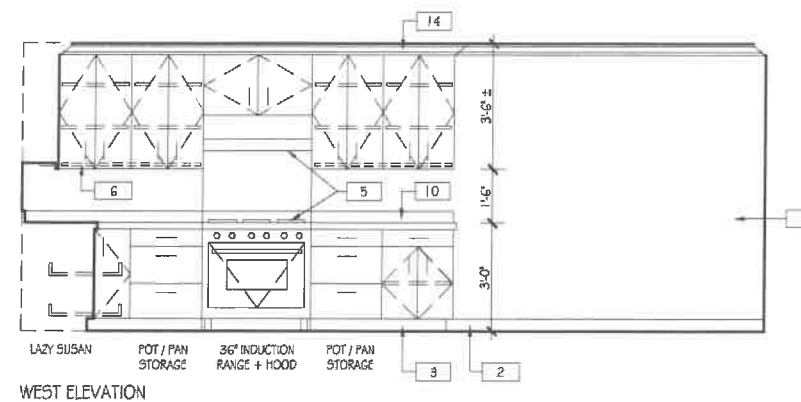




EAST ELEVATION



SOUTH ELEVATION

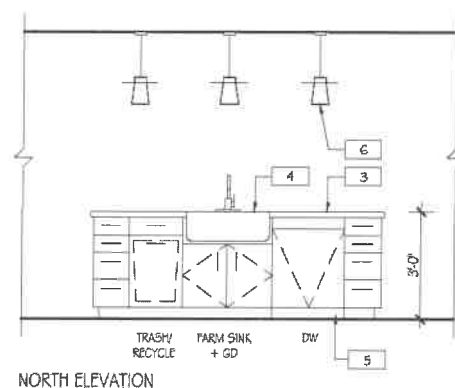


WEST ELEVATION

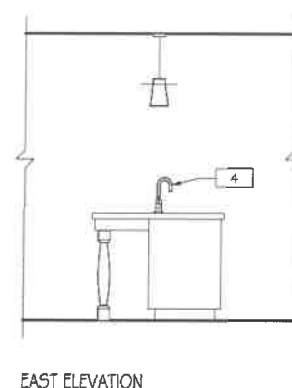
1 DINING / KITCHEN

3/8" = 1'-0"

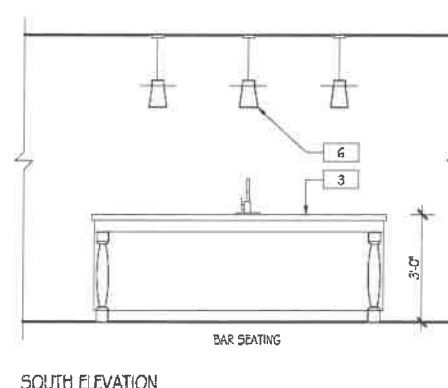
- INTERIOR ELEVATION NOTES
1. PAINTED GYPSUM BOARD FINISH, TYP.
 2. PAINTED WALL BASE TO MATCH (C), TYP.
 3. (N) CASEWORK / CABINETRY, TYP.
 4. (N) PLUMBING FIXTURE, TYP.
 5. (N) APPLIANCE, TYP.
 6. (N) LIGHT FIXTURE, CEILING FAN, ETC., TYP. REFER TO ELEC. PLAN.
 7. DOOR PER PLAN, TYP.
 8. WINDOW PER PLAN, TYP.
 9. CASED OPENING PER PLAN, TYP.
 10. (N) BACKSPLASH, TYP.
 11. (N) ADJUSTABLE SHELF, TYP.
 12. (N) COAT HOOK, TYP.
 13. EXPOSED PAINTED BRICK WALL FINISH, TYP.
 14. (N) PAINTED CROWN MOULD, TYP.
 15. (N) PAINTED GUARD PER CODE.
 16. PROVIDE (N) VERTICAL MOLDING / TRIM AT WALL TRANSITION.
 17. (N) TILE WALL FINISH, TYP.
 18. (N) TEMPERED GLASS SHOWER DOOR / ENCLOSURE.
 19. (N) MIRROR.
 20. (N) TILED SHOWER BENCH.



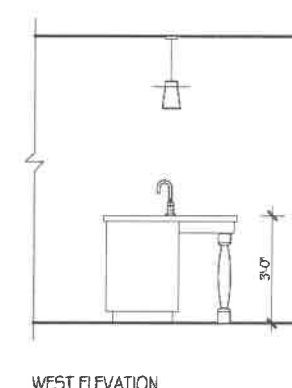
NORTH ELEVATION



EAST ELEVATION



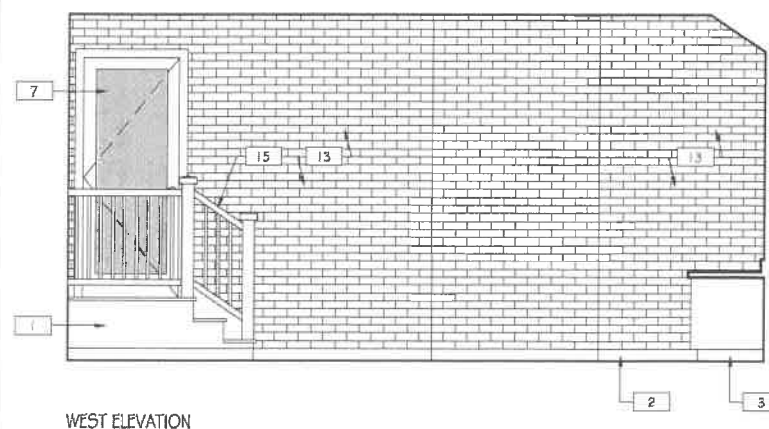
SOUTH ELEVATION



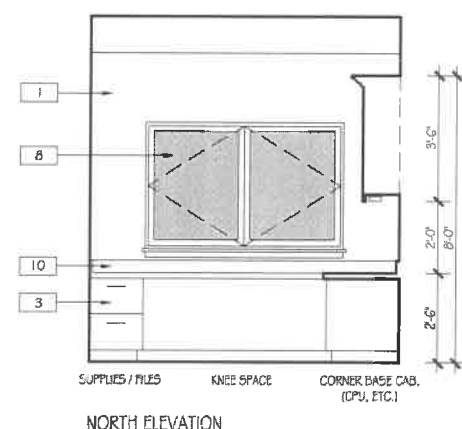
WEST ELEVATION

2 KITCHEN ISLAND

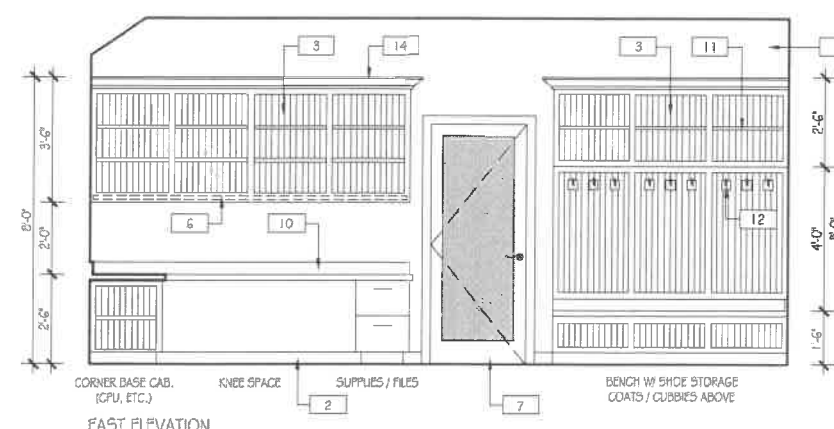
3/8" = 1'-0"



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

3 OFFICE / MUDROOM

3/8" = 1'-0"

GENERAL NOTES

1. PATCH AND MATCH (C) WALL SURFACES AS REQUIRED TO PROVIDE A SMOOTH AND SEAMLESS FINISH. (N) SURFACES SHALL ALIGN AND BLEND WITH (C) FOR AN UNINTERRUPTED APPEARANCE.
2. ALL (N) AND (C) GYPSUM BOARD WALL SURFACES IN AREAS OF WORK SHALL RECEIVE PAINT.

PROJECT

MYERS RESIDENCE

710 GRAND VIEW DRIVE
ALEXANDRIA, VA 22305

Drawing:

INTERIOR
ELEVATIONS

Issue: CLIENT REVIEW
Date: 05-07-2019

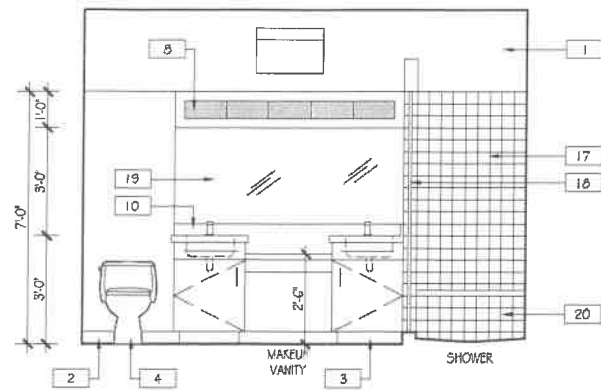
Sheet: **A-7**

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CONSTRUCTION

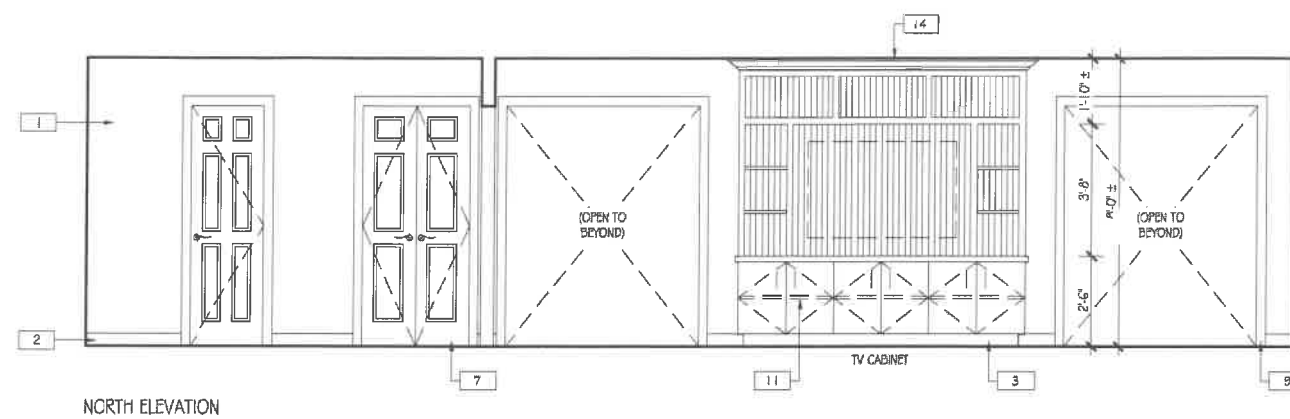
CRAFTED ARCHITECTURE LLC

Christine A. Kelly, AIA

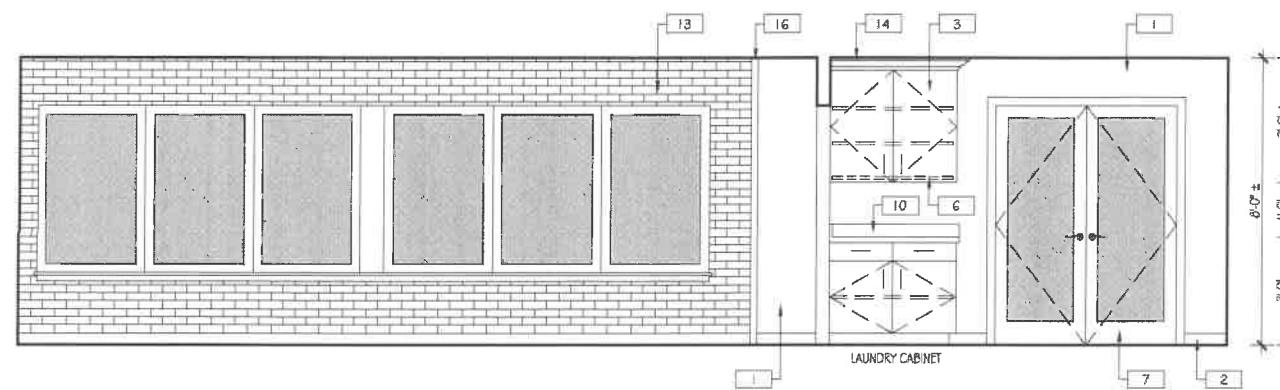
950 N. Washington St., Ste. 234, Alexandria, VA 22
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e-mail christine@craftedarchitecture.com



2 MASTER BATH
3/8" = 1'-0"



NORTH ELEVATION



SOUTH ELEVATION

1 REAR MUDROOM / SUNROOM
3/8" = 1'-0"

INTERIOR ELEVATION NOTES

- 1 PAINTED GYPSUM BOARD FINISH, TYP.
- 2 PAINTED WALL BASE TO MATCH (1), TYP.
- 3 (N) CASEWORK / CABINETRY, TYP.
- 4 (N) PLUMBING FIXTURE, TYP.
- 5 (N) APPLIANCE, TYP.
- 6 (N) LIGHT FIXTURE, CEILING FAN, ETC., TYP. REFER TO ELEC. PLAN.
- 7 DOOR PER PLAN, TYP.
- 8 WINDOW PER PLAN, TYP.
- 9 CASED OPENING PER PLAN, TYP.
- 10 (N) BACKSPLASH, TYP.
- 11 (N) ADJUSTABLE SHELF, TYP.
- 12 (N) COAT HOOK, TYP.
- 13 EXPOSED PAINTED BRICK WALL FINISH, TYP.
- 14 (N) PAINTED CROWN MOLD, TYP.
- 15 (N) PAINTED GUARD PER CODE.
- 16 PROVIDE (N) VERTICAL MOLDING / TRIM AT WALL TRANSITION.
- 17 (N) TILE WALL FINISH, TYP.
- 18 (N) TEMPERED GLASS SHOWER DOOR / ENCLOSURE
- 19 (N) MIRROR
- 20 (N) TILED SHOWER BENCH

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710 GRAND VIEW DRIVE
ALEXANDRIA, VA 22305

GENERAL NOTES

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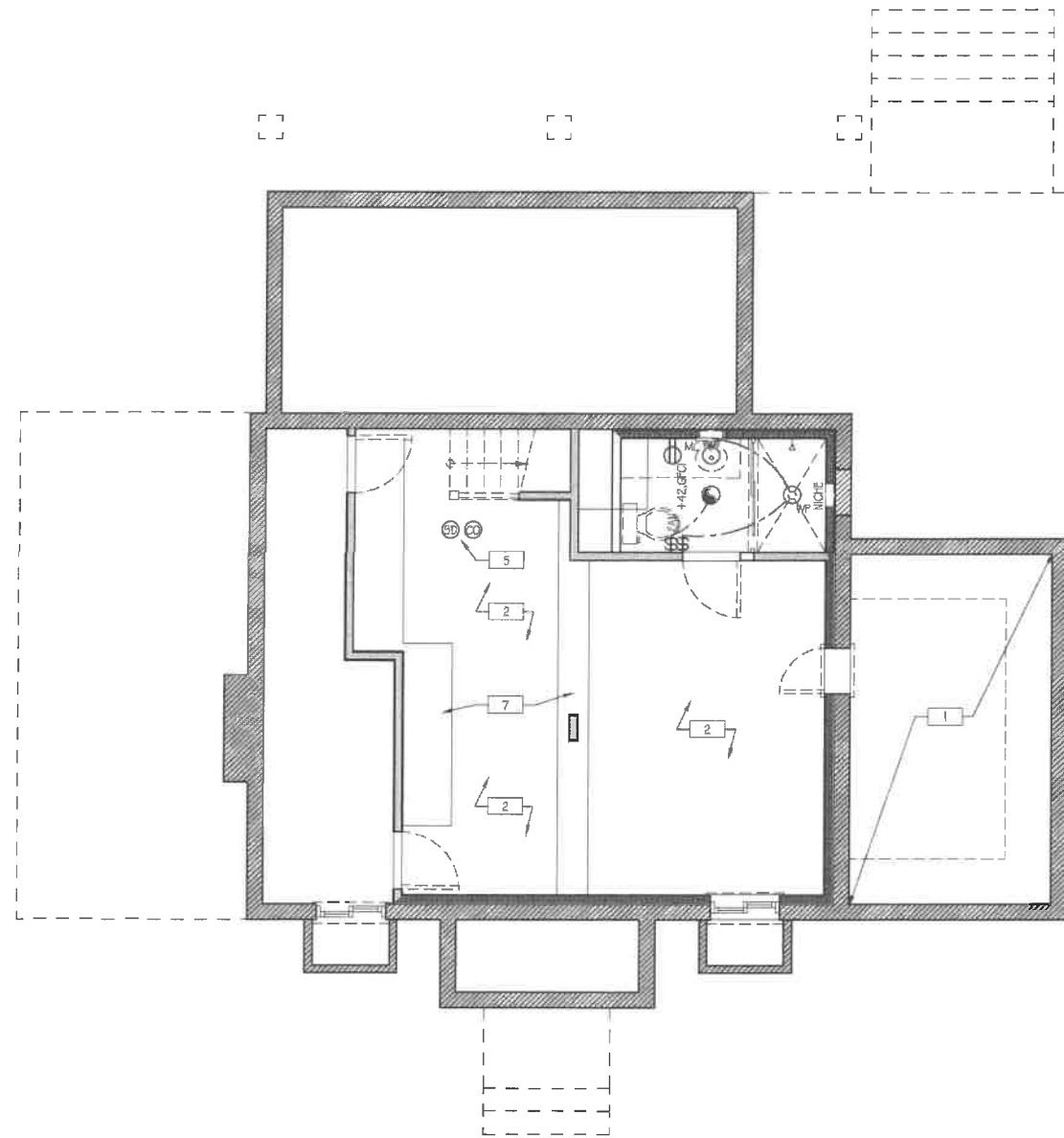
Drawing:

INTERIOR
ELEVATIONS

Issue: CLIENT REVIEW

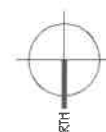
Date: 05-07-2019

Sheet: A-8



FIRST FLOOR ELECTRICAL AND CEILING PLAN

1/4" = 1'-0"



ELECTRICAL AND RCP SHEET NOTES

- 1 PROVIDE (N) OPEN-CELL SPRAY FOAM INSULATION AT (E) JOIST BAYS, TYP.
- 2 REMOVE (E) RECESSED LIGHT FIXTURES AND REPLACE W/ (N) FIXTURES TO MATCH (N) WORK RECESSED FIXTURES, TYP. THIS AREA
- 3 (N) LINEAR LED LIGHT FIXTURE, TYP.
- 4 (N) PAINTED WOOD BEAD BOARD SOFFIT PANELING, TYP.
- 5 (N) SMOKE / CARBON MONOXIDE ALARM PER CODE, TYP.
- 6 (E) ELEC. METER LOCATION
- 7 CEILING SOFFIT / BULKHEAD
- 8 (N) PAINTED TIMBER SUPPORT BRACKET, TYP.
- 9 STRUCTURE BELOW, TYP.
- 10 (N) 22" X 30" MIN. CLEAR INSULATED ATTIC ACCESS HATCH W/ MIN. 30" CLEAR HEADROOM ABOVE.
- 11 (E) SKYLIGHT

GENERAL LIGHTING NOTES

1. PROVIDE (N) DIMMER SWITCHES FOR (E) LIGHT FIXTURES.
2. REMOVE (E) INTERIOR RECESSED LIGHT FIXTURES AND REPLACE W/ (N) RECESSED FIXTURES, TYP.

GENERAL NOTES

1. THE ELECTRICAL DRAWINGS ARE SCHEMATIC AND ARE INTENDED ONLY TO DEFINE THE GENERAL REQUIREMENTS AND CONCEPTS OF THE WORK. THEY DO NOT SHOW ALL DETAILS AND REQUIREMENTS OF THE WORK AND ARE NOT NECESSARILY COORDINATED WITH THE ARCHITECTURAL, STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL ITEMS REQUIRED FOR A COMPLETE ELECTRICAL SYSTEM IN ACCORDANCE WITH THE CONCEPTS INDICATED, FOR COORDINATION OF THE ELECTRICAL WORKS WITH OTHER TRADES AND FOR PROVIDING ADDITIONAL MATERIAL, ETC. REQUIRED BY SUCH COORDINATION.
2. CONTRACTOR SHALL REVIEW AND COORDINATE DEVICE, OUTLET AND SWITCH LOCATIONS W/ CASEWORK AND CABINETRY AS REQ'D.

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PROJECT

MYERS RESIDENCE

710 GRAND VIEW DRIVE
ALEXANDRIA, VA 22305

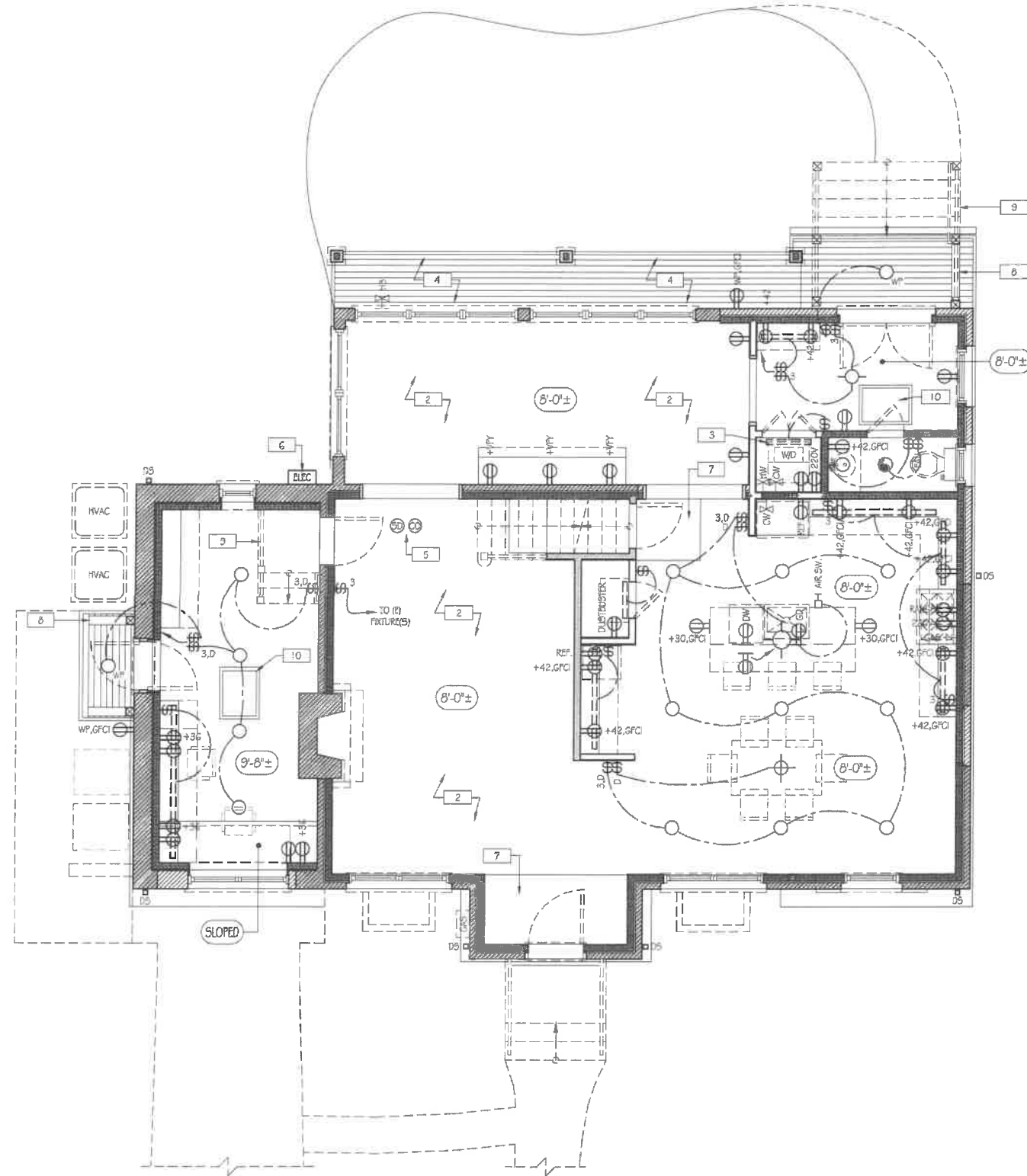
Drawing:

BASEMENT
ELECTRICAL AND
CEILING PLAN

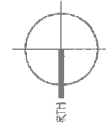
Issue: CLIENT REVIEW

Date: 05-07-2019

E-O



1 FIRST FLOOR ELECTRICAL AND CEILING PLAN
1/4" = 1'-0"



- 1 PROVIDE (N) OPEN-CELL SPRAY FOAM INSULATION AT (E) JOIST BAYS, TYP.
- 2 REMOVE (E) RECESSED LIGHT FIXTURES AND REPLACE W/ (N) FIXTURES TO MATCH (N) WORK RECESSED FIXTURES, TYP. THIS AREA
- 3 (N) LINEAR LED LIGHT FIXTURE, TYP.
- 4 (N) PAINTED WOOD BEAD BOARD SOFFIT PANELING, TYP.
- 5 (N) SMOKE / CARBON MONOXIDE ALARM PER CODE, TYP.
- 6 (E) ELEC. METER LOCATION
- 7 CEILING SOFFIT / BULKHEAD
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- 9 STRUCTURE BELOW, TYP.
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- 11 (E) SKYLIGHT

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710 GRAND VIEW DRIVE
ALEXANDRIA, VA 22305

Drawing:

FIRST FLOOR
ELECTRICAL AND
CEILING PLAN

Issue: CLIENT REVIEW

Date: 05-07-2019

E-1

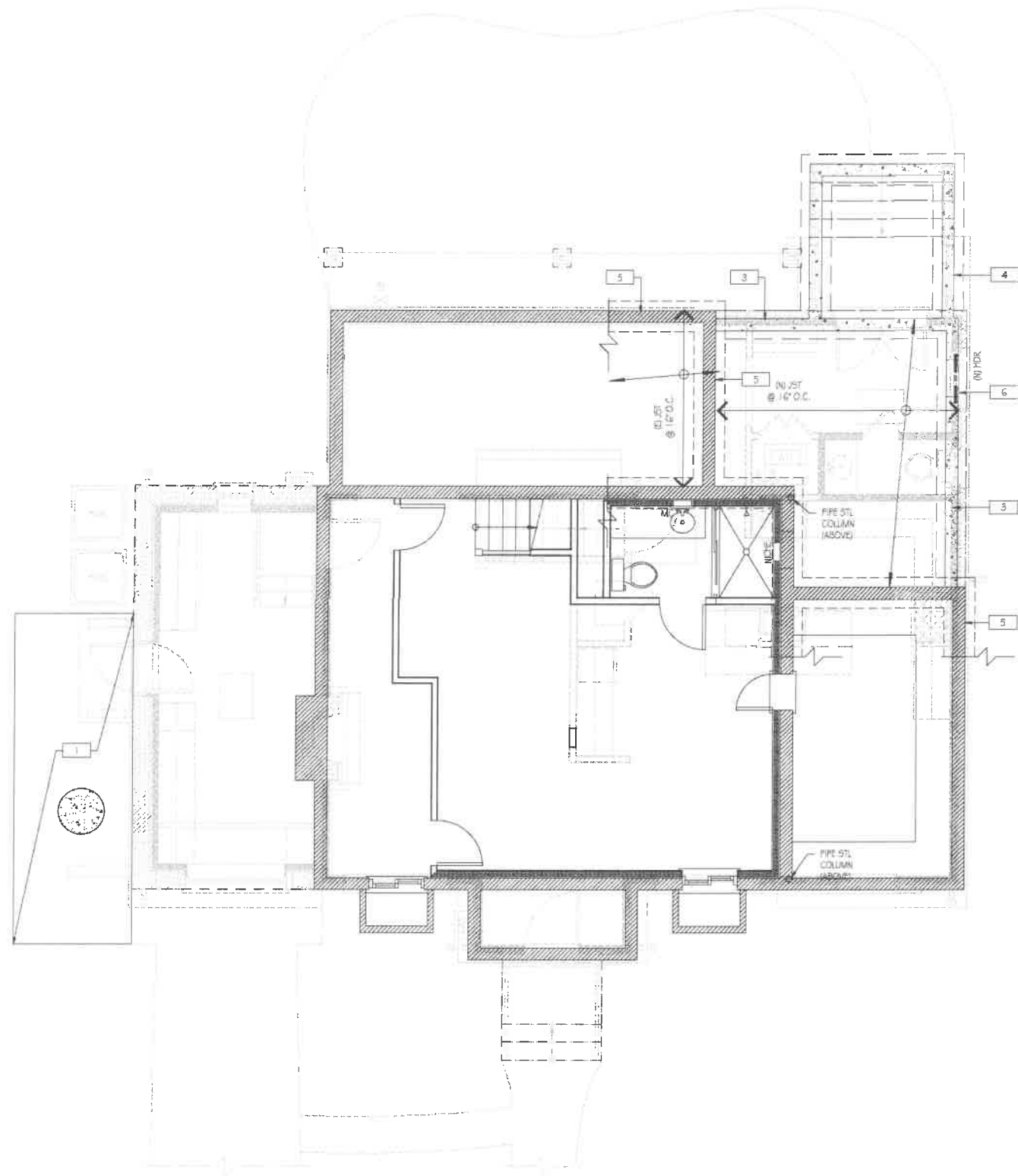

$$1/4^{\text{th}} = 1'-0"$$


- E-2

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CONSTRUCTION

TER
ARCHITECT

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1 FIRST FLOOR FRAMING AND FOUNDATION PLAN
1/4" = 1'-0"

- 1 (N) CONCRETE SLAB-ON-GRADE, TYP.
- 2 V.I.F. (N) PL. HT. TO PROVIDE HEADROOM CLEARANCE AT (N) OPENING.
- 3 (N) REINFORCED CONCRETE FOOTING AND STEM WALL W/ BRICK / STONE SHELF, TYP.
- 4 (N) REINFORCED CONCRETE STAIR AND LANDING CONSTRUCTION.
- 5 (E) MASONRY FOUNDATION WALL AND FOOTING, TYP.
- 6 (N) CRAWLSPACE ACCESS PER CODE.
- 7 MAINTAIN LOWER ROOF FRAMING, TYP.

STRUCTURAL SCHEDULE

STRUCTURAL LEGEND

- FRAMING MEMBER (MULTIPLE, EG. JOIST OR RAFTER) W/ EXTENT INDICATED
- SINGLE FRAMING MEMBER
E.G. LEDGER, BEAM OR HEADER
- LOCATION OF HEAVY LOAD ABOVE (BATHTUB, ETC.). DOUBLE UP FLOOR JOISTS TO FULLY SUPPORT ITEM.
- BEARING OR BRACED WOOD FRAMED WALL
2X4 @ 16" O.C., TYP., UNLESS OTHERWISE NOTED
- BRACED WALL W/ METHOD AND LENGTH INDICATED
UB (LET-IN BRACING)
WSP (WOOD STRUCTURAL PANEL)
GB (GYPSUM BOARD)
CS-WSP (CONTINUOUS-SHEATHED WOOD STRUCTURAL PANEL)
CS-PF (CONTINUOUS-SHEATHED PORTAL FRAME)
- WOOD POST W/ SIZE INDICATED
- REINFORCED CONCRETE SLAB
- REINFORCED CONCRETE FOOTING
- REINFORCED CONCRETE WALL
- REINFORCED CONCRETE CURB / STEM WALL
- CONCRETE MASONRY UNIT (CMU) WALL

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL (E) FRAMING MEMBER SIZES AND SPACINGS. NOTIFY ARCHITECT OF DISCREPANCIES.
2. PREFABRICATED TRUSSES SHOWN ARE FOR DESIGN INTENT ONLY. TRUSS SYSTEM SHALL BE DESIGNED AND ENGINEERED BY TRUSS MANUFACTURER. SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.

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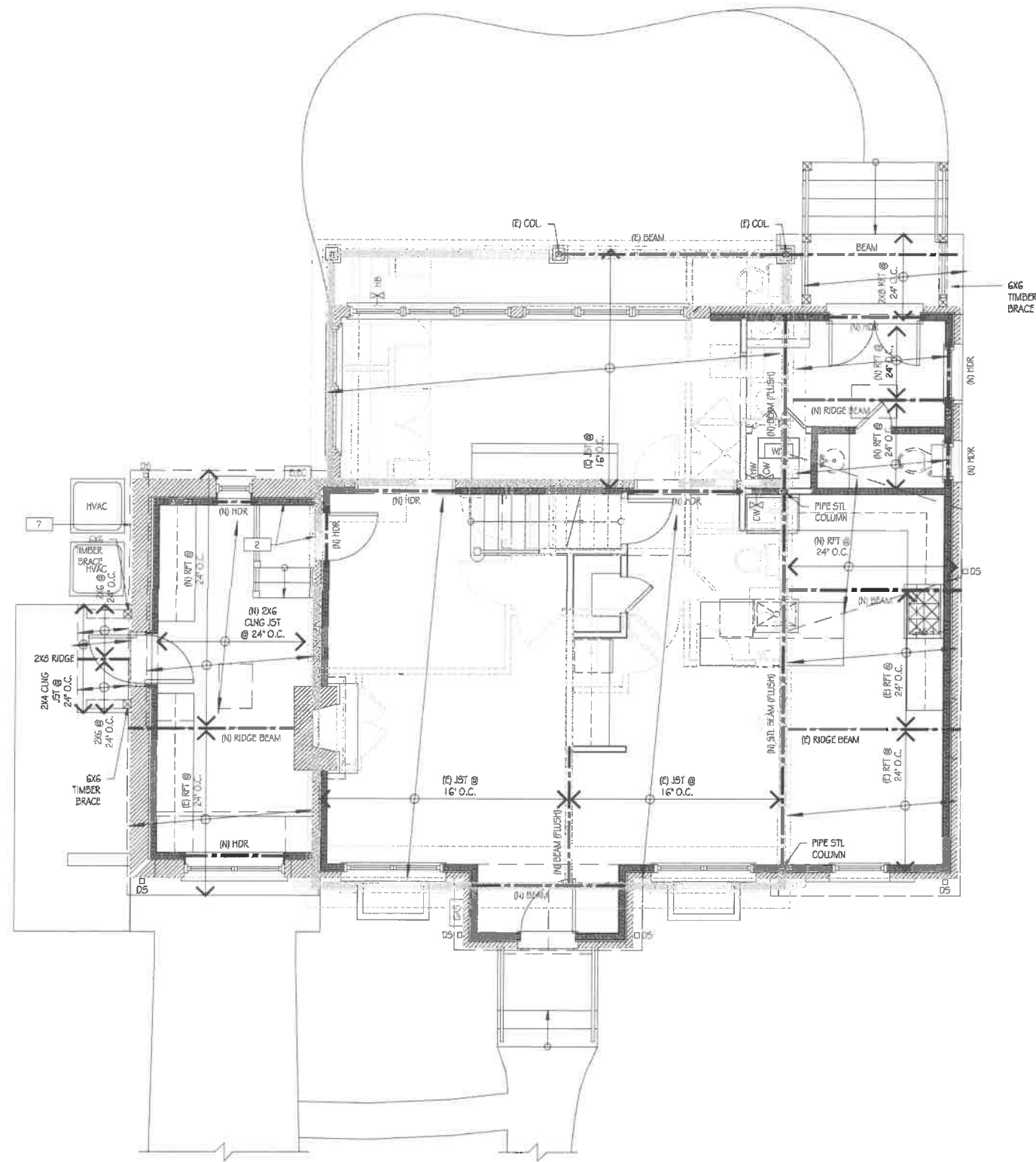
Drawing:

FIRST FLOOR
FRAMING AND
FOUNDATION PLAN

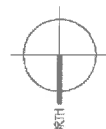
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Date: 05-07-2019

S-1



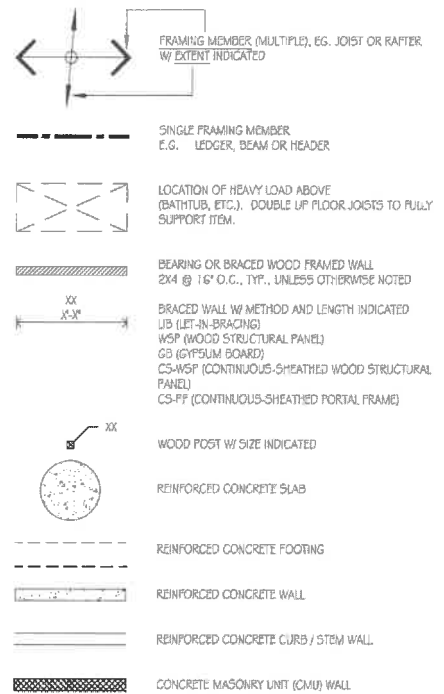
1 SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"



- STRUCTURAL SCHEDULE
- 1 (N) CONCRETE SLAB-ON-GRADE, TYP.
 - 2 V.I.P. (N) PL. HT. TO PROVIDE HEADROOM CLEARANCE AT (N) OPENING.
 - 3 (N) REINFORCED CONCRETE FOOTING AND STEM WALL W/ BRICK / STONE SHELF, TYP.
 - 4 (N) REINFORCED CONCRETE STAIR AND LANDING CONSTRUCTION.
 - 5 (N) MASONRY FOUNDATION WALL AND FOOTING, TYP.
 - 6 (N) CRAWLSPACE ACCESS PER CODE.
 - 7 MAINTAIN LOWER ROOF FRAMING, TYP.

STRUCTURAL SCHEDULE

STRUCTURAL LEGEND



GENERAL NOTES

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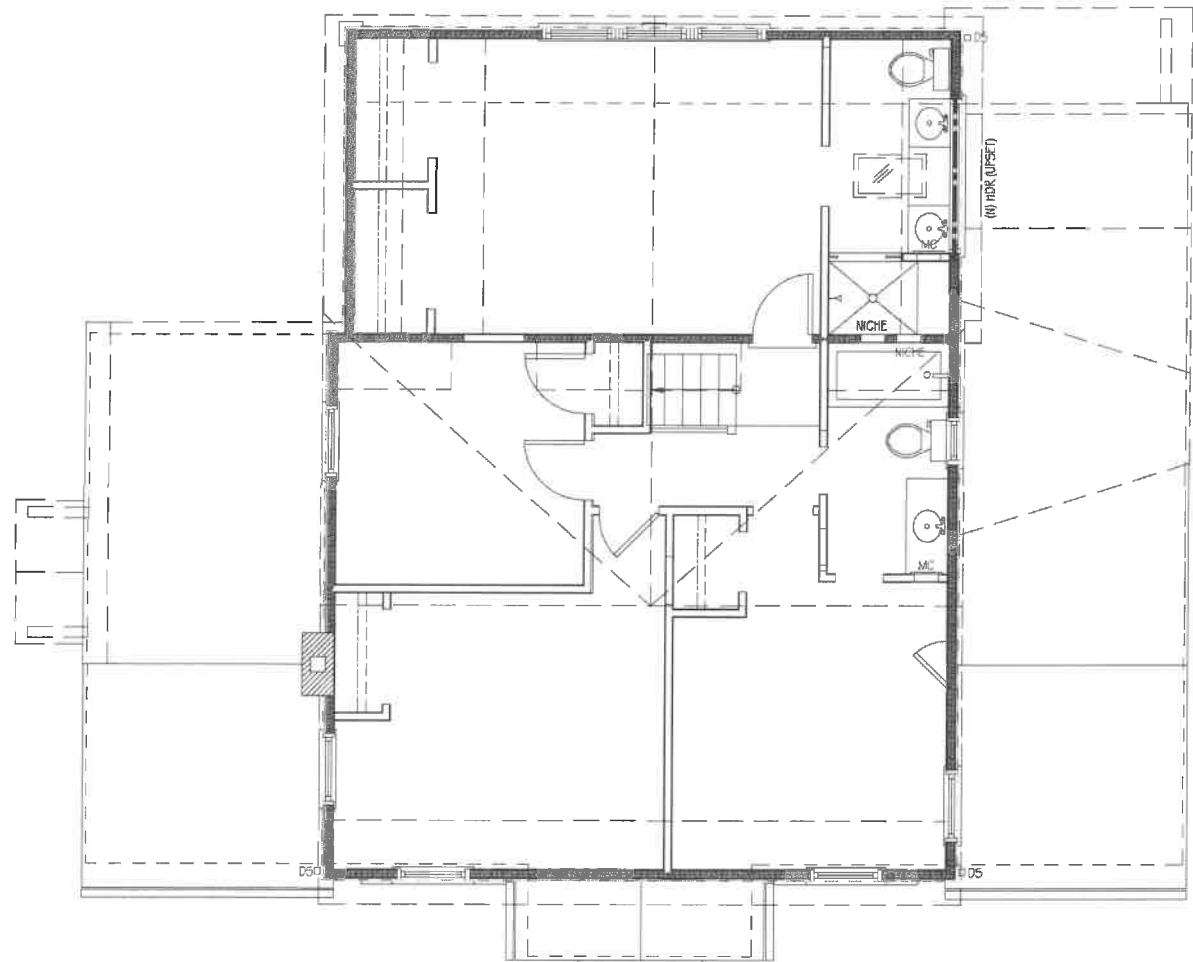
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SECOND FLOOR
FRAMING PLAN

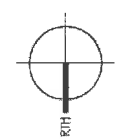
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Date: 05-07-2019

Sheet: S-2



1 ROOF FRAMING PLAN
1/4" = 1'-0"



STRUCTURAL SHEET NOTES

- 1 (N) CONCRETE SLAB-ON-GRADE, TYP.
- 2 V.L.F. (N) PL. HT. TO PROVIDE HEADROOM CLEARANCE AT (N) OPENING.
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- 4 (N) REINFORCED CONCRETE STAIR AND LANDING CONSTRUCTION.
- 5 (E) MASONRY FOUNDATION WALL AND FOOTING, TYP.
- 6 (N) CRAWLSPACE ACCESS PER CODE.
- 7 MAINTAIN LOWER ROOF FRAMING, TYP.

STRUCTURAL SCHEDULE

STRUCTURAL LEGEND

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E.G. LEDGER, BEAM OR HEADER
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2X4 @ 16" O.C., TYP., UNLESS OTHERWISE NOTED
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GB (GYPSUM BOARD)
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- WOOD POST W/ SIZE INDICATED
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- REINFORCED CONCRETE FOOTING
- REINFORCED CONCRETE WALL
- REINFORCED CONCRETE CURB / STEM WALL
- CONCRETE MASONRY UNIT (CMU) WALL

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ALEXANDRIA, VA 22305

Drawing:

ROOF FRAMING
PLAN

Issue: CLIENT REVIEW
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Sheet S-3