

**ISSUE:** Certificate of Appropriateness for alterations

**APPLICANT:** Virtue Feed & Grain, LLC

**LOCATION:** Old and Historic Alexandria District  
106 South Union Street

**ZONE:** CD / Commercial District

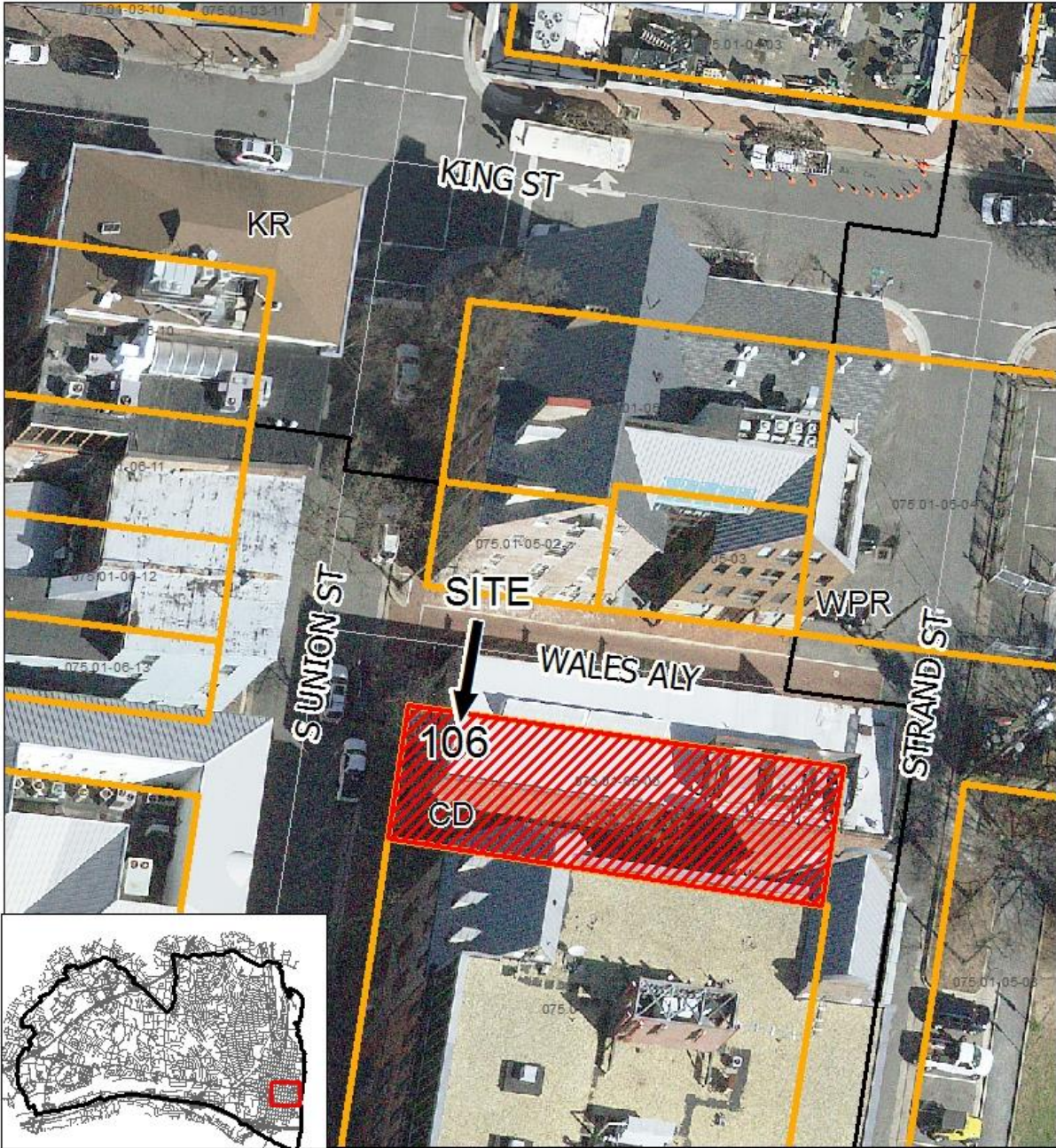
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### **STAFF RECOMMENDATION**

Staff recommends *approval* of the Certificate of Appropriateness for the new deck and *denial* of the proposed fixed canopy.

### **GENERAL NOTES TO THE APPLICANT**

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or [preservation@alexandriava.gov](mailto:preservation@alexandriava.gov) for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



**BAR #2019-00063**  
**106 South Union Street**



0 15 30 60 Feet



## **I. APPLICANT'S PROPOSAL**

The applicant is requesting a Certificate of Appropriateness to construct an elevated deck with new stair, perimeter guardrail and a new painted steel-frame and glass panel canopy in the Wales Alley elevation of 106 South Union Street. The City of Alexandria has an existing license agreement with the applicant to utilize a portion of Wales Alley for outdoor dining.

### *Deck and guardrail*

The applicant proposes to remove three BAR approved wall-mounted retractable fabric awnings, four tie rod stars and the existing exit stair in order to construct a new painted, steel-framed elevated deck. The deck will consist of wood composite deck boards, a perimeter guardrail with painted steel posts and tensioned metal cable infill (Figure 1). The deck will bear on the existing concrete foundation below the existing brick alley pavers.

### *Canopy*

Following the removal of the wall-mounted retractable fabric awnings a new canopy will be installed constructed of a black painted steel-frame and glass panels. The new assembly will be mounted to the exterior north wall, replacing the existing tie rod stars and suspended from existing steel outriggers at the roof level (Figure 1).



**Figure 1: Rendering of the proposed elevated deck and glass canopy**

## II. HISTORY

The existing two-story rectangular brick warehouse at 106 South Union Street was constructed between 1912 and 1921 according to Sanborn Fire Insurance Maps. In 2005, a brief Historic Structures Report for 106 South Union Street was written by Derek Manning, who said the warehouse and store at 106 South Union Street was constructed in **1916** by the Hunt and Roberts Feed and Grain Company. Prior to the construction of the existing building, earlier Sanborn Fire Insurance Maps, the G. M. Hopkins *City Atlas of Alexandria from 1877*, and 19<sup>th</sup> century deed and tax records depict a warehouse with a similar footprint at this location. In 1962, the building was sold and converted into a retail establishment, a use which continued until Olson's Books vacated the property in 2008.

Despite numerous alterations over time, the existing early 20<sup>th</sup> century brick warehouse building retains a significant degree of historic integrity with respect to its location, design, setting, materials, workmanship, feeling and association. It is one of the few remaining buildings representing the historic industrial character of Alexandria's early 20<sup>th</sup> century waterfront.

### *Wales Alley (Fitzgerald's Alley)*

The current alley is representative of the historic mid-block alley patterns along the waterfront. The alleys served as drainage swales for the large warehouse roofs as well as fire separation from other warehouses. The G. M. Hopkins *City Atlas of Alexandria from 1877* (Figure 2) illustrates the many alleys amid the warehouses that ran east/west from Union Street to the waterfront and wharves. Very few of the alleys depicted in 1877 remain.

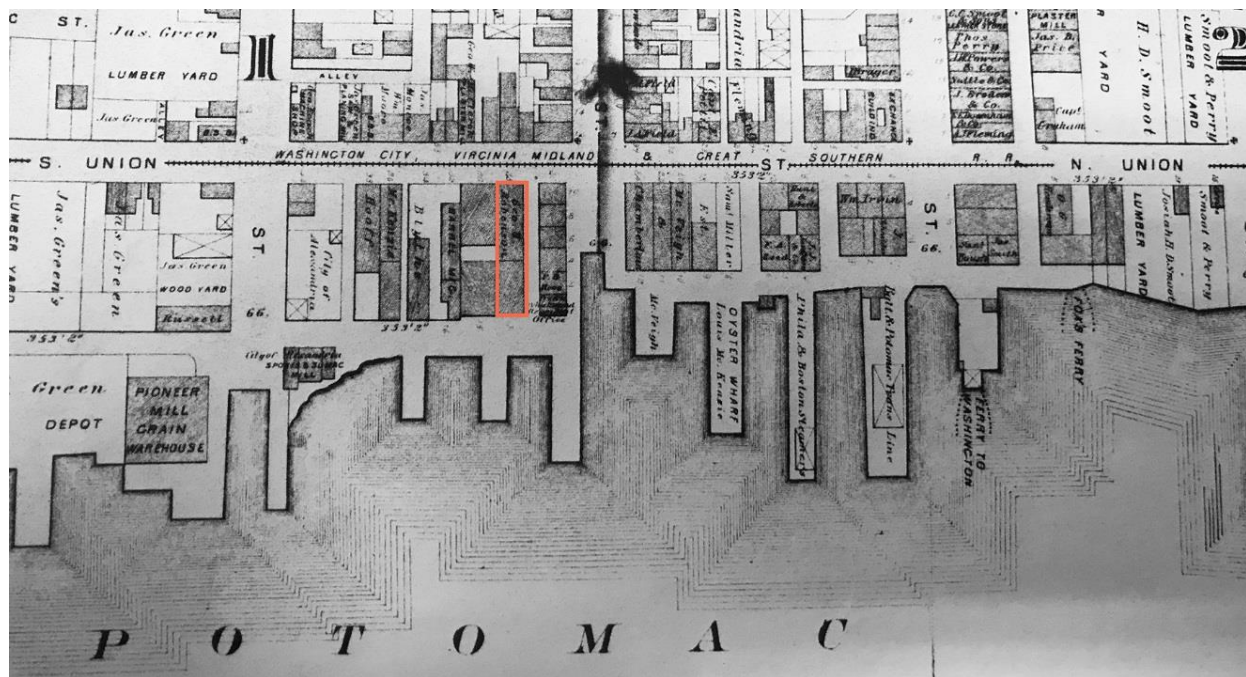


Figure 2: 1877 G.M. Hopkins *City Atlas of Alexandria* map with 106 South Union Street outline in orange



Previous BAR approvals

Following the approval of a Special Use Permit in 2010 (SUP #2010-0010) to operate a restaurant, the BAR approved extensive renovations to the property to accommodate its new use (BAR Case #2010-00171, 00172, & 00173, 7/21/10). The original BAR approvals included a very similar semi-permanent outdoor seating deck and a hanging glass canopy, although neither were allowed to be constructed at that time because the Old Dominion Boat Club held an easement in Wales Alley to access their parking lot and boat ramp. During this period, the restaurant was only allowed to use portable tables and umbrellas, similar to King Street Outdoor Dining program, so that full access to Wales Alley could be provided quickly upon demand. When the Boat Club moved to Prince Street and the easement was extinguished, the restaurant decided not to spend the money on the expensive canopy and deck and continued to use the portable furniture.

Because the originally approved deck and canopy were such an integral part of the originally approved design, staff required the restaurant to return to the BAR on March 16, 2016 (BAR Case #2016-0142) to amend their Certificate of Appropriateness to **not** construct the deck and canopy before a permanent Certificate of Occupancy could be issued. The staff report noted:

While the design for these elements [the elevated deck and glass canopy] approved by the BAR in 2010 was well designed and appropriately detailed, staff finds that *not* having a more permanent physical structure such as a deck in Wales Alley is preferable. ... By locating the tables, chairs, umbrellas, planters and other outdoor dining elements, all easily moveable and without a more permanent structure in the alley, it better conveys the sense of this space as a historic through-block alley to the waterfront.

This particular proposal for a deck and glass canopy was presented prior to the BAR's review of a number of other waterfront redevelopment proposals such as the hotel at 220 South Union Street and the Robinson Landing mixed-use project at 2 Duke Street, all of which emphasized and incorporated through-block east-west alleys to connect Union Street to the water, as recommended in the Waterfront Plan. In this future, this will also enhance the view to the future waterfront park. **Therefore, staff strongly supports not constructing the deck and glass canopy. However, it may be appropriate in the future to consider other elements, such as additional umbrellas or retractable awnings over the alley that are not permanent and maintain the through-block alley view and configuration when not in use.**

In July 2016 the applicant returned to the BAR for approval of three retractable fabric awnings above the at-grade outdoor dining shown in Figure 3 (BAR Case #2016-00051). The Board was in strong support of the retractable awnings in lieu of the previously approved deck and canopy because it allowed for enhanced view of the future waterfront park and conditioned that the awnings be retracted when the outdoor dining area is not open to customers.



Figure 3: Wales Alley with the existing, BAR approved retractable fabric awnings

### III. ANALYSIS

Over the past decade, as the waterfront area has evolved and the Waterfront Park on Strand Street has been created, the accessibility and visibility of the building at 106 South Union Street has increased. Although the BAR originally approved a deck and canopy design very similar to the one proposed in 2010, the waterfront context has changed significantly since that time. When the applicant sought approval of the retractable awnings in 2010 the Board acknowledged their past approval of the fixed canopy but notified the applicant at that time that they much preferred the retractable awnings because they were more delicate and could easily be retracted to maintain open views to the waterfront from South Union Street. Staff reiterates this preference with the current proposal.

Staff has no objection to the installation of a permanent fixed deck and believes that it will better serve the outdoor dining experience at Virtue Feed & Grain because it will allow for the removal of the planters and temporary railing which at times create a somewhat chaotic feel. The new deck will serve as a better, and perhaps safer, separation of alley pedestrian, vehicular and dining functions. When the Waterfront Plan was adopted in 2012, it specifically addressed the desire for alleys to remain open between Union Street and the Strand to facilitate views the river. Construction of the largely transparent deck and cable wire handrails alone will continue to achieve these stated objectives, but the installation of the large fixed canopy will not. Staff believes the canopy as proposed will obstruct too much of the river view through Wales Alley, reversing the progress already made in adhering to the new waterfront plan.



**STAFF**

Henry Hollander, Planning & Zoning

Stephanie Sample, Historic Preservation Planner, Planning & Zoning

Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

**IV. CITY DEPARTMENT COMMENTS**

Legend: C- code requirement R- recommendation S- suggestion F- finding

**Zoning**

F-1 Applicant must provide total number of seats for entire restaurant in submitted plans before proceeding to a BAR hearing. An increase above approved amount would require a SUP amendment. (Applicant has complied)

**Code Administration**

C-1 A building permit, plan review and inspections are required prior to the start of construction.

**Transportation and Environmental Services**

R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)

R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)

R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)

F-1 Previously reviewed under BAR2010-00171;172;173. (T&ES)

F-2 Carried Forward: The proposed improvements to this structure include installing new windows and doors. The overall impact of these alterations will make the existing structure more vulnerable to flooding. Although the City does not require that the applicant install floodproofing measures during this renovation, it is strongly recommended that the applicant consider the cost effectiveness of protecting their investment in this property and use this opportunity while replacing the doors and windows, to install floodproofing measures. Information regarding floodproofing is available at the following FEMA web site:

<http://www.fema.gov/plan/prevent/floodplain/nfipkeywords/floodproofing.shtm#2>

- F-3 The applicant should provide a determination of disturbed area per City Guidelines to T&ES prior to submitting for permits. If the land disturbance meets or exceeds 2500 square feet, a released grading plan will be required prior to submitting for permits. (T&ES)
- F-4 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:  
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.  
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 Carried Forward: This historic nonresidential structure is located in the 100-year floodplain and therefore is subject to the City's floodplain ordinance as included in Section 6-300 of the City's Zoning Ordinance. This ordinance includes the following provisions:
- a. The proposed outdoor decking is considered fill and therefore is required to meet the following requirement: "No filling of any kind shall be allowed within the boundaries of any AE zone floodplain district except where such filling, when considered in conjunction with all other uses, existing and proposed, will not increase the water surface elevation of the 100-year-flood more than one-half foot. No filling of any kind shall be allowed within the floodway except where such filling will not increase that water surface elevation of the 100-year flood. Persons proposing such filling shall furnish specific engineering data and information as to the effect of their proposed action on future flood heights and shall obtain approval from the director of transportation and environmental services prior to any filling."
  - b. The proposed outdoor deck, railing and canopy are considered new construction and unless these new structures are elevated above the 100-year-flood level they must be designed to resist uplift and/or horizontal water pressure. Applicant will be required to provided design and engineering calculations to support this requirement on the building permits.
  - c. The proposed railing on the new deck is considered an outdoor fence and will be required to meet the following requirement: "No wall, fence or other outdoor obstruction shall be constructed in any floodplain district unless such structure is approved by the director of transportation and environmental services; provided that open mesh wire fences of not less than No. 9 wire, with mesh openings of not less than six inches times six inches, whose supports shall be securely anchored in concrete and whose wire shall be securely fastened to the supports, may be erected without any review by or approval of the director of transportation and environmental services under this section 6-300."
  - d. Any new mechanical, electrical and HVAC equipment be elevated above the 100-year water surface elevation.



- C-2 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-3 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)
- C-4 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-5 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-6 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-7 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)
- C-8 An encroachment request will be required for projections into the public right of way. (T&ES)
- C-9 Carried Forward: An erosion and sediment control plan must be approved by T&ES prior to any land disturbing activity greater than 2500 square feet. An erosion and sediment control bond shall be posted prior to release of the plan if required. (T&ES)
- C-10 Carried Forward: If construction results in land disturbing activity in excess of 2500 square feet, the applicant is required to comply with the provisions of Article XIII of the City's Zoning Ordinance for stormwater quality control. (T&ES)

### **Alexandria Archaeology**

- F-1 Archaeological oversight will not be necessary for this project.

## **V. ATTACHMENTS**

*1 – Supplemental Materials*

*2 – Application for BAR 2019-00063: 106 South Union Street*

ADDRESS OF PROJECT: 106 South Union StreetDISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old BuildingTAX MAP AND PARCEL: 075.01-05-05 ZONING: CDAPPLICATION FOR: *(Please check all that apply)*☒ CERTIFICATE OF APPROPRIATENESS☐ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH  
(Required if more than 25 square feet of a structure is to be demolished/impacted)☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION  
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT  
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)Applicant: ☐ Property Owner ☒ Business *(Please provide business name & contact person)*Name: Virtue Feed & Grain, LLCAddress: 106 South Union StreetCity: Alexandria State: VA Zip: 22314Phone: 571-970-2837 E-mail: will@virtuefeedgrain.comAuthorized Agent *(if applicable)*: ☐ Attorney ☒ Architect ☐ \_\_\_\_\_Name: James L. Palmer Phone: 703 549 4033E-mail: jpalmer@sanchezpalmerarchitects.com**Legal Property Owner:**Name: VFG Building, LLCAddress: 106 South Union StreetCity: Alexandria State: VA Zip: 22314Phone: 571-970-2837 E-mail: a2zgene@gmail.com

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
- ☐ Yes ☒ No If yes, has the easement holder agreed to the proposed alterations?
- ☐ Yes ☒ No Is there a homeowner's association for this property?
- ☐ Yes ☒ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.



**NATURE OF PROPOSED WORK:** *Please check all that apply*

- ☒ **NEW CONSTRUCTION**
- ☒ **EXTERIOR ALTERATION:** *Please check all that apply.*
- |  |   |   |                                   |
|--|---|---|-----------------------------------|
| <input type="checkbox"/> awning                                    | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment             | <input type="checkbox"/> shutters |
| <input type="checkbox"/> doors                                     | <input type="checkbox"/> windows                    | <input type="checkbox"/> siding                     | <input type="checkbox"/> shed     |
| <input type="checkbox"/> lighting                                  | <input type="checkbox"/> pergola/trellis            | <input type="checkbox"/> painting unpainted masonry |                                   |
| <input checked="" type="checkbox"/> other <u>DECK &amp; CANOPY</u> |   |   |                                   |
- ☐ **ADDITION**
- ☐ **DEMOLITION/ENCAPSULATION**
- ☐ **SIGNAGE**

**DESCRIPTION OF PROPOSED WORK:** *Please describe the proposed work in detail (Additional pages may be attached).*

Proposed work was previously approved under SUP 2010-00010 (currently valid) and BAR Case # 2010-171/172/173 (expired) and involves the following:

1. On north face of building construct a new painted, steel-framed elevated deck with wood composite deck boards and perimeter guardrail with painted steel posts and tensioned metal cable infill. The deck will bear on the existing paving and no excavation of the alley will be required for new footings.
2. On north face of building remove three wall-mounted, retractable fabric awnings and construct a new canopy consisting of painted steel-frame and glass panels. Canopy will be mounted to the exterior wall and suspended from existing steel outriggers at the roof level.

**SUBMITTAL REQUIREMENTS:**

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

**Demolition/Encapsulation :** *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☒ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☒ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

**Additions & New Construction:** *Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ <sup>N/A</sup> Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☒ FAR & Open Space calculation form.
- ☒ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☒ ☐ Existing elevations must be scaled and include dimensions.
- ☒ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☒ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☒ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

**Signs & Awnings:** *One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.*

- ☐ ☒ <sup>N/A</sup> Linear feet of building: Front: \_\_\_\_\_ Secondary front (if corner lot): \_\_\_\_\_.
- ☐ ☒ Square feet of existing signs to remain: \_\_\_\_\_.
- ☐ ☒ Photograph of building showing existing conditions.
- ☐ ☒ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☒ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☒ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☒ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

**Alterations:** *Check N/A if an item in this section does not apply to your project.*

- ☒ ☐ <sup>N/A</sup> Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☐ ☒ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

**ALL APPLICATIONS:** *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

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The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

**APPLICANT OR AUTHORIZED AGENT:**Signature: James PalmerPrinted Name: James L. Palmer, RADate: Feb. 14, 2019



# OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Urban E. Smith	210 Duke Street, Alexandria, VA	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at \_\_\_\_\_ (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. Urban E. Smith	210 Duke Street, Alexandria, VA	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. Urban E. Smith	NA	NA
2.		
3.		

**NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.**

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

Feb. 14, 2019

Date

James L. Palmer

Printed Name

*James Palmer*  
Signature



# Deck & Canopy Addition

106 South Union Street  
Alexandria, Virginia

Feb, 19th, 2019

Revised 3.11.2019

Deck & Canopy  
Addition  
106 South Union Street  
Alexandria, Virginia  
22314

SANCHEZ PALMER  
ARCHITECTS, PC  
911 King Street  
Alexandria, Virginia 22314  
703 549 4033



Proposed Improvements



Existing Conditions - Wales Alley

## LIST OF DRAWINGS

TS	TITLE SHEET
A01	CIVIL PLAT
A11	ARCHITECTURAL SITE PLAN
A16	EXISTING FLOOR PLAN & DEMO NOTES
A17	EXISTING ROOF PLAN & DEMO NOTES
A18	EXISTING ELEVATIONS & DEMO NOTES
A21	GROUND FLOOR PLAN - NEW WORK
A31	FIRST FLOOR FURNITURE PLAN
A32	SECOND FLOOR FURNITURE PLAN
A41	ELEVATIONS - NEW WORK
A42	ELEVATIONS AND PARTIAL SECTION - NEW WORK
A43	PARTIAL SECTION - NEW WORK
A50	PROPOSED ADDITIONS
A60	SPEC SHEET

Proposed work was previously approved under SUP 2010-00010 (currently valid) and BAR Case # 2010-171/172/173 (expired) and involves the following:

- On north face of building construct a new painted, steel-framed elevated deck with wood composite deck boards and perimeter guardrail with painted steel posts and tensioned metal cable infill. The deck will bear on the existing paving and no excavation of the alley will be required for new footings.
- On north face of building remove three wall-mounted, retractable fabric awnings and construct a new canopy consisting of painted steel-frame and glass panels. Canopy will be mounted to the exterior wall and suspended from existing steel outriggers at the roof level.

No.: Revision: Date:

SEAL:

Not For  
Construction

Sheet Title:  
Title Sheet

Graphic Scale:

Drawn By: Checked by:

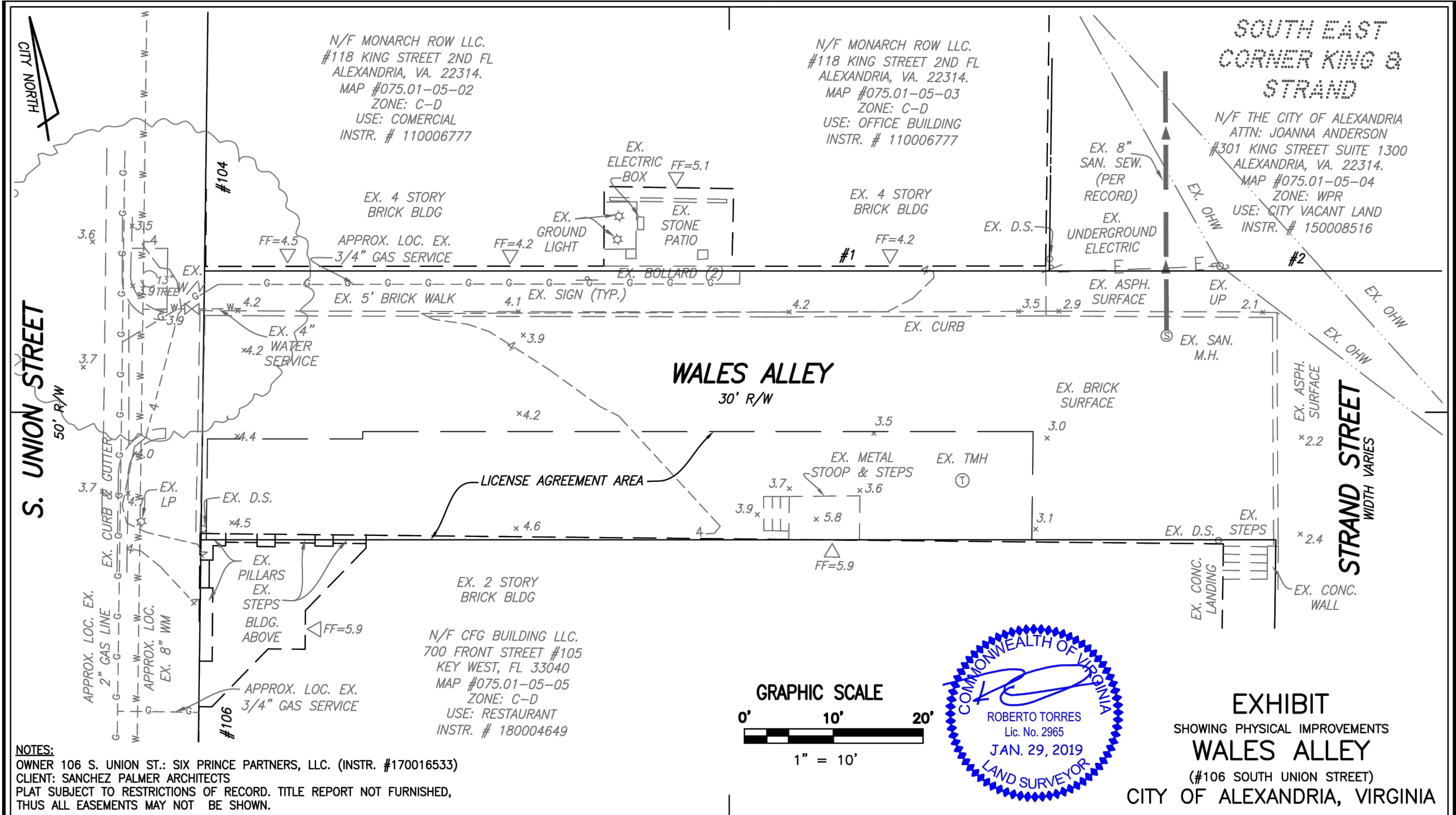
Project No.: Date:

18-280

SHEET NO.

TS





**NOTES:**  
OWNER 106 S. UNION ST.: SIX PRINCE PARTNERS, LLC. (INSTR. #170016533)  
CLIENT: SANCHEZ PALMER ARCHITECTS  
PLAT SUBJECT TO RESTRICTIONS OF RECORD. TITLE REPORT NOT FURNISHED,  
THUS ALL EASEMENTS MAY NOT BE SHOWN.



**EXHIBIT**  
SHOWING PHYSICAL IMPROVEMENTS  
**WALES ALLEY**  
(#106 SOUTH UNION STREET)  
CITY OF ALEXANDRIA, VIRGINIA

ENGINEERING • LAND SURVEYING • PLANNING  
730 S. Washington Street Alexandria, Virginia 22314 (703) 549-6422

**RC FIELDS & ASSOCIATES, INC.**

FILE: **19-018**  
SHEET **1** OF **1**

DRAWN: WDS  
CHECKED: RT  
SCALE: 1/10  
DATE: 1/29/19

Deck & Canopy  
Addition  
106 South Union Street  
Alexandria, Virginia  
22314

SANCHEZ PALMER  
ARCHITECTS, PC  
911 King Street  
Alexandria, Virginia 22314  
703 549 4033

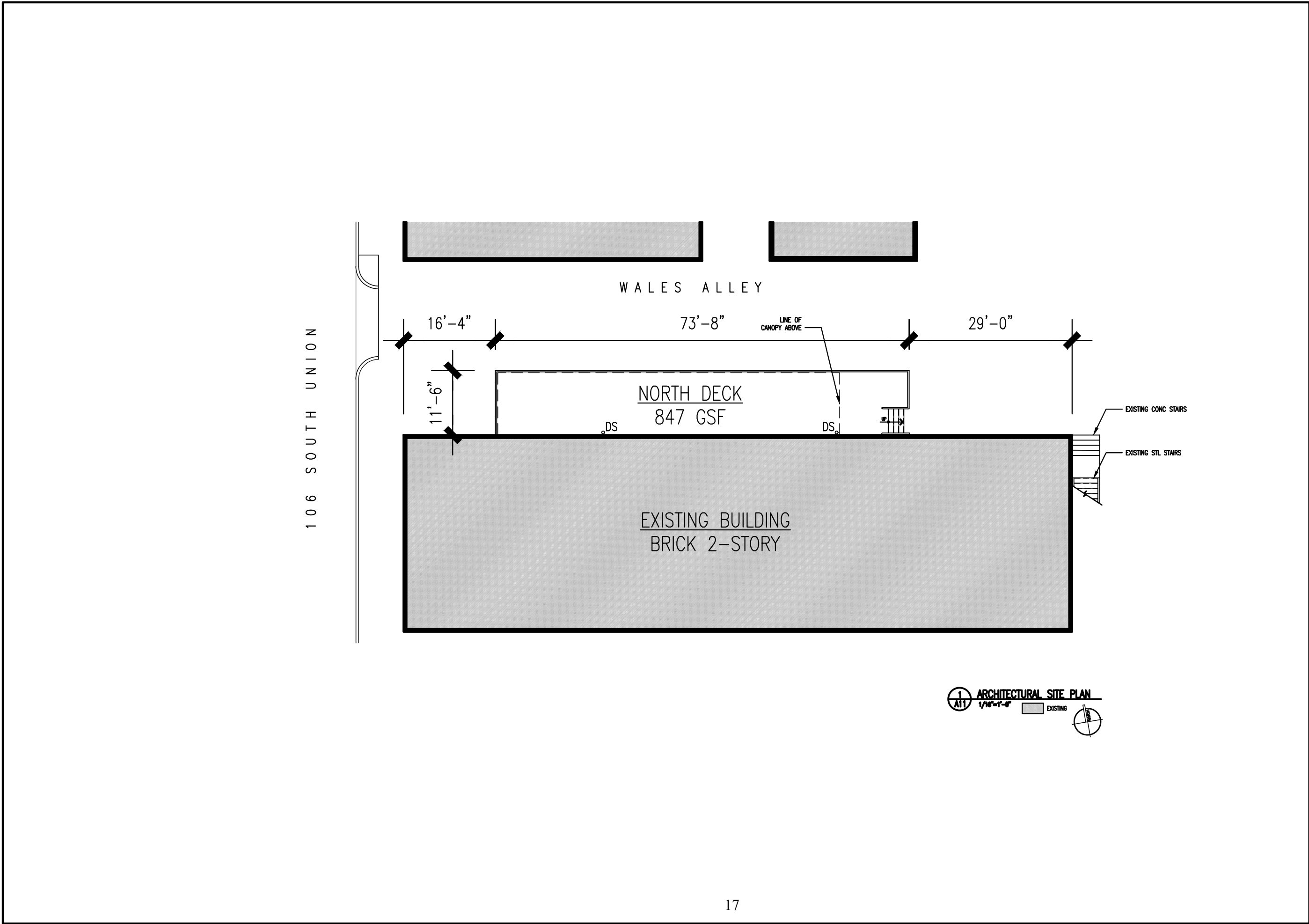
No.: Revision: Date:  
  
  
  
  
  
  
  
  
  
  
SEAL:

Not For  
Construction

Sheet Title:  
Civil Plat

Graphic Scale:  
  
Drawn By: Checked by:  
  
Project No.: Date:  
18-280  
SHEET NO.

A01



Deck & Canopy  
Addition  
106 South Union Street  
Alexandria, Virginia  
22314

SANCHEZ PALMER  
ARCHITECTS, PC  
911 King Street  
Alexandria, Virginia 22314  
703 549 4033

No.: Revision: Date:

SEAL:

Not For  
Construction

Sheet Title:  
Architectural Site Plan

Graphic Scale:

Drawn By: Checked by:

Project No.: Date:  
18-280  
SHEET NO.

A11



REMOVE TIE RODS TYP @ NEW CANOPY  
REMOVE (3) FABRIC AWNINGS

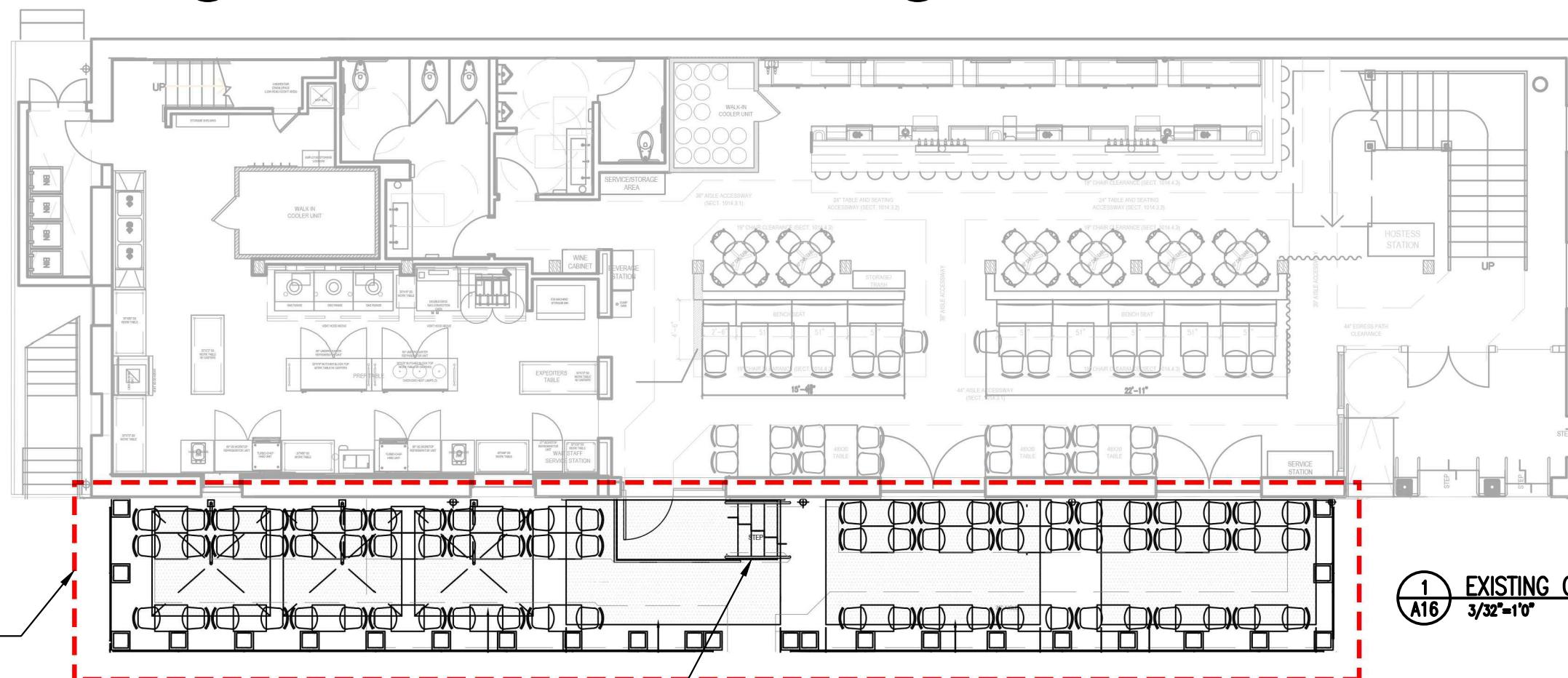


2 EXISTING CONDITIONS FROM WALLES ALLEY  
SCALE: NA

TIE ROD STARS TO REMAIN  
REMOVE (3) FABRIC AWNINGS



1 EXISTING CONDITIONS FROM STRAND ST  
SCALE: NA



1 EXISTING GROUND FLOOR PLAN  
A16 3/32"=1'0"



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SEAL:

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Construction

Sheet Title:  
Existing Floor Plan &  
Demo Notes

Graphic Scale:

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18-280  
SHEET NO.

A16

Deck & Canopy  
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Construction

Sheet Title:  
Existing Roof Plan &  
Demo Notes

Graphic Scale:

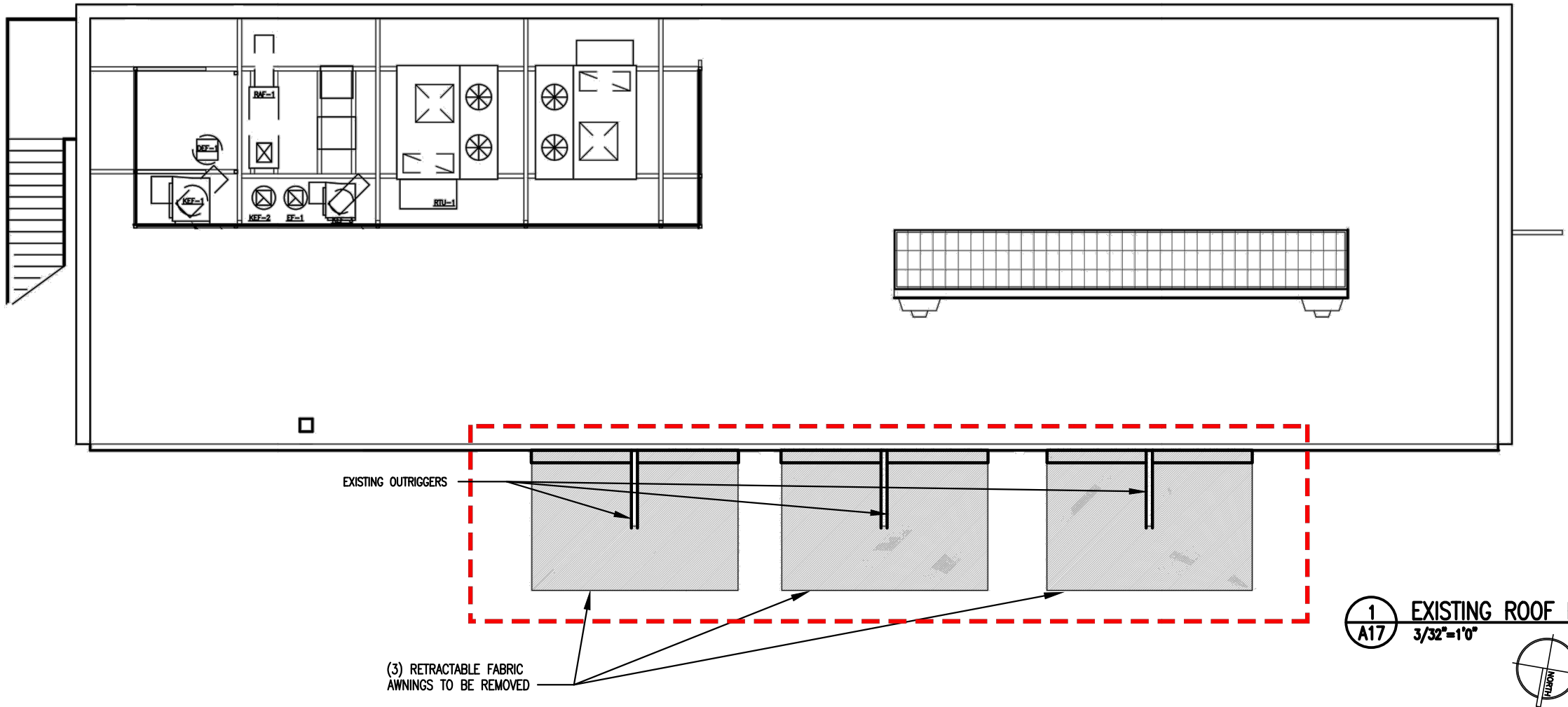
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Project No.: Date:

18-280

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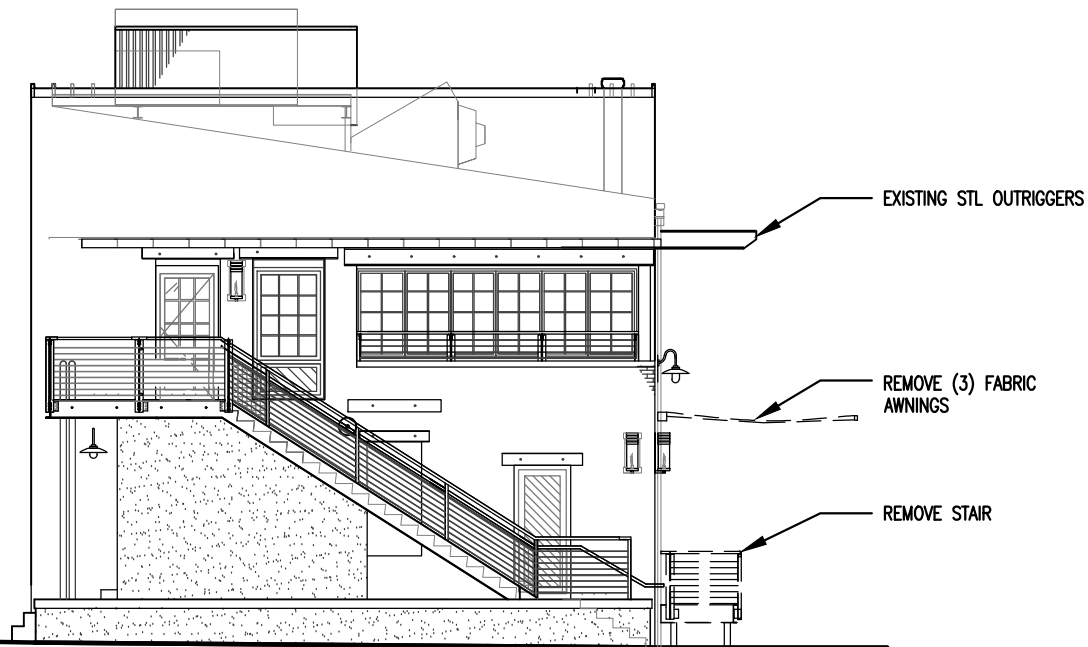
A17



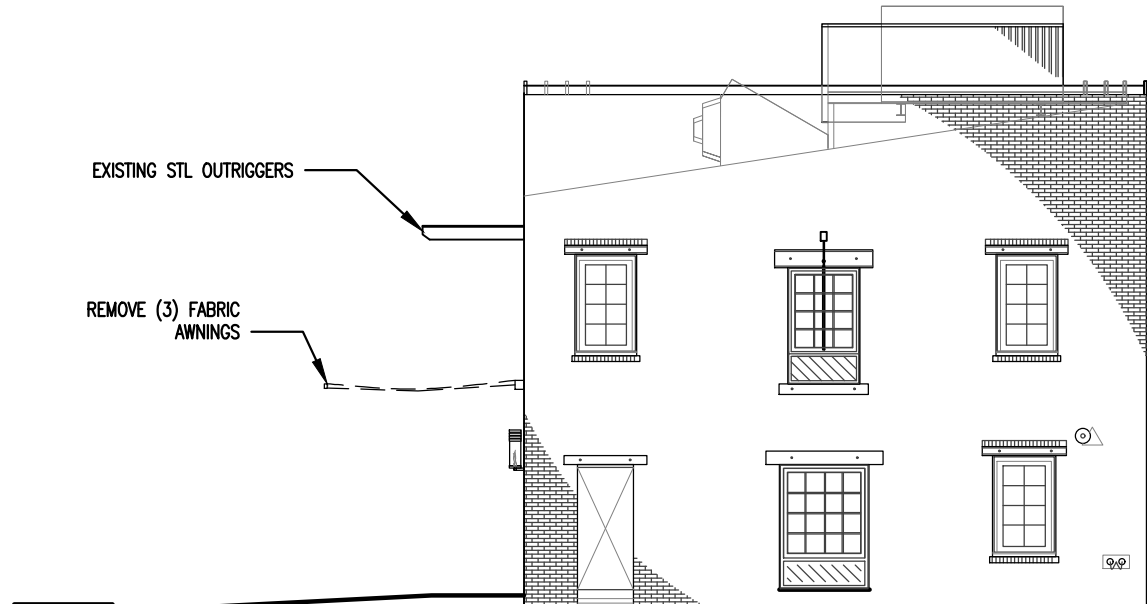


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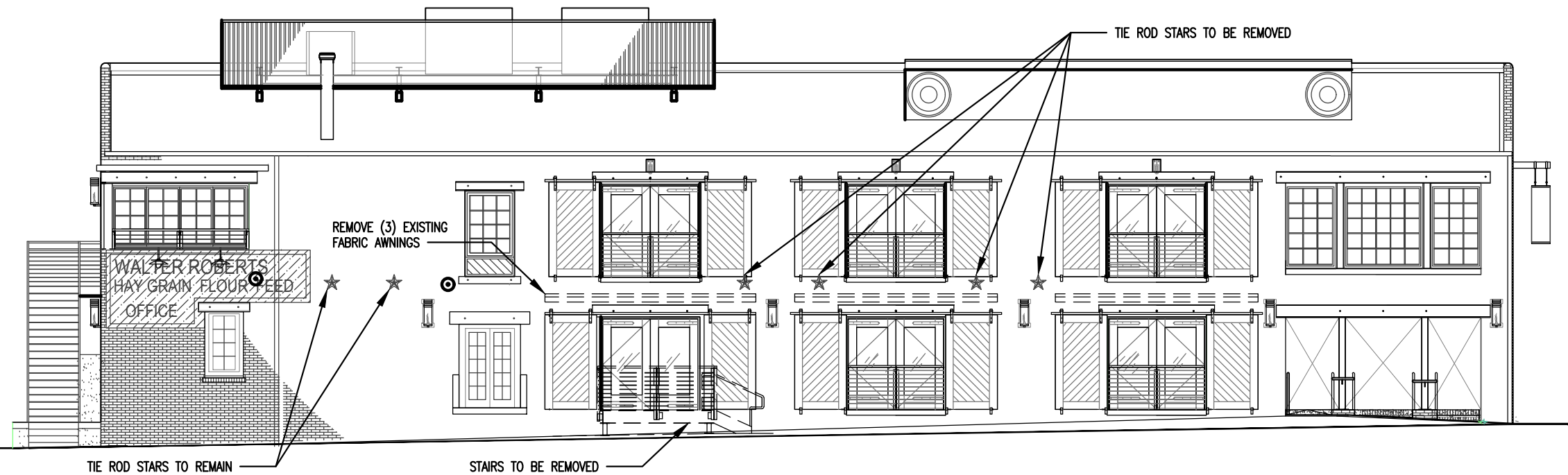
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**3**  
A18 **STRAND ST EXISTING ELEVATION**  
3/32" = 1'-0"



**2**  
A18 **S UNION ST EXISTING ELEVATION**  
3/32" = 1'-0"



**1**  
A18 **WALES ALLEY EXISTING ELEVATION**  
3/32" = 1'-0"

No.: Revision: Date:

SEAL:

Not For  
Construction

Sheet Title:  
Existing Elevations &  
Demo Notes

Graphic Scale:

Drawn By: Checked by:

Project No.: Date:

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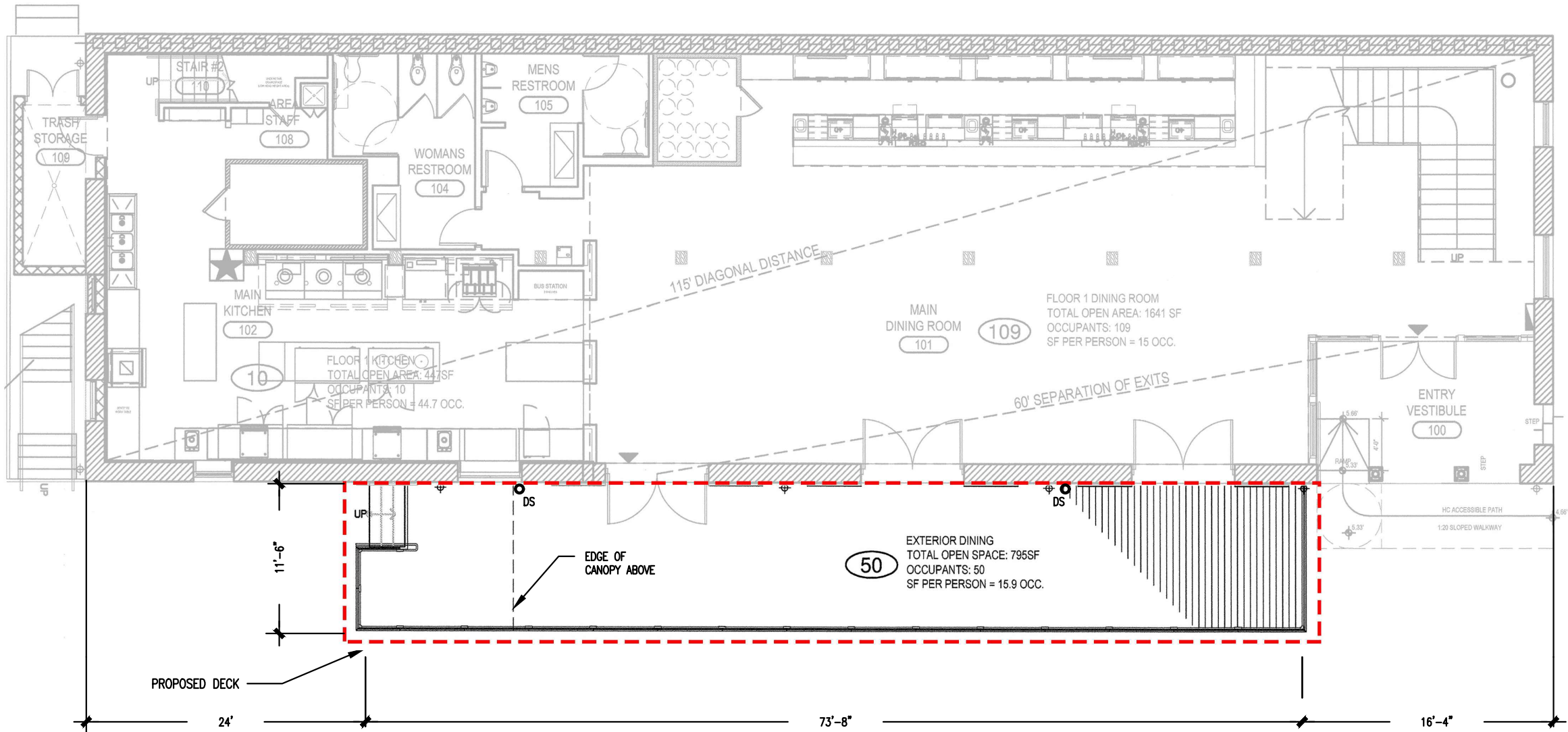
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A18

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ALLOWABLE SEATING CAPACITY  
SUP 2010-010: MAX 350 SEATS LOCATED EITHER OUTSIDE OR INSIDE:  
(SECTION III RECOMMENDED CONDITIONS, ITEM 6)



1  
A21  
PARTIAL GROUND FLOOR PLAN  
3/32" = 1'-0"



No.: Revision: Date:

SEAL:

Not For  
Construction

Sheet Title:  
Ground Floor Plan -  
New Work

Graphic Scale:

Drawn By: Checked by:

Project No.: Date:  
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A21



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No.: Revision: Date:

SEAL:

Not For  
Construction

Sheet Title:  
First Floor Furniture  
Plan

Graphic Scale:

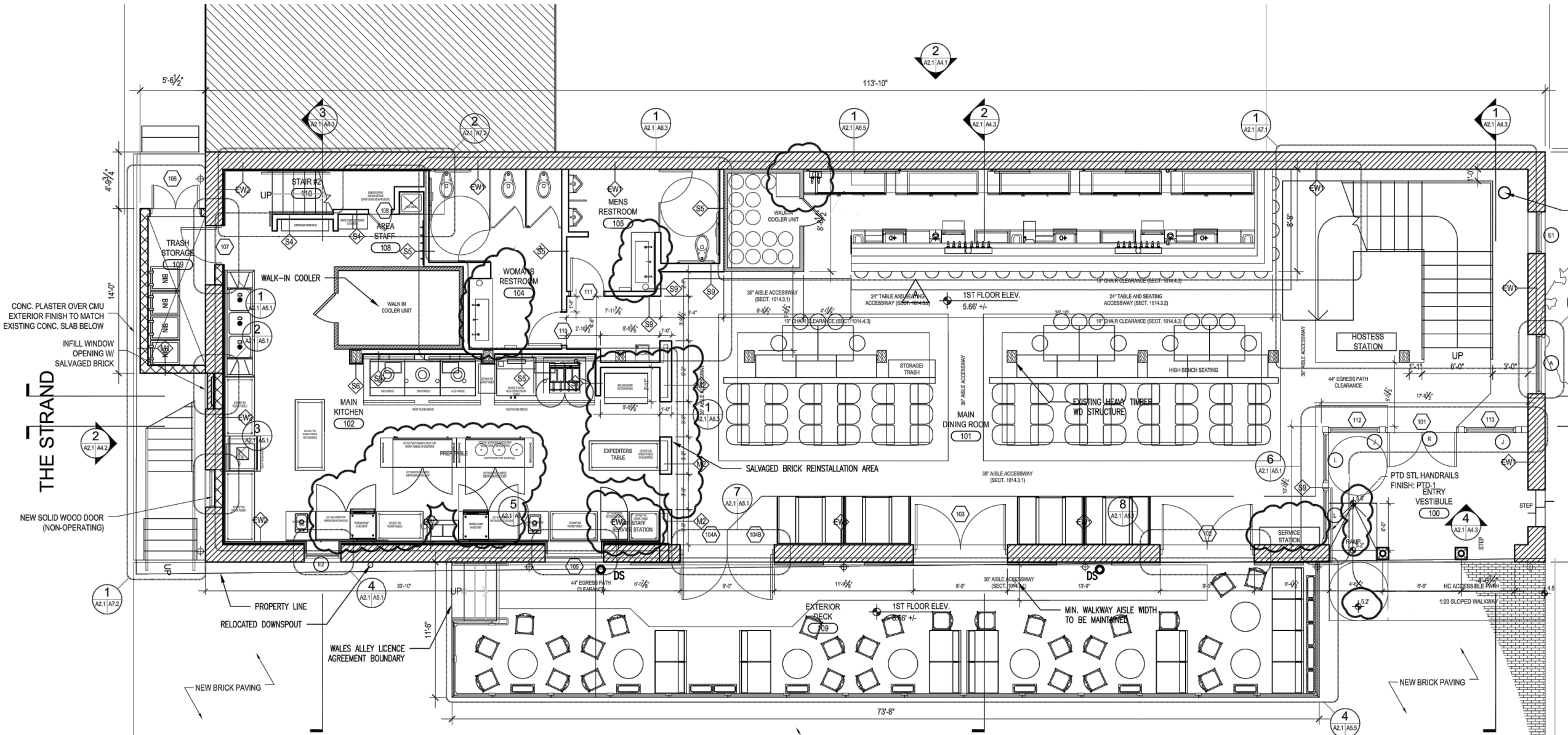
Drawn By: Checked by:

Project No.: Date:

18-280

SHEET NO.

A31

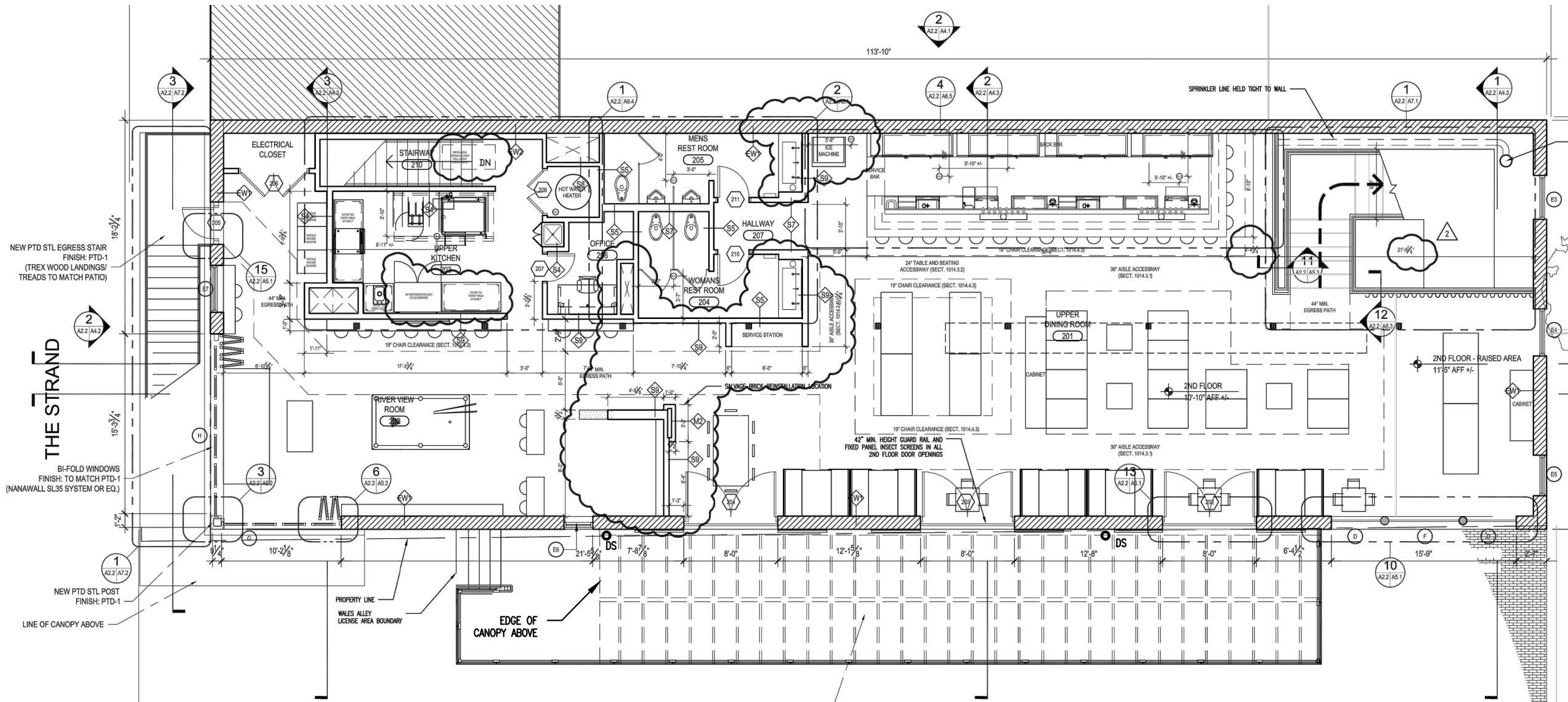


1 FIRST FLOOR FURNITURE PLAN  
A31 3/32" = 1'-0"



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1 SECOND FLOOR FURNITURE PLAN  
A32 3/32" = 1'-0"



No.: Revision: Date:

SEAL:

Not For  
Construction

Sheet Title:  
Second Floor  
Furniture Plan

Graphic Scale:

Drawn By: Checked by:

Project No.: Date:

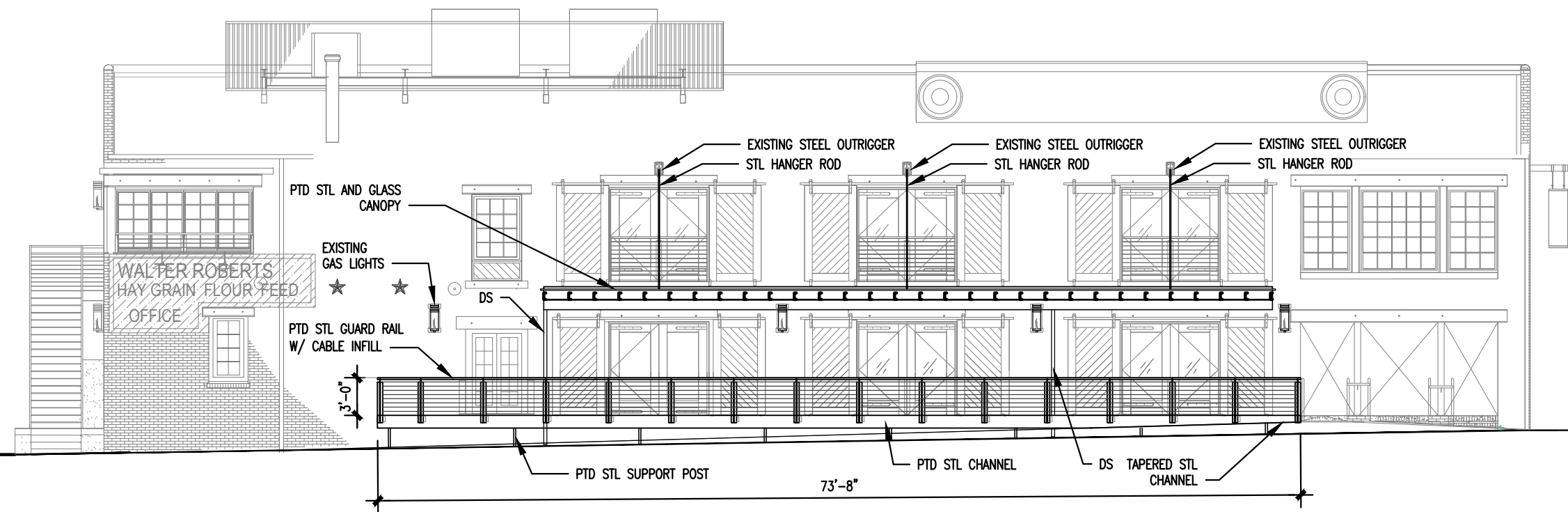
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SHEET NO.

A32

Deck & Canopy  
Addition  
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**DECK:**  
The patio deck for outdoor dining in Wales Alley will be constructed of wood with a steel C-channel at the perimeter supporting the steel and aircraft cable guardrail. The deck surface will be Trex brand composite wood in a Firepit color. The deck is supported by short steel posts extending through the new brick paving surface to the concrete slab below. All metal components to be painted to match existing steel.

**CANOPY:**  
The proposed painted steel and glass canopy projects 10'6" from the north side of the building to cover the outdoor deck and is reminiscent of the canopies typically suspended above loading docks. Canopies in these locations were historically suspended because columns would have interfered with loading activity. The canopy on the north side is suspended by steel rods attached to steel arms projecting from the building wall above the second floor windows. The projecting arms reference the beams and pulleys frequently seen above openings on warehouses or barn hay lofts and were used to raise goods to upper floors. The glass roofing allows filtered light to reach the building and prevents the cover from feeling heavy or obscuring the historic masonry building walls in shadow.

1 NORTH ELEVATION - PROPOSED IMPROVEMENTS  
A41 3/32"=1'-0"

No.: Revision: Date:

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Construction

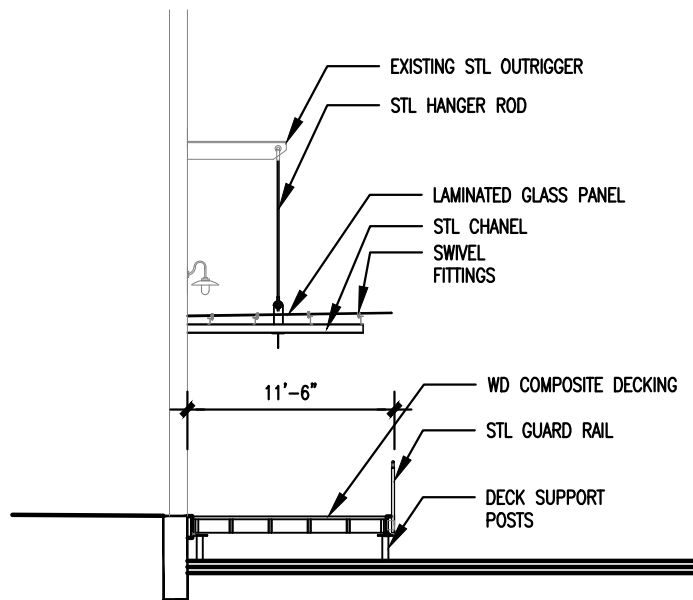
Sheet Title:  
Elevations -  
New Work

Graphic Scale:

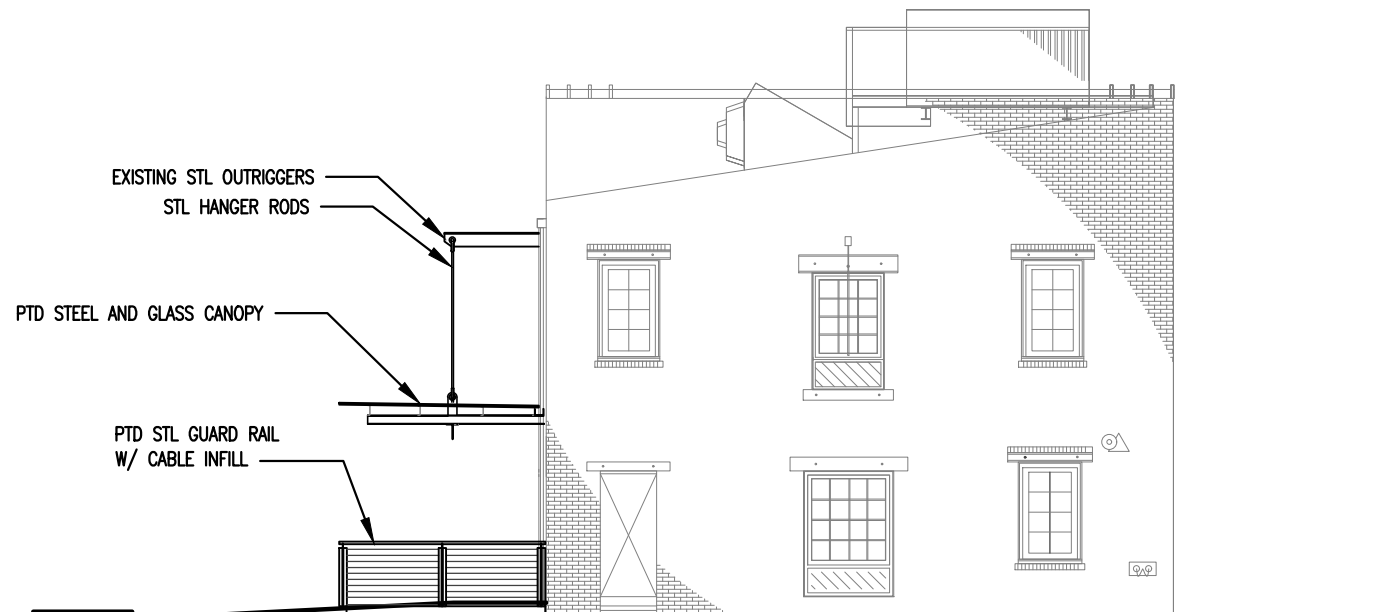
Drawn By: Checked by:

Project No.: Date:  
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SHEET NO.

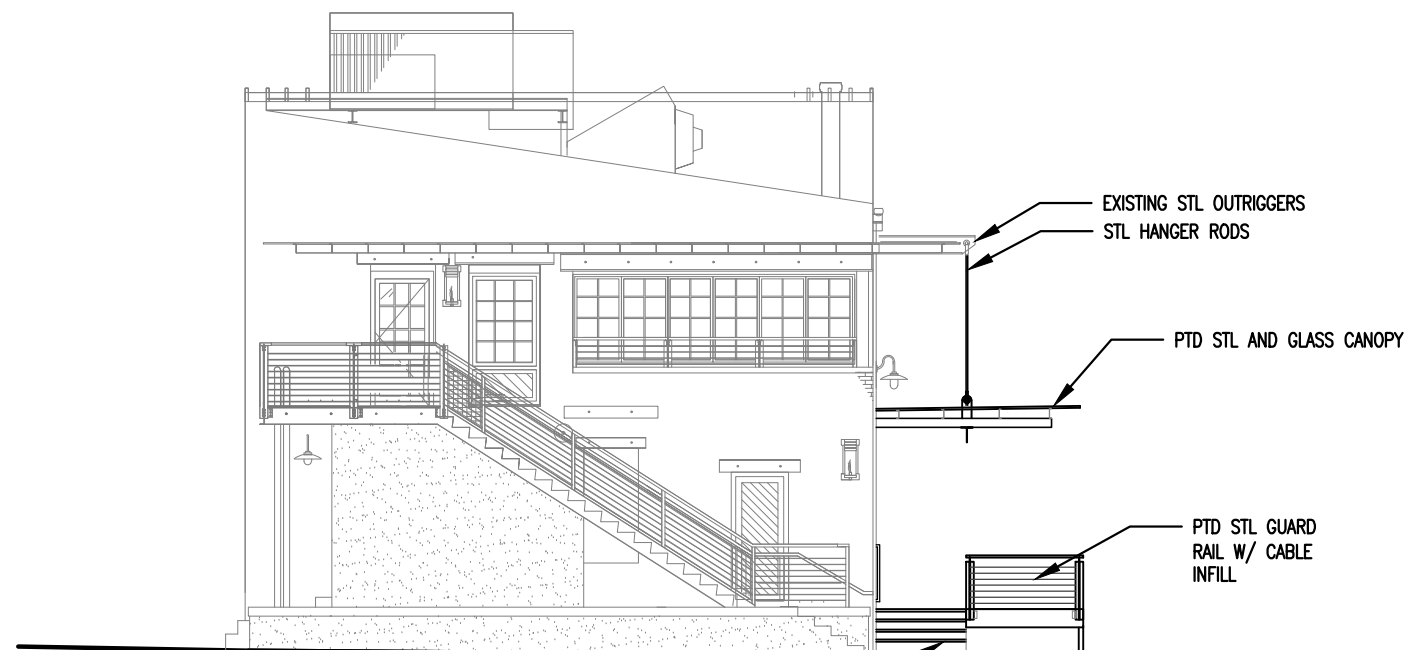
A41



**3 PARTIAL SECTION**  
3/32" = 1'-0"



**2 S UNION ST ELEVATION**  
3/32" = 1'-0"



**1 STRAND ST ELEVATION**  
3/32" = 1'-0"

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SEAL:

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Sheet Title:  
Elevations &  
Partial Section -  
New Work

Graphic Scale:

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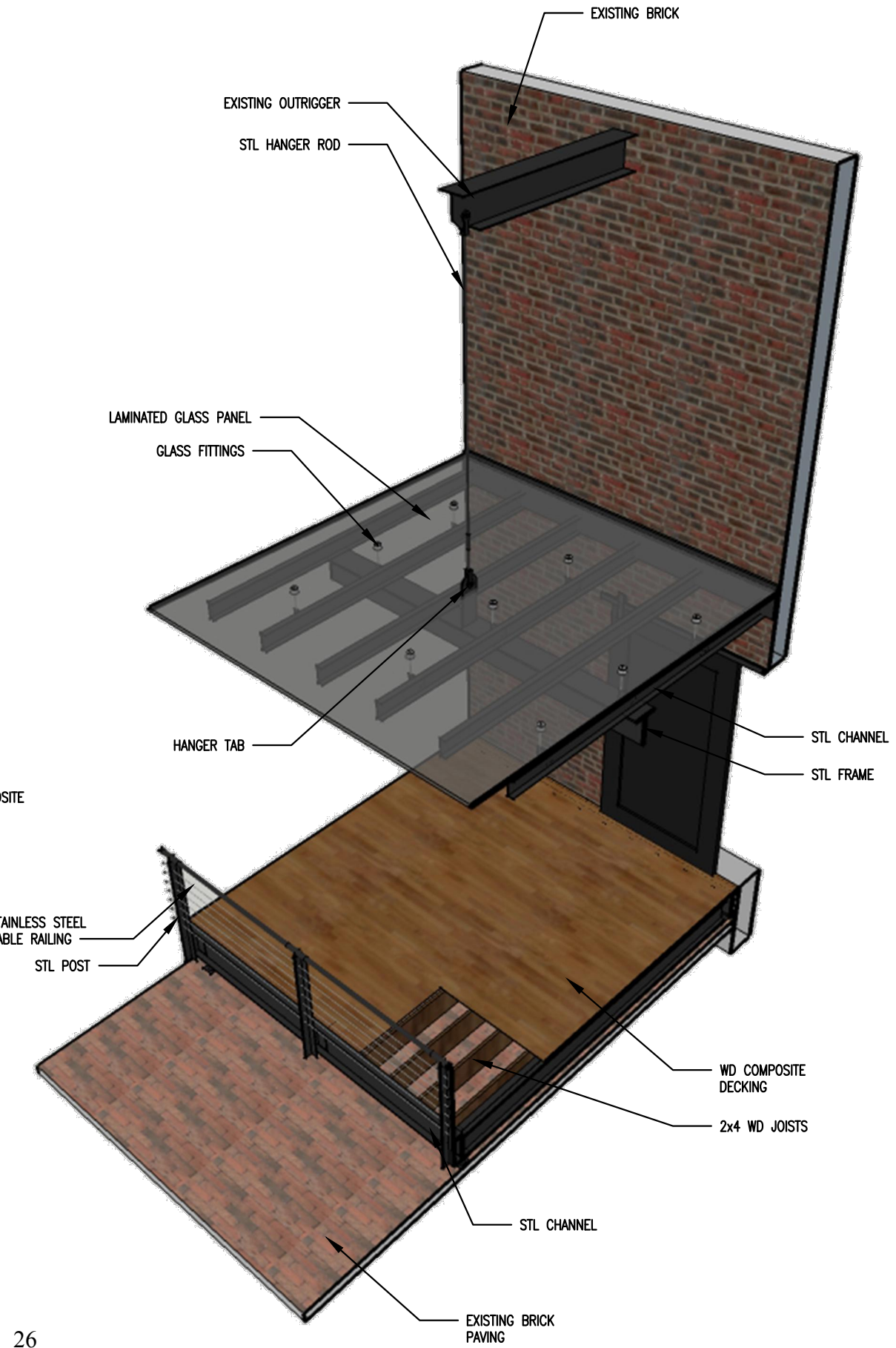
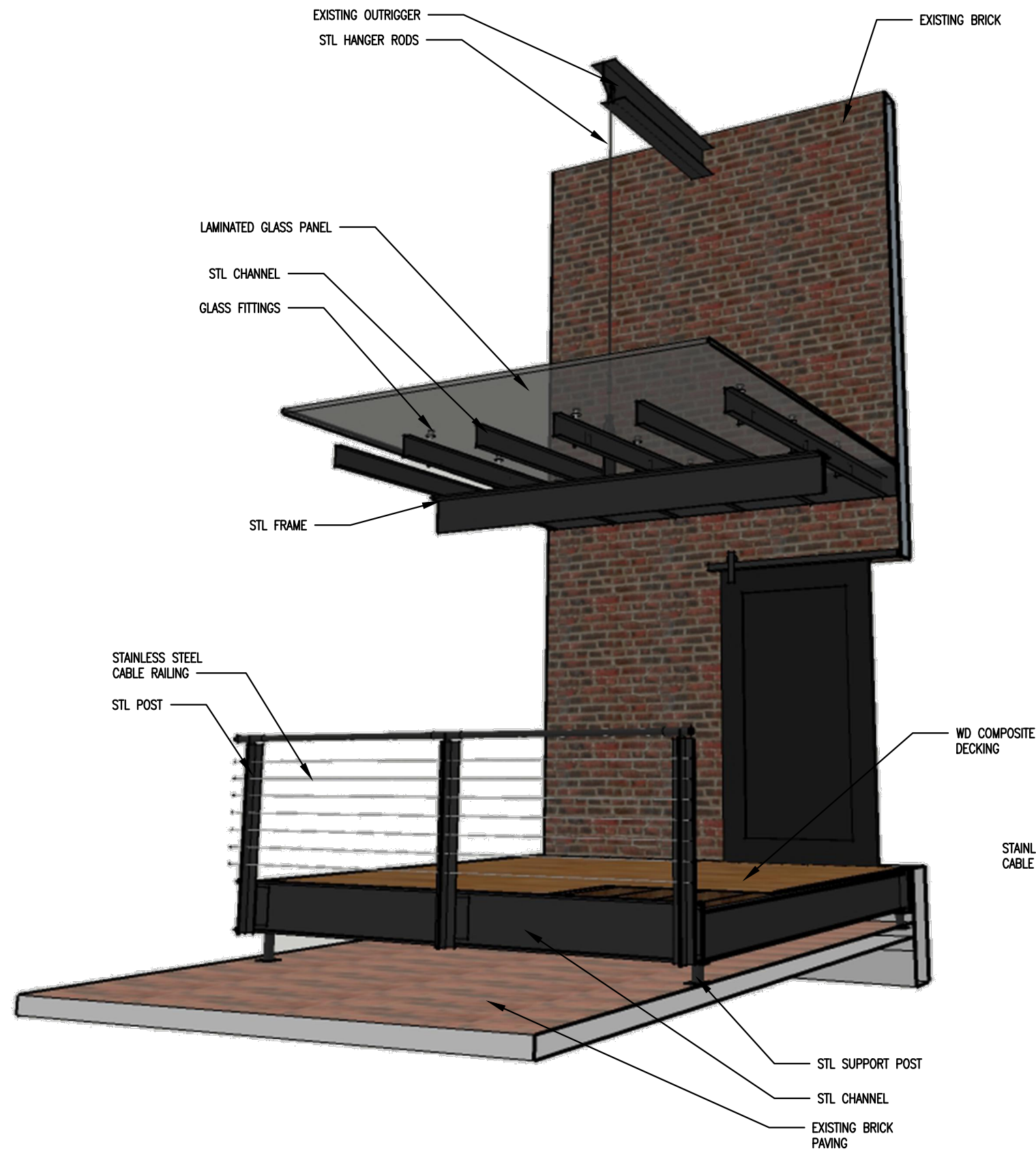
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A42





Deck & Canopy  
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No.:	Revision:	Date:

Not For  
Construction

Sheet Title:	
Partial Section - New Work	
Graphic Scale:	
Drawn By:	Checked by:
Project No.:	Date:
18-280	
SHEET NO.	

A43



Deck & Canopy  
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2 RENDERING – VIEW FROM STRAND ST  
A50 SCALE: NA



1 RENDERING – VIEW FROM WALEY ALLEY  
A50 SCALE: NA

No.: Revision: Date:

SEAL:

Not For  
Construction

Sheet Title:  
Proposed Additions

Graphic Scale:

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SHEET NO.

A50



Wood Composite Decking

JUST ENOUGH COLORS TO MAKE CHOOSING FUN...

AND RIGHT FOR YOU.

**NEW!** **GOOD**  
**TrexEnhance®**  
BASICS

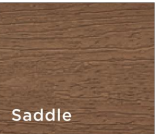
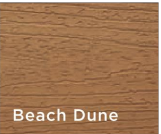
Priced to put the pressure on treated lumber.



Greys



Browns



Reds

**NEW!** **BETTER**  
**TrexEnhance®**  
NATURALS

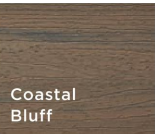
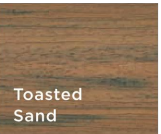
The beauty of wood with the ease of composite.



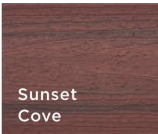
Greys



Browns



Reds



**BETTER**  
**TrexSelect®**  
EARTH TONES

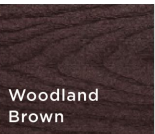
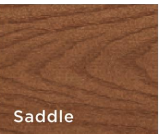
The perfect pairing of price and minimal maintenance.



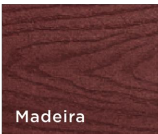
Greys



Browns

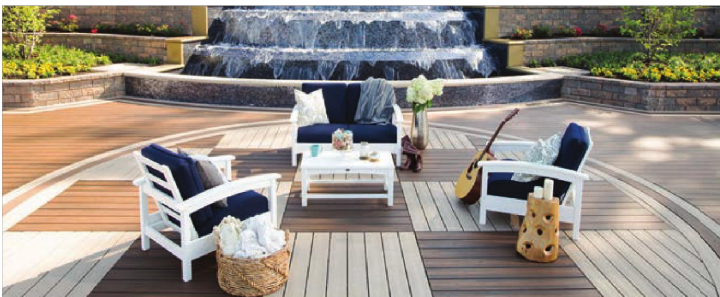


Reds



**BEST**  
**TrexTranscend®**  
EARTH TONES  
& TROPICALS

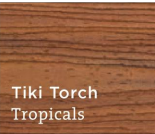
Elevated aesthetics paired with the highest level of performance.



Greys



Browns



Reds



**\$ Price** **Scalloped profile** **Solid profile** **25 25-year Limited Residential and Fade & Stain warranties** **Scratch resistance**

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Spec Sheet

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SHEET NO.

A60