

ISSUE: Certificate of Appropriateness for alterations

APPLICANT: Old Town 1, LLC

LOCATION: Old and Historic Alexandria District
814 King Street

ZONE: KR / King Street Urban Retail

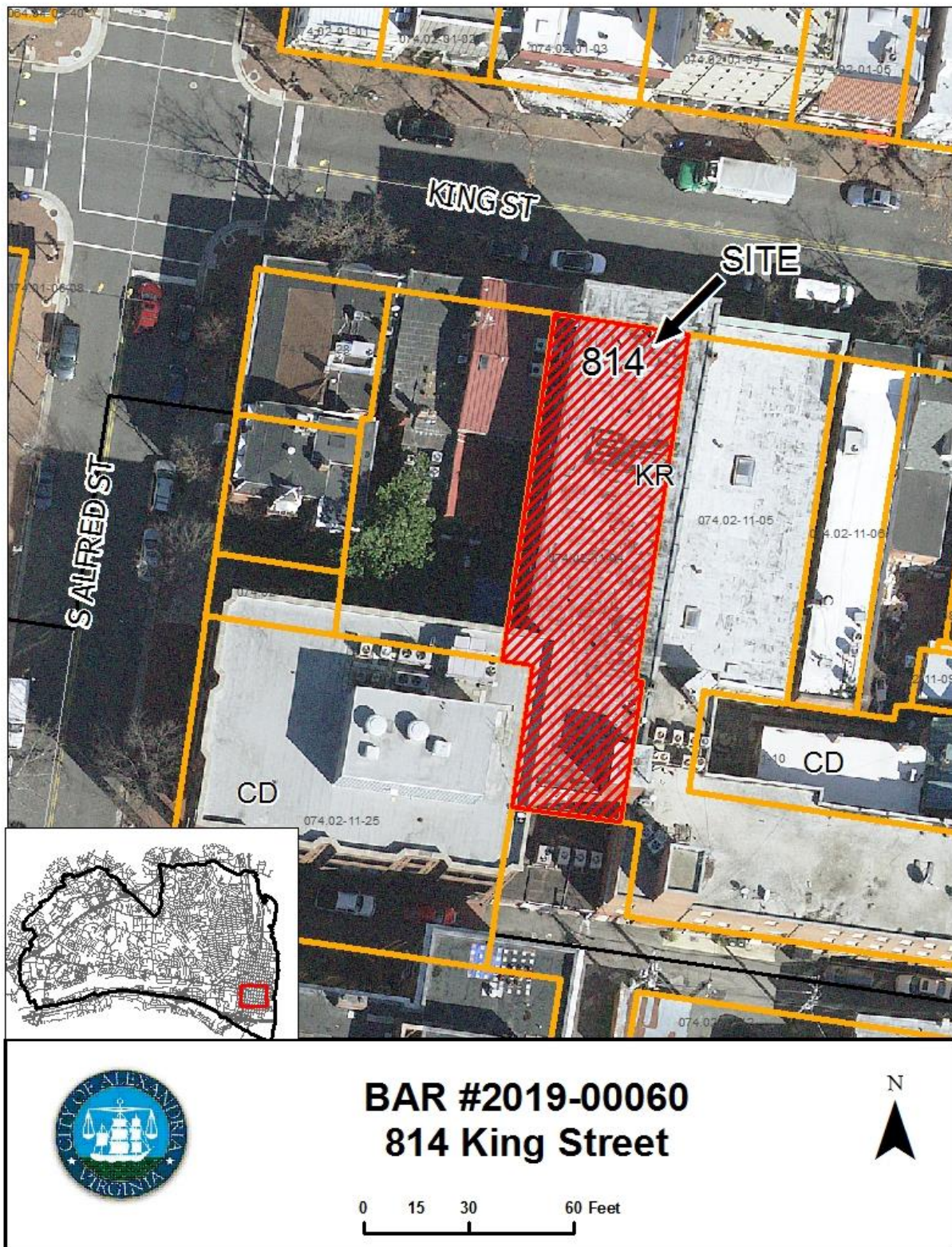
STAFF RECOMMENDATION

Staff recommends approval of the Certificate of Appropriateness for alterations with the following conditions:

- 1, The brightness of the lighting at the entrance is subject to field inspection by staff to ensure lighting levels do not overwhelm the building or its neighbors
2. The final color/temperature of all lighting must be warm (not cool/blue) and no greater than 3000 Kelvin; and,
3. When the existing *Escape Room Live* sign and bracket is relocated due to the installation of the C channel it should be mounted through the mortar joints and not the masonry units.

GENERAL NOTES TO THE APPLICANT

1. **ISSUANCE OF CERTIFICATES OF APPROPRIATENESS AND PERMITS TO DEMOLISH:** Applicants must obtain a copy of the Certificate of Appropriateness or Permit to Demolish PRIOR to applying for a building permit. Contact BAR Staff, Room 2100, City Hall, 703-746-3833, or preservation@alexandriava.gov for further information.
2. **APPEAL OF DECISION:** In accordance with the Zoning Ordinance, if the Board of Architectural Review denies or approves an application in whole or in part, the applicant or opponent may appeal the Board's decision to City Council on or before 14 days after the decision of the Board.
3. **COMPLIANCE WITH BAR POLICIES:** All materials must comply with the BAR's adopted policies unless otherwise specifically approved.
4. **BUILDING PERMITS:** Most projects approved by the Board of Architectural Review require the issuance of one or more construction permits by Department of Code Administration (including signs). The applicant is responsible for obtaining all necessary construction permits after receiving Board of Architectural Review approval. Contact Code Administration, Room 4200, City Hall, 703-746-4200 for further information.
5. **EXPIRATION OF APPROVALS NOTE:** In accordance with Sections 10-106(B) and 10-206(B) of the Zoning Ordinance, any official Board of Architectural Review approval will expire 12 months from the date of issuance if the work is not commenced and diligently and substantially pursued by the end of that 12-month period.
6. **HISTORIC PROPERTY TAX CREDITS:** Applicants performing extensive, certified rehabilitations of historic properties may separately be eligible for state and/or federal tax credits. Consult with the Virginia Department of Historic Resources (VDHR) prior to initiating any work to determine whether the proposed project may qualify for such credits.



I. APPLICANT'S PROPOSAL

The applicant is requesting a Certificate of Appropriateness to install new storefront windows, entry doors, exterior building lighting and a decorative header/signage beam at 814 King Street.

Storefront Improvements

The proposal is to replace the existing aluminum storefront and entrance doors with an EFCO Series 401 aluminum storefront product. The new black aluminum storefront will replace the aging and fading Cherokee red aluminum storefront. A 14" x 38'-2" steel channel beam will be installed and will span nearly the full width of the storefront and will be used as a sign band for a future tenant.

The applicant proposes to replace the four aging traditional style incandescent exterior lighting fixtures with four new modern 20" aluminum black finish Oberon LED wall sconces. Final lighting levels can be adjusted on site and field inspected by staff, as typically required by the BAR.

The applicant has provided some signage details, but they are for illustrative purposes only. The applicant will return to the BAR for approval of signage for a new first floor tenant. The existing *Escape Room Live* sign will be relocated on the facade.

II. HISTORY

Originally constructed as a furniture store in the early 20th century, 814 King Street is a four-story, three-bay early modern commercial building (Figure 1). According to historical Sanborn fire insurance maps the building was constructed between **1912 and 1920**. The exposed upper east and west elevations have faded (ghost) signs identifying the building's prior use as a furniture factory and retail store.



Figure 1: Existing Conditions 814 King Street

Previous BAR Approvals

In the late 1990s, the BAR approved significant alterations that modified the fenestration of the building including doors and bay windows on the first floor, as well as an awning and signage.

BAR Case #1996-0013	1/17/96
BAR Case #1997-0020	2/19/97
BAR Case #1998-00018	2/18/98

More recently, in 2015 (BAR Case #2015-00231), staff administratively approved the Escape Room Live projecting sign, and in 2018 the BAR approved the demolition of a chimney along the east elevation (BAR Case # 2018-00340, 9/5/18)

III. ANALYSIS

Staff is supportive of the new storefront and entrance alterations to the building, noting the need for appropriate lighting temperature/color and intensity levels. Staff supports the installation of the new C channel beam because it is architecturally consistent with the early 20th century industrial character of this building. The masonry surrounding the storefront on the first floor was previously altered and is not original to the building. However, with appropriate mounting of the header beam (see supplemental drawing detail ASK-1), the existing masonry building will not be damaged or destroyed and in the future this feature could be easily removed with little visual impact. The framing of the existing storefront bay windows, while sculptural, block the view of

retail displays and the applicant proposes a simpler, more open design. The *Design Guidelines* state “Reflective and tinted glass is not appropriate in the historic district”. As noted in the applicant’s materials, only clear glass will be utilized within the new aluminum storefront and entrance doors.

Lighting

With respect to lighting and the relatively new LED technology being used, the BAR’s general direction to staff regarding architectural, or building, lighting is that the quantity of fixtures, the color of the light, the cumulative number of fixtures and overall brightness should not overwhelm the building or its neighbors on the block and that the brightness of the lighting should not be used as a *sign* for the business. Fortunately, the proposed facade light sconces will utilize modern LED dimming technology. In consultation with staff on-site at night, lighting levels should be field adjusted as necessary.

The issue of the color, or temperature, of LED lights has also been discussed by the BAR in the past few years as these energy efficient bulbs have become more popular and the consensus has been that the color of the LED lighting should be warmer (yellow) rather than cooler (blue) and have a temperature measuring no greater than 4000 Kelvin, with 3000 Kelvin strongly preferred. Based on staff’s recent experience with the replacement Gadsby street lights, the warmer light colors are now more widely available than they were several years ago, and all the new City street lights are expected to be 3000K, as requested by the BAR. The proposed specific sconce manufacturer details indicate the new lighting fixtures are dimmable from 10%-100% and the color temperature is 3000K. Staff supports the installation of these new energy efficient lighting fixtures.

Signage

The applicant has provided several details related to future signage on the building for the proposed tenant, Random Harvest, moving from next door. However, they are provided for illustrative purposes only and the applicant intends to return to the BAR with additional details. Staff cannot administratively approve the signage shown on the drawing because it exceeds the square footage allowance for administrative approval. Staff notes that the installation of the new C channel requires the relocation of the Escape Room Live projecting hanging sign and reminds the applicant that it should be installed into the mortar joints and not the masonry units per the 2015 BAR approval.

Staff notes that the applicant originally submitted a request for an associated Permit to Demolish; however, the proposal requires only a Certificate of Appropriateness and the applicant will be refunded the cost of the Permit to Demolish.

STAFF

Henry Hollander, Planning & Zoning
Stephanie Sample, Acting Principal Planner, Planning & Zoning
Al Cox, FAIA, Historic Preservation Manager, Planning & Zoning

IV. CITY DEPARTMENT COMMENTS

Legend: C- code requirement R- recommendation S- suggestion F- finding

Zoning

- C-1 Proposed alterations will comply with zoning.
- C-2 Proposed sign square footage will comply with zoning.

Code Administration

- C-1 A building permit, plan review and inspections are required prior to the start of construction.

Transportation and Environmental Services

- R-1 The building permit must be approved and issued prior to the issuance of any permit for demolition, if a separate demolition permit is required. (T&ES)
- R-2 Applicant shall be responsible for repairs to the adjacent city right-of-way if damaged during construction activity. (T&ES)
- R-3 No permanent structure may be constructed over any existing private and/or public utility easements. It is the responsibility of the applicant to identify any and all existing easements on the plan. (T&ES)
- F-1 After review of the information provided, an approved grading plan is not required at this time. Please note that if any changes are made to the plan it is suggested that T&ES be included in the review. (T&ES)
- F-2 If the alley located at the rear of the parcel is to be used at any point of the construction process the following will be required:
For a Public Alley - The applicant shall contact T&ES, Construction Permitting & Inspections at (703) 746-4035 to discuss any permits and accommodation requirements that will be required.
For a Private Alley - The applicant must provide proof, in the form of an affidavit at a minimum, from owner of the alley granting permission of use. (T&ES)
- C-1 The applicant shall comply with the City of Alexandria's Solid Waste Control, Title 5, Chapter 1, which sets forth the requirements for the recycling of materials (Sec. 5-1-99). (T&ES)
- C-2 The applicant shall comply with the City of Alexandria's Noise Control Code, Title 11, Chapter 5, which sets the maximum permissible noise level as measured at the property line. (T&ES)

- C-3 Roof, surface and sub-surface drains be connected to the public storm sewer system, if available, by continuous underground pipe. Where storm sewer is not available applicant must provide a design to mitigate impact of stormwater drainage onto adjacent properties and to the satisfaction of the Director of Transportation & Environmental Services. (Sec.5-6-224) (T&ES)
- C-4 All secondary utilities serving this site shall be placed underground. (Sec. 5-3-3) (T&ES)
- C-5 Any work within the right-of-way requires a separate permit from T&ES. (Sec. 5-2) (T&ES)
- C-6 All improvements to the city right-of-way such as curbing, sidewalk, driveway aprons, etc. must be city standard design. (Sec. 5-2-1) (T&ES)
- C-7 An encroachment request will be required for projections into the public right of way. (T&ES)
- C-8 The owner shall obtain and maintain a policy of general liability insurance in the amount of \$1,000,000 which will indemnify the owner (and all successors in interest); and the City as an Additional Insured, against claims, demands, suits and related costs, including attorneys' fees, arising from any bodily injury or property damage which may occur as a result of the encroachment. (Sec. 5-29 (h)(1)) (T&ES)

Please submit Insurance Certificate:

City of Alexandria

T&ES

Attn: Heather Diez

301 King Street, Room 4130

Alexandria, VA 22314

Alexandria Archaeology

- F-1 Archaeological oversight will not be necessary for this demolition project.

V. ATTACHMENTS

1 – Supplemental Materials

2 – Application for BAR 2019-00060: 814 King Street

BAR Case # _____

ADDRESS OF PROJECT: 814 KING STREET

DISTRICT: ☒ Old & Historic Alexandria ☐ Parker – Gray ☐ 100 Year Old Building

TAX MAP AND PARCEL: 074.02-11-05 ZONING: KR

APPLICATION FOR: *(Please check all that apply)*

☒ CERTIFICATE OF APPROPRIATENESS

☒ PERMIT TO MOVE, REMOVE, ENCAPSULATE OR DEMOLISH
(Required if more than 25 square feet of a structure is to be demolished/impacted)

☐ WAIVER OF VISION CLEARANCE REQUIREMENT and/or YARD REQUIREMENTS IN A VISION
CLEARANCE AREA (Section 7-802, Alexandria 1992 Zoning Ordinance)

☐ WAIVER OF ROOFTOP HVAC SCREENING REQUIREMENT
(Section 6-403(B)(3), Alexandria 1992 Zoning Ordinance)

Applicant: ☒ Property Owner ☐ Business *(Please provide business name & contact person)*

Name: OLD TOWN 1 LLC

Address: 1616 CAMDEN ROAD SUITE, 210

City: CHARLOTTE State: NC Zip: 28203

Phone: 704-423-1723 E-mail: RKRACKE@ASANAPARTNERS.COM

Authorized Agent *(if applicable)*: ☐ Attorney ☒ Architect ☐ _____

Name: PAUL BECKMANN, AIA Phone: 703 529 9165

E-mail: PBECKMANN@KERNSGROUP.COM

Legal Property Owner:

Name: OLD TOWN 1 LLC

Address: 1616 CAMDEN ROAD SUITE, 210

City: CHARLOTTE State: NC Zip: 28203

Phone: 704-423-1723 E-mail: RKRACKE@ASANAPARTNERS.COM

- ☐ Yes ☒ No Is there an historic preservation easement on this property?
☐ Yes ☐ No If yes, has the easement holder agreed to the proposed alterations?
☐ Yes ☒ No Is there a homeowner's association for this property?
☐ Yes ☐ No If yes, has the homeowner's association approved the proposed alterations?

If you answered yes to any of the above, please attach a copy of the letter approving the project.

NATURE OF PROPOSED WORK: *Please check all that apply*

- ☐ NEW CONSTRUCTION
- ☒ EXTERIOR ALTERATION: *Please check all that apply.*
- | | | | |
|--|---|---|-----------------------------------|
| <input type="checkbox"/> awning | <input type="checkbox"/> fence, gate or garden wall | <input type="checkbox"/> HVAC equipment | <input type="checkbox"/> shutters |
| <input checked="" type="checkbox"/> doors | <input checked="" type="checkbox"/> windows | <input type="checkbox"/> siding | <input type="checkbox"/> shed |
| <input checked="" type="checkbox"/> lighting | <input type="checkbox"/> pergola/trellis | <input type="checkbox"/> painting unpainted masonry | |
| <input type="checkbox"/> other _____ | | | |
- ☐ ADDITION
- ☒ DEMOLITION/ENCAPSULATION
- ☒ SIGNAGE

DESCRIPTION OF PROPOSED WORK: *Please describe the proposed work in detail (Additional pages may be attached).*

REMOVAL OF EXISTING GROUND FLOOR STOREFRONT WINDOWS AND ENTRY DOOR. INSTALLATION OF NEW STOREFRONT WINDOWS AND ENTRY DOORS. INSTALLATION OF NEW EXTERIOR BUILDING LIGHTING. INSTALLATION OF NEW DECORATIVE HEADER BEAM OVER GROUND FLOOR STOREFRONT AND LOBBY ENTRY OPENINGS. PROPOSAL OF SIGNAGE MASTER PLAN FOR FACADE. SPECIFIC SIGNAGE GRAPHICS TO BE SUBMITTED UNDER A SEPARATE APPLICATION.

SUBMITTAL REQUIREMENTS:

Items listed below comprise the **minimum supporting materials** for BAR applications. Staff may request additional information during application review. Please refer to the relevant section of the *Design Guidelines* for further information on appropriate treatments.

Applicants must use the checklist below to ensure the application is complete. Include all information and material that are necessary to thoroughly describe the project. Incomplete applications will delay the docketing of the application for review. Pre-application meetings are required for all proposed additions. All applicants are encouraged to meet with staff prior to submission of a completed application.

Electronic copies of submission materials should be submitted whenever possible.

Demolition/Encapsulation : *All applicants requesting 25 square feet or more of demolition/encapsulation must complete this section. Check N/A if an item in this section does not apply to your project.*

- N/A
- ☐ ☒ Survey plat showing the extent of the proposed demolition/encapsulation.
- ☒ ☐ Existing elevation drawings clearly showing all elements proposed for demolition/encapsulation.
- ☐ ☒ Clear and labeled photographs of all elevations of the building if the entire structure is proposed to be demolished.
- ☒ ☐ Description of the reason for demolition/encapsulation.
- ☐ ☒ Description of the alternatives to demolition/encapsulation and why such alternatives are not considered feasible.

Additions & New Construction: Drawings must be to scale and should not exceed 11" x 17" unless approved by staff. All plans must be folded and collated into 3 complete 8 1/2" x 11" sets. Additional copies may be requested by staff for large-scale development projects or projects fronting Washington Street. Check N/A if an item in this section does not apply to your project.

- ☐ ☐ N/A Scaled survey plat showing dimensions of lot and location of existing building and other structures on the lot, location of proposed structure or addition, dimensions of existing structure(s), proposed addition or new construction, and all exterior, ground and roof mounted equipment.
- ☐ ☐ FAR & Open Space calculation form.
- ☐ ☐ Clear and labeled photographs of the site, surrounding properties and existing structures, if applicable.
- ☐ ☐ Existing elevations must be scaled and include dimensions.
- ☐ ☐ Proposed elevations must be scaled and include dimensions. Include the relationship to adjacent structures in plan and elevations.
- ☐ ☐ Materials and colors to be used must be specified and delineated on the drawings. Actual samples may be provided or required.
- ☐ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☐ ☐ For development site plan projects, a model showing mass relationships to adjacent properties and structures.

Signs & Awnings: One sign per building under one square foot does not require BAR approval unless illuminated. All other signs including window signs require BAR approval. Check N/A if an item in this section does not apply to your project.

- ☒ ☐ N/A Linear feet of building: Front: 38'-10" Secondary front (if corner lot): _____
- ☐ ☐ Square feet of existing signs to remain: _____
- ☒ ☐ Photograph of building showing existing conditions.
- ☐ ☐ Dimensioned drawings of proposed sign identifying materials, color, lettering style and text.
- ☐ ☐ Location of sign (show exact location on building including the height above sidewalk).
- ☐ ☐ Means of attachment (drawing or manufacturer's cut sheet of bracket if applicable).
- ☐ ☐ Description of lighting (if applicable). Include manufacturer's cut sheet for any new lighting fixtures and information detailing how it will be attached to the building's facade.

Alterations: Check N/A if an item in this section does not apply to your project.

- ☐ ☒ N/A Clear and labeled photographs of the site, especially the area being impacted by the alterations, all sides of the building and any pertinent details.
- ☒ ☐ Manufacturer's specifications for materials to include, but not limited to: roofing, siding, windows, doors, lighting, fencing, HVAC equipment and walls.
- ☒ ☐ Drawings accurately representing the changes to the proposed structure, including materials and overall dimensions. Drawings must be to scale.
- ☐ ☒ An official survey plat showing the proposed locations of HVAC units, fences, and sheds.
- ☒ ☐ Historic elevations or photographs should accompany any request to return a structure to an earlier appearance.

ALL APPLICATIONS: *Please read and check that you have read and understand the following items:*

- ☒ I have submitted a filing fee with this application. (Checks should be made payable to the City of Alexandria. Please contact staff for assistance in determining the appropriate fee.)
- ☒ I understand the notice requirements and will return a copy of the three respective notice forms to BAR staff at least five days prior to the hearing. If I am unsure to whom I should send notice I will contact Planning and Zoning staff for assistance in identifying adjacent parcels.
- ☒ I, the applicant, or an authorized representative will be present at the public hearing.
- ☒ I understand that any revisions to this initial application submission (including applications deferred for restudy) must be accompanied by the BAR Supplemental form and 3 sets of revised materials.

The undersigned hereby attests that all of the information herein provided including the site plan, building elevations, prospective drawings of the project, and written descriptive information are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The undersigned also hereby authorizes the City staff and members of the BAR to inspect this site as necessary in the course of research and evaluating the application. The applicant, if other than the property owner, also attests that he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Signature: _____

Printed Name: Paul Beckmann, AIA

Date: 2/19/2019

OWNERSHIP AND DISCLOSURE STATEMENT

Use additional sheets if necessary

1. Applicant. State the name, address and percent of ownership of any person or entity owning an interest in the applicant, unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. OLD TOWN 1, LLC	1616 CAMDEN RD., SUITE 210 CHARLOTTE, NC 28203	100%
2.		
3.		

2. Property. State the name, address and percent of ownership of any person or entity owning an interest in the property located at 814 King Street (address), unless the entity is a corporation or partnership, in which case identify each owner of more than three percent. The term ownership interest shall include any legal or equitable interest held at the time of the application in the real property which is the subject of the application.

Name	Address	Percent of Ownership
1. OLD TOWN 1, LLC	1616 CAMDEN RD., SUITE 210 CHARLOTTE, NC 28203	100%
2.		
3.		

3. Business or Financial Relationships. Each person or entity listed above (1 and 2), with an ownership interest in the applicant or in the subject property is required to disclose any business or financial relationship, as defined by Section 11-350 of the Zoning Ordinance, existing at the time of this application, or within the 12-month period prior to the submission of this application with any member of the Alexandria City Council, Planning Commission, Board of Zoning Appeals or either Boards of Architectural Review.

Name of person or entity	Relationship as defined by Section 11-350 of the Zoning Ordinance	Member of the Approving Body (i.e. City Council, Planning Commission, etc.)
1. LA		
2.		
3.		

NOTE: Business or financial relationships of the type described in Sec. 11-350 that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings.

As the applicant or the applicant's authorized agent, I hereby attest to the best of my ability that the information provided above is true and correct.

2/18/19
Date

KEED KRAVCH
Printed Name

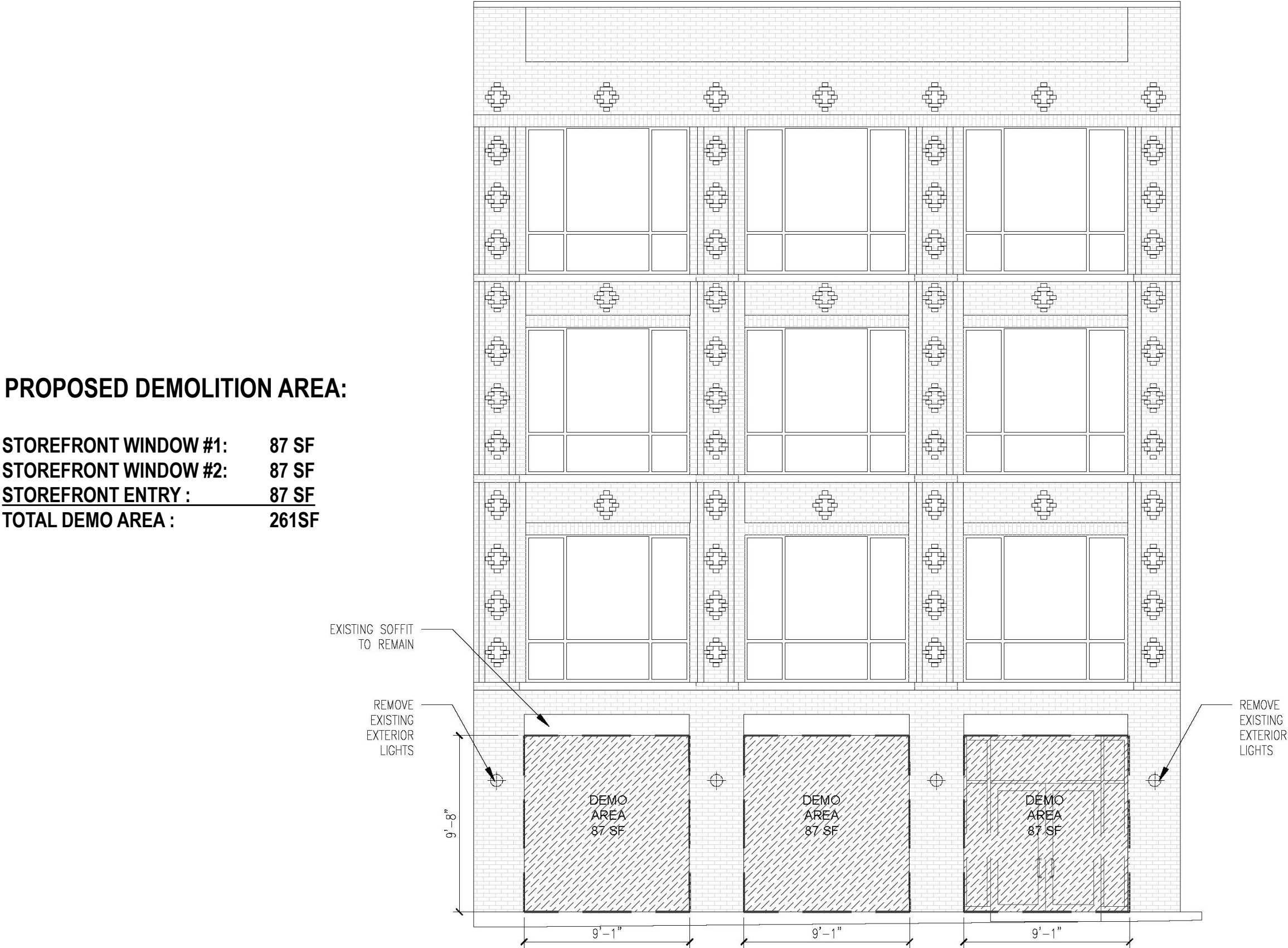

Signature



EXISTING CONDITIONS PHOTOS

PROPOSED DEMOLITION AREA:

STOREFRONT WINDOW #1:	87 SF
STOREFRONT WINDOW #2:	87 SF
STOREFRONT ENTRY :	87 SF
TOTAL DEMO AREA :	261SF





PROPOSED NEW STOREFRONT RENDERING

New Painted Steel C-Channel
Header Beam Projecting 12"
from face of existing brick

New Exterior Wall Sconce Fixtures

Existing Blade Sign to Remain



PROPOSED NEW STOREFRONT RENDERING

New Storefront Glazing &
Frame – Clear Single Pane
Tempered Glass



PROPOSED NEW STOREFRONT RENDERING

SIGN #1
MOUNTED ON NEW
HEADER CHANNEL

SIGN #2,3
WINDOW GRAPHICS

SIGNAGE #6
EXISTING BLADE SIGN TO
REMAIN

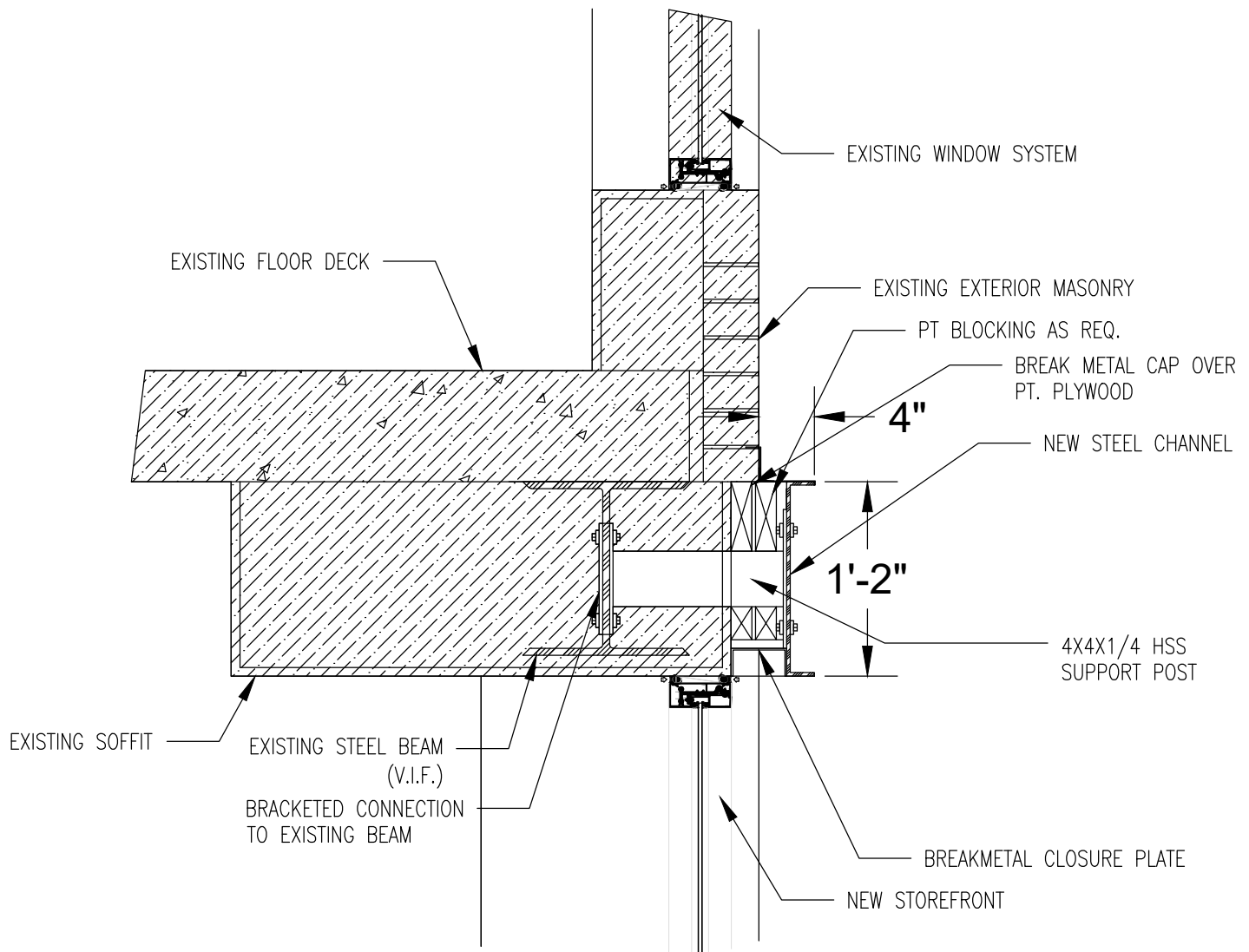
SIGNAGE #4,5
WINDOW GRAPHICS

814 KING SIGNAGE SUMMARY

NEW SIGN #1:	22.5 SF
NEW SIGN #2:	3.68 SF
NEW SIGN #3:	3.68 SF
NEW SIGN #4:	2 SF
NEW SIGN #5:	2 SF
EXISTING SIGN #6:	4.6 SF
TOTAL PROPOSED SIGNAGE:	38.46 SF
TOTAL ALLOWABLE SIGNAGE:	38.6 SF
REMAINING SIGNAGE AREA:	0.14 SF



PROPOSED SIGNAGE AREAS –
FINAL SIGNAGE GRAPHICS TO BE SUBMITTED SEPARATELY

**SKETCH NUMBER**

ASK-1

PROJECT NUMBER**PROJECT TITLE**

814 KING STREET

SHEET TITLE

EXTERIOR BEAM DETAIL

DATE

03-05-2019

20

**KERNS GROUP
ARCHITECTS**106 NORTH MAPLE AVENUE, SUITE 200
FALLS CHURCH, VA 22046-4713
TEL 703.528.1150 FAX 703.528.1151

Oberon LED Outdoor Wall Sconce

By dweLED

\$209.00 - \$272.00 SALE

IN STOCK Ships within 1 business day.

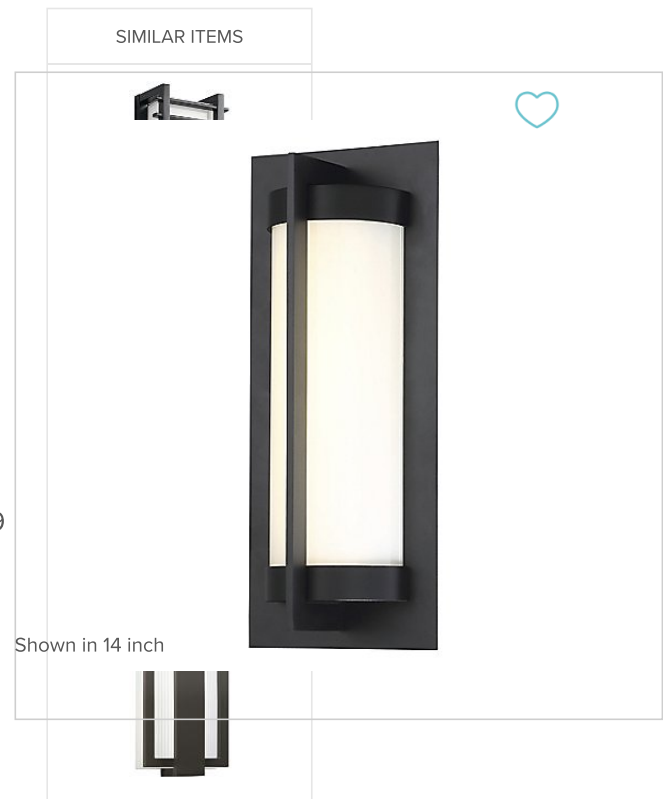
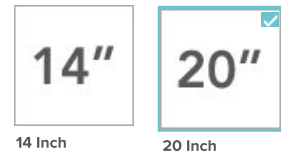
★★★★★ 5.0 (1) Write a review

FREE SHIPPING on orders over \$75.

12 MONTHS PROMOTIONAL FINANCING AVAILABLE* on orders of \$999 or more with your Lumens credit card. [See Details](#)

EXCLUSIVE 15% CODE ENDS MONDAY: Use coupon code **DWELED** at checkout and **SAVE 15%** on all lighting by dweLED during the Presidents' Day Sale. Ends Monday, February 18.

Size: 20 Inch



ITEM #: DWE695004
MFR ID: WS-W45720-BK

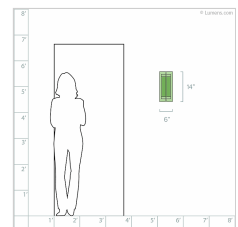
IN STOCK Ships within 1 business day.

\$272.00

Details

Bring a timeless contemporary style to your outdoor space with the Oberon LED Outdoor Wall Sconce by dweLED. Its sleek design features a Bent Opal glass shade embedded in a perpendicular Die-cast Aluminum frame. The contrast of curved and rigid lines, as well as the lit and unlit portions of the fixture provides visual depth as well as a dramatic lighting that is both pleasant and functional.

Designed for modern bathrooms, interiors and the outdoors beyond, dweLED by WAC Lighting features an innovative selection of decorative lighting in both transitional and contemporary styles. The dweLED lighting collection is produced by WAC Lighting, a family-owned lighting company that's been around for over 30 years.



SEE SCALE DRAWING

The Oberon LED Outdoor Wall Sconce is available with the following:

Details:

- Weather resistant powder-coated finish
- Dimmable from 100-10% with an ELV dimmer (not included)
- Can be mounted horizontally or vertically
- Factory-sealed light engine
- No transformer or driver required
- Finish: Black
- Material: Aluminum
- ADA compliant, Title 24 compliant



- ETL Listed Wet
- Warranty: Limited 5 Year Functional, 2 Year Finish
- Made In China

Options:

- **Size:** 14 Inch, 20 Inch

Lighting:

- 14 Inch Option: 19.5 Watt (1865 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 54000 hours
- 20 Inch Option: 19.5 Watt (1900 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 54000 hours

Compare Brightness:



Dimensions:

- **14 Inch Option Fixture:** Width 6", Height 14", Depth 3.75"
- **20 Inch Option Fixture:** Width 6", Height 20", Depth 3.75"

Manufacturer IDs: view

California Residents: Prop 65 regulations

Need help with some of our terminology? Check out **Lumens' Lighting & Design Glossary**.

YOU MAY ALSO LIKE



**Banded Aluminum
Outdoor LED Wall Sconce**
By Hubbardton Forge

From: \$410.00



**Banded Coastal Outdoor
Wall Sconce**
By Hubbardton Forge

From: \$290.00





Series 401

1 3/4" x 4 1/2" Storefront Framing

CONFIGURATIONS

Shear Block • Screw Spline • Can Receptor

Series 401 is an economical flush glaze system available in both shear block and screw spline fabrication methods. Series 401 Storefront can accommodate all standard 1 3/4" and 2" entrances as well as WV410 vents. Vertical mullions will accept steel reinforcement to enhance structural performance.

Features

Two fabrication/erection options (screw spline, shear block)

Open back and shear block door frames with transom bars and rubber weather stripping

The same glazing gasket used for exterior and interior

Accommodates from 3/16" to 3/8" glazing

2-way corner mullions (90° & 135°)

3-way corner mullions (T-mullions)

0°-15° and 15°-30° variable mullions

Various height intermediate horizontals and sills

Accessory line of perimeter anchors, pocket fillers, door adaptors, etc.

Anodized and painted finishes available

Benefits

Method of installation fits job conditions

Provides field/shop flexibility for erector

Compatible with all 1 3/4" and 2" EFCO doors

Simplifies ordering and installation

Allows optimized use of gasket

Handles the most popular glass thicknesses

Design flexibility

Multifaceted elevations

Custom applications

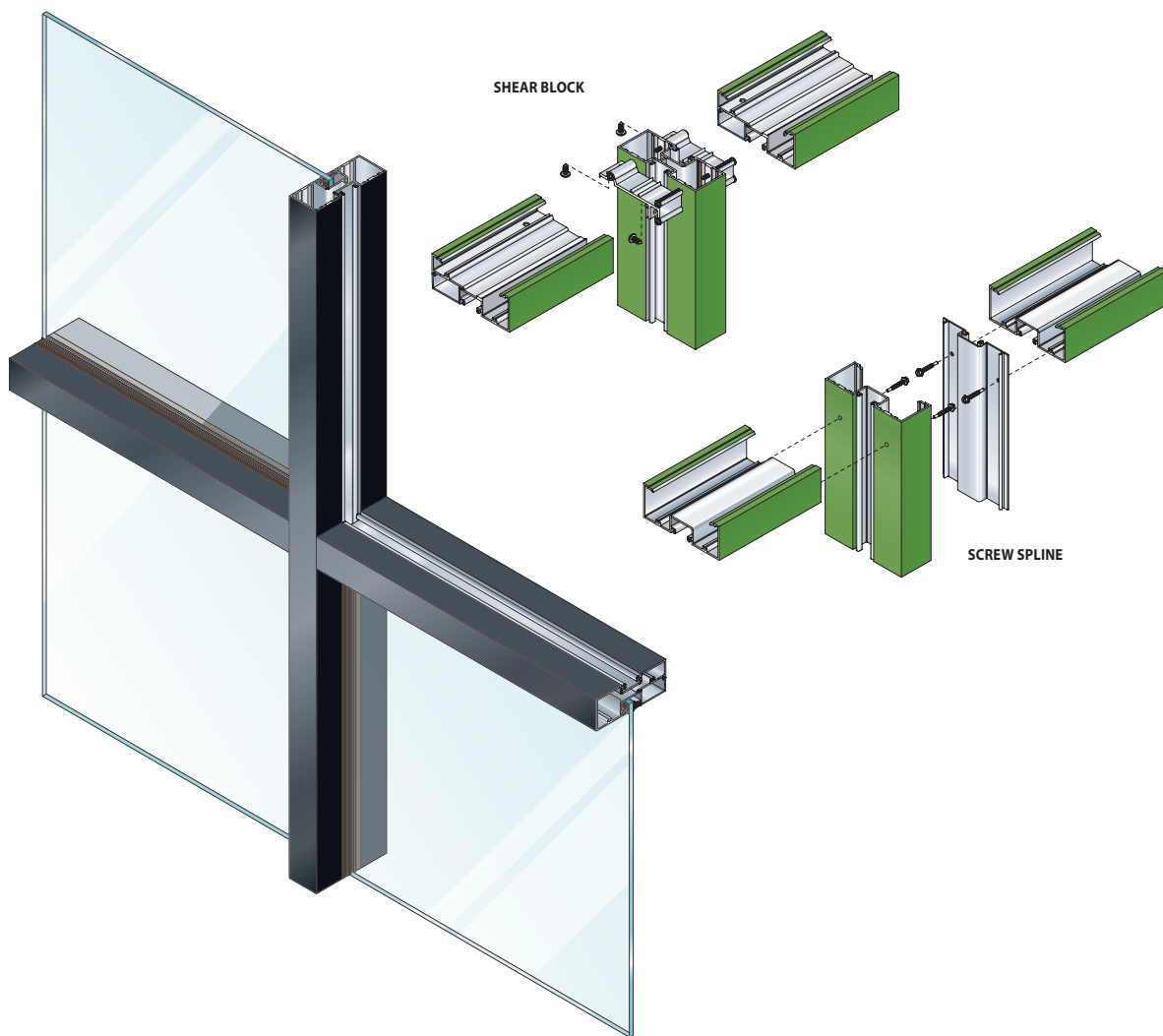
Ability to maintain desired sight line

Increased product versatility

Multiple options to answer economic and aesthetic concerns

Series 401

1 3/4" x 4 1/2" Storefront Framing



PERFORMANCE DATA

SYSTEM 401 STOREFRONT FRAMING

AIR INFILTRATION	<.06 CFM/SF @ 6.24 PSF
WATER	NO LEAKAGE @ 10.0 PSF
STRUCTURAL	visit MyEFCO at www.efcocorp.com

Note: All performance value data is based on laboratory testing per AAMA 101/15.2/A440 for Air/Water/Structural, ASTM E90 and or E413 for Acoustical, AAMA 507 and or NFRC 100/200/500 for UFactors and AAMA 1503 for Condensation Resistance Factor (CRF). Printed values are subject to change pending the frequency of recertification testing. Field results will vary depending on size, the field test method, the addition of sub-frames, panning, mullions, accessories and installation into the surrounding condition.

Note: Job specific performance ratings may vary due to differences in glass and glass spacer selection. If NFRC certified ratings are required, EFCO recommends requesting a CMA Bid Report at the bid stage from EFCO's Product Technical Support Group to ensure performance will meet project specifications

GLAZING

SYSTEM 401 CAN BE INSIDE OR OUTSIDE GLAZED WITH EXTRUDED ALUMINUM, SNAP-IN GLAZING BEAD. GLASS IS "DRY GLAZED" WITH TOP LOAD GASKET. GLAZINGS OF 3/16" TO 5/16" INFILL PANELS ARE ACCOMMODATED. SEE GLAZING CHART BELOW FOR EXACT SIZE.

SYSTEM 401 GLAZING CHART	POLYCARBONATE			GLASS OR PANEL												
	3/16"	1/4"	5/16"	3/16"	1/4"	1/4"	5/16"	7/16"	1/2"	9/16"	5/8"	3/4"	7/8"	15/16"	1"	1-1/16"
MONOLITHIC GLASS	C	A	C	C	A	A	C									
INSULATED GLASS																

*-Obscure glass thickness
**-Laminated glass thickness

A-Available glazing option
C-Adaptor and/or gasket required
Blank - N/A

Series 401

1 3/4" x 4 1/2" Storefront Framing

Frame Construction

The frames have a depth of 4 1/2" and a nominal material wall thickness of .080". Members are extruded 6063-T6 aluminum alloy. Corner construction employs screw spline or shear block methods. See Illustration 1 & 2.

Door Frames

System 401 offers integral entrance frames as a part of the framing system. Members are nominally .080" in thickness.

Weather Stripping

All entrance frames are weather-stripped with bulb gasket.

Glazing

System 401 can be inside or outside glazed with extruded aluminum, snap-in glazing bead. Glass is "dry glazed" with top load gasket. Glazings of 3/16" to 5/16" infill panels are accommodated. See Glazing Chart for exact size.

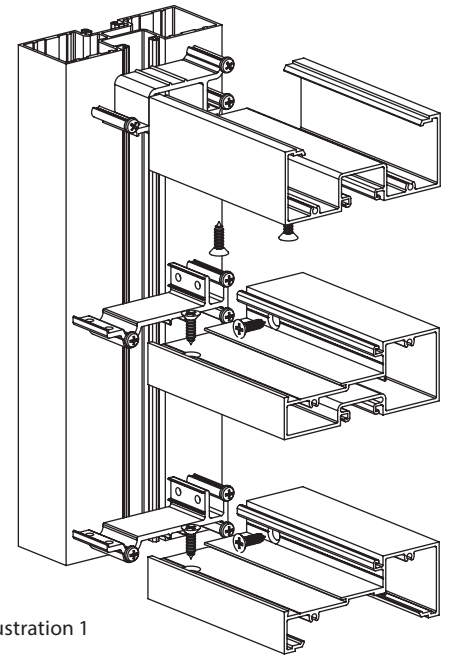


Illustration 1

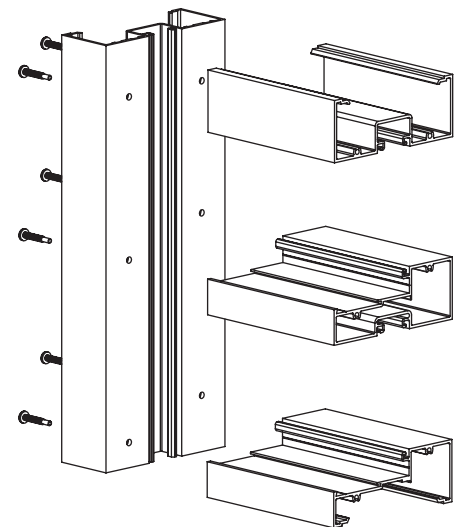
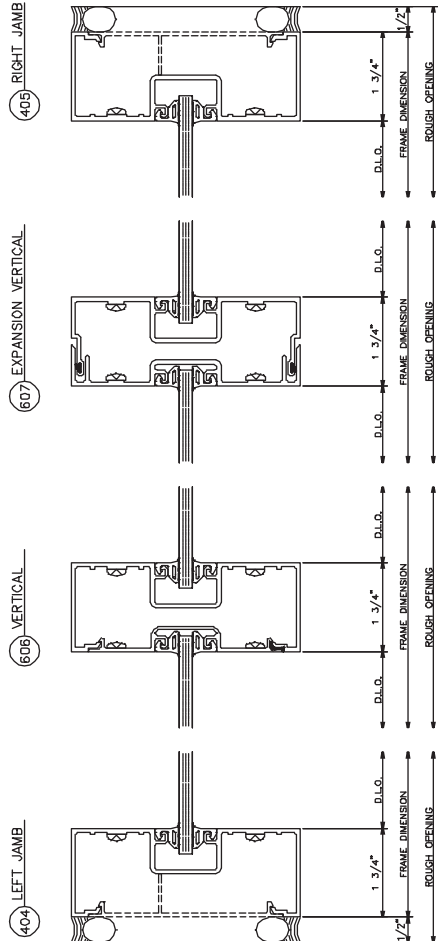


Illustration 2

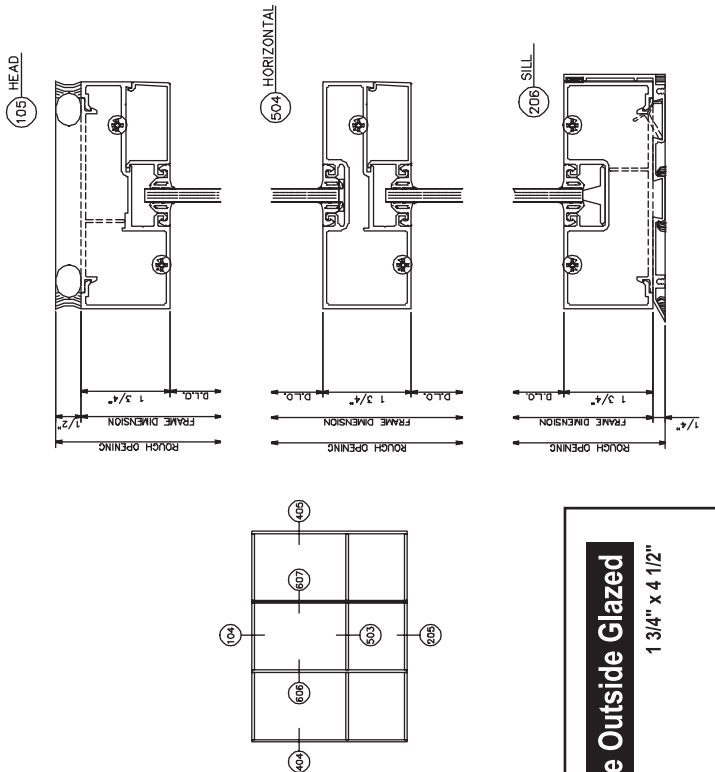
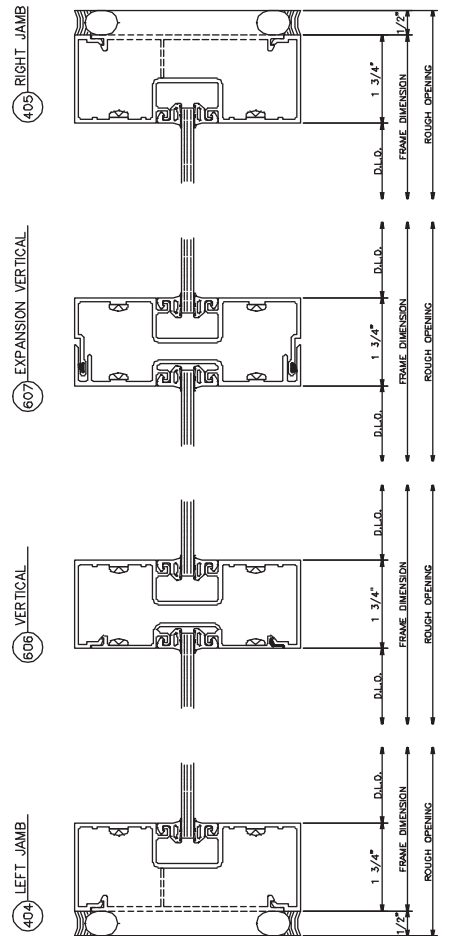
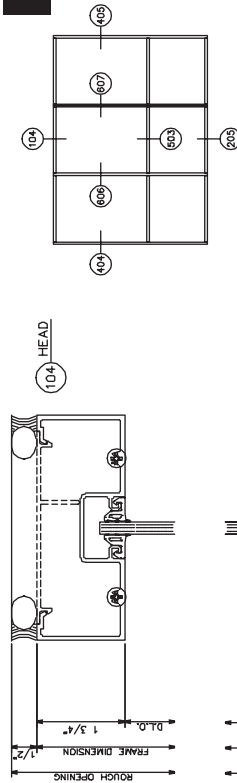
401 Screw Spline Inside Glazed

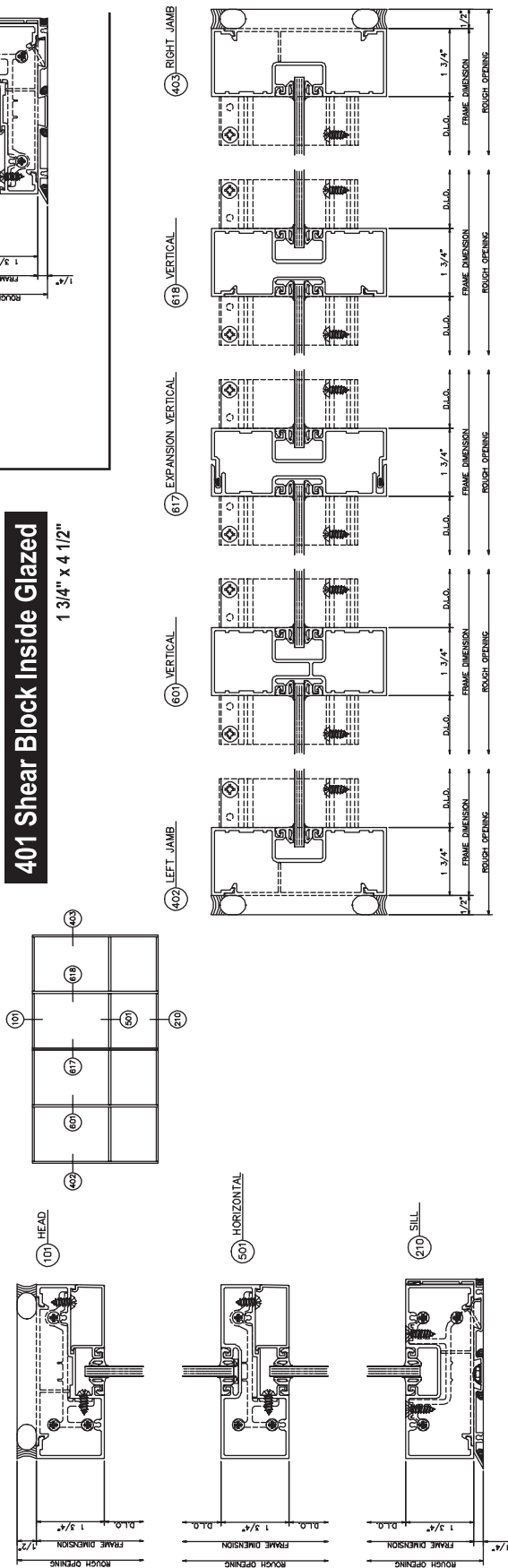
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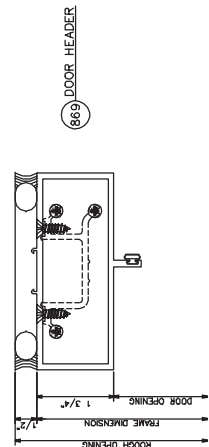


401 Screw Spline Outside Glazed

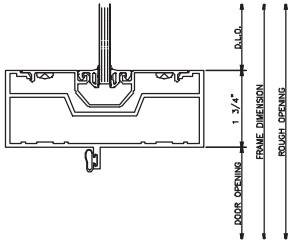
1 3/4" x 4 1/2"



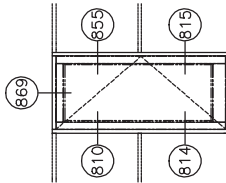
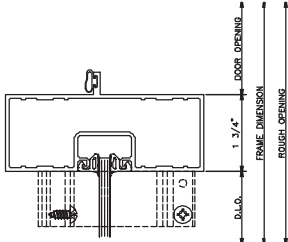




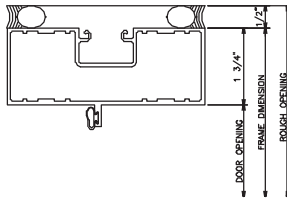
855 DOOR JAMB



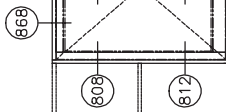
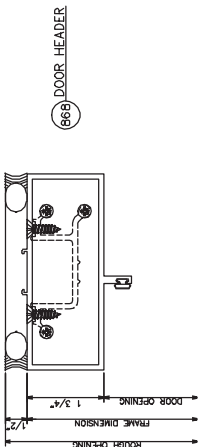
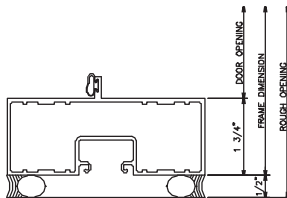
810 DOOR JAMB



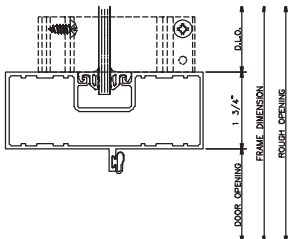
815 DOOR JAMB



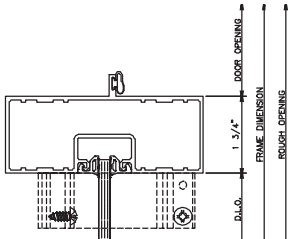
814 DOOR JAMB



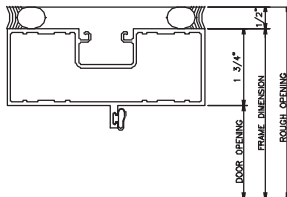
808 DOOR JAMB



812 DOOR JAMB



813 DOOR JAMB



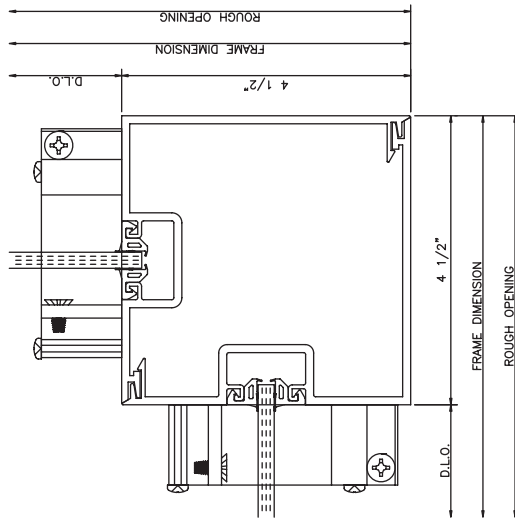
401 Door Frames Outside Glazed

Single Acting 1 Piece Jamb • Right Outswing

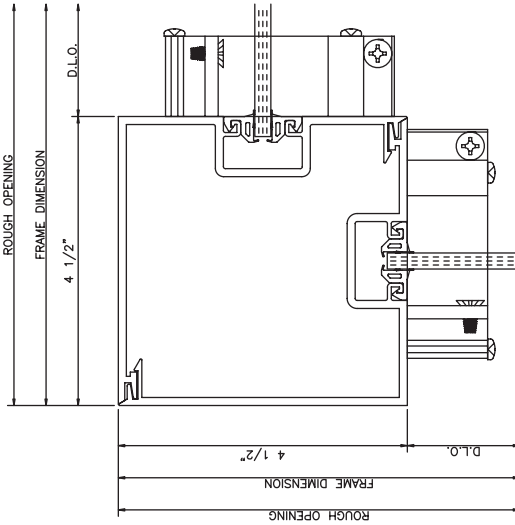
401 Door Frames Outside Glazed

Single Acting 1 Piece Jamb • Right Inswing

90° OUTSIDE CORNER



90° OUTSIDE CORNER



3-WAY CORNER

