

**ISSUE:** Permit to Demolish/Capsulate (partial) and Certificate of Appropriateness for an addition

**APPLICANT:** David and Katelyn Van Dam

**LOCATION:** Old and Historic Alexandria District  
722 South Lee Street

**ZONE:** RM/Townhouse zone

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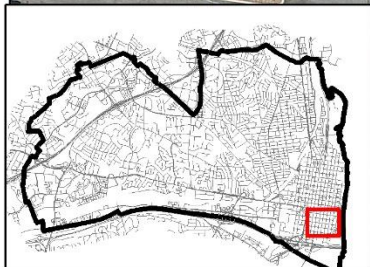
**STAFF RECOMMENDATION**

Staff recommends approval of the Permit to Demolish/Capsulate and Certificate of Appropriateness with the following conditions:

1. Submit manufacturer cut sheets for the windows and doors as part of the building permit process to confirm conformance with the BAR's adopted Window Policy;
2. Submit revised open space form at the time of the building permit submission; and,
3. The following statements must appear in the General Notes of the site plan so that on-site contractors are aware of the requirement:
  - a. Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
  - b. The applicant should not allow metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

**GENERAL NOTES TO THE APPLICANT**

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



0      15      30      60 Feet

**Note:** *Staff coupled the applications for a Permit to Demolish (BAR2019-00098) and Certificate of Appropriateness (BAR2019-00099) for clarity and brevity. The Permit to Demolish requires a roll call vote.*

## **I. APPLICANT'S PROPOSAL**

The applicant is requesting a Permit to Demolish/Capsulate and Certificate of Appropriateness to demolish the rear wall (east elevation) and portions of the roof to construct a three-story rear addition at 722 South Lee Street.

### **Permit to Demolish/Capsulate**

Demolish all three floors of the rear wall (approximately 589 square feet) and 232 square feet of rear roof area (a portion of the gable roof).

### **Certificate of Appropriateness**

Construct a 1,039 square foot addition on the east (rear) elevation. The proposed addition will be approximately 20 feet deep and will extend the full width of the property (~17 feet.). The total height of the addition will be 37 feet. The proposed addition will not be as deep as the rear additions at the neighboring properties: the rear addition at 724 South Lee Street (recently approved by the BAR) will be 4 feet deeper and the existing rear wall at 720 South Lee Street will project 5 feet beyond the proposed addition. The materials consist of smooth fiber cement lap siding and trim, four-over-four composite windows, three-tab asphalt shingles, and a multi-panel composite French doors. There are no proposed changes to the front (west) façade.

## **II. HISTORY**

722 South Lee Street is an interior unit in a row of seven, two-story brick faced cinderblock townhouses that were constructed between **1931 and 1941**, according to the Sanborn Fire Insurance Maps. Like nearby Yates Garden, the modest townhouses in the 700 block of South Lee exhibit relatively high design and material standards for what were, by today's standards modest houses, employing a variety of early American styles, staggered facades and rooflines and high-quality materials. The townhouse is located in the "Hooff Addition" section of Alexandria and oral tradition holds that the houses were built by Charles Hoof, a prominent local developer of the time.

### ***Previous BAR Approvals***

- BAR20017-00374 – administrative approval for replacement windows.

## **III. ANALYSIS**

### **Permit to Demolish/Capsulate**

In considering a Permit to Demolish/Capsulate, the Board must consider the following criteria set forth in the Zoning Ordinance, §10-105(B), which relate only to the subject property and not to neighboring properties. The Board has purview of the proposed demolition/capsulation regardless of visibility.

Standard	Description of Standard	Standard Met?
(1)	Is the building or structure of such architectural or historical interest	No

	that its moving, removing, capsulating or razing would be to the detriment of the public interest?	
(2)	Is the building or structure of such interest that it could be made into a historic shrine?	No
(3)	Is the building or structure of such old and unusual or uncommon design, texture and material that it could not be reproduced or be reproduced only with great difficulty?	No
(4)	Would retention of the building or structure help preserve the memorial character of the George Washington Memorial Parkway?	N/A
(5)	Would retention of the building or structure help preserve and protect an historic place or area of historic interest in the city?	No
(6)	Would retention of the building or structure promote the general welfare by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, students, writers, historians, artists and artisans, attracting new residents, encouraging study and interest in American history, stimulating interest and study in architecture and design, educating citizens in American culture and heritage, and making the city a more attractive and desirable place in which to live?	No

The Board has approved several rear additions in this row of townhouses, most recently at the adjacent townhouse at 724 South Lee Street. While the area of demolition on the rear is substantial, the visibility of the addition will be limited to Potomac Street to the east. The present rear elevation does not exhibit a high level of design or architectural detail and uses modern materials that could be reproduced easily. Staff does not find that the proposed demolition compromises the integrity of this 1940s townhouse nor will the project as a whole negatively impact nearby buildings of historic merit. In the opinion of Staff, none of the criteria are met and the Permit to Demolish should be granted.

#### Certificate of Appropriateness

For residential additions, the *Design Guidelines* state that the Board generally prefer “addition designs that are respectful of the existing structure and which seek to be background statements. Also, an addition should be clearly distinguishable from the original structure.” Staff supports the proposed addition, finding that the scale, massing and architectural vocabulary are similar to approved additions in this row of townhouses. While the front elevation of the townhouse has a more refined Colonial Revival style detailing, the rear elevation is simple and utilitarian. While the proposed clapboard siding is not as durable as the existing brick, the proposed materials are consistent with the Board’s adopted policies, which allow for modern materials on new construction. Using modern materials is one way to differentiate the new construction from the original main block of the house.



While rear elevations are typically simpler and utilitarian, staff finds the more symmetrical fenestration on the proposed addition to be a better design than the existing haphazard window arrangement and a clear improvement over the existing. Staff recommends approval of the addition with the condition that the windows and French doors must comply with the BAR's adopted Window Policy.

Staff also notes the conditions of Alexandria Archaeology.

**STAFF**

Amirah Lane, Historic Preservation Planner, Planning & Zoning  
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

**IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

**Zoning**

Applicant submitted revised plat to scale on 4/10/19:

- C-1 Proposed addition will comply with zoning. Applicant must submit revised open space form at the time of the building permit submission. (619 square feet in the rear yard and 80 square feet in the front yard of open space provided on the lot for a total of 699 square feet.)
- F-1 Kitchen is currently located in the basement and as proposed will continue to be located in the basement. A second kitchen is not permitted.

**Code Administration**

- C-1 A building permit, plan review and inspections are required prior to the start of construction.

**Transportation and Environmental Services**

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

- F-1 The applicant should provide a determination of disturbed area per City Guidelines to T&ES prior to submitting for permits. If the land disturbance meets or exceeds 2500 square feet, a released grading plan will be required prior to submitting for permits. (T&ES)
  
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
  
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
  
- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
  
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
  
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
  
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)

**Alexandria Archaeology**

- F-1 This property is situated immediately to the north of the site of Battery Rodgers, a Union Army fortification constructed during the Civil War. An old house, taken and used as offices by the Army, and a prison and guard house were also in the vicinity. While construction of the existing house on the lot would have disturbed the earlier deposits, there is still a possibility for archaeological resources to be present that could provide insight into domestic activities during the early 19<sup>th</sup> century and into military life during the Civil War.
  
- R-1 Call Alexandria Archaeology immediately (703-746-4399) if any buried structural remains (wall foundations, wells, privies, cisterns, etc.) or concentrations of artifacts are discovered during development. Work must cease in the area of the discovery until a City archaeologist comes to the site and records the finds.
  
- R-2 The applicant should not allow metal detection to be conducted on the property, unless authorized by Alexandria Archaeology.

R-3 The above statements (in R-1 and R-2) must appear in the General Notes of the site plan so that on-site contractors are aware of the requirement.

**V. ATTACHMENTS**

*1 – Supplemental Materials*

*2 – Application for BAR 2019-00098 & BAR2019-00099*



ADDRESS OF PROJECT: 722 S Lee StDISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old BuildingTAX MAP AND PARCEL: 081.03-01-29

ZONING: \_\_\_\_\_

**APPLICATION FOR:** *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
*(Required if more than 25 square feet of a structure is to be demolished/impacted)*☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
*(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)***Applicant:** ☒ Property Owner ☐ Business *(Please provide business name & contact person)*Name: David and Katelyn van DamAddress: 722 S Lee StCity: Alexandria State: VA Zip: 22314Phone: 443-223-4632 E-mail: kmgvd@protonmail.com**Authorized Agent** *(if applicable)*: ☐ Attorney ☐ Architect ☒ ContractorName: Ricky Serrano Phone: 571-512-5240E-mail: ricky@rickycanbuildit.com**Legal Property Owner:**Name: David and Katelyn van DamAddress: 722 S Lee StCity: Alexandria State: VA Zip: 22314Phone: 443-223-4632 E-mail: kmgvd@protonmail.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☒ No Is there a homeowner's association for this property?
- ☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☐ NEW CONSTRUCTION  
☐ EXTERIOR ALTERATION: *Please check all that apply.*  
     ☐ awning                      ☐ fence, gate or garden wall    ☐ HVAC equipment                      ☐ shutters  
     ☐ doors                              ☐ windows                              ☐ siding                              ☐ shed  
     ☐ lighting                              ☐ pergola/trellis                      ☐ painting unpainted masonry  
     ☐ other \_\_\_\_\_  
☒ ADDITION  
☒ DEMOLITION/ENCAPSULATION  
☐ SIGNAGE

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

Two story above grade addition to the rear of the property. Addition to include master bedroom, master closet, two full bath, new kitchen, large entertainment space, and new dining room. Addition will extend full width of the property and approximately 20 feet further to the rear than existing structure. Project will include demolition of existing rear exterior wall

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☒ ☐ Survey plat showing the extent of the proposed demolition/encapsulation.  
☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.  
☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.  
☒ ☐ Description of the reason for demolition/encapsulation.  
☒ ☐ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ <sup>N/A</sup> Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☒ ☐ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ <sup>N/A</sup> Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- ☐ ☐ Square feet of existing signs to remain: \_\_\_\_\_.
- ☐ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet or bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** *Check N/A if an item in this section does not apply to your project.*

- ☐ ☐ <sup>N/A</sup> Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☐ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.


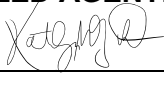
**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☐ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

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The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**

Signature:  

Printed Name: David D. van Dam / Katelyn M.G. van Dam

Date: 15 Mar 2019

# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

**1. Applicant.** State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. David van Dam	722 S Lee St	50
2. Katelyn van Dam	722 S Lee St	50
3.		

**2. Property.** State the name, address and percent of ownership of any person or entity owning an interest in the property located at 722 S Lee St (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. David van Dam	722 S Lee St	50
2. Katelyn van Dam	722 S Lee St	50
3.		

**3. Business or Financial Relationships.** Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. David van Dam	n/a	
2. Katelyn van Dam	n/a	
3.		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

15 Mar 2019  
Date

David van Dam / Katelyn van Dam  
Printed Name

  
Signature



# Department of Planning and Zoning

## Floor Area Ratio and Open Space Calculations

**B**

### A. Property Information

A1.  Street Address  Zone

A2.  Total Lot Area  $\times$   Floor Area Ratio Allowed by Zone =  Maximum Allowable Floor Area

### B. Existing Gross Floor Area

<u>Existing Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	B1. <input type="text"/> Sq. Ft.
First Floor	<input type="text"/>	Stairways**	<input type="text"/>	Existing Gross Floor Area*
Second Floor	<input type="text"/>	Mechanical**	<input type="text"/>	B2. <input type="text"/> Sq. Ft.
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	Allowable Floor Exclusions**
Attic	<input type="text"/>	Porches**	<input type="text"/>	B3. <input type="text"/> Sq. Ft.
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	Existing Floor Area Minus Exclusions
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>	(subtract B2 from B1)
Lavatory***	<input type="text"/>	Other**	<input type="text"/>	Comments for Existing Gross Floor Area
Other**	<input type="text"/>	Other**	<input type="text"/>	
B1. <u>Total Gross</u>	<input type="text"/>	B2. <u>Total Exclusions</u>	<input type="text"/>	

### C. Proposed Gross Floor Area

<u>Proposed Gross Area</u>		<u>Allowable Exclusions**</u>		
Basement	<input type="text"/>	Basement**	<input type="text"/>	C1. <input type="text"/> Sq. Ft.
First Floor	<input type="text"/>	Stairways**	<input type="text"/>	Proposed Gross Floor Area*
Second Floor	<input type="text"/>	Mechanical**	<input type="text"/>	C2. <input type="text"/> Sq. Ft.
Third Floor	<input type="text"/>	Attic less than 7'***	<input type="text"/>	Allowable Floor Exclusions**
Attic	<input type="text"/>	Porches**	<input type="text"/>	C3. <input type="text"/> Sq. Ft.
Porches	<input type="text"/>	Balcony/Deck**	<input type="text"/>	Proposed Floor Area Minus Exclusions
Balcony/Deck	<input type="text"/>	Lavatory***	<input type="text"/>	(subtract C2 from C1)
Lavatory***	<input type="text"/>	Other**	<input type="text"/>	
Other	<input type="text"/>	Other**	<input type="text"/>	
C1. <u>Total Gross</u>	<input type="text"/>	C2. <u>Total Exclusions</u>	<input type="text"/>	

### D. Total Floor Area

D1.  Sq. Ft.  
Total Floor Area (add B3 and C3)

D2.  Sq. Ft.  
Total Floor Area Allowed by Zone (A2)

### E. Open Space

E1.  Sq. Ft.  
Existing Open Space

E2.  Sq. Ft.  
Required Open Space

E3.  Sq. Ft.  
Proposed Open Space

### Notes

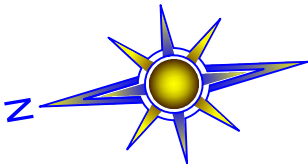
\*Gross floor area is the sum of all areas under roof of a lot, measured from the face of exterior walls, including basements, garages, sheds, gazebos, guest buildings and other accessory buildings.

\*\* Refer to the Zoning Ordinance (Section 2-145(B)) and consult with Zoning Staff for information regarding allowable exclusions. Sections may also be required for some exclusions.

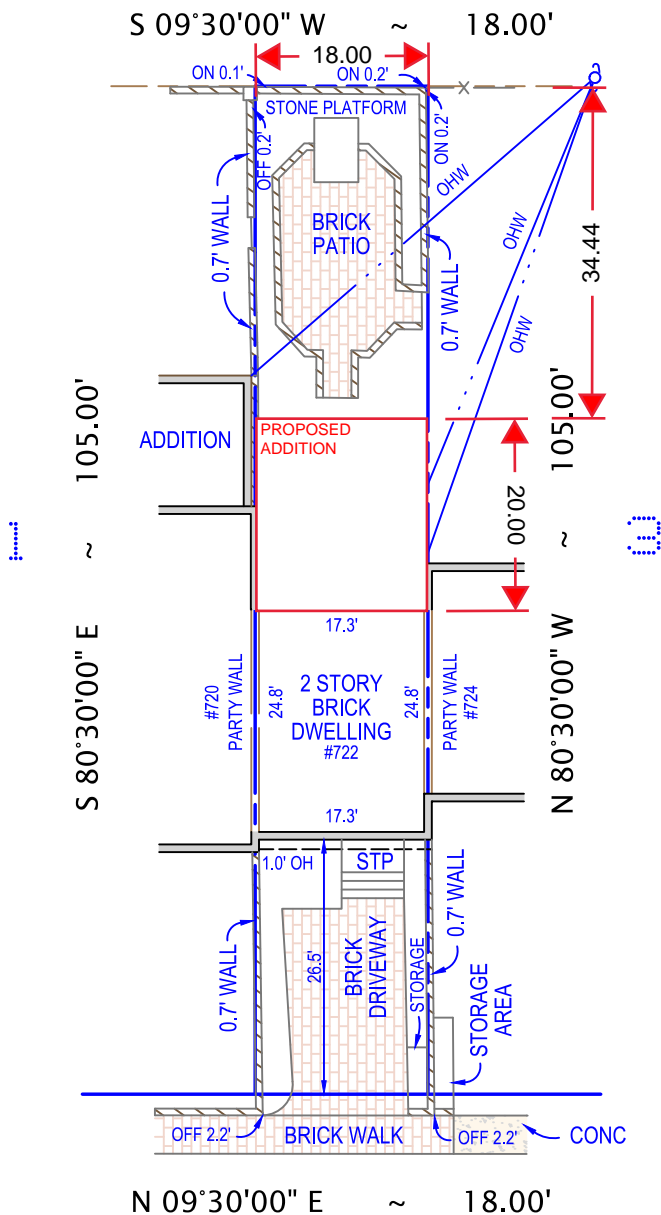
\*\*\*Lavatories may be excluded up to a maximum of 50 square feet, per lavatory. The maximum total of excludable area for lavatories shall be no greater than 10% of gross floor area.

The undersigned hereby certifies and attests that, to the best of his/her knowledge, the above computations are true and correct.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

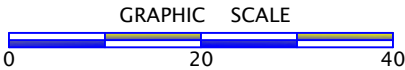


BACKYARD BOATS OWNERS  
ASSOCIATION INC.



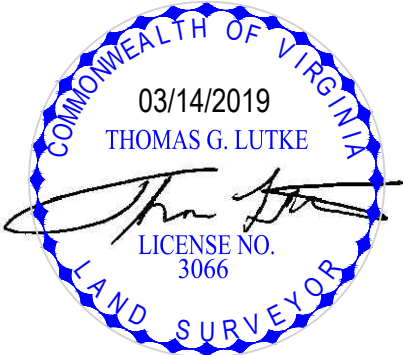
**SOUTH LEE**  
50' R/W

SKETCH  
SHOWING HOUSE LOCATION ON  
LOT 2  
HOOFF ADDITION TO  
**ALEXANDRIA**  
CITY OF ALEXANDRIA, VIRGINIA  
SCALE: 1" = 20' MARCH 14, 2019



I HEREBY CERTIFY THAT THE LOCATIONS OF ALL  
EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY  
ESTABLISHED BY A CURRENT FIELD SURVEY AND  
UNLESS SHOWN, THERE ARE NO VISIBLE  
ENCROACHMENTS.

THIS PLAT IS SUBJECT TO RESTRICTIONS OF  
RECORD.  
A TITLE REPORT WAS NOT FURNISHED.  
NO CORNER MARKERS SET.



ORDERED BY:

RICKI CAN BUILD IT



6655 ROCKLEIGH WAY  
ALEXANDRIA, VA 22315  
703-688-4038  
INFO@NOVA-SURVEYS.COM  
WWW.NOVA-SURVEYS.COM



# BOARD OF ARCHITECTURAL REVIEW SET

Back half of roof- Brand: 3 TAB Shingle Color: CHARCOAL

Siding- Brand: James Hardie - Style: HardiePlank Lap siding -Smooth - Color: Evening Blue

Trim- Brand: James Hardie - Style: HardieTrim 5/4 Smooth - Color: Artic White

Back of home Windows: Anderson 100 - Series Material: Fiberx Color:White

Attached document with more details and specs . Attached brochures of products.

[illegible]

Job Location:  
722 S Lee St  
Alexandria, VA 22314

Owner:  
Katelyn van Dam  
David van Dam

Phone:  
(443) 223-4632

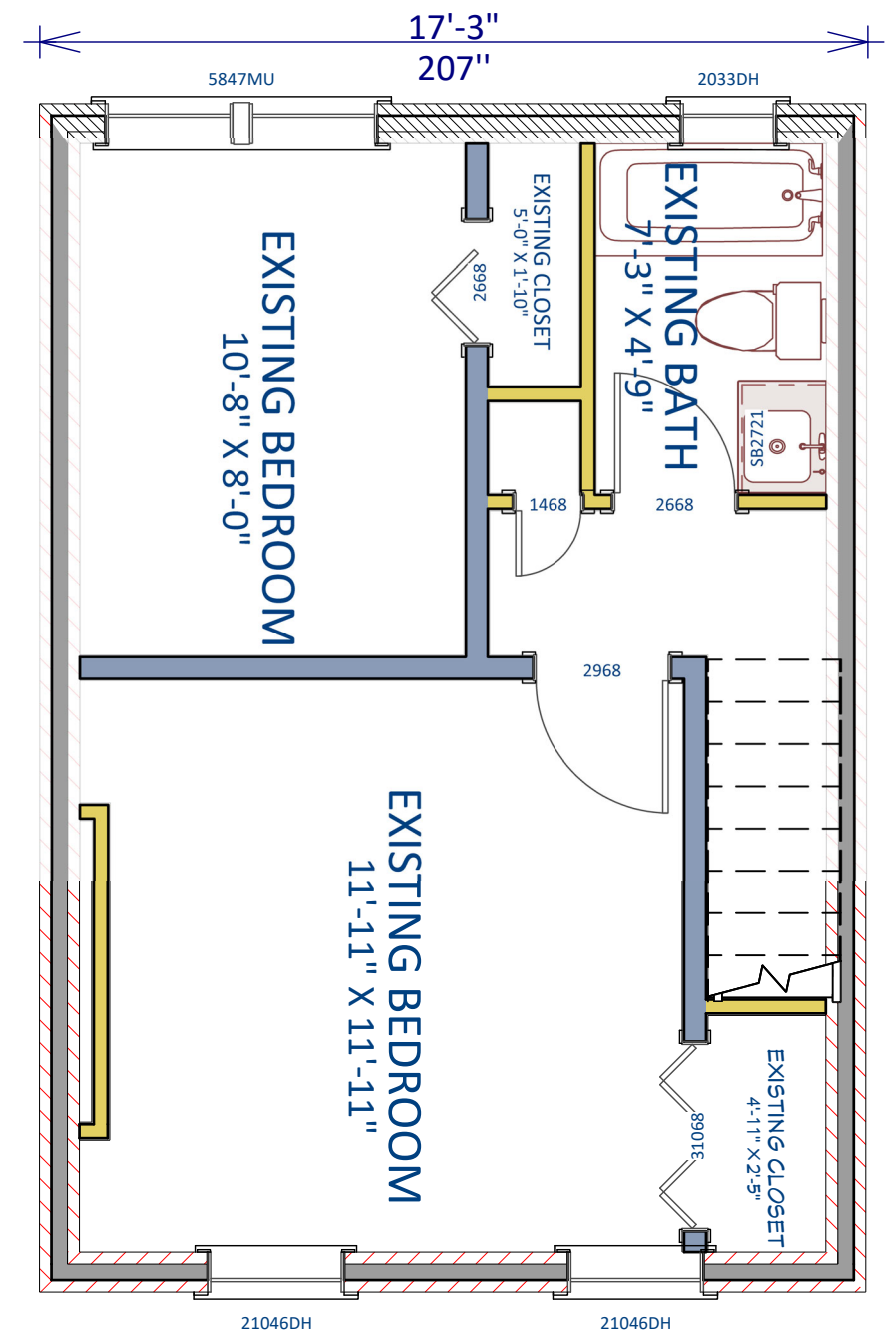
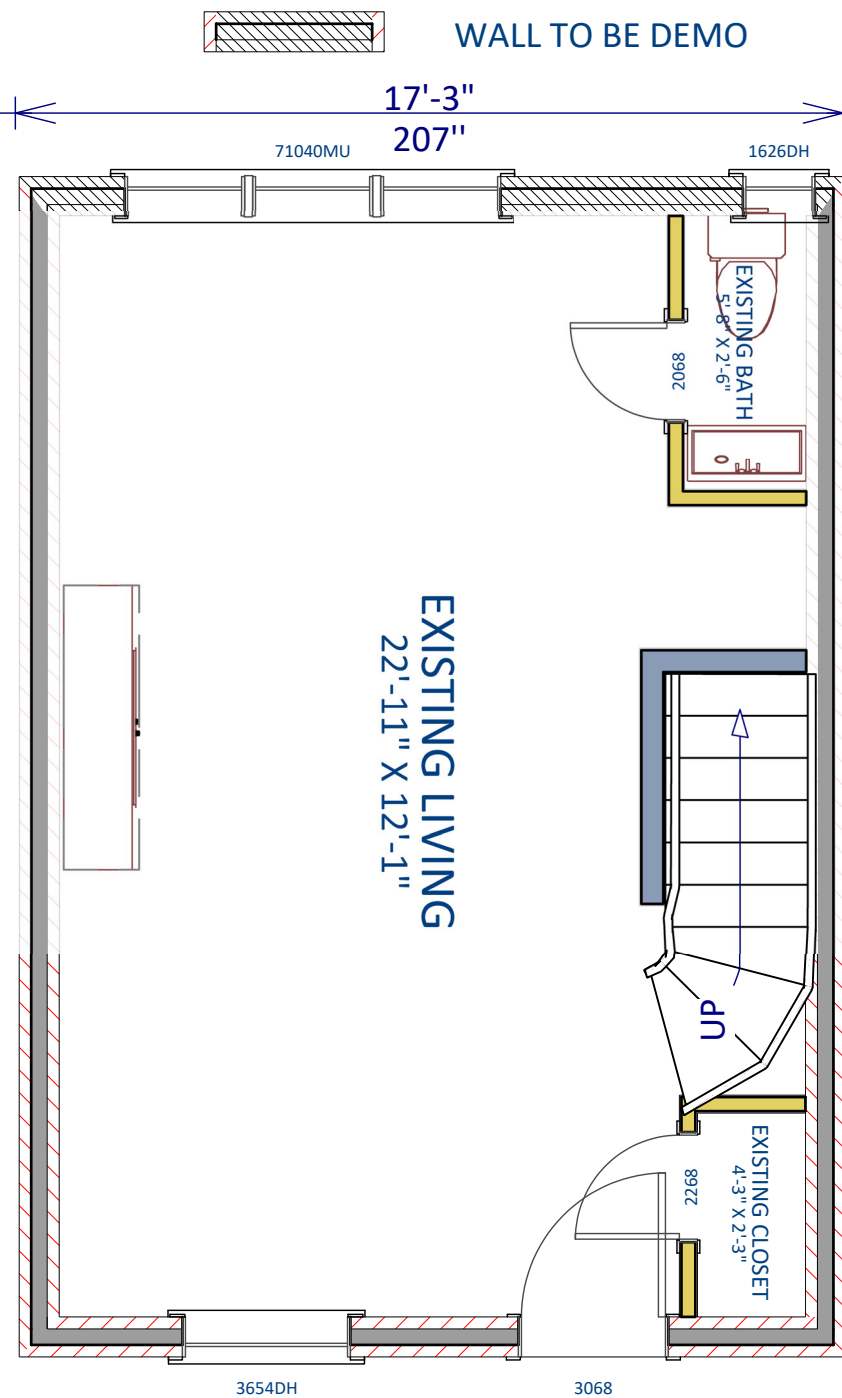
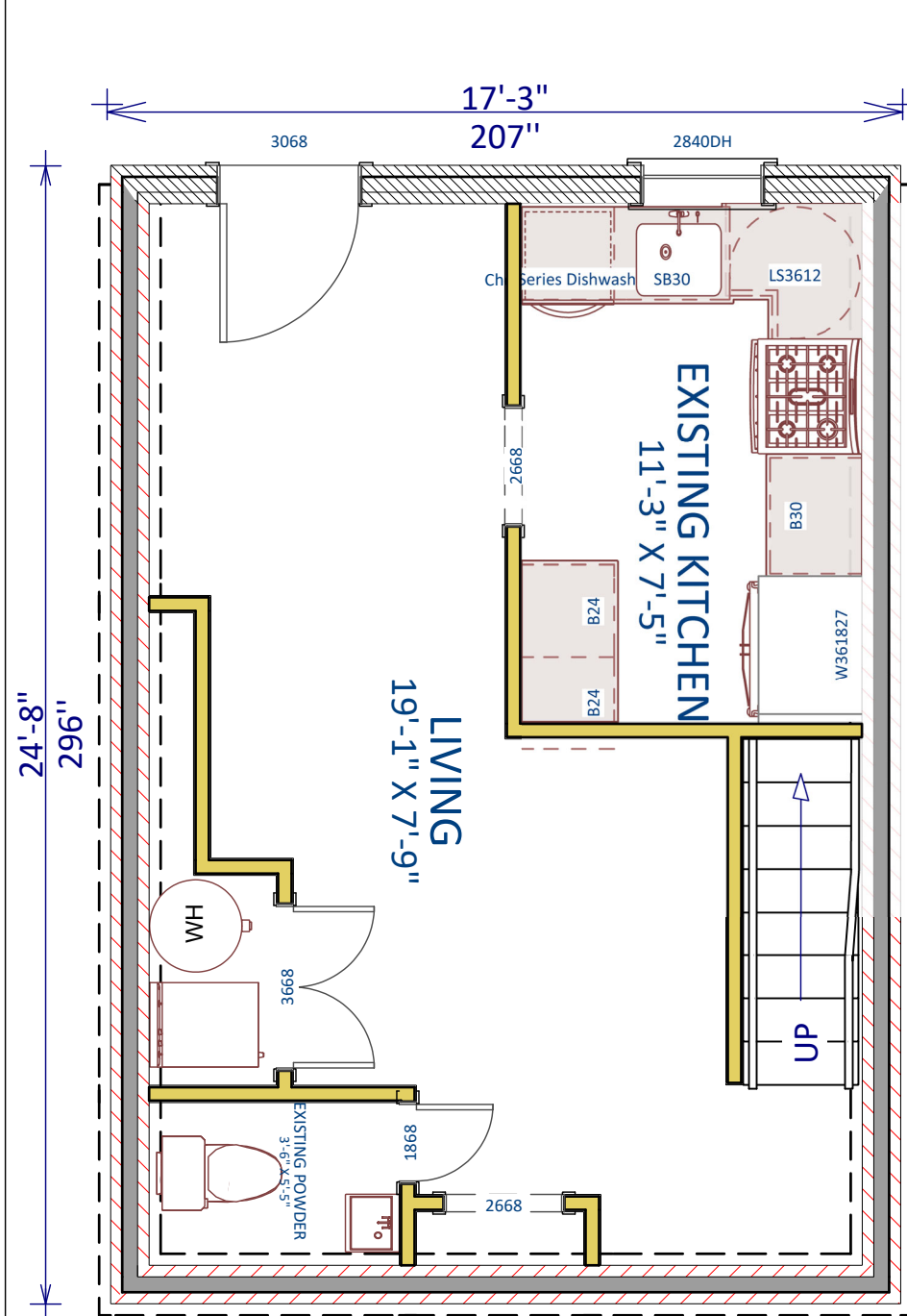


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[www.rickycanbuildit.com](http://www.rickycanbuildit.com)  
  
License:  
2705159126

DATE:
4/3/2019

SCALE:

SHEET:
CS.1

[illegible]

Job Location:

722 S Lee St  
Alexandria, VA 22314

Owner:

Katelyn van Dam  
David van Dam

Phone:

(443) 223-4632



**DRAWINGS PROVIDED BY:**  
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SHEET:

Seal

[illegible]

722 S Lee St  
Alexandria, VA 22314

Katelyn van Dam  
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## Ricky Can Build It

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4/3/2019
----------

$1/4'' = 1'$
--------------

A.1

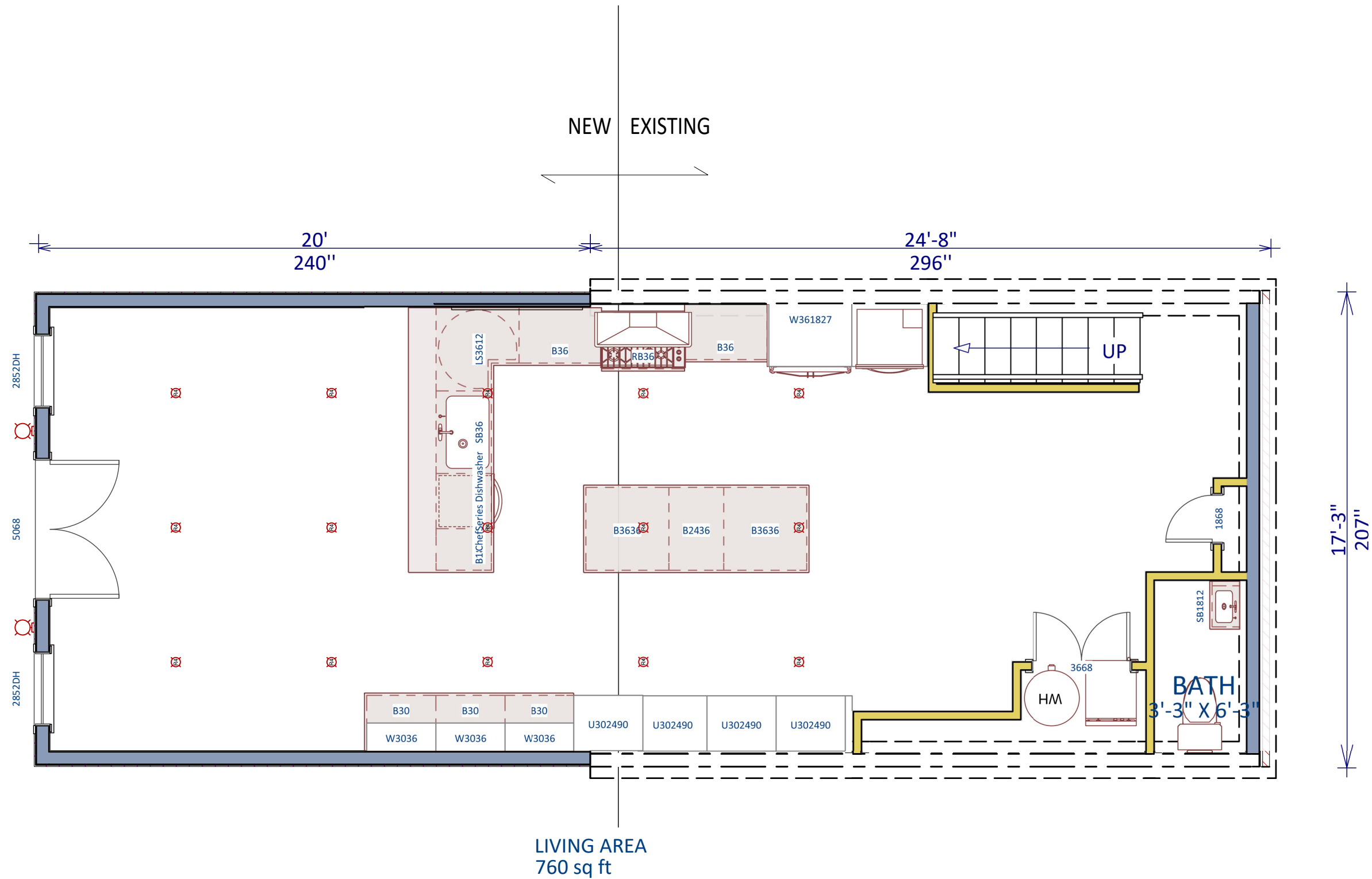
**EXISTING KITCHEN**  
11'-3" X 7'-5"

**LIVING**  
19'-1" X 7'-9"

**EXISTING POWDER**  
3'-6" X 5'-5"

Overall Dimensions: 24'-8" X 29'-6"

## 19



PROPOSED BASEMENT

Seal

REVISION TABLE		REVISED BY		DESCRIPTION	
NUMBER	DATE	DATE	DESCRIPTION	DESCRIPTION	DESCRIPTION

Job Location:  
722 S Lee St  
Alexandria, VA 22314

Owner:  
Katelyn van Dam  
David van Dam

Phone:  
(443) 223-4632



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Designer:  
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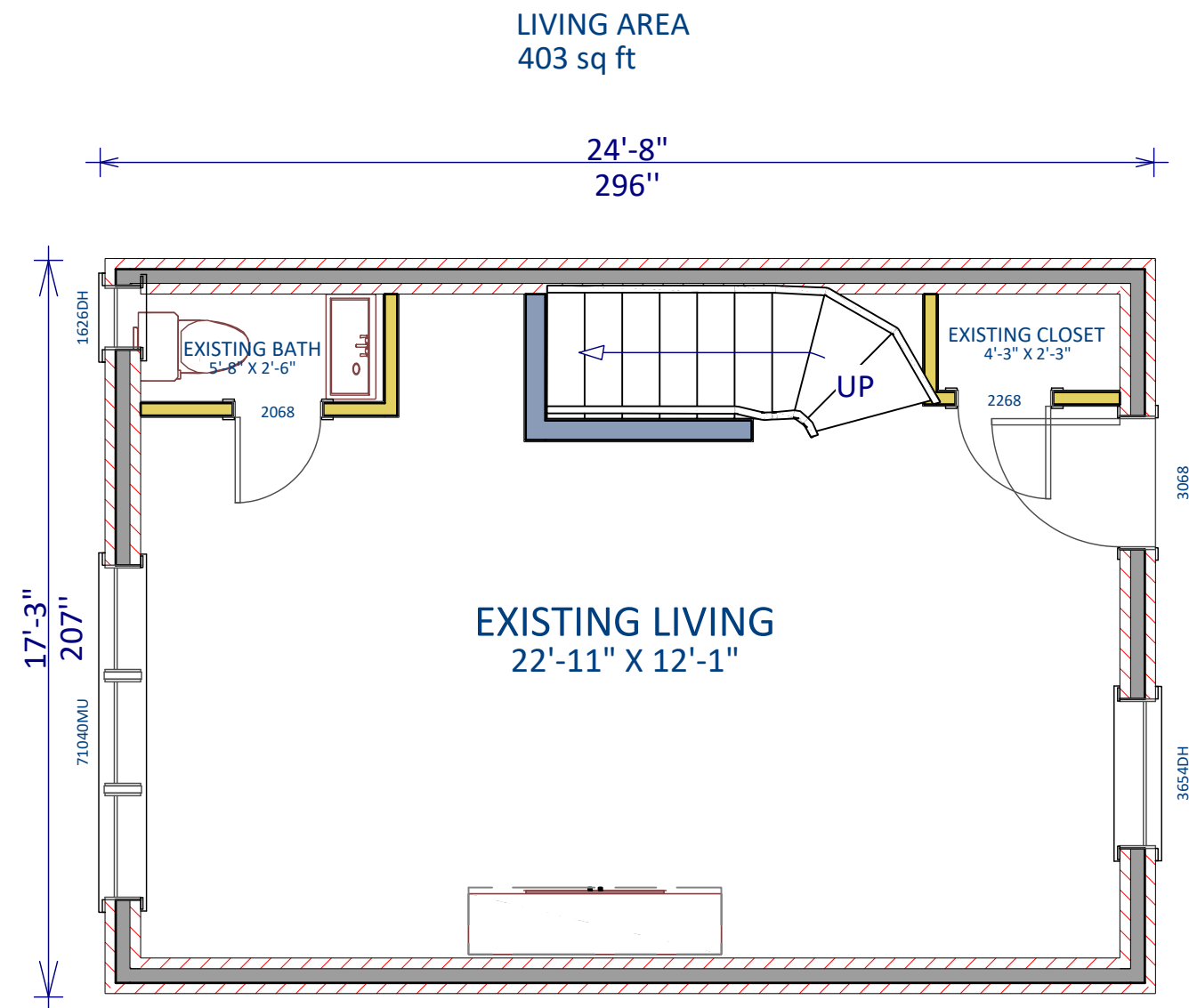
Web:  
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2705159126

DATE:  
4/3/2019

SCALE:  
1/4" = 1'

SHEET:  
A.2



## EXISTING 1ST FLOOR

al

[illegible]

**Job Location:**

722 S Lee St  
Alexandria, VA 22314

Owner:

Katelyn van Dam  
David van Dam

Phone:

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License:

2705159126

DATE:

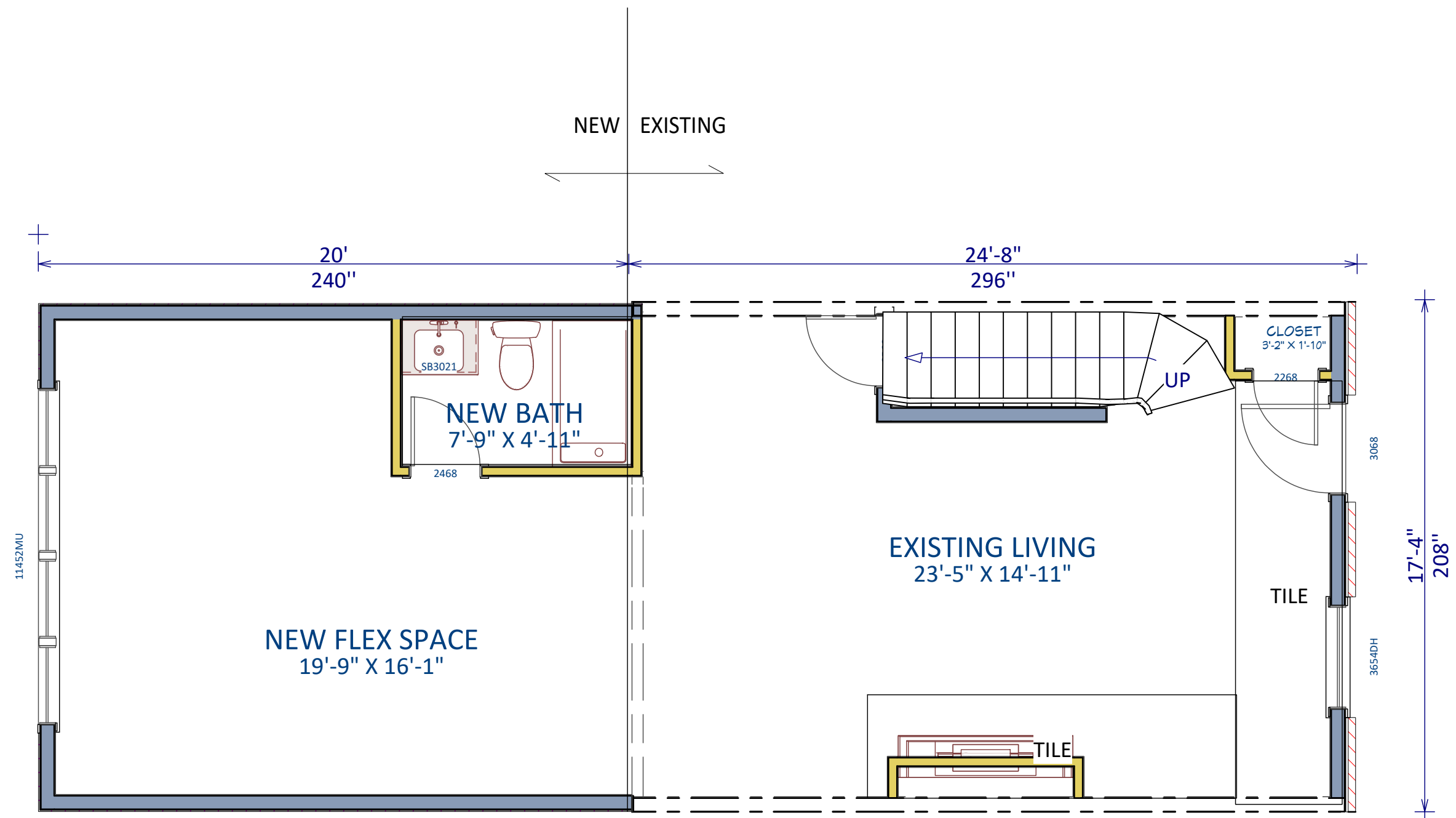
4/3/2019

SCALE:

$$1/4'' = 1'$$

SHEET:

A.3



LIVING AREA  
758 sq ft

PROPOSED 1st FLOOR

Seal

[illegible]

Job Location:

722 S Lee St  
Alexandria, VA 22314

Owner:

Katelyn van Dam  
David van Dam

Phone:

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DATE:

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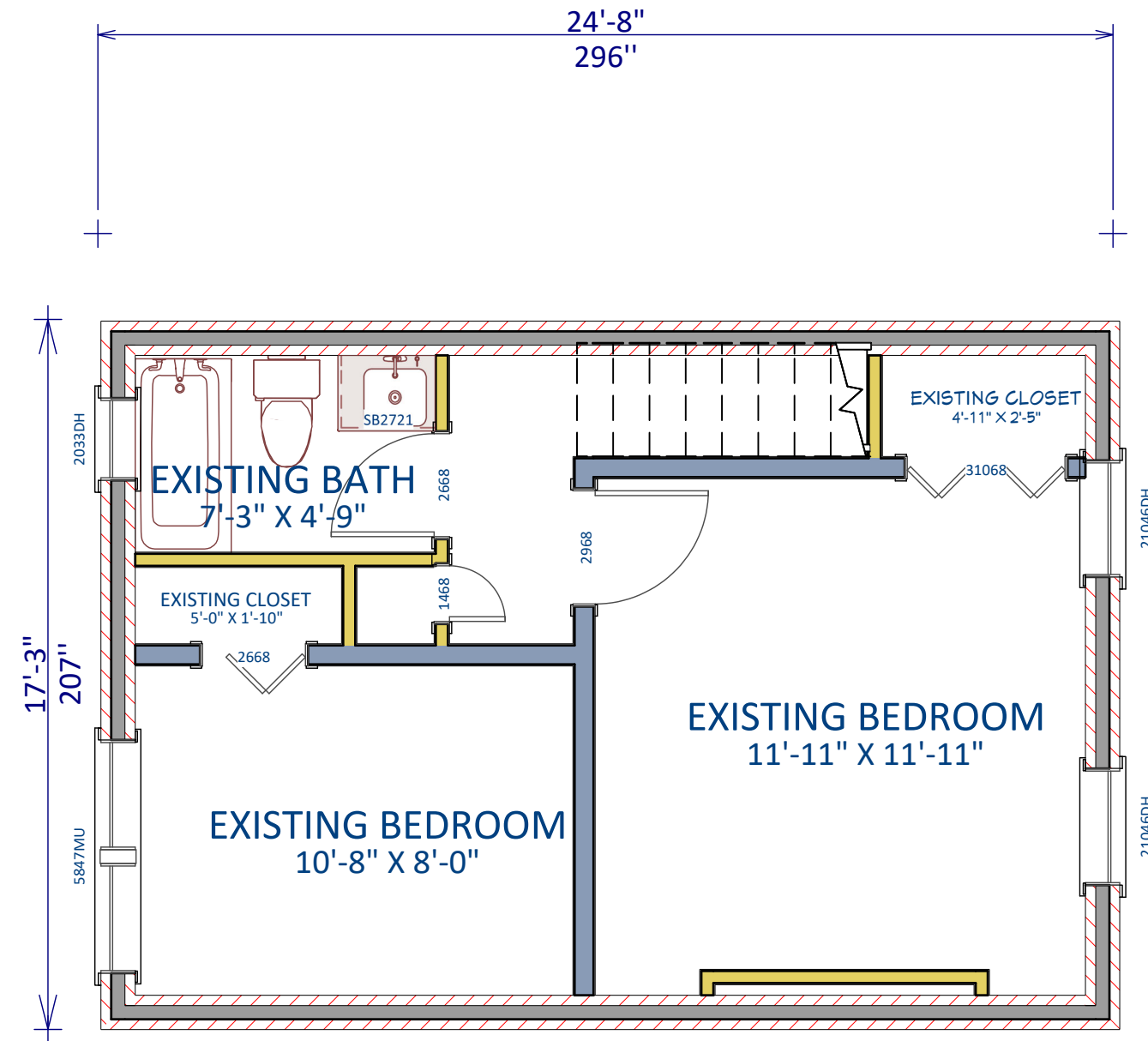
SCALE:

$$1/4'' = 1'$$

SHEET:

#### A.4





# EXISTING 2ND FLOOR

Seal

NUMBER	REVISION TABLE	
	DATE	DESCRIPTION

Job Location:  
722 S Lee St  
Alexandria, VA 22314

Owner:  
Katelyn van Dam  
David van Dam

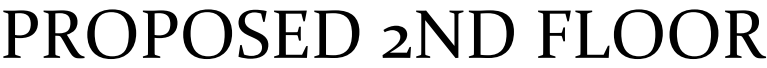
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www.rickycanbuildit.com  
License:  
2705159126

DATE:  
4/3/2019

SCALE:  
1/4" = 1'

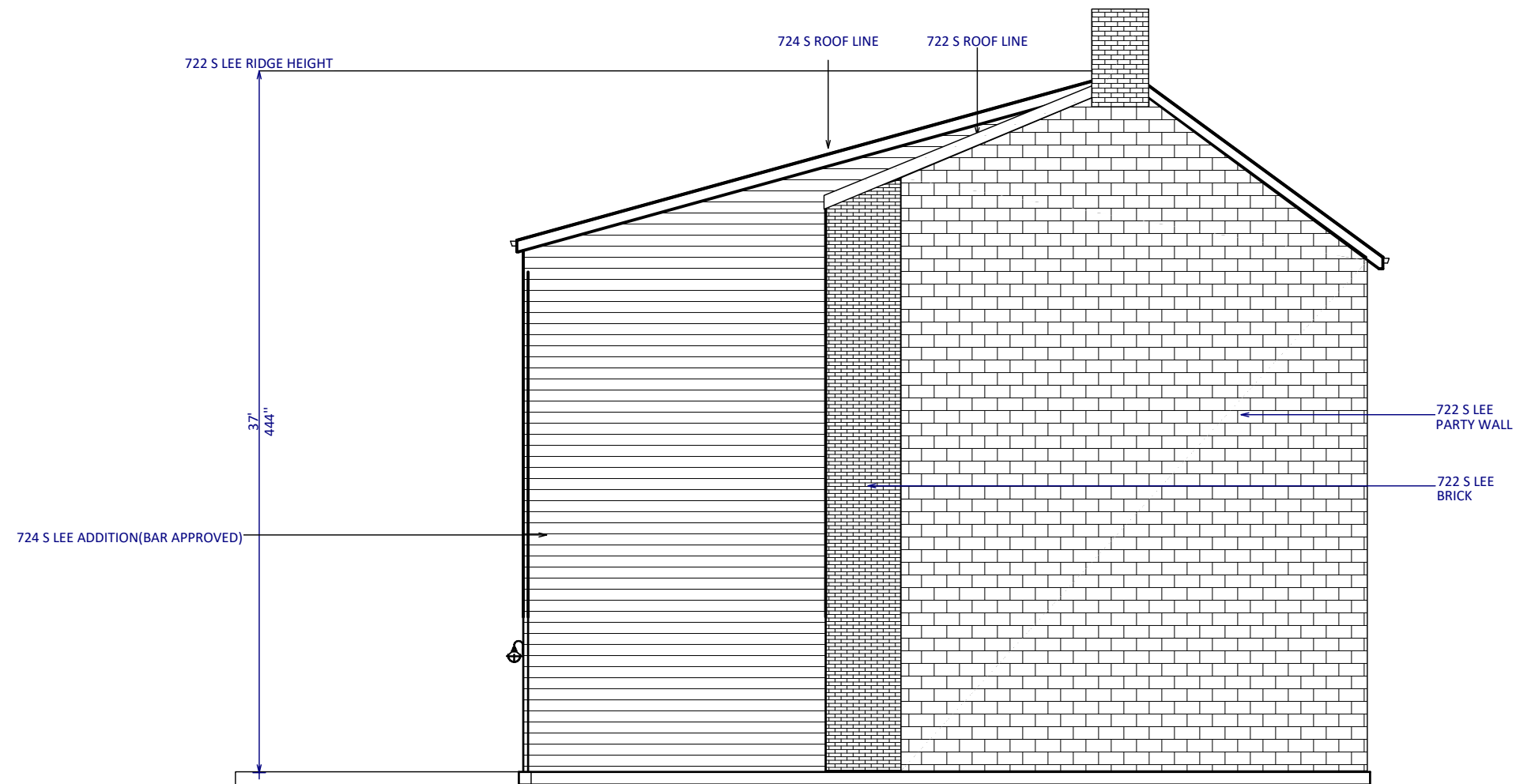
SHEET:  
A.5



## A.6



SHEET:



## EXISTING NORTH ELEVATION

Seal

REVISION TABLE  
NUMBER DATE REVISION BY DESCRIPTION

Job Location:

722 S Lee St  
Alexandria, VA 22314

Owner:

Katelyn van Dam  
David van Dam

Phone:

(443) 223-4632



DRAWINGS PROVIDED BY:

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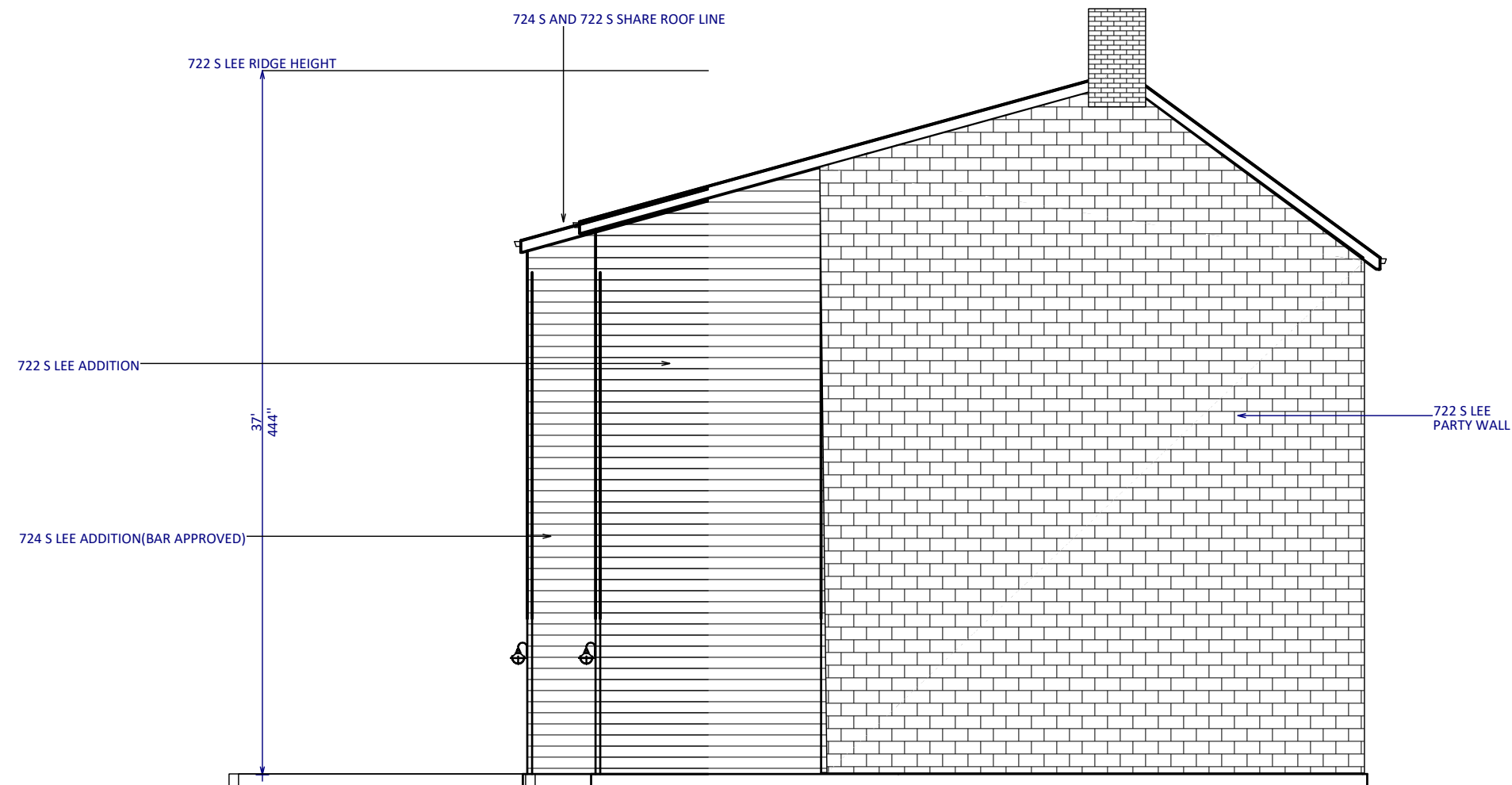
2705159126

DATE:

4/3/2019

SCALE:

SHEET:



## PROPOSED NORTH ELEVATION

al

[illegible]

**Job Location:**

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Owner:

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License:

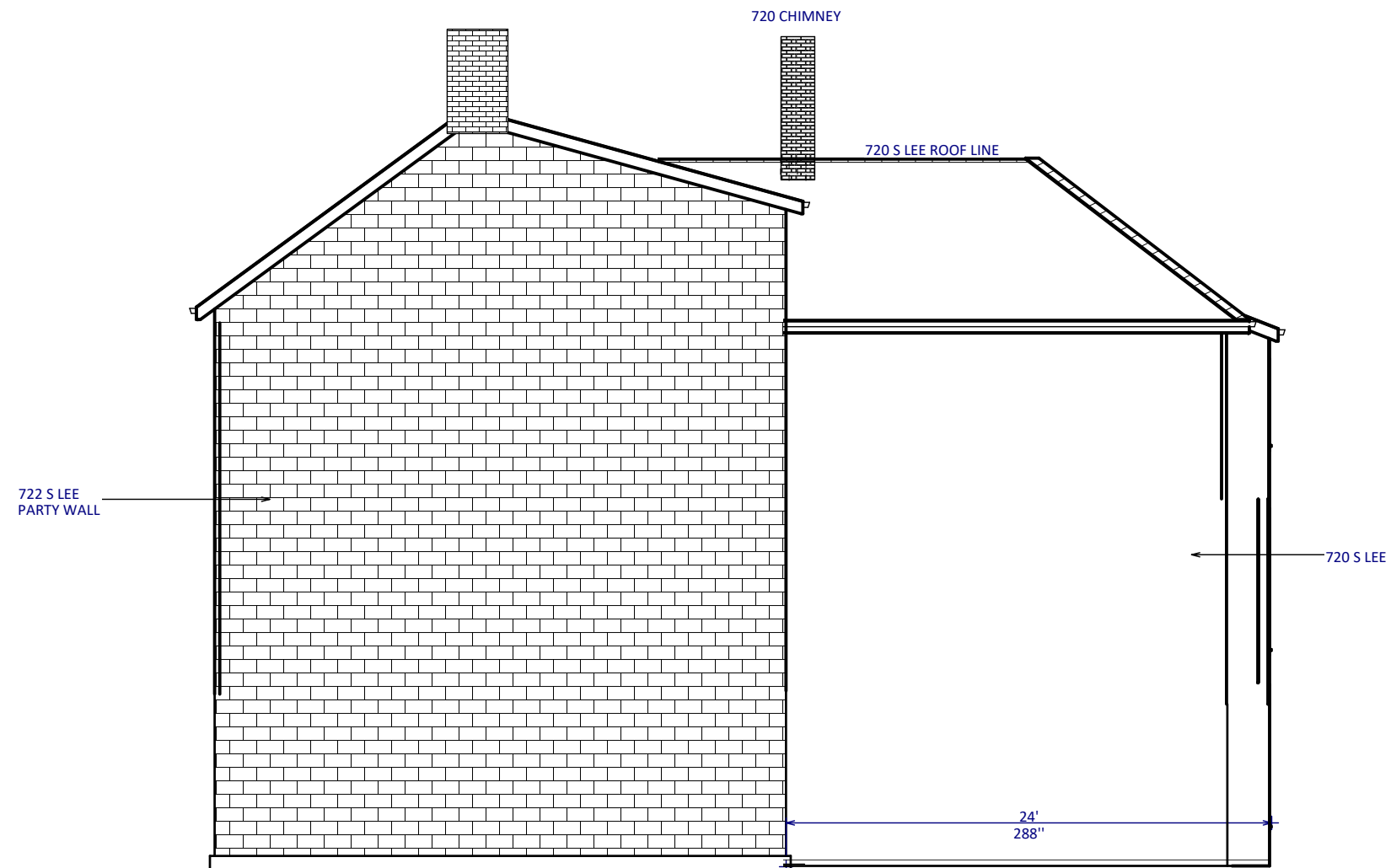
705159126

DATE:

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SCALE:

SHEET:



## EXISTING SOUTH ELEVATION

Seal

[illegible]

Job Location:

722 S Lee St  
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David van Dam

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DATE:

4/3/2019

SCALE:

SHEET:







## EXISTING EAST ELEVATION



## PROPOSED EAST ELEVATION

al

[illegible]

**Job Location:**

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owner:

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David van Dam

phone:

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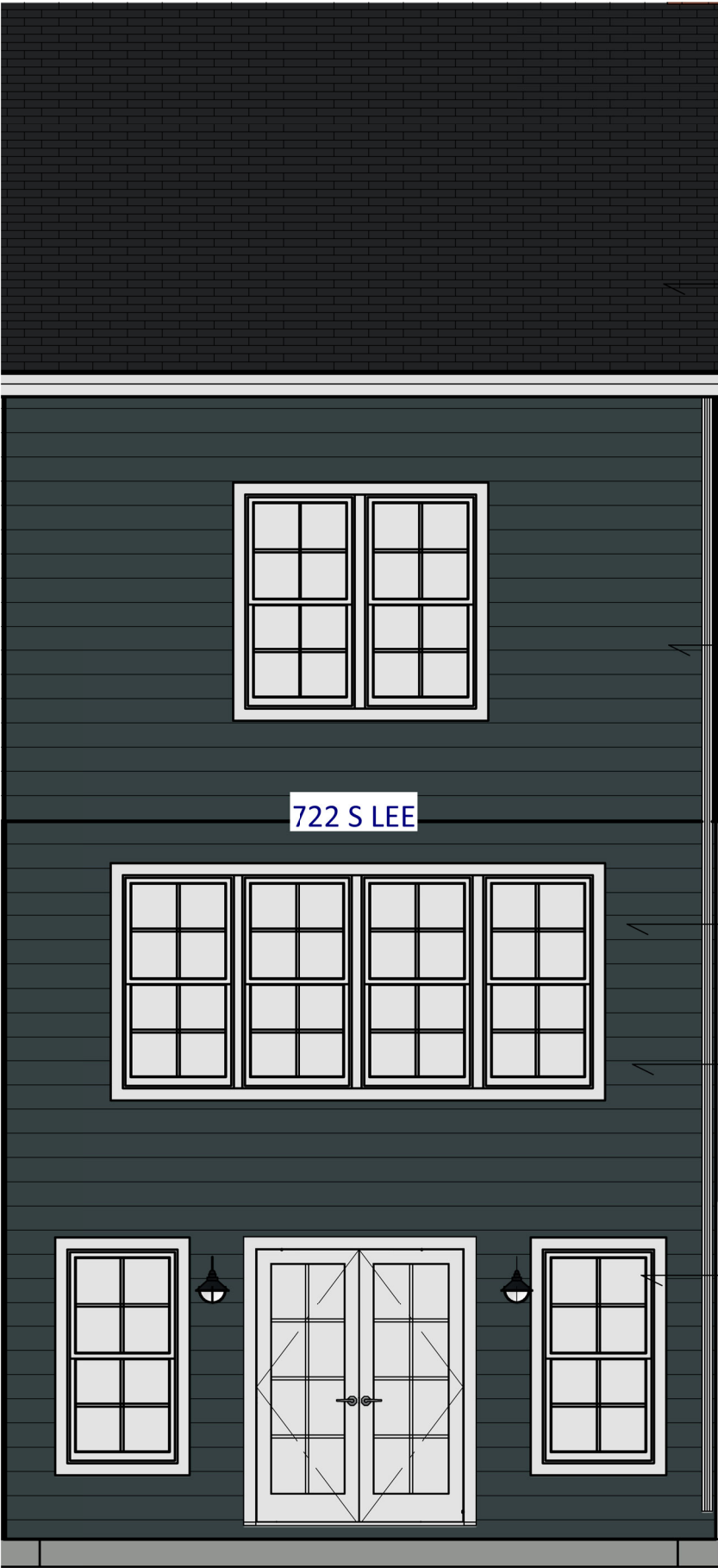
705159126

DATE:

4/3/2019

CALE:

SHEET:



ROOF: 3 TAB SHINGLE  
COLOR: CHARCOAL

SIDING: JAMES HARDIE  
COLOR: EVENING BLUE

WINDOWS: ANDERSON 100 SERIES  
COLOR: WHITE

TRIM: JAMES HARDIE  
COLOR: WHITE

EXTERIOR LIGHT: SEASIDE STYLE  
COLOR: BLACK

PROPOSED EAST ELEVATION

Seal

REVISION TABLE		DESCRIPTION
NUMBER	DATE	

Job Location:  
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David van Dam

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